



This document is a graphic representation only,
created from the best available sources.
The City of Raleigh assumes no responsibility for any errors,
or misuse of this document.

027-18-CA

514 COLE STREET

GLENWOOD-BROOKLYN HISTORIC DISTRICT (HOD-S)

0 25 50 100
Feet



Nature of Project:
Construct detached garage;
plant evergreen foundation screening

APPLICANT:
CORBETT AND CHRISSY GUPTON



APPLICATION FOR A CERTIFICATE OF APPROPRIATENESS – STAFF REPORT

027-18-CA 514 COLE STREET
Applicant: CORBETT AND CHRISSEY GUPTON
Received: 2/8/2018 Meeting Date(s):
Submission date + 90 days: 5/9/2018 1) 3/22/2018 2) 3)

INTRODUCTION TO THE APPLICATION

Historic District: GLENWOOD-BROOKLYN HISTORIC DISTRICT

Zoning: Streetside Historic Overlay District (HOD-S)

Nature of Project: Construct detached garage; plant evergreen foundation screening

Staff Notes:

- The Glenwood-Brooklyn Historic District is a Streetside HOD.
- Streetside HODs are "...established to provide for protection of the traditional development patterns of an area and to preserve historic resources found in it. The focus is on maintaining that character...as viewed from the street right-of-way, excluding alleys..." (Section 5.4.2.A.1. of the Unified Development Ordinance)
- Section 5.4.2.B. of the Unified Development Ordinance governs the applicability of the COA process in Streetside HODs. The entirety of any new accessory building construction located in whole or in part in areas Sec. 5.4.2.B.2.b. through Sec. 5.4.2.B.2.d. requires a COA. The proposed garage is located within the area described in 5.4.2.B.b. – the lot area between the public rights-of-way and the facade of any existing primary building or structure. Both Cole Street and Wade Avenue are public rights-of-way.
- COA cases mentioned are available for review.
- Section 5.4.1.E.1. of the Unified Development Ordinance says, "The minimum and maximum setbacks within the -HOD-G and for Historic Landmarks shall be congruous with the setbacks of any typical well-related nearby building and structure within 1½ blocks and in the overlay district, and congruous with the character of the Historic Landmark, as set forth in the historic development standards below or as defined in the designation documents or nomination."
- Section 5.4.1.F.1. of the Unified Development Ordinance says "Buildings and structures shall be congruous with the height of typical well-related nearby buildings and structures in the overlay district, and congruous with the character of the Historic Landmark, as set forth in the historic development standards below or as defined in the designation documents or nomination.
- Section 5.4.2.H.3. of the Unified Development Ordinance says "The issuance of a Certificate of Appropriateness shall not be prohibited in situations where, owing to special conditions affecting the structure (such as topography, availability of materials, and lot size) but not affecting the -HOD-G or Historic Landmarks generally, compliance with the historic development standards would cause an unusual and unnecessary hardship on the property owner beyond that which other property owners in the -HOD-G or of Historic Landmarks would meet." (5.4.2.B.2. makes this applicable to the HOD-S)

- An application for a detached garage on the same lot in a different location was denied in 2017 (COA 163-16-CA). The denied garage has not yet been demolished. This application is to be treated as though the house is the only existing building on the lot.

APPLICABLE SECTIONS OF GUIDELINES and DESCRIPTION OF PROJECT

<i>Sections</i>	<i>Topic</i>	<i>Description of Work</i>
2.6	Garages and Accessory Structures	Construct detached garage; plant evergreen foundation screening

STAFF REPORT

Based on the information contained in the application and staff’s evaluation:

- A. Construction of detached garage; planting of evergreen foundation screening is not incongruous in concept according to *Guidelines* 1.6.5, 1.6.6, 1.6.7, 1.6.8, 1.6.10, 1.6.11, 1.6.12, and the following suggested facts:
- 1* The 2-story frame house at 514 Cole Street, constructed in 2016 prior to district designation, is a non-contributing resource in the Glenwood-Brooklyn Historic District.
 - 2* The 2015 update of the district designation does not include an inventory of accessory buildings. The 2002 National Register Nomination does include an inventory.
 - 3* At the front of the garage, measuring from the level of the driveway, the proposed garage is 21 feet 9 inches in height to the top of the ridge. It is 26 feet wide and 24 feet deep.
 - 4* The application provides photos of multiple non-historic 2-level accessory buildings in the historic district. A single two-bay 1-story, historic garage was also included.
 - 5* The garage is roughly square in plan and rectangular in form. It has a symmetrical side gable roof with the 2nd level created through the use of dormers on both front and back. It is shorter than the main house.
 - 6* The lot slopes down from Cole Street to a level area at the house, from which there is a steep drop to Wade Avenue. A level area is proposed at the garage floor with the lot continuing the steep drop on either side.
 - 7* The application includes a section cut perpendicular to the street (A-B) that illustrates the relationship of the proposed garage to the grade at Cole Street. That drawing shows the

floor of the garage as being roughly 12 feet lower than Cole Street. Based on this, the ridge of the garage is effectively 9'9" above Cole Street.

- 8* The application includes a section cut perpendicular to the garage (C-D) that illustrates the grade of the lot in relationship to of the proposed garage. That drawing shows that from the floor of the garage, the lot drops roughly 70 feet to the creek at Wade Avenue.
- 9* The garage is proposed to be located at the end of the driveway, a traditional garage placement. It is oriented orthogonally to the main residential structure on the lot.
- 10* All but one of the provided example garages are located to the rear of the main house and oriented at a right angle to the houses and the side property lines.
- 11* Most lots in Glenwood-Brooklyn are rectangular in shape – deep and narrow. 514 Cole Street is atypical in shape – roughly diamond shaped. It accesses Cole Street via a long driveway. The bulk of the lot sits at the rear of 506, 508, 510, and 512 Cole Street.
- 12* Proposed materials are to match the existing house: smooth faced fiber cement siding, wood double-hung windows, architectural shingles. The materials of the shutters and garage door were not provided.
- 13* The drawings show the general location and size of window and door trim: windows are drawn with trim on all three sides of the window with a sill at the bottom; section details of the windows were not included in the application; wood windows and doors are typical for the historic district.
- 14* Due to the grade of the lot, the rear of the garage has a 6-1/2-foot-tall concrete foundation wall. The finish of the foundation is unclear. It is proposed to be screened with evergreen plantings.

Staff suggests that the committee approve the application, with the following conditions:

1. That details and specifications for the following be provided to and approved by staff prior to issuance of the blue placard:
 - a. Windows;
 - b. Shutter material;
 - c. Garage door specifications.

Raleigh Historic Development Commission – Certificate of Appropriateness (COA) Application



**DEVELOPMENT
SERVICES
DEPARTMENT**

Development Services
Customer Service Center
One Exchange Plaza
1 Exchange Plaza, Suite 400
Raleigh, North Carolina 27601
Phone 919-996-2495
eFax 919-996-1831



<input type="checkbox"/> Minor Work (staff review) – 1 copy <input checked="" type="checkbox"/> Major Work (COA Committee review) – 10 copies <input type="checkbox"/> Additions Greater than 25% of Building Square Footage <input checked="" type="checkbox"/> New Buildings <input type="checkbox"/> Demo of Contributing Historic Resource <input type="checkbox"/> All Other <input type="checkbox"/> Post Approval Re-review of Conditions of Approval	<p style="text-align: center;">For Office Use Only</p> Transaction # <u>544343</u> File # <u>027-18-CA</u> Fee <u>\$ 294.00</u> Amount Paid <u>294.00</u> Received Date <u>2/8/18</u> Received By <u>M. Coley</u>
--	---

Property Street Address <u>514 Cole St</u>		
Historic District <u>Glenwood - Brooklyn</u>		
Historic Property/Landmark name (if applicable)		
Owner's Name <u>Corbett & Chrissy Gupton</u>		
Lot size <u>.7552 ac</u>	(width in feet)	(depth in feet)

For applications that require review by the COA Committee (Major Work), provide addressed, stamped envelopes to owners of all properties within 100 feet (i.e. both sides, in front (across the street), and behind the property) not including the width of public streets or alleys (Label Creator).

Property Address	Property Address

I understand that all applications that require review by the commission's Certificate of Appropriateness Committee must be submitted by 4:00 p.m. on the application deadline; otherwise, consideration will be delayed until the following committee meeting. An incomplete application will not be accepted.

Type or print the following:

Applicant *Corbett + Chrissy Gupton*

Mailing Address *514 Cole St*

City *Raleigh*

State *NC*

Zip Code *27605*

Date *2-8-18*

Daytime Phone *919-291-5635*

Email Address *corbett@guptonbuilt.com*

Applicant Signature *[Signature]*

Will you be applying for rehabilitation tax credits for this project? Yes No

Did you consult with staff prior to filing the application? Yes No

Office Use Only

Type of Work _____
11

Design Guidelines - Please cite the applicable sections of the design guidelines (www.rhdc.org).

Section/Page	Topic	Brief Description of Work (attach additional sheets as needed)
		<i>Construct detach garage</i>

Minor Work Approval (office use only)

Upon being signed and dated below by the Planning Director or designee, this application becomes the Minor Work Certificate of Appropriateness. It is valid until _____. Please post the enclosed placard form of the certificate as indicated at the bottom of the card. Issuance of a Minor Work Certificate shall not relieve the applicant, contractor, tenant, or property owner from obtaining any other permit required by City Code or any law. Minor Works are subject to an appeals period of 30 days from the date of approval.

Signature (City of Raleigh) _____ Date _____

TO BE COMPLETED BY APPLICANT			TO BE COMPLETED BY CITY STAFF		
	YES	N/A	YES	NO	N/A
Attach 8-1/2" x 11" or 11" x 17" sheets with written descriptions and drawings, photographs, and other graphic information necessary to completely describe the project. Use the checklist below to be sure your application is complete. <u>Minor Work (staff review) – 1 copy</u> <u>Major Work (COA Committee review) – 10 copies</u>					
1. Written description. Describe clearly and in detail the nature of your project. Include exact dimensions for materials to be used (e.g. width of siding, window trim, etc.) <i>Construct detach garage; See Attached</i>	<input checked="" type="checkbox"/>		✓		
2. Description of materials (Provide samples, if appropriate) <i>See Attached</i>	<input checked="" type="checkbox"/>		✓		
3. Photographs of existing conditions are required. Minimum image size 4" x 6" as printed. Maximum 2 images per page. <i>See Attached</i>	<input checked="" type="checkbox"/>		✓		
4. Paint Schedule (if applicable)	<input type="checkbox"/>	<input type="checkbox"/>			✓
5. Plot plan (if applicable). A plot plan showing relationship of buildings, additions, sidewalks, drives, trees, property lines, etc., must be provided if your project includes any addition, demolition, fences/walls, or other landscape work. Show accurate measurements. You may also use a copy of the survey you received when you bought your property. Revise the copy as needed to show existing conditions and your proposed work.	<input checked="" type="checkbox"/>	<input type="checkbox"/>	✓		
6. Drawings showing existing and proposed work <input checked="" type="checkbox"/> Plan drawings <input checked="" type="checkbox"/> Elevation drawings showing the façade(s) <input checked="" type="checkbox"/> Dimensions shown on drawings and/or graphic scale (required) <input checked="" type="checkbox"/> 11" x 17" or 8-1/2" x 11" reductions of full-size drawings. If reduced size is so small as to be illegible, make 11" x 17" or 8-1/2" x 11" snap shots of individual drawings from the big sheet.	<input checked="" type="checkbox"/>	<input type="checkbox"/>	✓		
7. Stamped envelopes addressed to all property owners within 100 feet of property not counting the width of public streets and alleys (required for Major Work). Use the <u>Label Creator</u> to determine the addresses.	<input checked="" type="checkbox"/>	<input type="checkbox"/>	✓		
8. Fee (<u>See Development Fee Schedule</u>)	<input checked="" type="checkbox"/>		✓		

1704552334
GUPTON, WILLIAM C GUPTON, CHRISTINA
R
514 COLE ST
RALEIGH NC 27605-1208

1704541913
WALKER, JEFFREY A WALKER, KRISTIN L
515 COLE ST
RALEIGH NC 27605-1207

1704541975
ALBERTSON, EDDIE A ALBERTSON,
KAREN B
513 COLE ST
RALEIGH NC 27605-1207

1704542935
MENNEAR, JOHN H II MENNEAR,
CATHERINE F
511 COLE ST
RALEIGH NC 27605-1207

1704550130
HORNING, BONNI L ROARK, CHARLES B
1400 GLENWOOD AVE
RALEIGH NC 27605-1219

1704550133
MCDONALD, MICHAEL MCDONALD,
JESSICA
1408 GLENWOOD AVE
RALEIGH NC 27605-1219

1704550148
SMART, RANDOLPH SCOTTEN
1410 GLENWOOD AVE
RALEIGH NC 27605-1219

1704550243
WILSON GLENWOOD LLC
828 GREENWICH ST
RALEIGH NC 27610-3639

1704550248
DAVIS, LUTHER J III DAVIS, JENNIFER C
1414 GLENWOOD AVE
RALEIGH NC 27605-1219

1704550343
FREDETTE, JOHN W FREDETTE, W
DOUGLAS
1416 GLENWOOD AVE
RALEIGH NC 27605-1219

1704550348
SMITH, MYRA JEAN CLAYTON, GREGORY
ALAN
1418 GLENWOOD AVE
RALEIGH NC 27605-1219

1704551115
MCCOY, THOMAS MARSHALL JR
516 COLE ST
RALEIGH NC 27605-1208

1704551199
POOLE, ASHLEY B.
512 COLE ST
RALEIGH NC 27605-1208

1704551341
MURPHY, GARY
514 1/2 COLE ST
RALEIGH NC 27605-1208

1704552073
MCDUFFIE, A CRAIG NOBLE, LINDA J
509 COLE ST
RALEIGH NC 27605-1207

1704552159
JOHNSON, ANTHONY H JOHNSON,
KATHALEEN M
510 COLE ST
RALEIGH NC 27605-1208

1704552290
KISSEE, ROBERT DALE II KISSEE, EMILY
JULIA
508 COLE ST
RALEIGH NC 27605-1208

1704553241
RIEDEMANN, MARK
506 COLE ST
RALEIGH NC 27605-1208

1704553292
PHIPPS, WILLIAM A PHIPPS, SARAH
PEARCE
502 COLE ST
RALEIGH NC 27605-1208

1704553374
HUTZLER, PATRICIA M
8908 EAGLEBROOK CT
RALEIGH NC 27617-7540

1704554245
COBB, CARSON L JR & DEBRA T TRUSTEE
THE COBB LIVIN...
4209 MARVIN PL
RALEIGH NC 27609-5951

1704554294
SHACAN INVESTMENTS LLC
8108 TYLERTON DR
RALEIGH NC 27613-1575

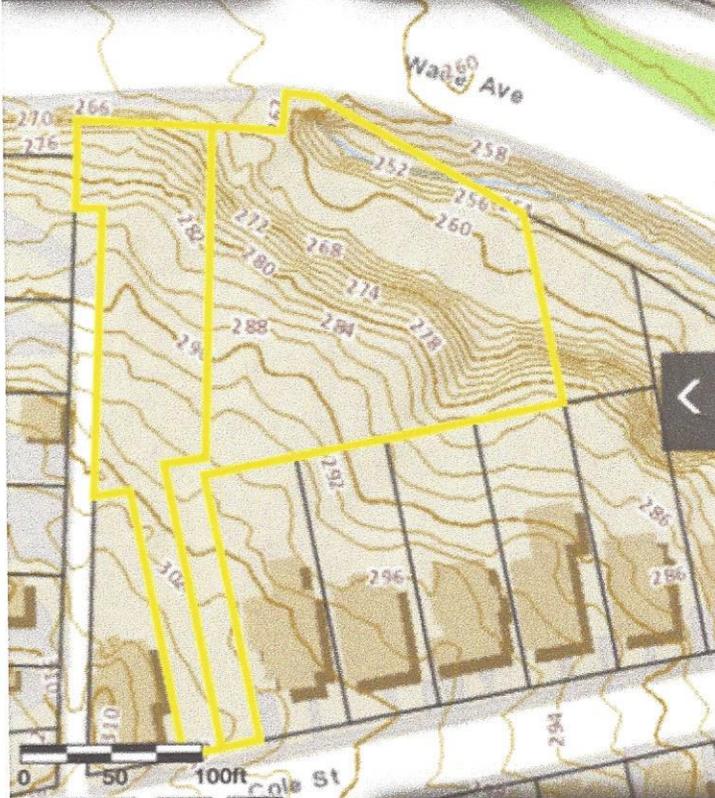


[Unified Development Ordinance](#) · [Disclaimer](#)

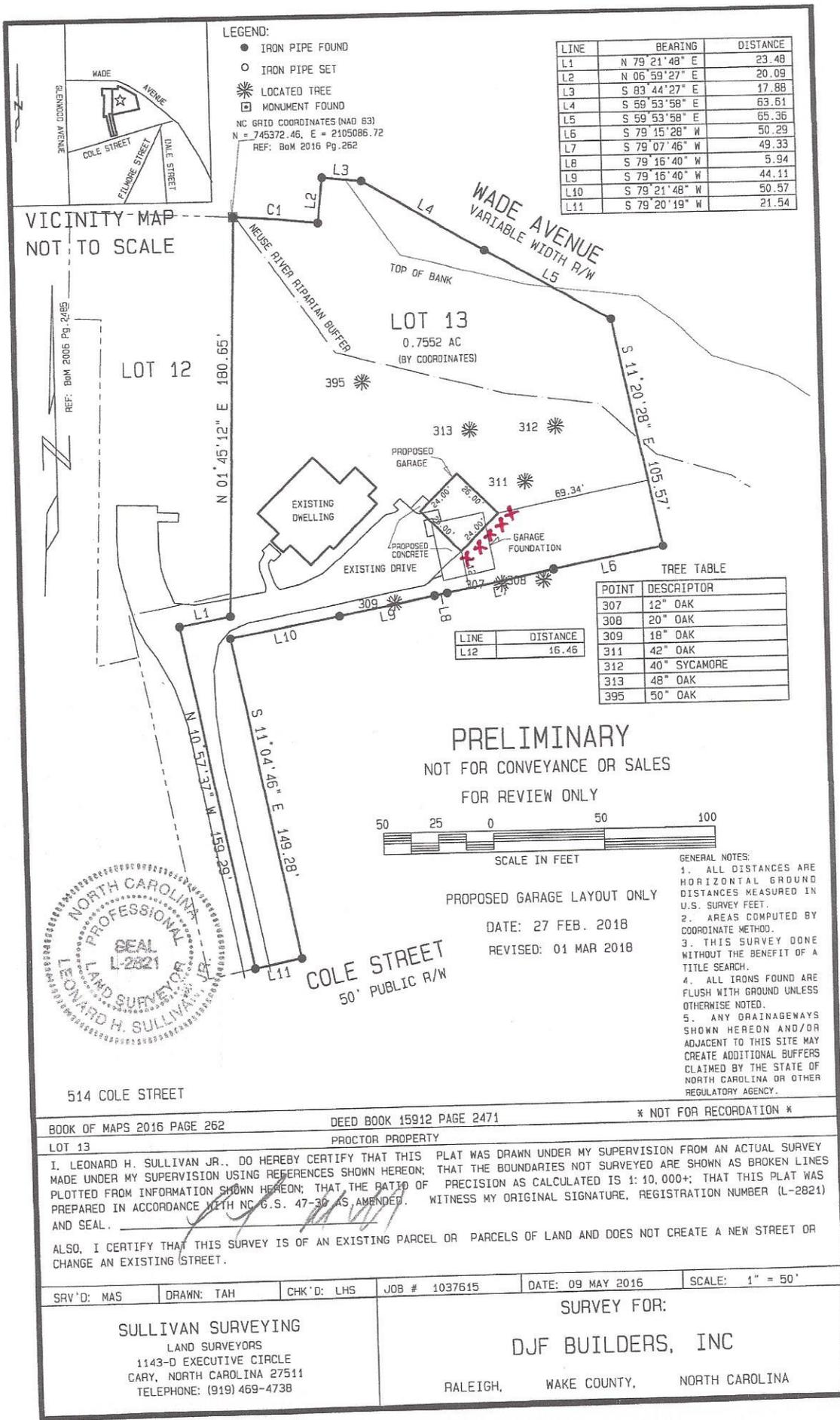
Designed and developed by the City of Raleigh [Geographic Information Systems Division](#)

iMAPS

Tools Maps



Overview



LEGEND:
 ● IRON PIPE FOUND
 ○ IRON PIPE SET
 * LOCATED TREE
 □ MONUMENT FOUND
 NC GRID COORDINATES (NAD 83)
 N = 745372.46, E = 2105086.72
 REF: BOM 2016 Pg. 262

LINE	BEARING	DISTANCE
L1	N 79° 21' 48" E	23.48
L2	N 06° 59' 27" E	20.09
L3	S 83° 44' 27" E	17.88
L4	S 69° 53' 58" E	63.61
L5	S 59° 53' 58" E	65.36
L6	S 79° 15' 28" W	50.29
L7	S 79° 07' 46" W	49.33
L8	S 79° 16' 40" W	5.94
L9	S 79° 16' 40" W	44.11
L10	S 79° 21' 48" W	50.57
L11	S 79° 20' 19" W	21.54

VICINITY MAP
 NOT TO SCALE

REF: BOM 2006 Pg. 2485

LOT 12

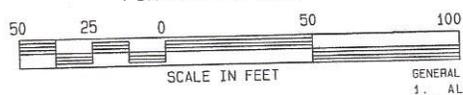
LOT 13
 0.7552 AC
 (BY COORDINATES)

LINE	DISTANCE
L12	16.46

TREE TABLE

POINT	DESCRIPTOR
307	12" OAK
308	20" OAK
309	18" OAK
311	42" OAK
312	40" SYCAMORE
313	48" OAK
395	50" OAK

PRELIMINARY
 NOT FOR CONVEYANCE OR SALES
 FOR REVIEW ONLY



PROPOSED GARAGE LAYOUT ONLY

DATE: 27 FEB. 2018
 REVISED: 01 MAR 2018



GENERAL NOTES:
 1. ALL DISTANCES ARE HORIZONTAL GROUND DISTANCES MEASURED IN U.S. SURVEY FEET.
 2. AREAS COMPUTED BY COORDINATE METHOD.
 3. THIS SURVEY DONE WITHOUT THE BENEFIT OF A TITLE SEARCH.
 4. ALL IRONS FOUND ARE FLUSH WITH GROUND UNLESS OTHERWISE NOTED.
 5. ANY DRAINAGEWAYS SHOWN HEREON AND/OR ADJACENT TO THIS SITE MAY CREATE ADDITIONAL BUFFERS CLAIMED BY THE STATE OF NORTH CAROLINA OR OTHER REGULATORY AGENCY.

514 COLE STREET

BOOK OF MAPS 2016 PAGE 262 DEED BOOK 15912 PAGE 2471 * NOT FOR RECORDATION *
 LOT 13 PROCTOR PROPERTY

I, LEONARD H. SULLIVAN JR., DO HEREBY CERTIFY THAT THIS PLAT WAS DRAWN UNDER MY SUPERVISION FROM AN ACTUAL SURVEY MADE UNDER MY SUPERVISION USING REFERENCES SHOWN HEREON; THAT THE BOUNDARIES NOT SURVEYED ARE SHOWN AS BROKEN LINES PLOTTED FROM INFORMATION SHOWN HEREON; THAT THE RATIO OF PRECISION AS CALCULATED IS 1:10,000+; THAT THIS PLAT WAS PREPARED IN ACCORDANCE WITH NC G.S. 47-30 AS AMENDED. WITNESS MY ORIGINAL SIGNATURE, REGISTRATION NUMBER (L-2821) AND SEAL.

ALSO, I CERTIFY THAT THIS SURVEY IS OF AN EXISTING PARCEL OR PARCELS OF LAND AND DOES NOT CREATE A NEW STREET OR CHANGE AN EXISTING STREET.

SRV'D: MAS DRAWN: TAH CHK'D: LHS JOB # 1037615 DATE: 09 MAY 2016 SCALE: 1" = 50'

SULLIVAN SURVEYING
 LAND SURVEYORS
 1143-D EXECUTIVE CIRCLE
 CARY, NORTH CAROLINA 27511
 TELEPHONE: (919) 469-4738

SURVEY FOR:
 DJF BUILDERS, INC
 RALEIGH, WAKE COUNTY, NORTH CAROLINA

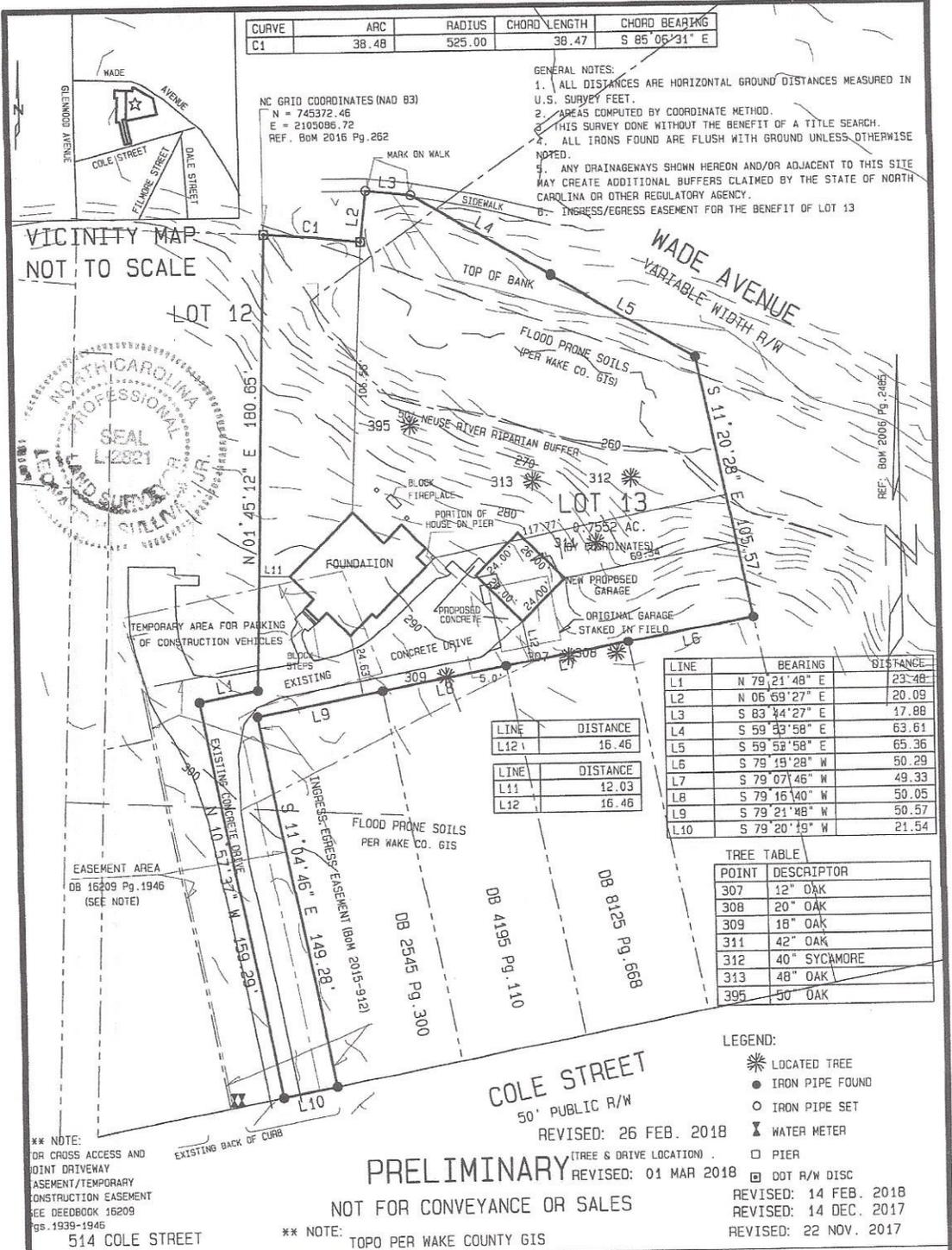
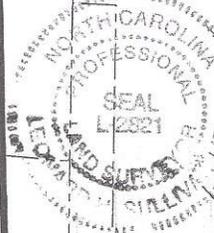
X = 6' +/- evergreen tree

CURVE	ARC	RADIUS	CHORD LENGTH	CHORD BEARING
C1	38.48	525.00	38.47	S 85° 06' 31" E

NC GRID COORDINATES (NAD 83)
 N = 745372.46
 E = 2105086.72
 REF. BOB 2016 Pg. 262

- GENERAL NOTES:
1. ALL DISTANCES ARE HORIZONTAL GROUND DISTANCES MEASURED IN U.S. SURVEY FEET.
 2. AREAS COMPUTED BY COORDINATE METHOD.
 3. THIS SURVEY DONE WITHOUT THE BENEFIT OF A TITLE SEARCH.
 4. ALL IRONS FOUND ARE FLUSH WITH GROUND UNLESS OTHERWISE NOTED.
 5. ANY DRAINAGEWAYS SHOWN HEREON AND/OR ADJACENT TO THIS SITE MAY CREATE ADDITIONAL BUFFERS CLAIMED BY THE STATE OF NORTH CAROLINA OR OTHER REGULATORY AGENCY.
 6. INGRESS/EGRESS EASEMENT FOR THE BENEFIT OF LOT 13

VICINITY MAP
 NOT TO SCALE



LINE	BEARING	DISTANCE
L1	N 79° 21' 48" E	23.48
L2	N 06° 59' 27" E	20.09
L3	S 83° 44' 27" E	17.80
L4	S 59° 33' 58" E	63.61
L5	S 59° 58' 58" E	65.36
L6	S 79° 19' 28" W	50.29
L7	S 79° 07' 46" W	49.33
L8	S 79° 16' 40" W	50.05
L9	S 79° 21' 48" W	50.57
L10	S 79° 20' 19" W	21.54

LINE	DISTANCE
L12	16.46

TREE TABLE	
POINT	DESCRIPTOR
307	12" OAK
308	20" OAK
309	18" OAK
311	42" OAK
312	40" SYCAMORE
313	48" OAK
395	50" OAK

- LEGEND:
- ✱ LOCATED TREE
 - IRON PIPE FOUND
 - IRON PIPE SET
 - ⌘ WATER METER
 - PIER
 - ◻ DOT R/W DISC
- REVISED: 14 FEB. 2018
 REVISED: 14 DEC. 2017
 REVISED: 22 NOV. 2017

** NOTE:
 OR CROSS ACCESS AND
 JOINT DRIVENWAY
 EASEMENT/TEMPORARY
 CONSTRUCTION EASEMENT
 SEE DEEDBOOK 16209
 PGS. 1939-1946

** NOTE: TOPO PER WAKE COUNTY GIS

COLE STREET
 50' PUBLIC R/W

PRELIMINARY
 NOT FOR CONVEYANCE OR SALES

BOOK OF MAPS 2016 PAGE 262 DEED BOOK 15912 PAGE 2471 * NOT FOR RECORDATION *

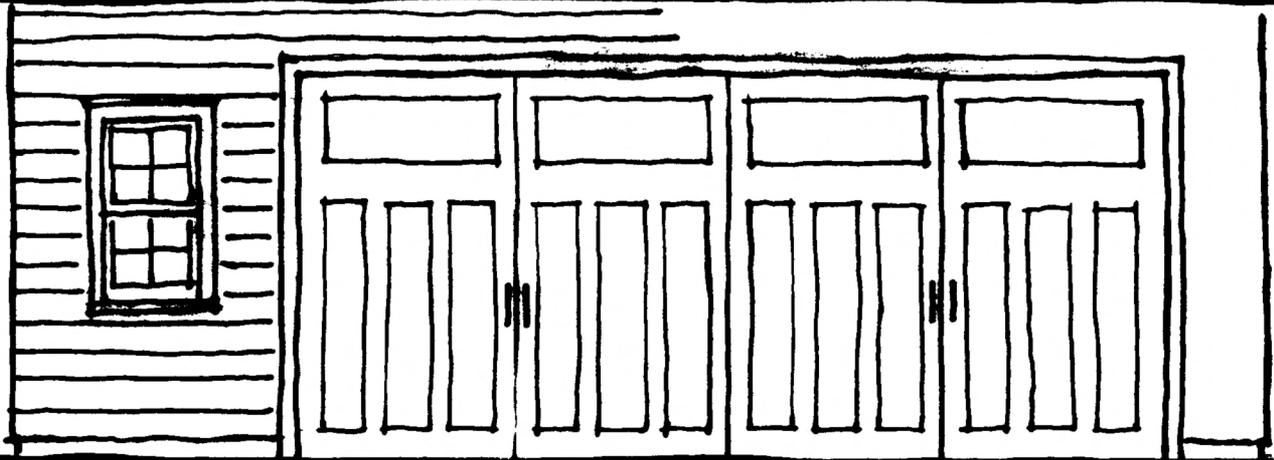
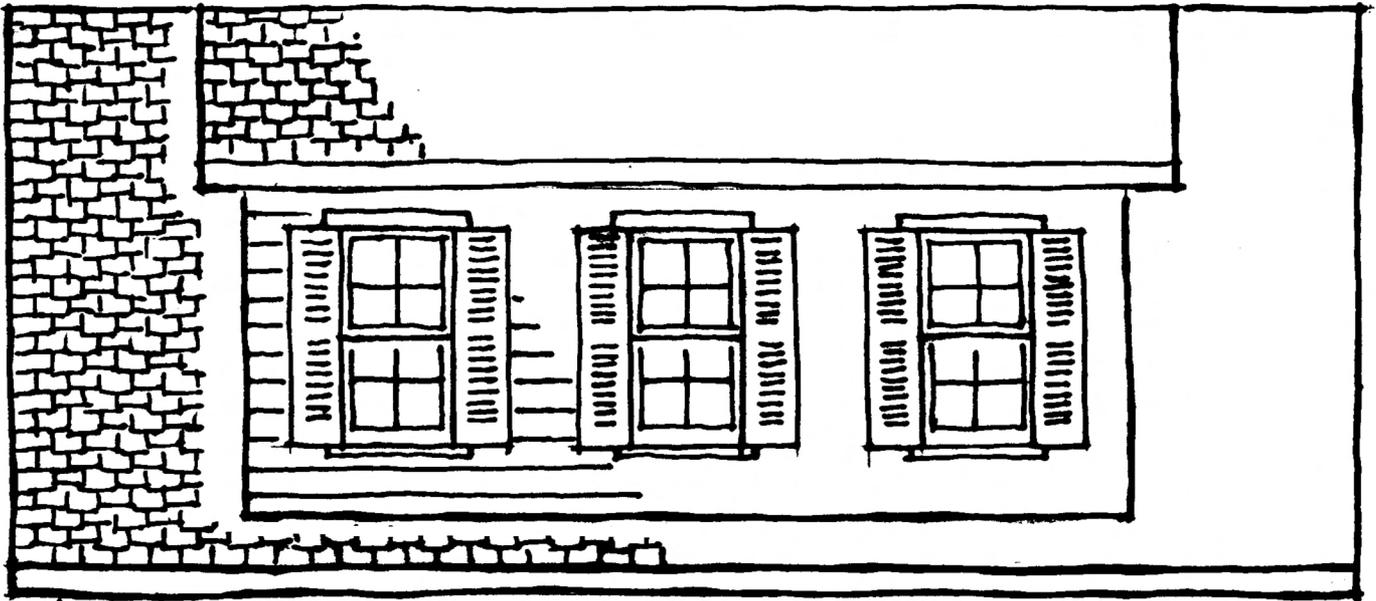
LOT 13 PROCTOR PROPERTY

I, LEONARD H. SULLIVAN JR., DO HEREBY CERTIFY THAT THIS MADE UNDER MY SUPERVISION USING REFERENCES SHOWN HEREON; PLOTTED FROM INFORMATION SHOWN HEREON; THAT THE RATIO OF PREPARED IN ACCORDANCE WITH NC G.S. 47-30 AS AMENDED. AND SEAL.

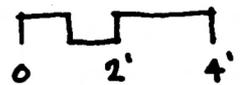
PLAT WAS DRAWN UNDER MY SUPERVISION FROM AN ACTUAL SURVEY THAT THE BOUNDARIES NOT SURVEYED ARE SHOWN AS BROKEN LINES PRECISION AS CALCULATED IS 1: 10,000+; THAT THIS PLAT WAS WITNESS MY ORIGINAL SIGNATURE, REGISTRATION NUMBER (L-2821)

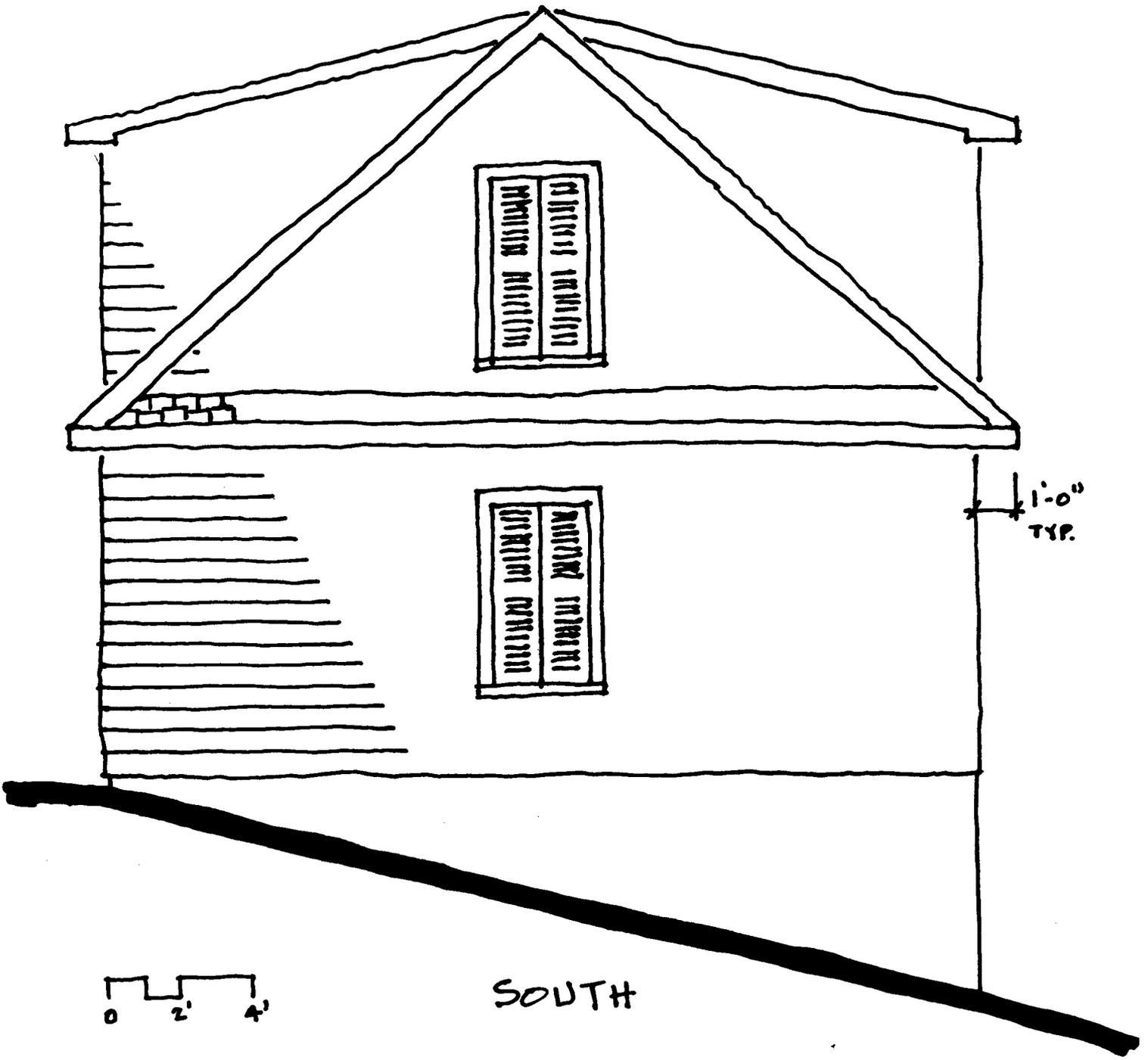
ALSO, I CERTIFY THAT THIS SURVEY IS OF AN EXISTING PARCEL OR PARCELS OF LAND AND DOES NOT CREATE A NEW STREET OR CHANGE AN EXISTING STREET.

SRV'D: MAS	DRAWN: TAH	CHK'D: LHS	JOB # 1037615	DATE: 09 MAY 2016	SCALE: 1" = 50'
SULLIVAN SURVEYING LAND SURVEYORS 1143-D EXECUTIVE CIRCLE CARY, NORTH CAROLINA 27511 TELEPHONE: (919) 469-4738			SURVEY FOR: DJF BUILDERS, INC RALEIGH, WAKE COUNTY, NORTH CAROLINA		



WEST (FRONT)

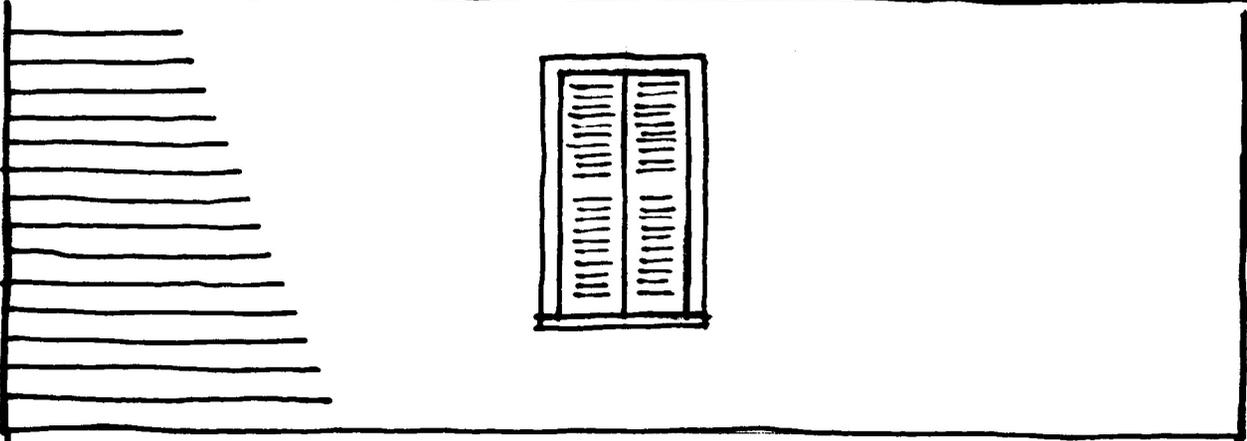
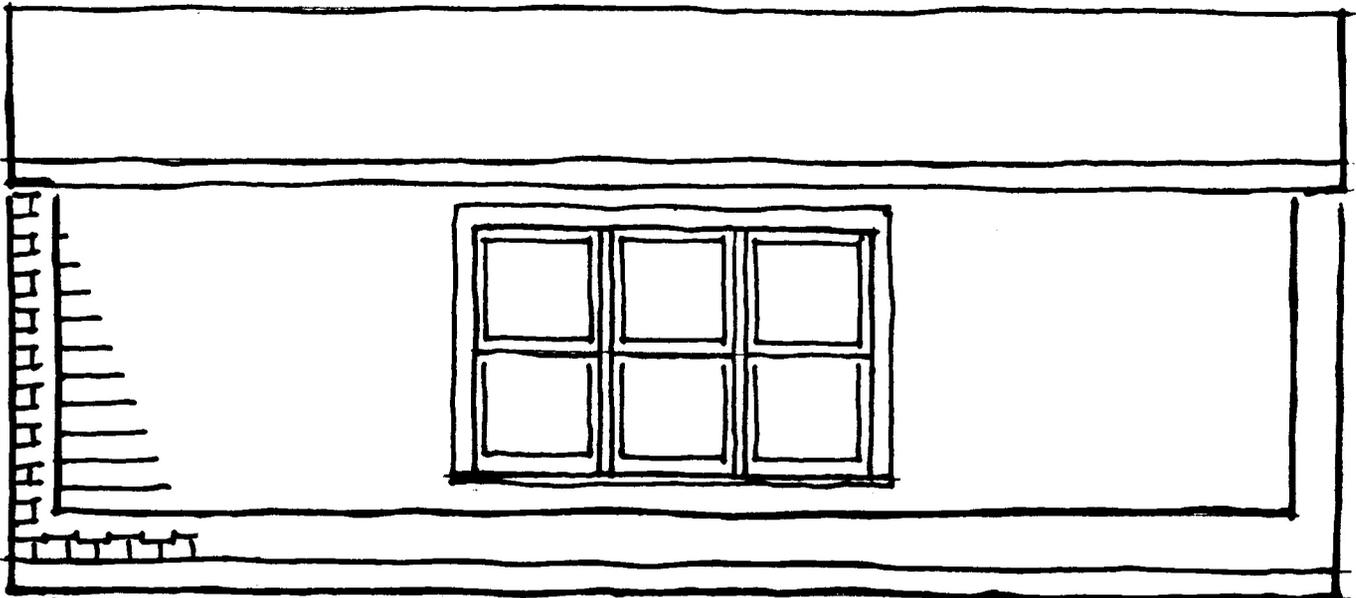




0 2' 4'

SOUTH

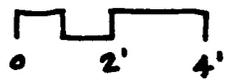
1'-0"
TYP.



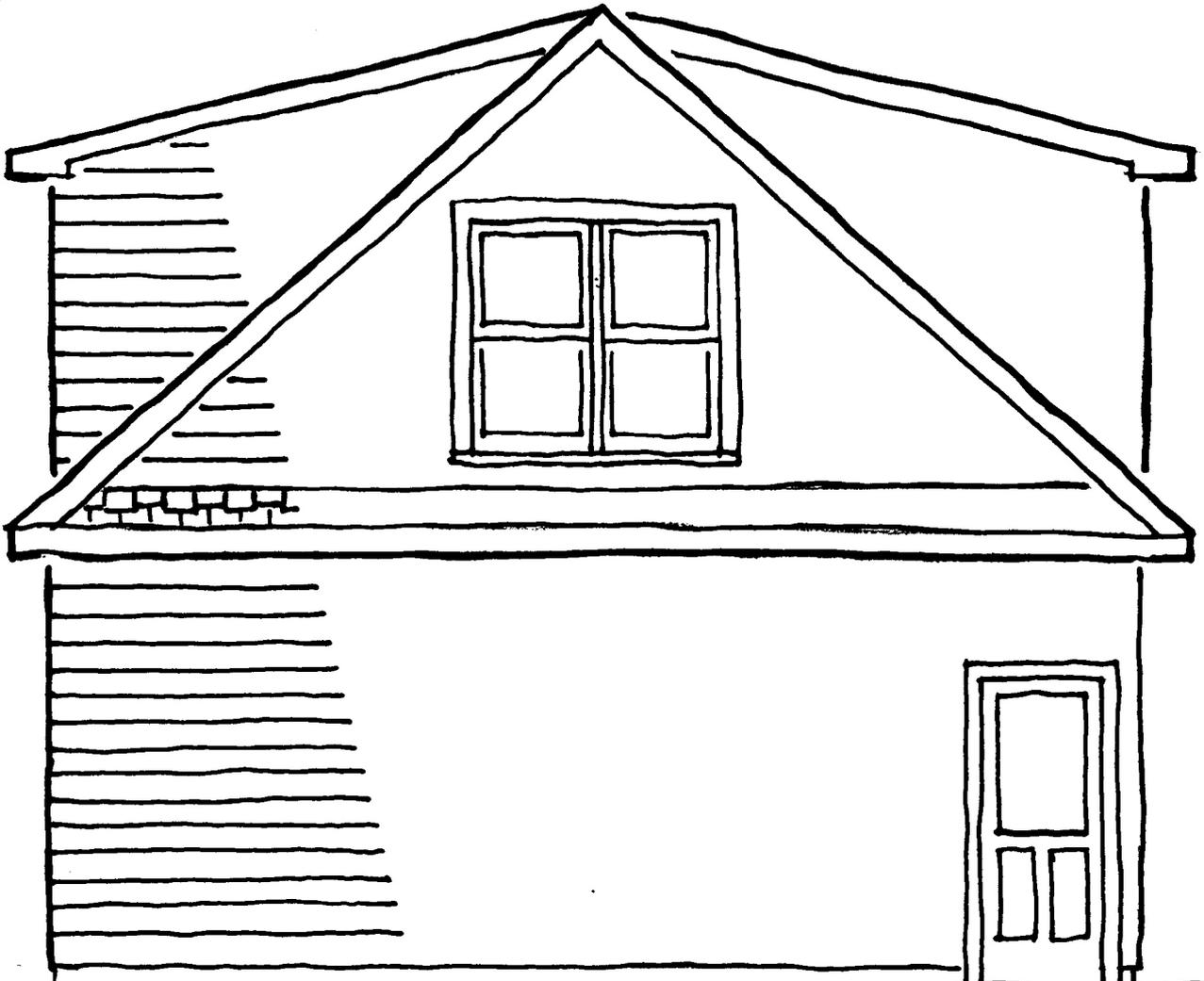
GRADE
BEYOND

6'-0"

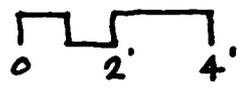
EAST



21'-9"
6'-0"



NORTH



514 Cole Street – Gupton Residence



We are seeking to build a detached garage on our property at 514 Cole Street, we built our home in 2016. Please find attached pictures of existing detached garages in our neighborhood. You will also find examples of homes in our neighborhood displaying the architectural features used in the design of the proposed garage. The plot plan for our lot is also attached, displaying the garage placement, topo of the lot and our suggestion of plantings on the right side of the garage foundation.

Photographs

Methodology

Conditions were photographically documented with a Canon EOS Rebel T2i DSLR camera outfitted with a Canon EFS 18-55 mm zoom lens.



Photo 1. View of 2-story south facade of house adjacent to garage looking north



Photo 2. View of garage relative to house looking east





Photo 3. View of rear of 512 Cole Street from driveway at 514 Cole Street looking south

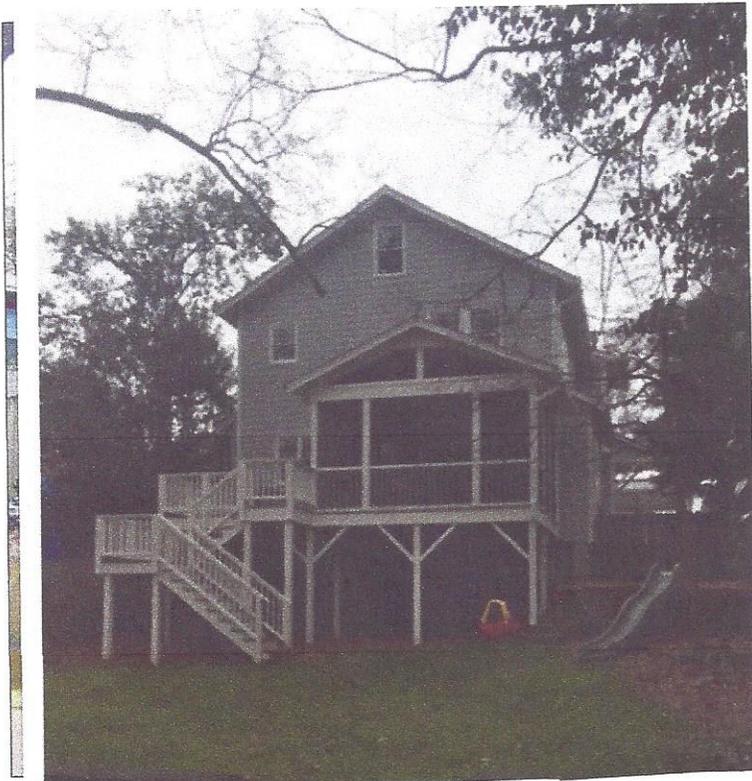


Photo 4. View of rear of 510 Cole Street from driveway at 514 Cole Street looking south

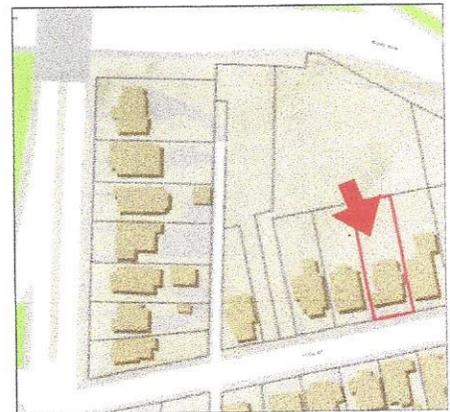




Photo 5. View of house and garage from Wade Ave.



Photo 6. Accessory building at rear of 1414 Glenwood looking southwest

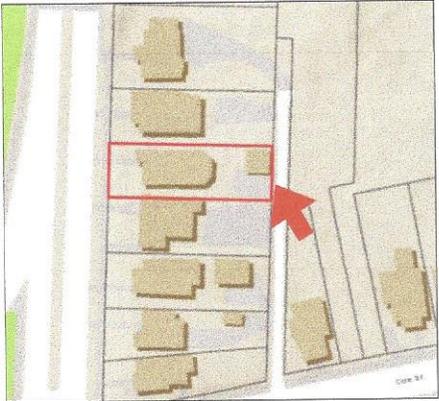




Photo 7. Accessory building at rear of 1410 Glenwood looking southwest



Photo 8. Accessory building at rear of 1410 Glenwood looking northwest





Photo 9. 1305 Filmore (rear of 510 Jefferson) looking northeast



Photo 10. 1305 Filmore (rear of 510 Jefferson) looking east

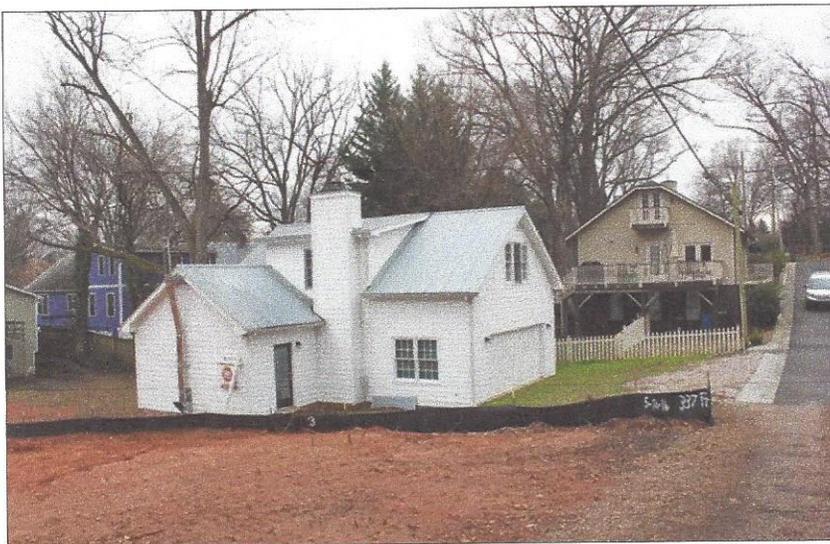


Photo 11. 1305 Filmore (rear of 510 Jefferson) looking southeast





Photo 12. Rear of 605 Adams looking southeast from alley

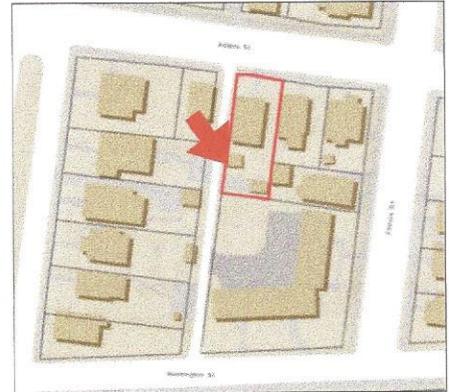


Photo 13. Rear of 605 Adams looking northeast from alley



(Note: this new structure is not shown on the IMAPS screenshots above; it replaces the two smaller accessory buildings illustrated)





Photo 14. Rear of 1108 Glenwood looking southwest

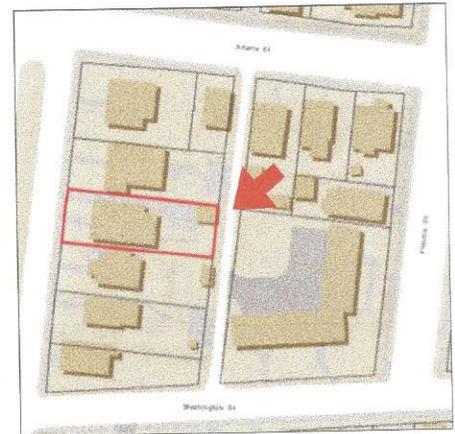
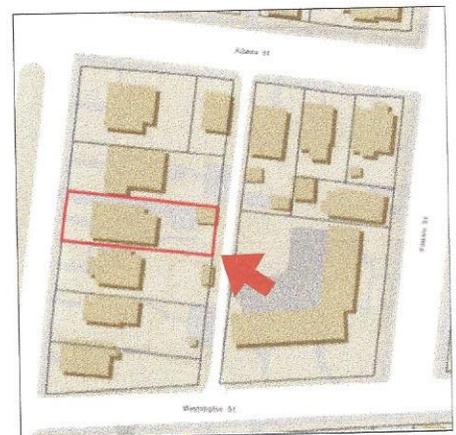


Photo 15. Rear of 1108 Glenwood looking west-northwest



(Note: this new structure is not shown on the IMAPS screenshots above; it replaces the smaller accessory building illustrated)





Photo 16. Rear of 708 Glenwood looking northwest

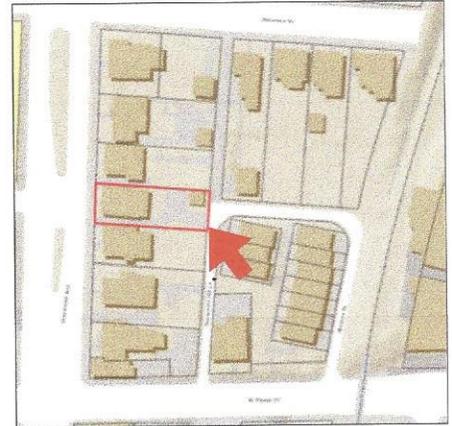


Photo 17. Rear of 708 Glenwood looking west



Photo 18. Rear of 708 Glenwood looking southwest



(Note: new structure is not shown on screenshots above; replaces the smaller accessory building illustrated)



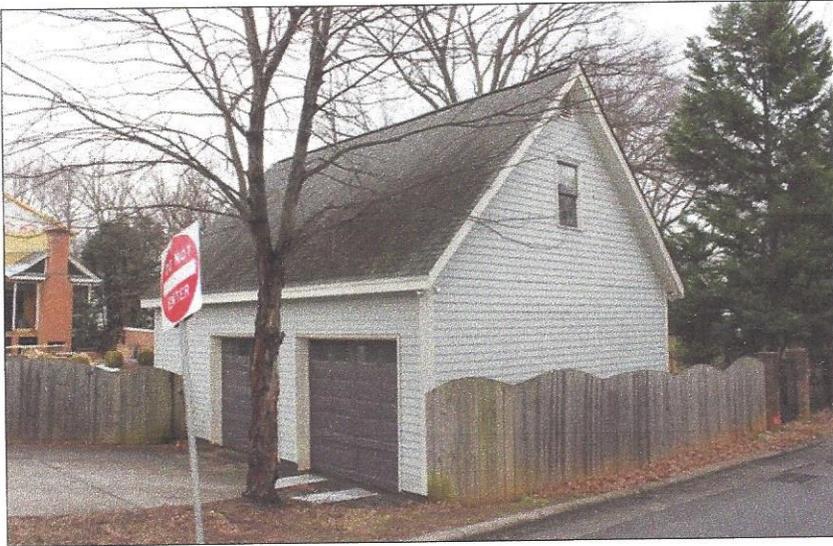


Photo 19. Rear of 507 Devereux looking northeast

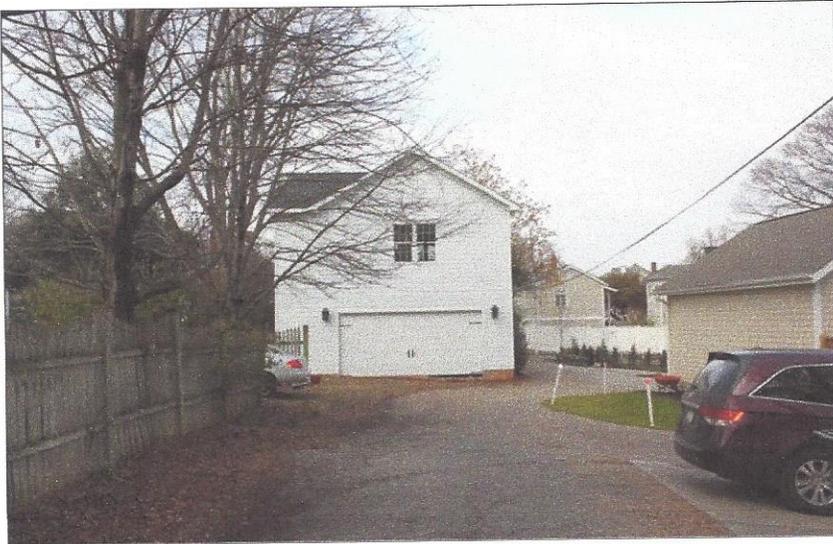
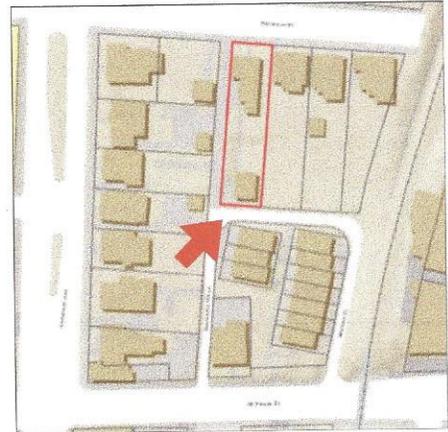


Photo 20. Rear of 613 Wills Forest looking north

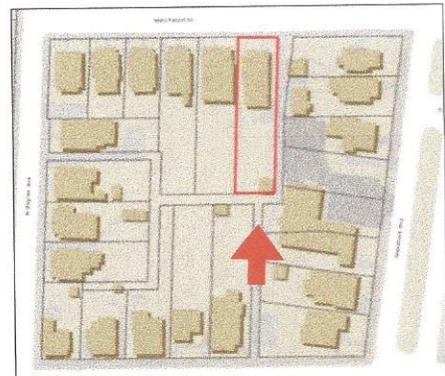
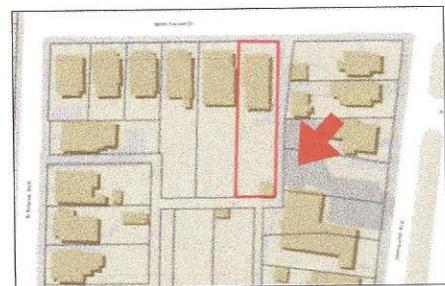


Photo 21. Rear of 613 Wills Forest looking southwest



(Note: new structure not shown on two screenshots above; replaces the smaller accessory building illustrated)





Photo 22. Rear of 811 Glenwood looking north

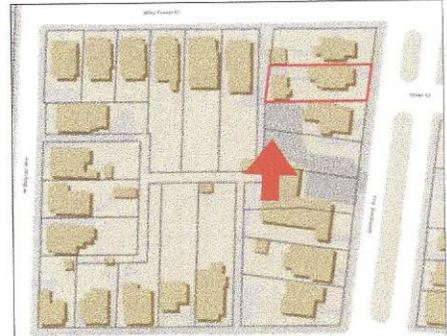
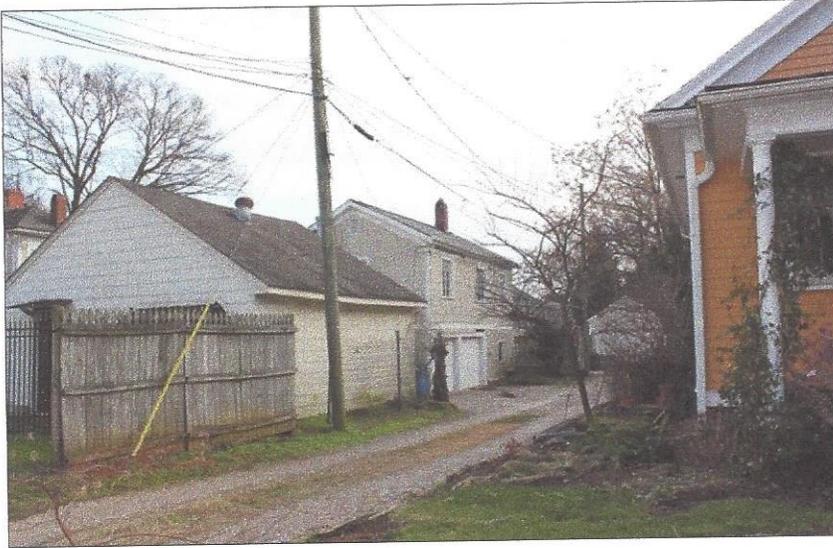
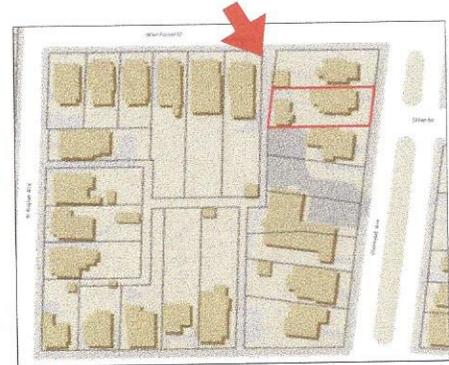


Photo 23. Rear of 811 Glenwood looking east-northeast

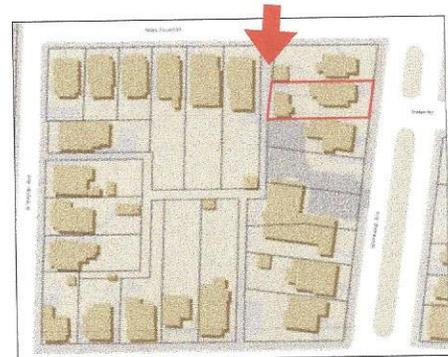




*Photo 24. Rear of 811 Glenwood
looking south-southeast*



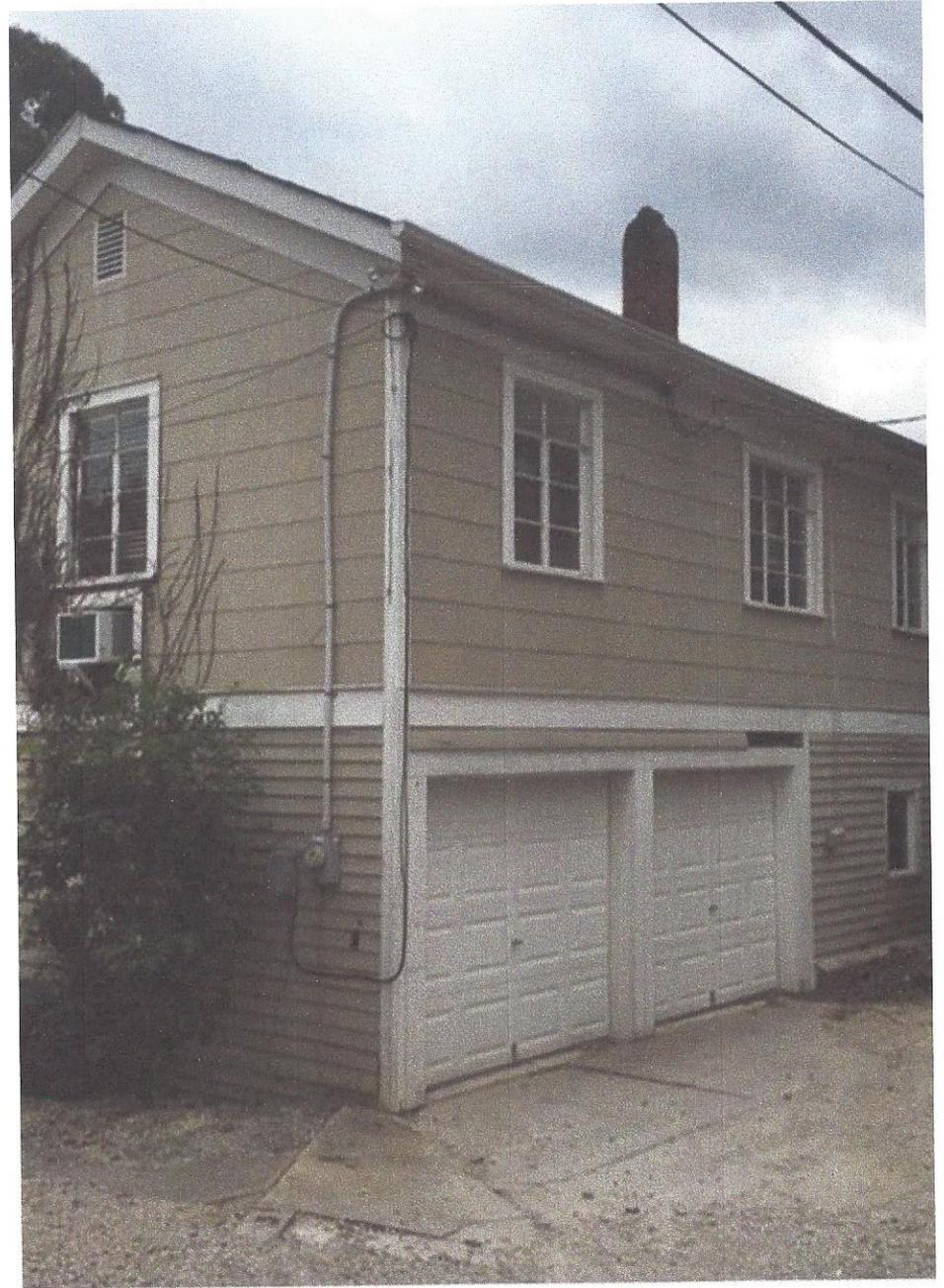
*Photo 25. Rear of 811 Glenwood
looking south*



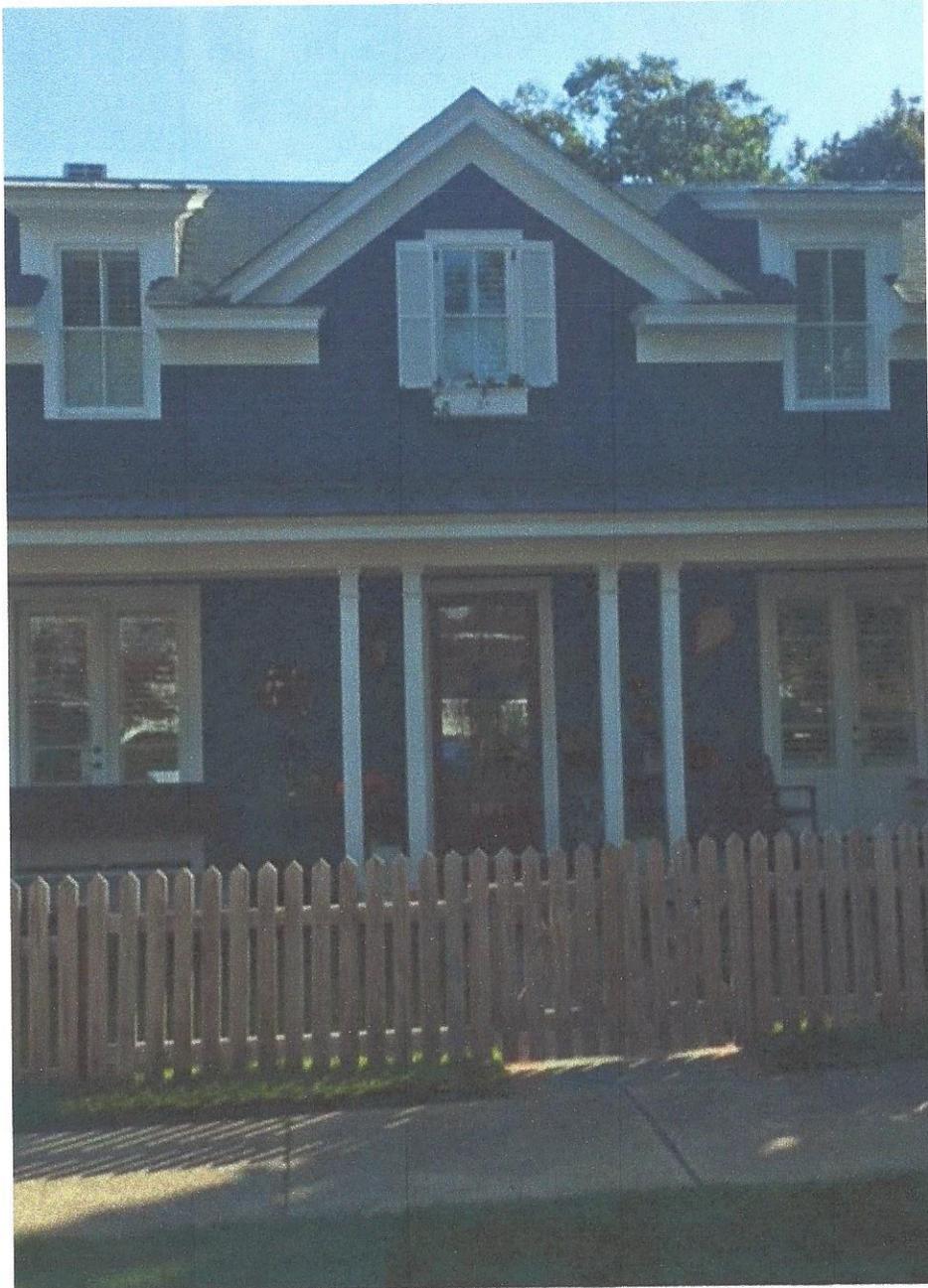
807 Glenwood Ave: Picture of detach garage



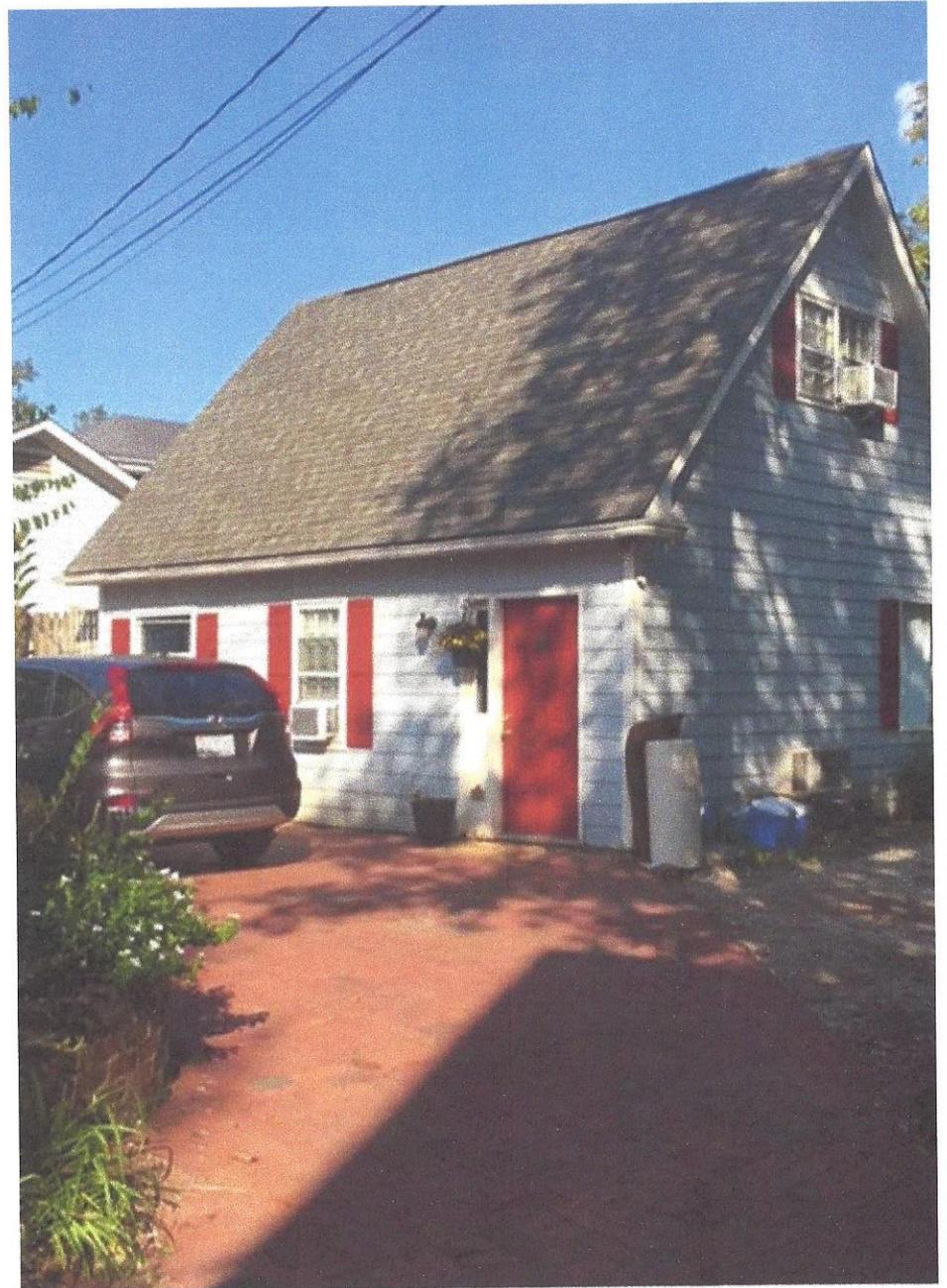
811 Glenwood Ave: Picture of detach garage



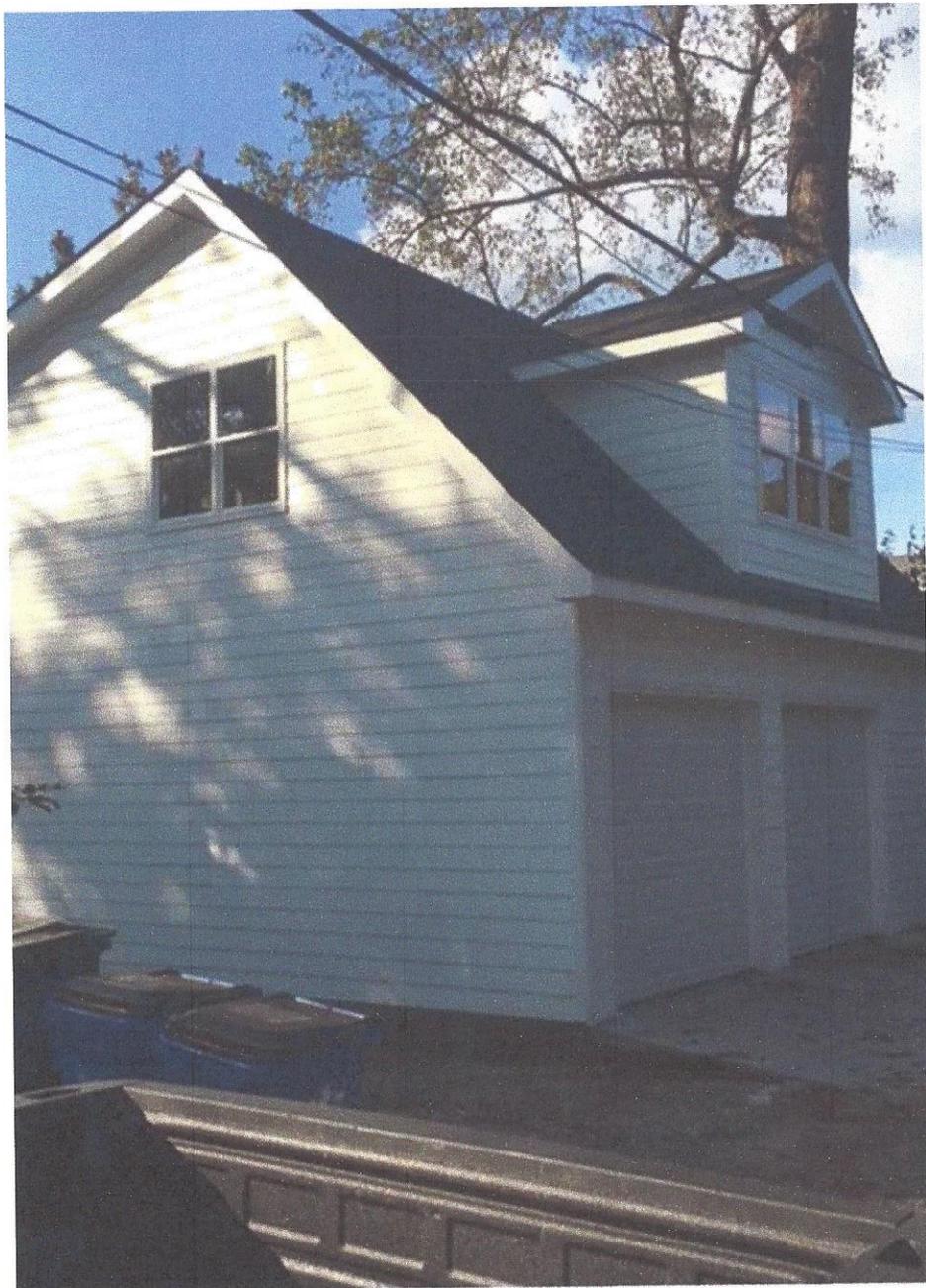
804 N Boylan Ave: Picture of house with shutters



1410 Glenwood Ave: Picture of detach structure with shutters



708 Glenwood Ave: Picture of detach garage



804 N Boylan Ave: Picture of detach garage



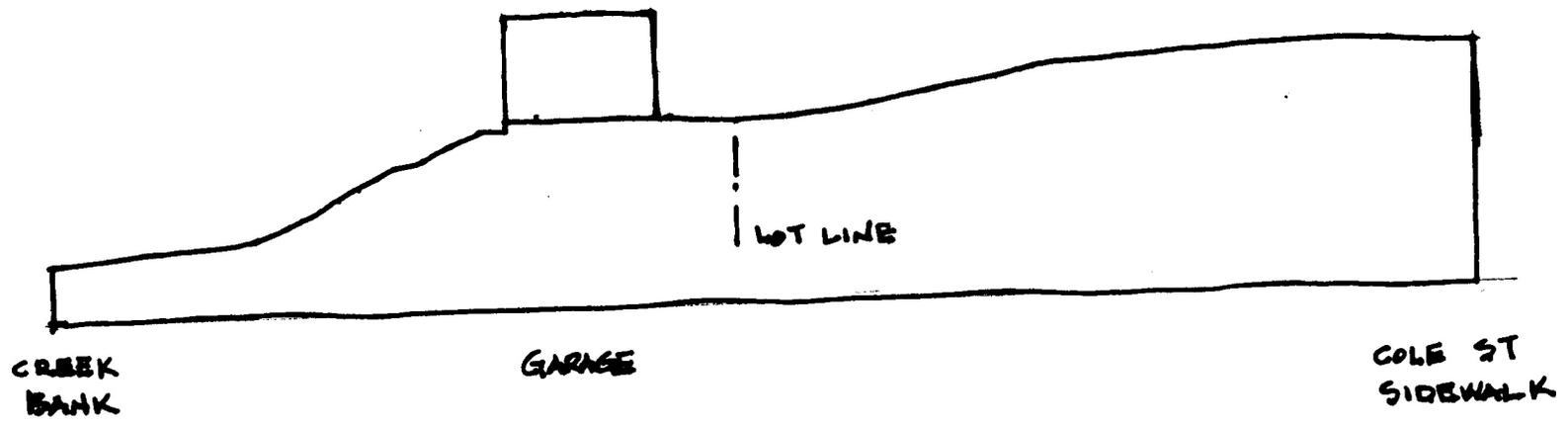
1306 Filmore St: Picture of house with shutters



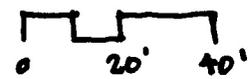
513 Cole St: Picture of house with shutters

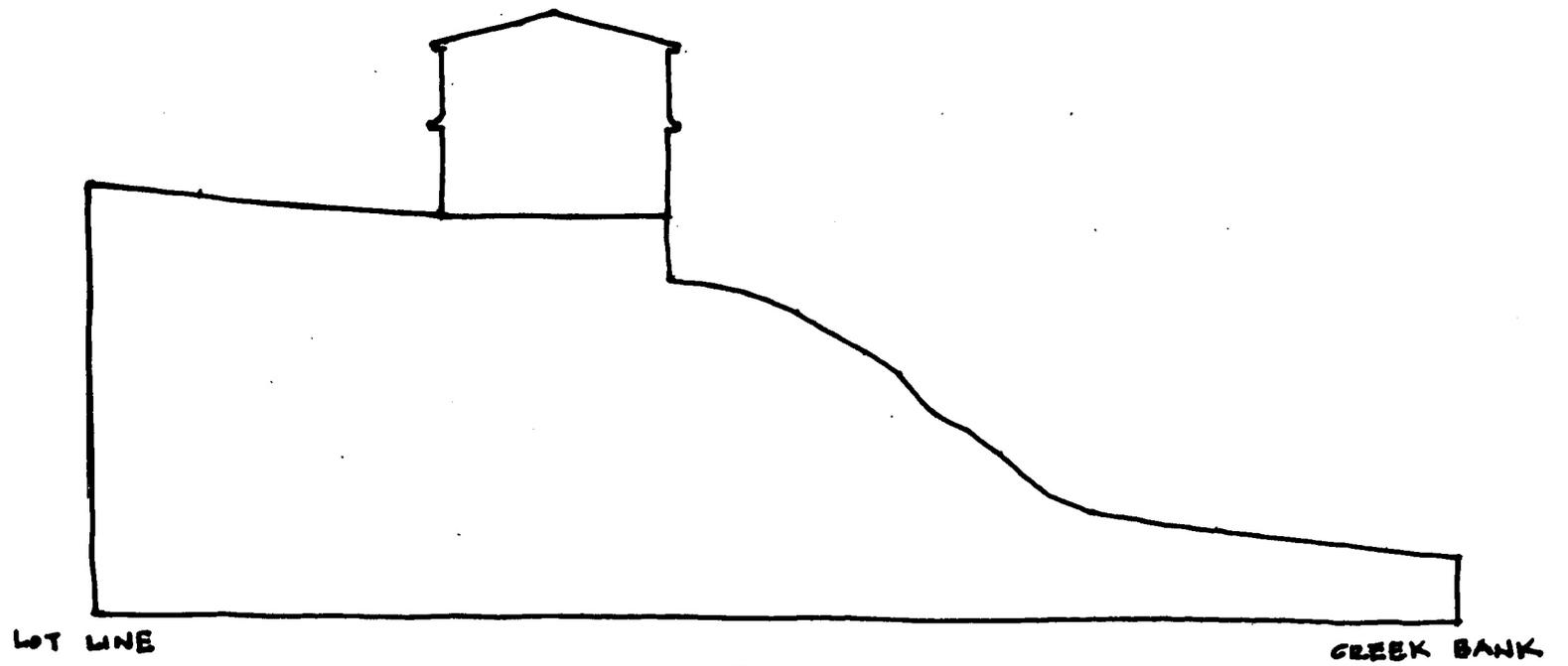






SECTION A-B



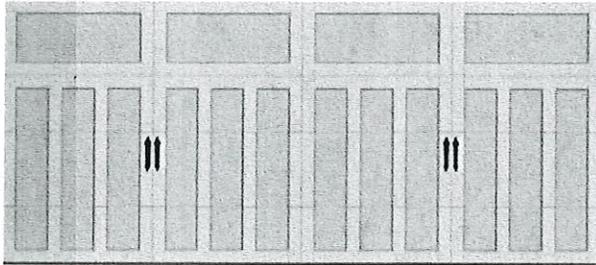


SECTION C-D



Description of project: Construct detach garage

Description of material: 6" fiber cement siding, Ply Gem 200 series primed interior & exterior double hung windows (SDL bar on front façade windows and clear glass on other windows), half lite 1-lite steel door, CertainTeed Landmark Lifetime Architectural shingles, Coachman CD13 garage door with hardware to appear like two doors (See Below)



COACHMAN CD13, SOLID TOP 11

Sullivan Surveying
1143 D Executive Circle
Cary, N.C. 27511
919-469-4738
919-469-8447-fax
sullivansurveying@yahoo.com

January 25, 2017

Re: 514 Cole Street Raleigh NC 27605

Corbett Gupton,

The elevation of the walk at the drive of 514 Cole Street is 6.82 higher than the centerline of the walk in front of 508 Cole Street. The finished floor of the house 514 Cole Street is 2.23 feet lower than the centerline of the walk in front of 508 Cole Street. The garage slab at 514 Cole Street is 7.23 feet below the centerline of the walk in front of 508 Cole Street.

As of measured January 25, 2017 by field observations.



Leonard H Sullivan Jr.

L-2821

From: Corbett Gupton
To: [Tully, Tania](mailto:Tully.Tania)
Subject: Fwd: Shed reposition and impact to trees
Date: Friday, March 02, 2018 3:20:06 PM

Hey Tania

Can I include this in the permit packet to cover the garage's effect on the mature trees closest to the proposed detach garage? Let me know. Thank you for your help!

Corbett Gupton
Gupton Built
Owner
919.291.5635
Corbett@guptionbuilt.com

Begin forwarded message:

From: Andrew Erdman <aerdman@Bartlett.com>
Date: March 2, 2018 at 2:51:25 PM EST
To: "corbett@guptionbuilt.com" <corbett@guptionbuilt.com>
Subject: **Shed reposition and impact to trees**

To whom it may concern,

I met with Mr. Corbett Gupton on Friday, March 2nd. Upon reviewing the plans to reposition the garage and noting the large mature trees in close proximity, I've come to conclude that there will be little to no impact to the trees. The distance from the main stem of both trees is adequate. Also, the trees are at a significantly lower grade than the resting spot of the garage. Even concrete footing would not disturb enough of the root zone to create an issue. There are a few steps that could be taken to aid in ensuring the trees maintain their health. First would be to put up tree protection fencing before construction begins. Second, I recommended severing the Ivy at the base of the tree to kill those vines. This would take a lot of unnecessary weight off the tree. Lastly, fertilization of the trees would benefit the root zone through the process. In my professional opinion, impact to the trees is possible, but not likely.

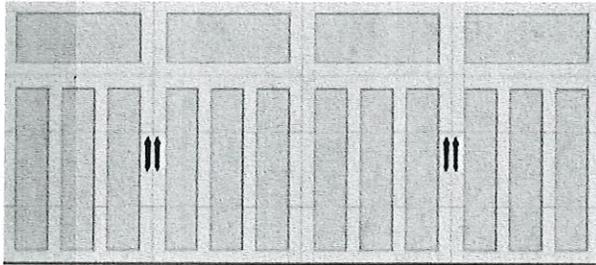
Thanks,

Andrew Erdman
Arborist Representative
I.S.A. Certified Arborist
Bartlett Tree Experts
5808 Triangle Drive, Raleigh, NC 27617
919-782-7803 O | 919-788-9147 F | www.bartlett.com

[Follow us on Facebook](#) 

Description of project: Construct detach garage

Description of material: 6" fiber cement siding, Ply Gem 200 series primed interior & exterior double hung windows (SDL bar on front façade windows and clear glass on other windows), half lite 1-lite steel door, CertainTeed Landmark Lifetime Architectural shingles, Coachman CD13 garage door with hardware to appear like two doors (See Below)



COACHMAN CD13, SOLID TOP 11