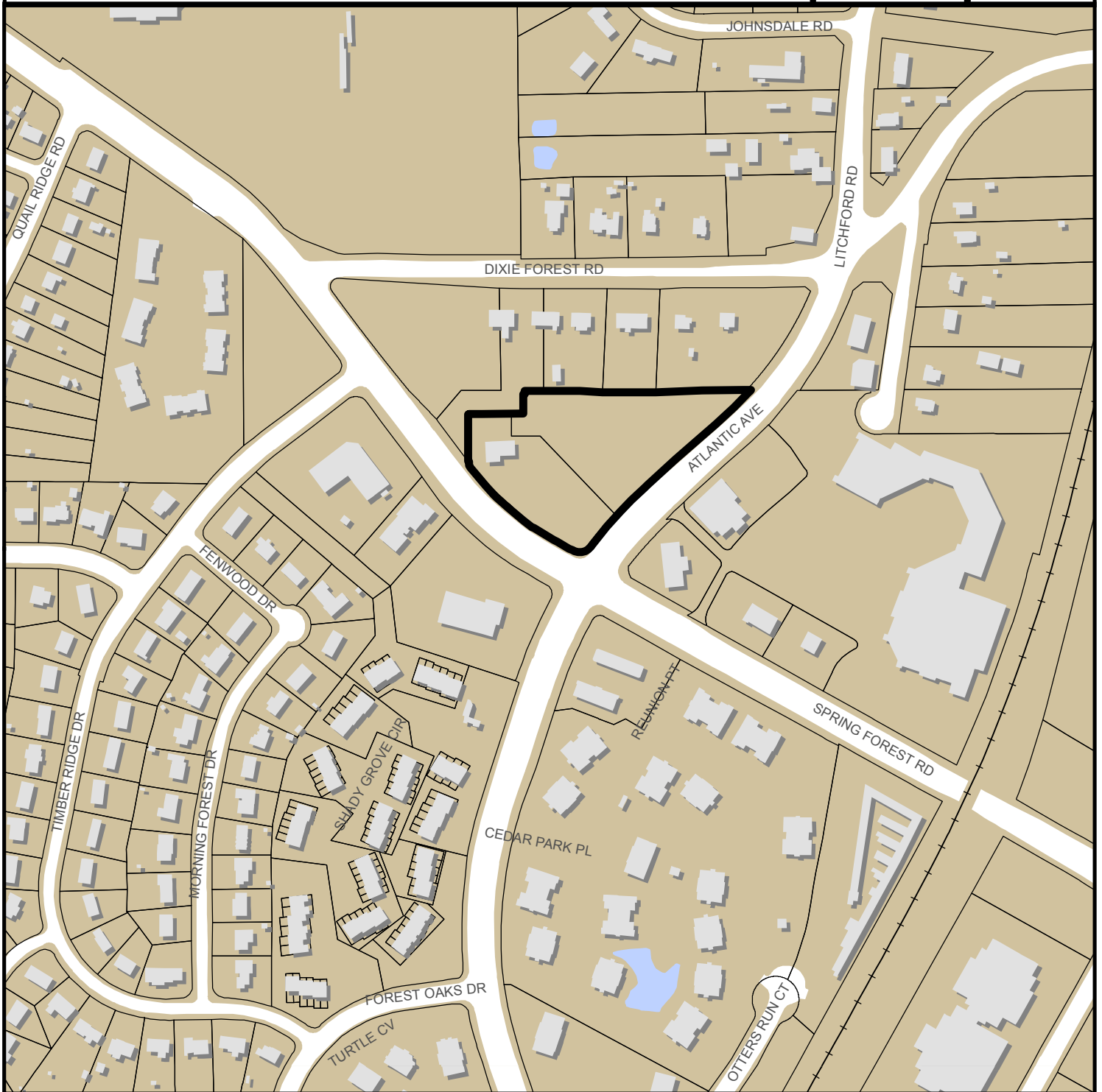


# ATLANTIC PLAZA SR-26-2018



0 300 600 Feet

Zoning: **CX-3-CU**

CAC: **North**

Drainage Basin: **Marsh Creek**

Acreage: **1.28**

Sq. Ft.: **14,775**

Planner: **Michael Walters**

Phone: **(919) 996-2636**

Applicant: **MPHK Capital LLC**

Phone: **(919) 612-6626**



SP-26-18

# Administrative Site Review Application (for UDO Districts only)




**DEVELOPMENT  
SERVICES  
DEPARTMENT**

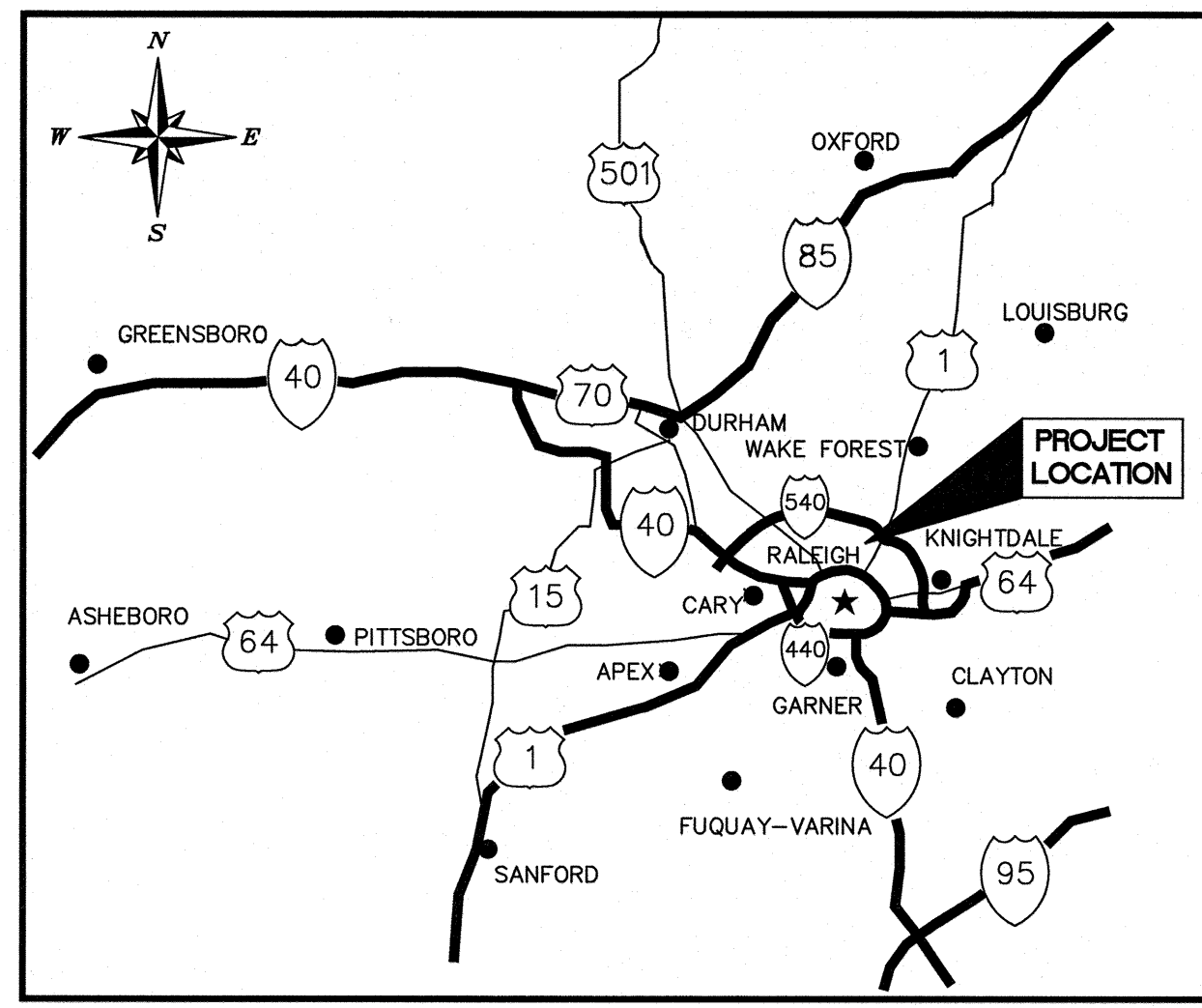
Development Services Customer Service Center | 1 Exchange Plaza, Suite 400 | Raleigh, NC 27601 | 919-996-2495 | cfax 919-996-1831  
Litchford Satellite Office | 8320 - 130 Litchford Road | Raleigh, NC 27601 | 919-996-4200

When submitting plans, please check the appropriate building type and include the Plan Checklist document.

<b>BUILDING TYPE</b>		<b>FOR OFFICE USE ONLY</b>	
<input type="checkbox"/> Detached <input type="checkbox"/> Attached <input type="checkbox"/> Apartment <input type="checkbox"/> Townhouse	<input type="checkbox"/> General <input type="checkbox"/> Mixed Use <input type="checkbox"/> Open Lot	Transaction Number <b>548257</b> Assigned Project Coordinator  Assigned Team Leader <i>M. Walters</i>	
Has your project previously been through the Due Diligence or Sketch Plan Review process? If yes, provide the transaction #			
<b>GENERAL INFORMATION</b>			
Development Name <b>Atlantic Plaza</b>			
Zoning District <b>CX-3-CU</b>	Overlay District (if applicable)	Inside City Limits? <input checked="" type="checkbox"/> Yes <input type="checkbox"/> No	
Proposed Use <b>Commercial Retail</b>			
Property Address(es) <b>2309 Spring Forest, 5621 Atlantic Ave</b>		Major Street Locator: <b>Spring Forest &amp; Atlantic</b>	
Wake County Property Identification Number(s) for each parcel to which these guidelines will apply:			
P.I.N. <b>1716882877</b>	P.I.N. <b>1716884968</b>	P.I.N.	P.I.N.
What is your project type? <input type="checkbox"/> Apartment <input type="checkbox"/> Elderly Facilities <input type="checkbox"/> Hospitals <input type="checkbox"/> Hotels/Motels <input type="checkbox"/> Office <input type="checkbox"/> Mixed Residential <input type="checkbox"/> Non-Residential Condo <input type="checkbox"/> School <input type="checkbox"/> Shopping Center <input type="checkbox"/> Banks <input type="checkbox"/> Industrial Building <input type="checkbox"/> Duplex <input type="checkbox"/> Telecommunication Tower <input type="checkbox"/> Religious Institutions <input type="checkbox"/> Residential Condo <input checked="" type="checkbox"/> Retail <input type="checkbox"/> Cottage Court <input type="checkbox"/> Other: If other, please describe: _____			
<b>WORK SCOPE</b>	Per City Code Section 10.2.8.D.1, summarize the project work scope. For additions, changes of use, or occupancy (per Chapter 6 of the UDO), indicate impacts on parking requirements. <b>3 proposed commercial retail buildings with associated parking and infrastructure</b>		
<b>DESIGN ADJUSTMENT OR ADMIN ALTERNATE</b>	Per City Code Chapter 8, summarize if your project requires either a design adjustment, or Section 10 - Alternate Administrative AE <b>Design adjustment for Corner Build-To</b>		
<b>CLIENT/DEVELOPER/OWNER</b>	Company <b>MPHK Capital, LLC</b>		Name (s) <b>Mark Pantlin</b>
	Address <b>8615 Macedonia Lake Drive, Cary, NC 27518</b>		
	Phone <b>919-612-6626</b>	Email <b>pgadevelopment@yahoo.com</b>	Fax
<b>CONSULTANT (Contact Person for Plans)</b>	Company <b>Kimley-Horn</b>		Name (s) <b>Chris Bostic</b>
	Address <b>421 Fayetteville Street, Suite 600, Raleigh 27601</b>		
	Phone <b>919-653-2927</b>	Email <b>chris.bostic@kimley-horn.com</b>	Fax

DEVELOPMENT TYPE & SITE DATA TABLE (Applicable to all developments)	
Zoning Information	Building Information
Zoning District(s) <b>CX-3-CU</b>	Proposed building use(s) <b>Retail, restaurant</b>
If more than one district, provide the acreage of each:	Existing Building(s) sq. ft. gross <b>8,100</b>
Overlay District	Proposed Building(s) sq. ft. gross <b>14,775</b>
Total Site Acres    Inside City Limits <input checked="" type="checkbox"/> Yes <input type="checkbox"/> No	Total sq. ft. gross (existing & proposed) <b>14,775</b>
Off street parking: Required <b>60</b> Provided <b>80</b>	Proposed height of building(s) <b>25 ft</b>
COA (Certificate of Appropriateness) case #	# of stories
BOA (Board of Adjustment) case # A-	Ceiling height of 1 <sup>st</sup> Floor <b>25 ft</b>
CUD (Conditional Use District) case # Z- <b>15-15</b>	
Stormwater Information	
Existing Impervious Surface <b>0.635</b> acres/square feet	Flood Hazard Area <input type="checkbox"/> Yes <input checked="" type="checkbox"/> No
Proposed Impervious Surface <b>2.27</b> acres/square feet	If Yes, please provide:
Neuse River Buffer <input type="checkbox"/> Yes <input checked="" type="checkbox"/> No                      Wetlands <input type="checkbox"/> Yes <input checked="" type="checkbox"/> No	Alluvial Soils                      Flood Study FEMA Map Panel #
FOR RESIDENTIAL DEVELOPMENTS	
1. Total # Of Apartment, Condominium or Residential Units	5. Bedroom Units: 1br    2br    3br    4br or more
2. Total # Of Congregate Care Or Life Care Dwelling Units	6. Infill Development 2.2.7
3. Total Number of Hotel Units	7. Open Space (only) or Amenity
4. Overall Total # Of Dwelling Units (1-6 Above)	8. Is your project a cottage court? <input type="checkbox"/> Yes <input type="checkbox"/> No
SIGNATURE BLOCK (Applicable to all developments)	
<p>In filing this plan as the property owner(s), I/we do hereby agree and firmly bind ourselves, my/our heirs, executors, administrators, successors and assigns jointly and severally to construct all improvements and make all dedications as shown on this proposed development plan as approved by the City.</p> <p>I hereby designate <u>Kimley-Horn and Associates, Inc.</u> to serve as my agent regarding this application, to receive and respond to administrative comments, to resubmit plans on my behalf and to represent me in any public meeting regarding this application.</p> <p>I/we have read, acknowledge and affirm that this project is conforming to all application requirements applicable with the proposed development use.</p> <p>Signed <u></u> Date <u>3/21/18</u></p> <p>Printed Name <u>MARK PANTLIN</u></p> <p>Signed _____ Date _____</p> <p>Printed Name _____</p>	

Plotted By: Carter, Tim Sheet: Set: ATLANTIC PLAZA Layout: C.O.D. COVER SHEET March 15, 2018 09:10:09am K:\RD\LD\BEVA\07207002-springforest\15-000 files\plan sheets\Biscuitville Plan Sheets\COD COVER SHEET.dwg  
 This document contains confidential information and is intended for the specific purpose and client for which it was prepared. Reuse of and improper reliance on this document without written authorization and adaptation by Kimley-Horn and Associates, Inc. shall be without liability to Kimley-Horn and Associates, Inc.



**PROJECT LOCATION**  
NTS

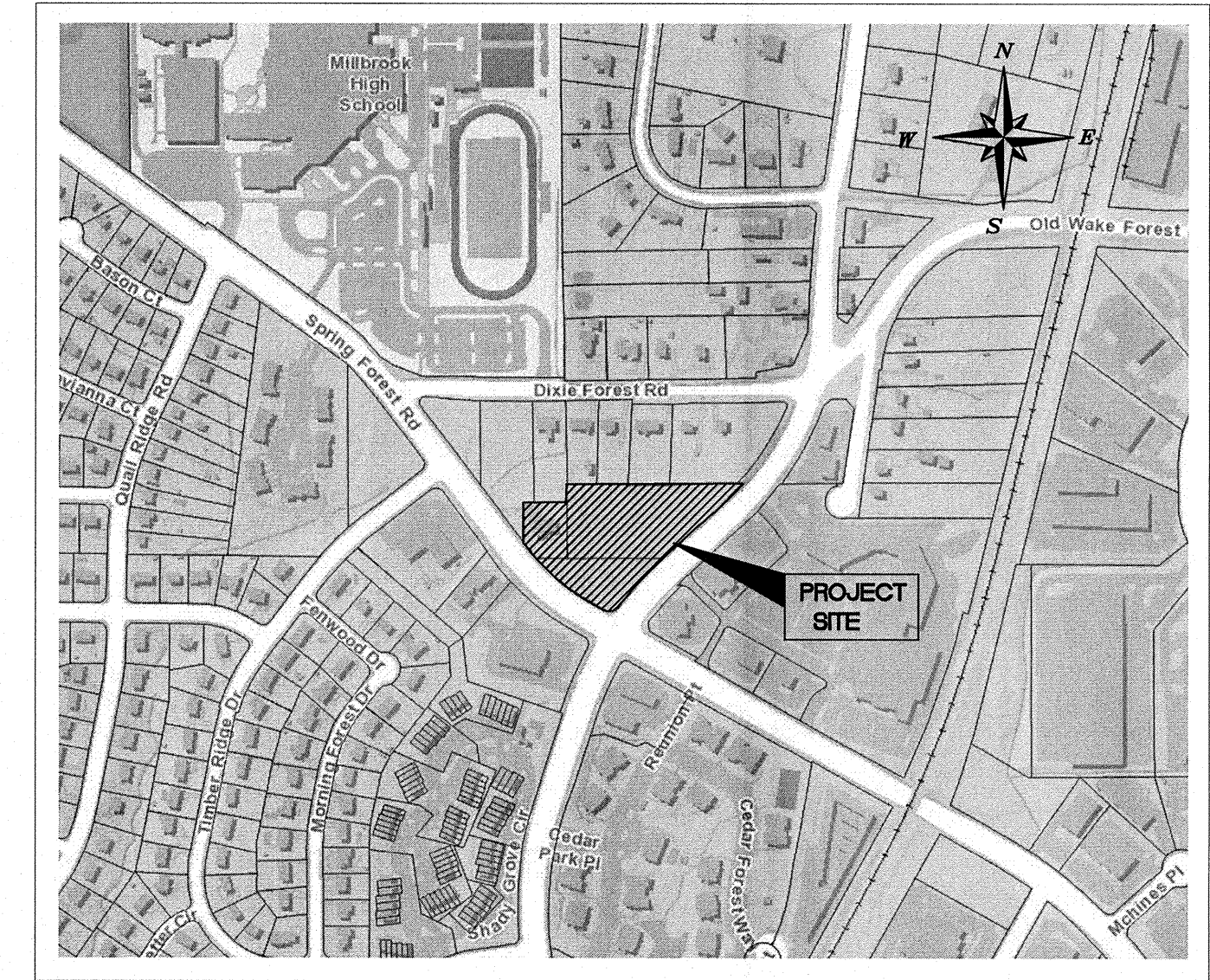
REVISED PRELIMINARY SITE PLAN SUBMITTAL FOR:

SR-29-16  
TRANS# 471418

# ATLANTIC PLAZA

5621 ATLANTIC AVE.  
2309 SPRING FOREST RD.  
RALEIGH, NORTH CAROLINA 27615  
A DEVELOPMENT BY: MPHK CAPITAL, LLC

8615 MACEDONIA LAKE DRIVE  
CARY, NORTH CAROLINA 27518  
PHONE: (919) 612-6626



VICINITY MAP

SCALE: 1" = 500'

**REZONING CONDITIONS CASE 7-15-2015:**

- DEVELOPMENT ON THE PROPERTY SHALL BE LIMITED TO A MAXIMUM OF 14,900 SQUARE FEET GROSS FLOOR AREA OF COMMERCIAL AND INDUSTRIAL LAND USES, AS THOSE PRINCIPAL USES ARE SET FORTH IN TABLE 6.1.4 "ALLOWED PRINCIPAL USE TABLE", AND AS SUBJECT TO THE LIST OF PROHIBITED USES IN CONDITION 4 OF THIS ZONING ORDINANCE. NO OTHER USES SHALL BE PERMITTED ON THE REZONED LAND. PRIOR TO RECORDATION OF A SUBDIVISION PLAT OR THE ISSUANCE OF A BUILDING PERMIT, WHICHEVER SHALL FIRST OCCUR, THE OWNER OF THE PROPERTY SHALL CAUSE TO BE RECORDED IN THE WAKE COUNTY REGISTRY A RESTRICTIVE COVENANT THAT ALLOCATES AMONG THE LOTS OF RECORD COMPRISING THE PROPERTY THE COMMERCIAL LAND USE FLOOR AREA PERMITTED BY THIS REZONING ORDINANCE. SUCH RESTRICTIVE COVENANT SHALL BE APPROVED BY THE CITY ATTORNEY OR HIS DESIGNEE PRIOR TO RECORDATION OF THE RESTRICTIVE COVENANT. SUCH RESTRICTIVE COVENANT SHALL PROVIDE THAT IT MAY BE AMENDED OR TERMINATED ONLY WITH THE PRIOR WRITTEN CONSENT OF THE CITY ATTORNEY OR HIS DESIGNEE.
- PRIOR TO RECORDATION OF A SUBDIVISION PLAT OR ISSUANCE OF A BUILDING PERMIT FOR NEW DEVELOPMENT, TWO TRANSIT EASEMENTS SHALL BE DEEDED TO THE CITY AND RECORDED IN THE WAKE COUNTY REGISTRY - ONE ALONG SPRING FOREST ROAD AND ONE ALONG ATLANTIC AVENUE. PRIOR TO RECORDATION OF EACH TRANSIT EASEMENT, THE DIMENSIONS (NOT TO EXCEED 15 FEET IN DEPTH OR 20 FEET IN WIDTH) AND LOCATION OF EACH EASEMENT SHALL BE APPROVED BY THE PUBLIC WORKS DEPARTMENT AND EACH EASEMENT DOCUMENT APPROVED BY THE CITY ATTORNEY'S OFFICE. IF, PRIOR TO ISSUANCE OF THE FIRST BUILDING PERMIT FOR NEW DEVELOPMENT, THE PUBLIC WORKS DEPARTMENT REQUESTS INSTALLATION OF A SHELTER WITHIN ONE OR BOTH OF THE TRANSIT EASEMENT AREAS, AN ADA ACCESSIBLE SHELTER SHALL BE CONSTRUCTED PRIOR TO THE FIRST CERTIFICATE OF OCCUPANCY, WITH CONSTRUCTION PLANS APPROVED BY THE PUBLIC WORKS DEPARTMENT.
- DEVELOPMENT ON THE PROPERTY SHALL COMPLY WITH THE PARKING LIMITED FRONTAGE STANDARDS SET FORTH IN UDO SECTION 3.4.5 AND ANY ALLOWABLE ADMINISTRATIVE ALTERNATES.
- THE FOLLOWING COMMERCIAL AND INDUSTRIAL LAND USES, AS SET FORTH IN TABLE 6.1.4 "ALLOWED PRINCIPAL USE TABLE", ARE PROHIBITED: ADULT ESTABLISHMENT; OUTDOOR RECREATION - ALL TYPES; OVERNIGHT LODGING; HELIPORT - ALL TYPES; BAR, NIGHTCLUB, Tavern, LOUNGE; PANINOS; FUEL SALES; VEHICLE SALES AND RENTAL; VEHICLE REPAIR (MAJOR); DETENTION, JAIL, PRISON; LIGHT MANUFACTURING - ALL TYPES; RESEARCH AND DEVELOPMENT - ALL TYPES.
- LOW PROFILE GROUND SIGNS AND MEDIUM PROFILE GROUND SIGNS ARE PERMITTED. THE MAXIMUM SIZE OF A MEDIUM PROFILE GROUND SIGN IS 7 FEET IN HEIGHT AND 85 SQUARE FEET IN AREA. HIGH PROFILE GROUND SIGNS ARE PROHIBITED.

**SURVEY NOTE:**

EXISTING INFORMATION TAKEN FROM A BOUNDARY AND TOPOGRAPHIC SURVEY PROVIDED BY CHANDLER LAND SURVEYING AND DATED FEBRUARY 29, 2016.

OFF-SITE EXISTING INFORMATION TAKEN FROM PROPOSED DEVELOPERS PLANS BY OTHERS.

ALL CONSTRUCTION TO BE IN ACCORDANCE WITH ALL CITY OF RALEIGH AND/OR NCDOT STANDARDS AND SPECIFICATIONS.

**PROJECT OWNER AND CONSULTANT**

**SITE DEVELOPER:**  
MPHK CAPITAL, LLC  
8615 MACEDONIA LAKE DRIVE  
CARY, NORTH CAROLINA 27518  
PHONE: (919) 612-6626  
ATTN: MARK PANTLIN

**CIVIL ENGINEER:**  
KIMLEY-HORN AND ASSOCIATES, INC.  
421 FAYETTEVILLE ST., SUITE 600  
RALEIGH, NORTH CAROLINA 27601  
PHONE: (919) 653-2927  
ATTN: CHRIS BOSTIC, P.E.  
chris.bostic@kimley-horn.com

**LANDSCAPE ARCHITECT:**  
KIMLEY-HORN AND ASSOCIATES, INC.  
421 FAYETTEVILLE ST., SUITE 600  
RALEIGH, NORTH CAROLINA 27601  
PHONE: (919) 653-2976  
ATTN: RICHARD BROWN, PLA  
richard.brown@kimley-horn.com

**SURVEYOR:**  
CHANDLER LAND SURVEYING,  
309 SOUTH FUQUAY AVENUE  
FUQUAY-VARINA, NC 27526  
PHONE: (919) 291-9163  
ATTN: JOHN CHANDLER, PLS

**Administrative Site Review Application  
(for UDO Districts only)**



**DEVELOPMENT SERVICES DEPARTMENT**

Development Services Customer Service Center | 1 Exchange Plaza, Suite 400 | Raleigh, NC 27601 | 919-996-3495 | fax 919-996-1831  
Litchford Satellite Office | 8320 - 130 Litchford Road | Raleigh, NC 27601 | 919-996-4200

When submitting plans, please check the appropriate building type and include the Plan Checklist document.

BUILDING TYPE	FOR OFFICE USE ONLY
<input type="checkbox"/> Detached <input type="checkbox"/> Attached <input type="checkbox"/> Apartment <input type="checkbox"/> Townhouse	<input checked="" type="checkbox"/> General <input type="checkbox"/> Mixed Use <input type="checkbox"/> Open Lot
	Transaction Number Assigned Project Coordinator Assigned Team Leader

Has your project previously been through the Due Diligence process? If yes, provide the transaction # 464003

**GENERAL INFORMATION**

Development Name: **Atlantic Plaza**  
Zoning District: **CX-3-CU**  
Proposed Use: **Commercial Retail**  
Property Address(es): **5621 Atlantic Avenue, 2339 & 2309 Spring Forest Road**  
Wake County Property Identification Number(s) for each parcel to which these guidelines will apply:

P.I.N. Recorded Deed	P.I.N. Recorded Deed	P.I.N. Recorded Deed	P.I.N. Recorded Deed
1716-88-2877	1716-88-4968	-	-

What is your project type?  
 Mixed Residential  
 Single Family  
 Cottage Court  
 Apartment  
 Non-Residential Condo  
 Telecommunication Tower  
 Industrial Building  
 Elderly Facilities  
 School  
 Religious Institutions  
 Other: if other, please describe:  
 Hospitals  
 Shopping Center  
 Residential Condo  
 Retail  
 Hotels/Motels  
 Office  
 Townhouse  
 Banks

**WORK SCOPE**  
Per City Code Section 10.2.8.D.1, summarize the project work scope.  
3 proposed commercial retail buildings with associated parking and infrastructure

**DESIGN ADJUSTMENT OR ADMIN ALTERNATE**  
Per City Code Chapter 5, summarize if your project requires either a design adjustment, or Section 10 - Alternate Administrative AE

CLIENT/DEVELOPER/OWNER	Company	Name (s)
	MPHK Capital, LLC	Mark Pantlin
CONSULTANT (Contact Person for Plans)	Company	Name (s)
	Kimley-Horn and Associates, Inc.	Chris Bostic, P.E.

Phone (919) 653-2927 Email chris.bostic@kimley-horn.com Fax

**DEVELOPMENT TYPE & SITE DATA TABLE (Applicable to all developments)**

Zoning Information	Building Information
Zoning District(s) CX-3-CU	Proposed building use(s) Retail, Restaurant, Vehicle Repair
If more than one district, provide the acreage of each:	Existing Building(s) sq. ft. gross 2,260
Overlay District N/A	Proposed Building(s) sq. ft. gross 14,775
Total Site Acres Inside City Limits <input checked="" type="checkbox"/> Yes <input type="checkbox"/> No	Total sq. ft. gross (existing & proposed) 14,775
Off street parking: Required 60 Provided 80	Proposed height of building(s) 23 ft Stories
COA (Certificate of Appropriateness) case #	FAR (floor area ratio percentage) .099
BOA (Board of Adjustment) case # A-	Building Lot Coverage percentage: (site plans only) 9.9%
CUJ (Conditional Use District) case # 2-15-15	Height of 1 <sup>st</sup> Floor 25 ft.
Stormwater Information	
Existing Impervious Surface 0.635 <input checked="" type="checkbox"/> square feet	Flood Hazard Area <input type="checkbox"/> Yes <input checked="" type="checkbox"/> No
Proposed Impervious Surface 2.27 <input checked="" type="checkbox"/> square feet	If Yes, please provide: Alluvial Soils: NO Flood Study: N/A FEMA Map Panel # 3720171600J
Neuse River Buffer <input type="checkbox"/> Yes <input checked="" type="checkbox"/> No	Wetlands <input type="checkbox"/> Yes <input checked="" type="checkbox"/> No
FOR RESIDENTIAL DEVELOPMENTS	
1. Total # Of Apartment, Condominium or Residential Units	5. Bedroom Units: 1br 2br 3br 4br or more
2. Total # Of Congregate Care Or Life Care Dwelling Units	6. Infill Development 2.2.7
3. Total Number of Hotel Units	7. Open Space (only) or Amenity
4. Overall Total # Of Dwelling Units (1-6 Above)	8. Is your project a cluster unit development? <input type="checkbox"/> Yes <input checked="" type="checkbox"/> No
SIGNATURE BLOCK (Applicable to all developments)	
In filing this plan as the property owner(s), I/we do hereby agree and firmly bind ourselves, my/our heirs, executors, administrators, successors and assigns jointly and severally to construct all improvements and make all dedications as shown on this proposed development plan as approved by the City.	
I hereby designate Kimley-Horn & Associates, Inc. to serve as my agent regarding this application, to receive and respond to administrative comments, to resubmit plans on my behalf and to represent me in any public meeting regarding this application.	
I/we have read, acknowledge and affirm that this project is conforming to all application requirements applicable with the proposed development use.	
Signed <i>Mark Pantlin</i>	Date 4/28/16
Signed _____	Date _____

FOR RESIDENTIAL DEVELOPMENTS	
1. Total # Of Apartment, Condominium or Residential Units	5. Bedroom Units: 1br 2br 3br 4br or more
2. Total # Of Congregate Care Or Life Care Dwelling Units	6. Infill Development 2.2.7
3. Total Number of Hotel Units	7. Open Space (only) or Amenity
4. Overall Total # Of Dwelling Units (1-6 Above)	8. Is your project a cluster unit development? <input type="checkbox"/> Yes <input checked="" type="checkbox"/> No

**SIGNATURE BLOCK (Applicable to all developments)**

In filing this plan as the property owner(s), I/we do hereby agree and firmly bind ourselves, my/our heirs, executors, administrators, successors and assigns jointly and severally to construct all improvements and make all dedications as shown on this proposed development plan as approved by the City.

I hereby designate Kimley-Horn & Associates, Inc. to serve as my agent regarding this application, to receive and respond to administrative comments, to resubmit plans on my behalf and to represent me in any public meeting regarding this application.

I/we have read, acknowledge and affirm that this project is conforming to all application requirements applicable with the proposed development use.

Signed *Mark Pantlin* Date 4/28/16

Signed \_\_\_\_\_ Date \_\_\_\_\_

**SOLID WASTE INSPECTIONS STATEMENT:**  
THIS PLAN COMPLIES WITH SOLID WASTE DESIGN MANUAL TRASH SERVICE BY PRIVATE HAULER.

WITHIN THE SIGHT TRIANGLES SHOWN ON THIS PLAN, NO OBSTRUCTION BETWEEN TWO (2) FEET AND EIGHT (8) FEET IN HEIGHT ABOVE THE CURB LINE ELEVATION OR THE NEAREST TRAVELED WAY, IF NO CURBING EXISTS.

MINIMUM CORNER CLEARANCE FROM CURB LINE OF INTERSECTING STREETS SHALL BE AT LEAST (20) FEET FROM THE POINT OF TANGENCY.

NC CERTIFICATE OF AUTHORIZATION: F-0102

PREPARED IN THE OFFICE OF:

# Kimley»Horn

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421 FAYETTEVILLE STREET - SUITE 600 - RALEIGH, NORTH CAROLINA 27601  
PHONE: (919) 853-1494

PRELIMINARY  
NOT FOR CONSTRUCTION

**Sheet List Table**

Sheet Number	Sheet Title
C0.0	COVER SHEET
C1.0	EXISTING CONDITIONS & DEMOLITION PLAN
C2.0	PRELIMINARY SITE PLAN
C3.0	PRELIMINARY GRADING PLAN
C4.0	PRELIMINARY UTILITY PLAN
L1.0	LANDSCAPE PLAN
L2.0	LANDSCAPE DETAILS
A201	3,600 S.F. RETAIL BUILDING ELEVATIONS
A202	8,100 S.F. RETAIL BUILDING ELEVATIONS
A201	BISCUITVILLE BUILDING ELEVATIONS
A202	BISCUITVILLE BUILDING ELEVATIONS

KHA PROJECT 012307002 DATE 3/9/2018 SCALE AS SHOWN DESIGNED BY JCB DRAWN BY JCB CHECKED BY COB

**COVER SHEET**

**REVISIONS**

NO.	DATE	DESCRIPTION	BY

**ATLANTIC PLAZA PREPARED FOR MPHK CAPITAL, LLC**

CITY OF RALEIGH

Copyright Kimley-Horn and Associates, Inc., 2018

DATE: **MARCH 9, 2017**

JOB NUMBER: **012307002**

SHEET NUMBER **C0.0**

**Kimley»Horn**  
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421 FAYETTEVILLE STREET, SUITE 600, RALEIGH, NC 27601  
PHONE: 919-853-1494  
WWW.KIMLEY-HORN.COM

**COVER SHEET**

**ATLANTIC PLAZA PREPARED FOR MPHK CAPITAL, LLC**

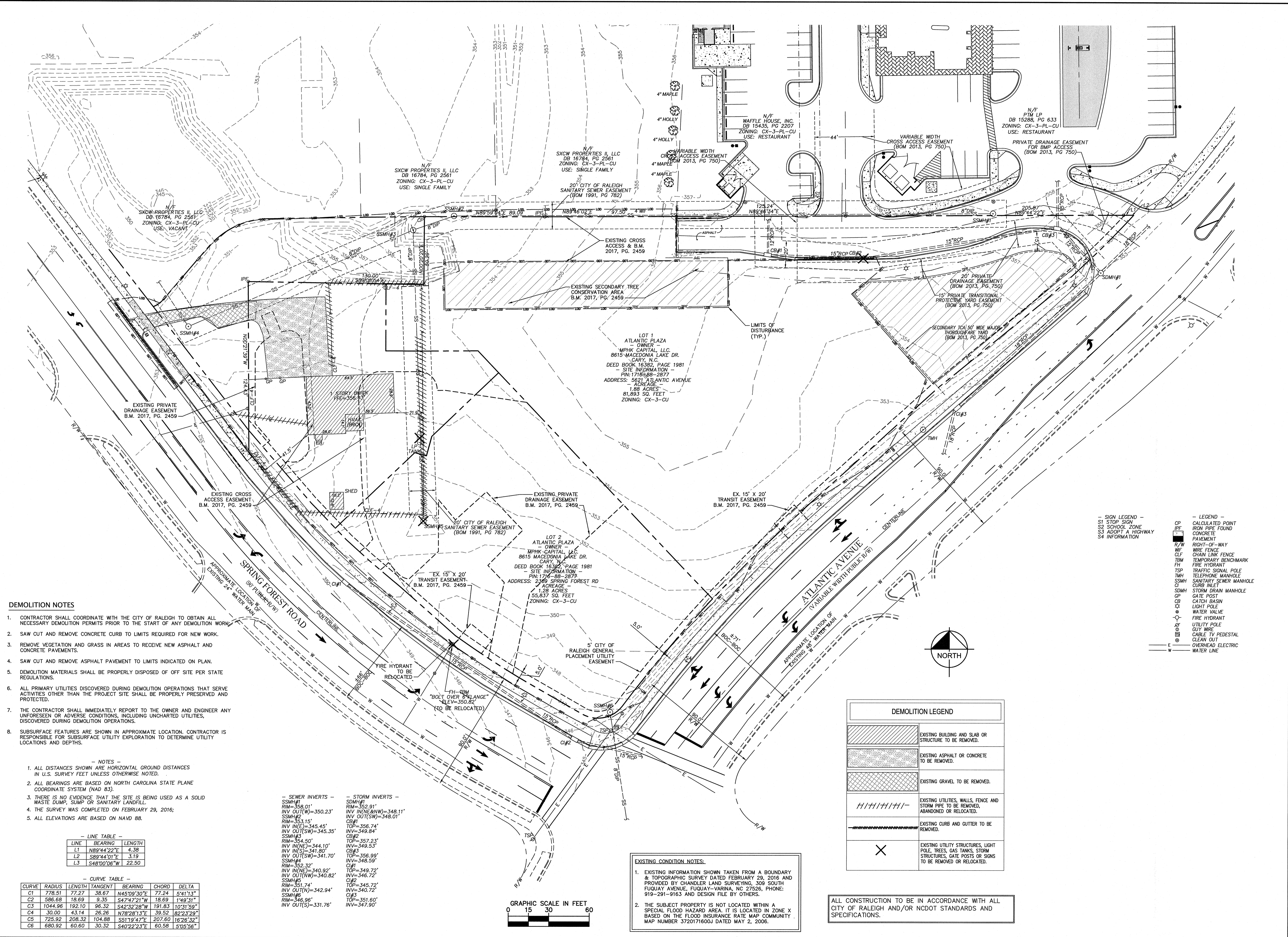
CITY OF RALEIGH

REVISIONS

NO. DATE DESCRIPTION BY

DATE

Plotted By: Carter, Jim. Sheet Set: ATLANTIC PLAZA - General C1.0 EXISTING CONDITIONS & DEMOLITION PLAN. March 16, 2018 09:11:59m. K:\BVT\_LDC\A\012307002\_springs\forest\15\_cad\_files\plan\_sheets\Biscuitville Plan Sheets\C1.0 EXISTING CONDITIONS & DEMOLITION PLAN.dwg  
 This document, together with the concepts and designs presented herein, is an instrument of service, is intended only for the specific purpose and client for which it was prepared. Release of any improper reliance on this document without written authorization and adaptation by Kimley-Horn and Associates, Inc. shall be without liability to Kimley-Horn and Associates, Inc.



**DEMOLITION NOTES**

- CONTRACTOR SHALL COORDINATE WITH THE CITY OF RALEIGH TO OBTAIN ALL NECESSARY DEMOLITION PERMITS PRIOR TO THE START OF ANY DEMOLITION WORK.
- SAW CUT AND REMOVE CONCRETE CURB TO LIMITS REQUIRED FOR NEW WORK.
- REMOVE VEGETATION AND GRASS IN AREAS TO RECEIVE NEW ASPHALT AND CONCRETE PAVEMENTS.
- SAW CUT AND REMOVE ASPHALT PAVEMENT TO LIMITS INDICATED ON PLAN.
- DEMOLITION MATERIALS SHALL BE PROPERLY DISPOSED OF OFF SITE PER STATE REGULATIONS.
- ALL PRIMARY UTILITIES DISCOVERED DURING DEMOLITION OPERATIONS THAT SERVE ACTIVITIES OTHER THAN THE PROJECT SITE SHALL BE PROPERLY PRESERVED AND PROTECTED.
- THE CONTRACTOR SHALL IMMEDIATELY REPORT TO THE OWNER AND ENGINEER ANY UNFORESEEN OR ADVERSE CONDITIONS, INCLUDING UNCHARTED UTILITIES, DISCOVERED DURING DEMOLITION OPERATIONS.
- SUBSURFACE FEATURES ARE SHOWN IN APPROXIMATE LOCATION. CONTRACTOR IS RESPONSIBLE FOR SUBSURFACE UTILITY EXPLORATION TO DETERMINE UTILITY LOCATIONS AND DEPTHS.

**NOTES**

- ALL DISTANCES SHOWN ARE HORIZONTAL GROUND DISTANCES IN U.S. SURVEY FEET UNLESS OTHERWISE NOTED.
- ALL BEARINGS ARE BASED ON NORTH CAROLINA STATE PLANE COORDINATE SYSTEM (NAD 83).
- THERE IS NO EVIDENCE THAT THE SITE IS BEING USED AS A SOLID WASTE DUMP, SUMP OR SANITARY LANDFILL.
- THE SURVEY WAS COMPLETED ON FEBRUARY 29, 2016;
- ALL ELEVATIONS ARE BASED ON NAVD 88.

**LINE TABLE**

LINE	BEARING	LENGTH
L1	N89°44'22"E	4.38
L2	S89°44'01"E	3.19
L3	S48°00'06"W	22.50

**CURVE TABLE**

CURVE	RADIUS	LENGTH	TANGENT	BEARING	CHORD	DELTA
C1	778.51	77.27	38.67	N45°09'30"E	77.24	5°41'13"
C2	586.68	18.69	9.35	S47°47'21"W	18.69	1°49'31"
C3	1044.96	192.10	96.32	S42°32'28"W	191.83	10°31'59"
C4	30.00	43.14	26.26	N78°28'13"E	39.52	82°23'29"
C5	725.92	208.32	104.88	S51°19'47"E	207.60	16°26'32"
C6	680.92	60.60	30.32	S40°22'33"E	60.58	5°05'56"

**SEWER INVERTS**

SSMH#1	RIM=358.01'	INV OUT(W)=350.23'
SSMH#2	RIM=353.15'	INV IN(E)=345.45'
		INV OUT(SW)=345.35'
SSMH#3	RIM=354.50'	INV IN(NE)=344.10'
		INV IN(S)=341.80'
SSMH#4	RIM=352.32'	INV IN(NE)=340.92'
		INV OUT(NW)=340.82'
SSMH#5	RIM=351.74'	INV IN(NE)=345.72'
		INV OUT(N)=342.94'
SSMH#6	RIM=346.96'	INV IN(NE)=344.96'
		INV OUT(S)=331.76'

**STORM INVERTS**

SMH#1	RIM=352.91'	INV IN(NE&NW)=348.11'
CB#1	TOP=356.74'	INV OUT(SW)=348.01'
CB#2	TOP=357.23'	INV=349.84'
CB#3	TOP=357.53'	INV=349.53'
CB#4	TOP=356.99'	INV=347.72'
CB#5	TOP=356.99'	INV=348.59'
CI#1	TOP=349.72'	INV=349.72'
CI#2	TOP=345.72'	INV=346.72'
CI#3	TOP=340.72'	INV=340.72'
CI#4	TOP=351.60'	INV=351.60'
CI#5	TOP=347.90'	INV=347.90'

**DEMOLITION LEGEND**

[Hatched Box]	EXISTING BUILDING AND SLAB OR STRUCTURE TO BE REMOVED.
[Dotted Box]	EXISTING ASPHALT OR CONCRETE TO BE REMOVED.
[Cross-hatched Box]	EXISTING GRAVEL TO BE REMOVED.
[Dashed Line]	EXISTING UTILITIES, WALLS, FENCE AND STORM PIPE TO BE REMOVED, ABANDONED OR RELOCATED.
[Wavy Line]	EXISTING CURB AND GUTTER TO BE REMOVED.
[X]	EXISTING UTILITY STRUCTURES, LIGHT POLE, TREES, GAS TANKS, STORM STRUCTURES, GATE POSTS OR SIGNS TO BE REMOVED OR RELOCATED.

**EXISTING CONDITION NOTES:**

- EXISTING INFORMATION SHOWN TAKEN FROM A BOUNDARY & TOPOGRAPHIC SURVEY DATED FEBRUARY 29, 2016 AND PROVIDED BY CHANDLER LAND SURVEYING, 309 SOUTH FOUQUAY AVENUE, FOUQUAY-VARINA, NC 27526, PHONE: 919-291-9163 AND DESIGN FILE BY OTHERS.
- THE SUBJECT PROPERTY IS NOT LOCATED WITHIN A SPECIAL FLOOD HAZARD AREA. IT IS LOCATED IN ZONE X BASED ON THE FLOOD INSURANCE RATE MAP COMMUNITY MAP NUMBER 37201716001 DATED MAY 2, 2006.

**GRAPHIC SCALE IN FEET**

0 15 30 60

**Kimley»Horn**

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 PHONE: 919-835-4949  
 WWW.KIMLEY-HORN.COM

KHA PROJECT	DATE	SCALE	DESIGNED BY	DRAWN BY	CHECKED BY
012307002	3/9/2018	AS SHOWN	JCB	JCB	COB

**EXISTING CONDITIONS & DEMOLITION PLAN**

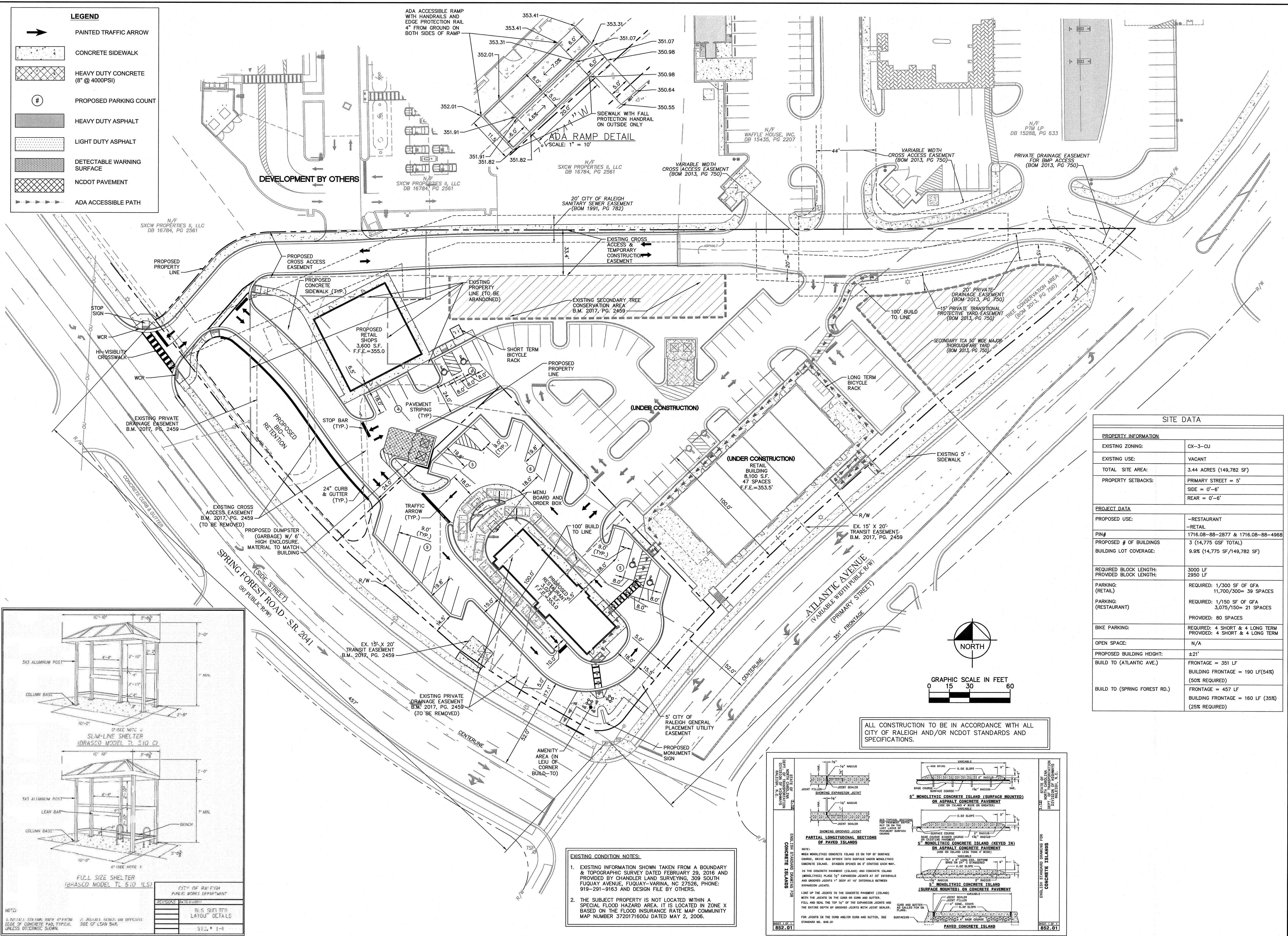
**ATLANTIC PLAZA**  
 PREPARED FOR  
**MPHK CAPITAL, LLC**

CITY OF RALEIGH

NO.	REVISIONS	DATE

SHEET NUMBER **C1.0**

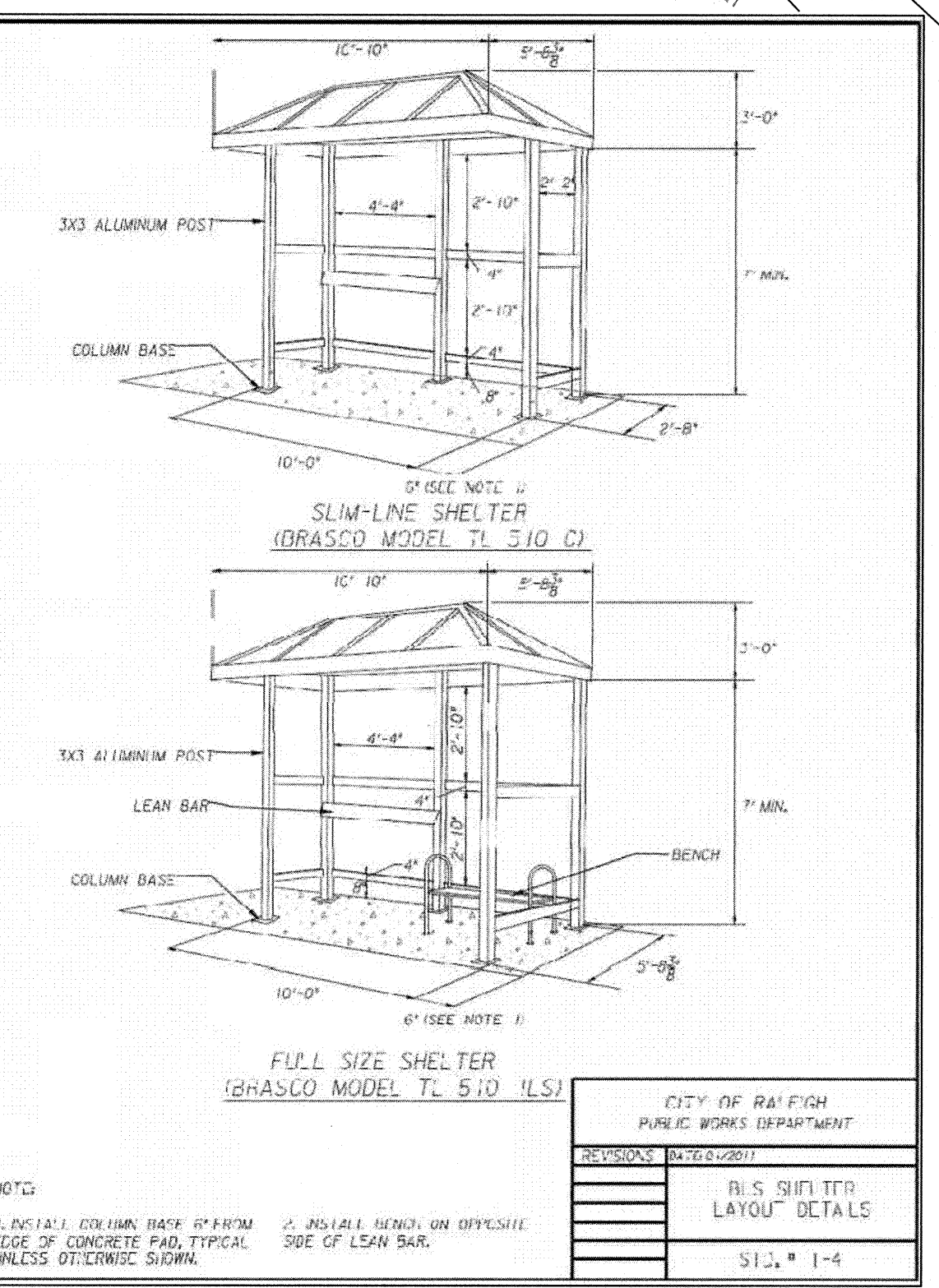
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**LEGEND**

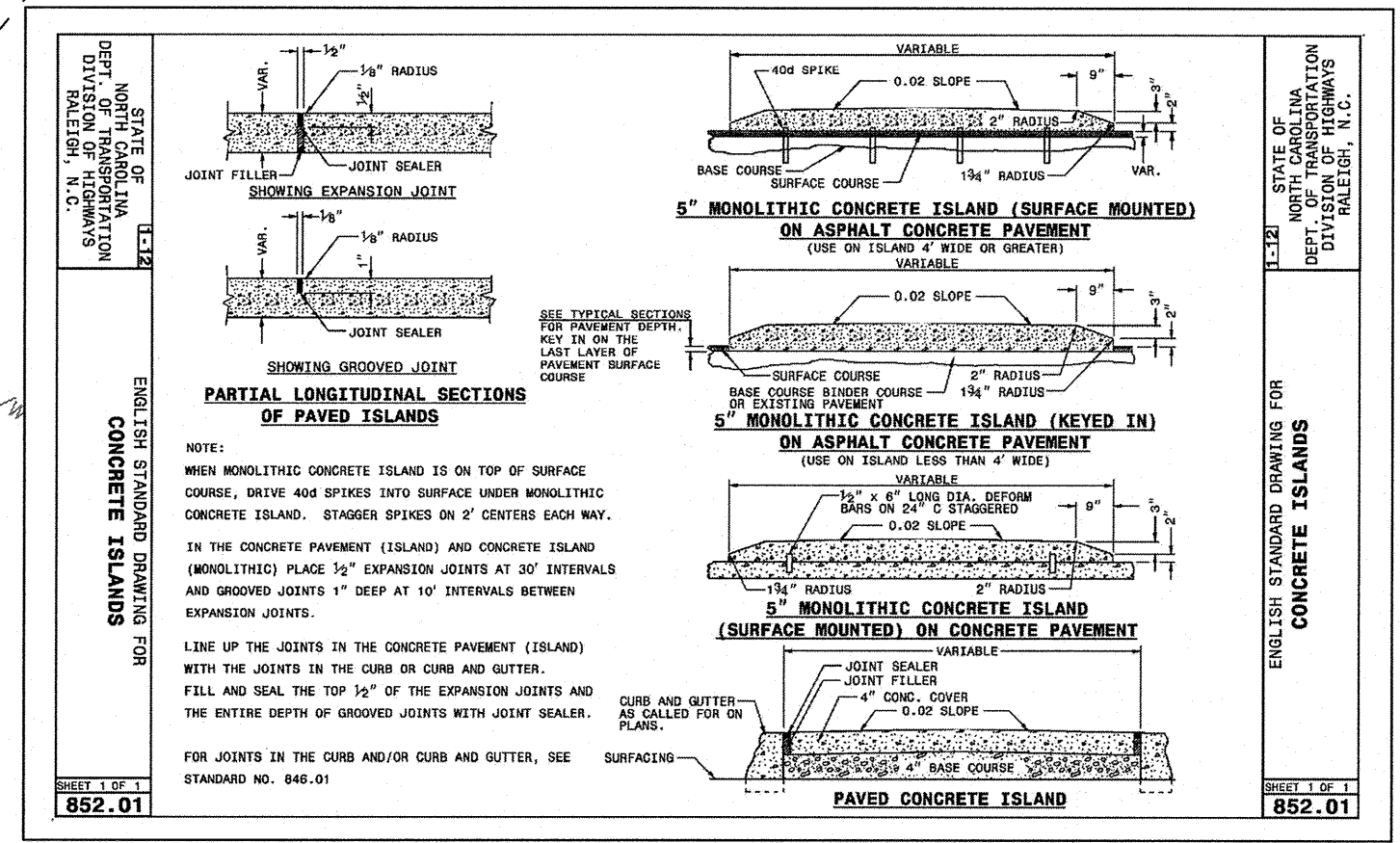
- PAINTED TRAFFIC ARROW
- CONCRETE SIDEWALK
- HEAVY DUTY CONCRETE (8" @ 4000PSI)
- PROPOSED PARKING COUNT
- HEAVY DUTY ASPHALT
- LIGHT DUTY ASPHALT
- DETECTABLE WARNING SURFACE
- NCDOT PAVEMENT
- ADA ACCESSIBLE PATH

SITE DATA	
<b>PROPERTY INFORMATION</b>	
EXISTING ZONING:	CX-3-CU
EXISTING USE:	VACANT
TOTAL SITE AREA:	3.44 ACRES (149,782 SF)
PROPERTY SETBACKS:	PRIMARY STREET = 5' SIDE = 0'-6" REAR = 0'-6"
<b>PROJECT DATA</b>	
PROPOSED USE:	-RESTAURANT -RETAIL
PROPOSED # OF BUILDINGS:	1716.08-88-2877 & 1716.08-88-4968
BUILDING LOT COVERAGE:	3 (14,775 GSF TOTAL) 9.9% (14,775 SF/149,782 SF)
REQUIRED BLOCK LENGTH:	3000 LF
PROVIDED BLOCK LENGTH:	2950 LF
PARKING (RETAIL):	REQUIRED: 1/300 SF OF GFA 11,700/300 = 39 SPACES
PARKING (RESTAURANT):	REQUIRED: 1/150 SF OF GFA 3,075/150 = 21 SPACES PROVIDED: 80 SPACES
BIKE PARKING:	REQUIRED: 4 SHORT & 4 LONG TERM PROVIDED: 4 SHORT & 4 LONG TERM
OPEN SPACE:	N/A
PROPOSED BUILDING HEIGHT:	±21'
BUILD TO (ATLANTIC AVE.):	FRONTAGE = 351 LF BUILDING FRONTAGE = 190 LF (54%) (50% REQUIRED)
BUILD TO (SPRING FOREST RD.):	FRONTAGE = 457 LF BUILDING FRONTAGE = 160 LF (35%) (25% REQUIRED)



**EXISTING CONDITION NOTES:**

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**PRELIMINARY SITE PLAN**

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KHA PROJECT 012307002  
DATE 3/6/2018  
SCALE AS SHOWN  
DESIGNED BY JCB  
DRAWN BY JCB  
CHECKED BY COB

SHEET NUMBER  
**C2.0**

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ATLANTIC PLAZA  
PREPARED FOR  
MPHK CAPITAL, LLC

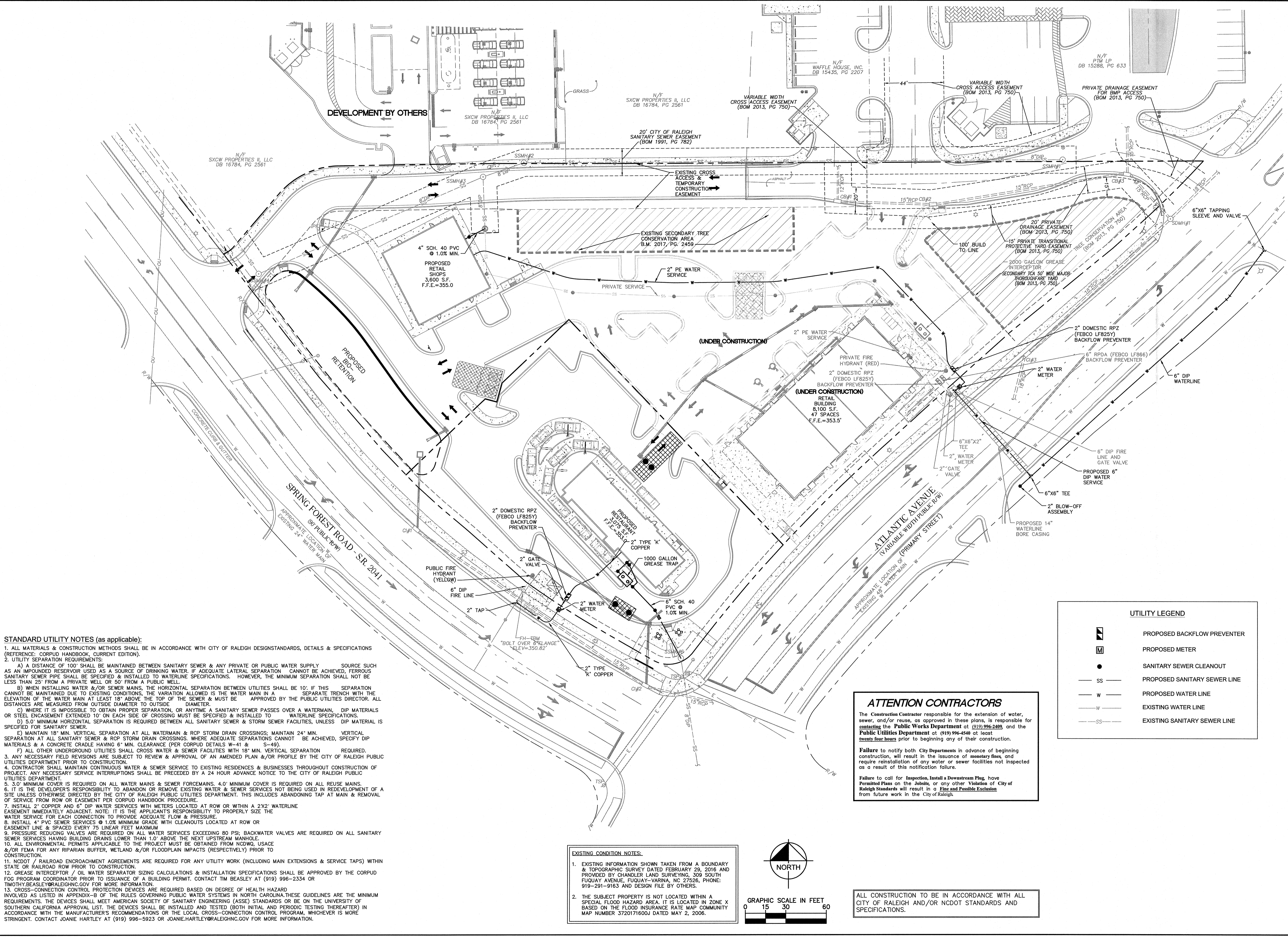
CITY OF RALEIGH

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REVISIONS  
No. DATE BY

SHEET NUMBER  
**C2.0**

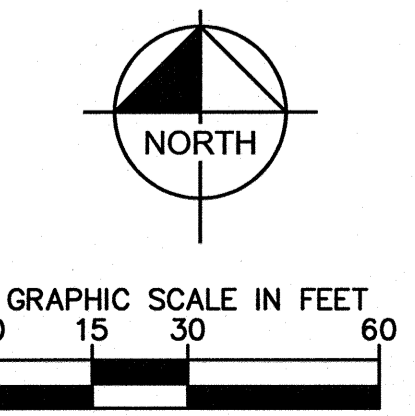
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**STANDARD UTILITY NOTES (as applicable):**

1. ALL MATERIALS & CONSTRUCTION METHODS SHALL BE IN ACCORDANCE WITH CITY OF RALEIGH DESIGN STANDARDS, DETAILS & SPECIFICATIONS (REFERENCE: CORPUD HANDBOOK, CURRENT EDITION).
2. UTILITY SEPARATION REQUIREMENTS:
  - A) A DISTANCE OF 100' SHALL BE MAINTAINED BETWEEN SANITARY SEWER & ANY PRIVATE OR PUBLIC WATER SUPPLY SOURCE SUCH AS AN IMPOUNDED RESERVOIR USED AS A SOURCE OF DRINKING WATER. IF ADEQUATE LATERAL SEPARATION CANNOT BE ACHIEVED, FERROUS SANITARY SEWER PIPE SHALL BE SPECIFIED & INSTALLED TO WATERLINE SPECIFICATIONS. HOWEVER, THE MINIMUM SEPARATION SHALL NOT BE LESS THAN 25' FROM A PRIVATE WELL OR 50' FROM A PUBLIC WELL.
  - B) WHEN INSTALLING WATER &/OR SEWER MAINS, THE HORIZONTAL SEPARATION BETWEEN UTILITIES SHALL BE 10'. IF THIS SEPARATION CANNOT BE MAINTAINED DUE TO EXISTING CONDITIONS, THE VARIATION ALLOWED IS THE WATER MAIN IN A SEPARATE TRENCH WITH THE ELEVATION OF THE WATER MAIN AT LEAST 18" ABOVE THE TOP OF THE SEWER & MUST BE APPROVED BY THE PUBLIC UTILITIES DIRECTOR. ALL DISTANCES ARE MEASURED FROM OUTSIDE DIAMETER TO OUTSIDE DIAMETER.
  - C) WHERE IT IS IMPOSSIBLE TO OBTAIN PROPER SEPARATION, OR ANYTIME A SANITARY SEWER PASSES OVER A WATERMAIN, DIP MATERIALS OR STEEL ENCASMENT EXTENDED 10' ON EACH SIDE OF CROSSING MUST BE SPECIFIED & INSTALLED TO WATERLINE SPECIFICATIONS.
  - D) 5.0' MINIMUM HORIZONTAL SEPARATION IS REQUIRED BETWEEN ALL SANITARY SEWER & STORM SEWER FACILITIES, UNLESS DIP MATERIAL IS SPECIFIED FOR SANITARY SEWER.
  - E) MAINTAIN 18" MIN. VERTICAL SEPARATION AT ALL WATERMAIN & RCP STORM DRAIN CROSSINGS; MAINTAIN 24" MIN. VERTICAL SEPARATION AT ALL SANITARY SEWER & RCP STORM DRAIN CROSSINGS, WHERE ADEQUATE SEPARATIONS CANNOT BE ACHIEVED. SPECIFY DIP MATERIALS & A CONCRETE CRADLE HAVING 6" MIN. CLEARANCE (PER CORPUD DETAILS W-41 & S-49).
  - F) ALL OTHER UNDERGROUND UTILITIES SHALL CROSS WATER & SEWER FACILITIES WITH 18" MIN. VERTICAL SEPARATION REQUIRED.
3. ANY NECESSARY FIELD REVISIONS ARE SUBJECT TO REVIEW & APPROVAL OF AN AMENDED PLAN &/OR PROFILE BY THE CITY OF RALEIGH PUBLIC UTILITIES DEPARTMENT PRIOR TO CONSTRUCTION.
4. CONTRACTOR SHALL MAINTAIN CONTINUOUS WATER & SEWER SERVICE TO EXISTING RESIDENCES & BUSINESSES THROUGHOUT CONSTRUCTION OF PROJECT. ANY NECESSARY SERVICE INTERRUPTIONS SHALL BE PRECEDED BY A 24 HOUR ADVANCE NOTICE TO THE CITY OF RALEIGH PUBLIC UTILITIES DEPARTMENT.
5. 3.0' MINIMUM COVER IS REQUIRED ON ALL WATER MAINS & SEWER FORCE MAINS. 4.0' MINIMUM COVER IS REQUIRED ON ALL REUSE MAINS.
6. IT IS THE DEVELOPER'S RESPONSIBILITY TO ABANDON OR REMOVE EXISTING WATER & SEWER SERVICES NOT BEING USED IN REDEVELOPMENT OF A SITE UNLESS OTHERWISE DIRECTED BY THE CITY OF RALEIGH PUBLIC UTILITIES DEPARTMENT. THIS INCLUDES ABANDONING TAP AT MAIN & REMOVAL OF SERVICE FROM ROW OR EASEMENT PER CORPUD HANDBOOK PROCEDURE.
7. INSTALL 2" COPPER AND 6" DIP WATER SERVICES WITH METERS LOCATED AT ROW OR WITHIN A 2X2' WATERLINE EASEMENT IMMEDIATELY ADJACENT. NOTE: IT IS THE APPLICANT'S RESPONSIBILITY TO PROPERLY SIZE THE WATER SERVICE FOR EACH CONNECTION TO PROVIDE ADEQUATE FLOW & PRESSURE.
8. INSTALL 4" PVC SEWER SERVICES @ 1.0% MINIMUM GRADE WITH CLEANOUTS LOCATED AT ROW OR EASEMENT LINE & SPACED EVERY 75 LINEAR FEET MAXIMUM.
9. PRESSURE REDUCING VALVES ARE REQUIRED ON ALL WATER SERVICES EXCEEDING 80 PSI; BACKWATER VALVES ARE REQUIRED ON ALL SANITARY SEWER SERVICES HAVING BUILDING DRAINS LOWER THAN 1.0' ABOVE THE NEXT UPSTREAM MANHOLE.
10. ALL ENVIRONMENTAL PERMITS APPLICABLE TO THE PROJECT MUST BE OBTAINED FROM NCOWQ, USACE &/OR FEMA FOR ANY RIPARIAN BUFFER, WETLAND &/OR FLOODPLAIN IMPACTS (RESPECTIVELY) PRIOR TO CONSTRUCTION.
11. NCDOT / RAILROAD ENFORCEMENT AGREEMENTS ARE REQUIRED FOR ANY UTILITY WORK (INCLUDING MAIN EXTENSIONS & SERVICE TAPS) WITHIN STATE OR RAILROAD ROW PRIOR TO CONSTRUCTION.
12. GREASE INTERCEPTOR / OIL WATER SEPARATOR SIZING CALCULATIONS & INSTALLATION SPECIFICATIONS SHALL BE APPROVED BY THE CORPUD FOG PROGRAM COORDINATOR PRIOR TO ISSUANCE OF A BUILDING PERMIT. CONTACT TIM BEASLEY AT (919) 996-2334 OR TIMOTHY.BEASLEY@RALEIGHNC.GOV FOR MORE INFORMATION.
13. CROSS-CONNECTION CONTROL PROTECTION DEVICES ARE REQUIRED BASED ON DEGREE OF HEALTH HAZARD INVOLVED AS LISTED IN APPENDIX-B OF THE RULES GOVERNING PUBLIC WATER SYSTEMS IN NORTH CAROLINA. THESE GUIDELINES ARE THE MINIMUM REQUIREMENTS. THE DEVICES SHALL MEET AMERICAN SOCIETY OF SANITARY ENGINEERING (ASSE) STANDARDS OR BE ON THE UNIVERSITY OF SOUTHERN CALIFORNIA APPROVAL LIST. THE DEVICES SHALL BE INSTALLED AND TESTED (BOTH INITIAL AND PERIODIC TESTING THEREAFTER) IN ACCORDANCE WITH THE MANUFACTURER'S RECOMMENDATIONS OR THE LOCAL CROSS-CONNECTION CONTROL PROGRAM, WHICHEVER IS MORE STRINGENT. CONTACT JOANIE HARTLEY AT (919) 996-5923 OR JOANIE.HARTLEY@RALEIGHNC.GOV FOR MORE INFORMATION.

**EXISTING CONDITION NOTES:**  
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**ATTENTION CONTRACTORS**  
The Construction Contractor responsible for the extension of water, sewer, and/or reuse, as approved in these plans, is responsible for contacting the Public Works Department at (919) 996-2400 and the Public Utilities Department at (919) 996-4540 at least twenty-four hours prior to beginning any of their construction.  
Failure to notify both City Departments in advance of beginning construction, will result in the issuance of monetary fines, and require reinstallation of any water or sewer facilities not inspected as a result of this notification failure.  
Failure to call for inspection, install a Downstream Plug, have Permitted Plans on the Jobsite, or any other Violation of City of Raleigh Standards will result in a Fine and Possible Exclusion from future work in the City of Raleigh.

ALL CONSTRUCTION TO BE IN ACCORDANCE WITH ALL CITY OF RALEIGH AND/OR NCDOT STANDARDS AND SPECIFICATIONS.

**UTILITY LEGEND**

	PROPOSED BACKFLOW PREVENTER
	PROPOSED METER
	SANITARY SEWER CLEANOUT
	PROPOSED SANITARY SEWER LINE
	PROPOSED WATER LINE
	EXISTING WATER LINE
	EXISTING SANITARY SEWER LINE

No.	REVISIONS	DATE	BY

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KHA PROJECT	012307002
DATE	3/6/2018
SCALE	AS SHOWN
DESIGNED BY	JCB
DRAWN BY	JCB
CHECKED BY	COB

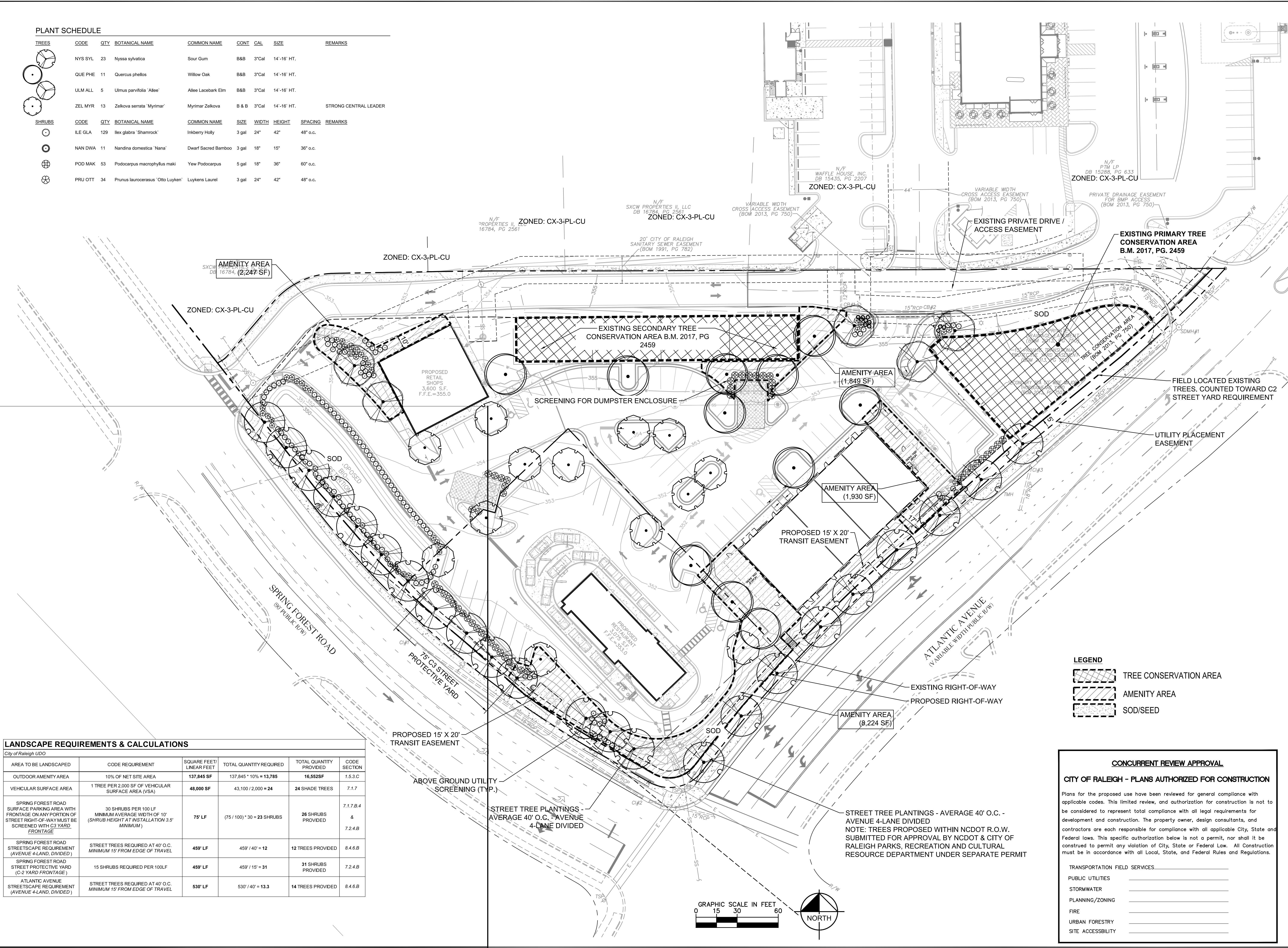
**PRELIMINARY UTILITY PLAN**

**ATLANTIC PLAZA**  
PREPARED FOR  
**MPHK CAPITAL, LLC**  
CITY OF RALEIGH  
SHEET NUMBER  
**C4.0**

Plotted By: Carter, Tim Sheet: S&L-ATLANTIC PLAZA Layout: L1.0 LANDSCAPE PLAN March 16, 2018 09:17:54am k:\VARD\LD\VA\012307002\_springsforest\15\_cod\_ilex\plan sheets\Biscuitville Plan Sheets\1.0 LANDSCAPE PLAN.dwg  
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**PLANT SCHEDULE**

TREES	CODE	QTY	BOTANICAL NAME	COMMON NAME	CONT	SIZE	REMARKS		
	NYS SYL	23	Nyssa sylvatica	Sour Gum	8&B	3"Cal 14'-16' HT.			
	QUE PHE	11	Quercus phellos	Willow Oak	8&B	3"Cal 14'-16' HT.			
	ULM ALL	5	Ulmus parvifolia 'Atlee'	Allee Lacebark Elm	8&B	3"Cal 14'-16' HT.			
	ZEL MYR	13	Zelkova serrata 'Myrimar'	Myrimar Zelkova	B & B	3"Cal 14'-16' HT.	STRONG CENTRAL LEADER		
SHRUBS	CODE	QTY	BOTANICAL NAME	COMMON NAME	SIZE	WIDTH	HEIGHT	SPACING	REMARKS
	ILE GLA	129	Ilex glabra 'Shamrock'	Inkberry Holly	3 gal	24"	42"	48" o.c.	
	NAN DWA	11	Nandina domestica 'Nana'	Dwarf Sacred Bamboo	3 gal	18"	15"	36" o.c.	
	POD MAK	53	Podocarpus macrophyllus maki	Yew Podocarpus	5 gal	18"	36"	60" o.c.	
	PRU OTT	34	Prunus laurocerasus 'Otto Luyken'	Luykens Laurel	3 gal	24"	42"	48" o.c.	



**LANDSCAPE REQUIREMENTS & CALCULATIONS**  
City of Raleigh UDO

AREA TO BE LANDSCAPED	CODE REQUIREMENT	SQUARE FEET/ LINEAR FEET	TOTAL QUANTITY REQUIRED	TOTAL QUANTITY PROVIDED	CODE SECTION
OUTDOOR AMENITY AREA	10% OF NET SITE AREA	137,845 SF	137,845 * 10% = 13,785	16,552 SF	1.5.3.C
VEHICULAR SURFACE AREA	1 TREE PER 2,000 SF OF VEHICULAR SURFACE AREA (VSA)	48,000 SF	48,000 / 2,000 = 24	24 SHADE TREES	7.1.7
SPRING FOREST ROAD SURFACE PARKING AREA WITH FRONTAGE ON ANY PORTION OF STREET RIGHT-OF-WAY MUST BE SCREENED WITH C2 YARD FRONTAGE	30 SHRUBS PER 100 LF MINIMUM AVERAGE WIDTH OF 10' (SHRUB HEIGHT AT INSTALLATION 3.5' MINIMUM)	75 LF	(75 / 100) * 30 = 23 SHRUBS	26 SHRUBS PROVIDED	7.1.7.B.4 & 7.2.4.B
SPRING FOREST ROAD STREETSCAPE REQUIREMENT (AVENUE 4-LANE, DIVIDED)	STREET TREES REQUIRED AT 40' O.C. MINIMUM 15' FROM EDGE OF TRAVEL	459 LF	459 / 40 = 12	12 TREES PROVIDED	8.4.6.B
SPRING FOREST ROAD STREET PROTECTIVE YARD (C-2 YARD FRONTAGE)	15 SHRUBS REQUIRED PER 100 LF	459 LF	459 / 15 = 31	31 SHRUBS PROVIDED	7.2.4.B
ATLANTIC AVENUE STREETSCAPE REQUIREMENT (AVENUE 4-LANE, DIVIDED)	STREET TREES REQUIRED AT 40' O.C. MINIMUM 15' FROM EDGE OF TRAVEL	530 LF	530 / 40 = 13.3	14 TREES PROVIDED	8.4.6.B

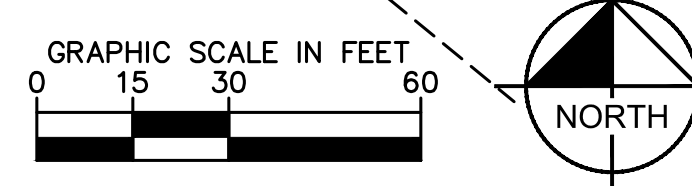
**LEGEND**

	TREE CONSERVATION AREA
	AMENITY AREA
	SOD/SEED

**CONCURRENT REVIEW APPROVAL**  
CITY OF RALEIGH - PLANS AUTHORIZED FOR CONSTRUCTION

Plans for the proposed use have been reviewed for general compliance with applicable codes. This limited review, and authorization for construction is not to be considered to represent total compliance with all legal requirements for development and construction. The property owner, design consultants, and contractors are each responsible for compliance with all applicable City, State and Federal laws. This specific authorization below is not a permit, nor shall it be construed to permit any violation of City, State or Federal Law. All Construction must be in accordance with all Local, State, and Federal Rules and Regulations.

TRANSPORTATION FIELD SERVICES	_____
PUBLIC UTILITIES	_____
STORMWATER	_____
PLANNING/ZONING	_____
FIRE	_____
URBAN FORESTRY	_____
SITE ACCESSIBILITY	_____



**Kimley-Horn**

**LANDSCAPE PLAN**

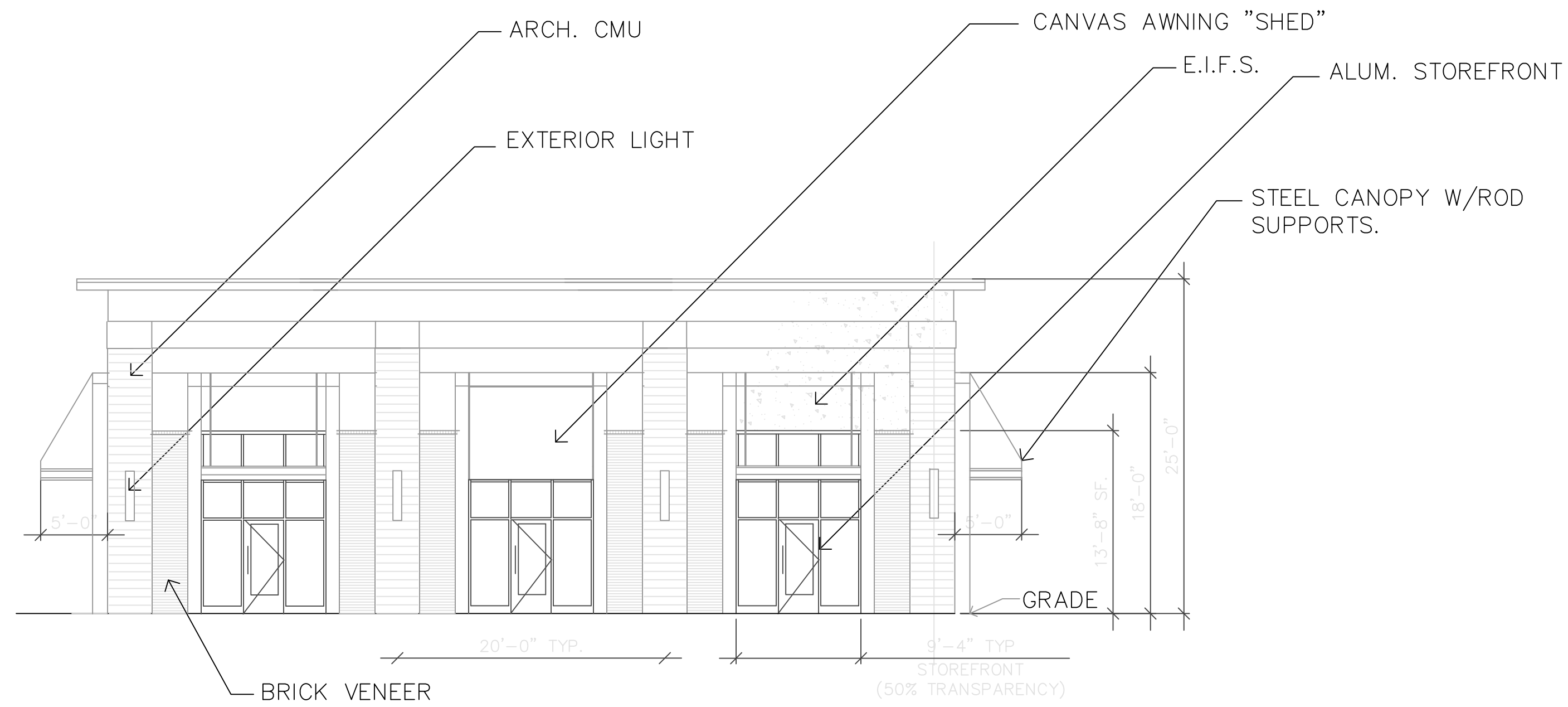
KHA PROJECT 012307002	DATE 07/11/2017
SCALE AS SHOWN	DESIGNED BY JCB
DRAWN BY JCB	CHECKED BY COB

**ATLANTIC PLAZA**  
PREPARED FOR  
**MPHK CAPITAL, LLC**

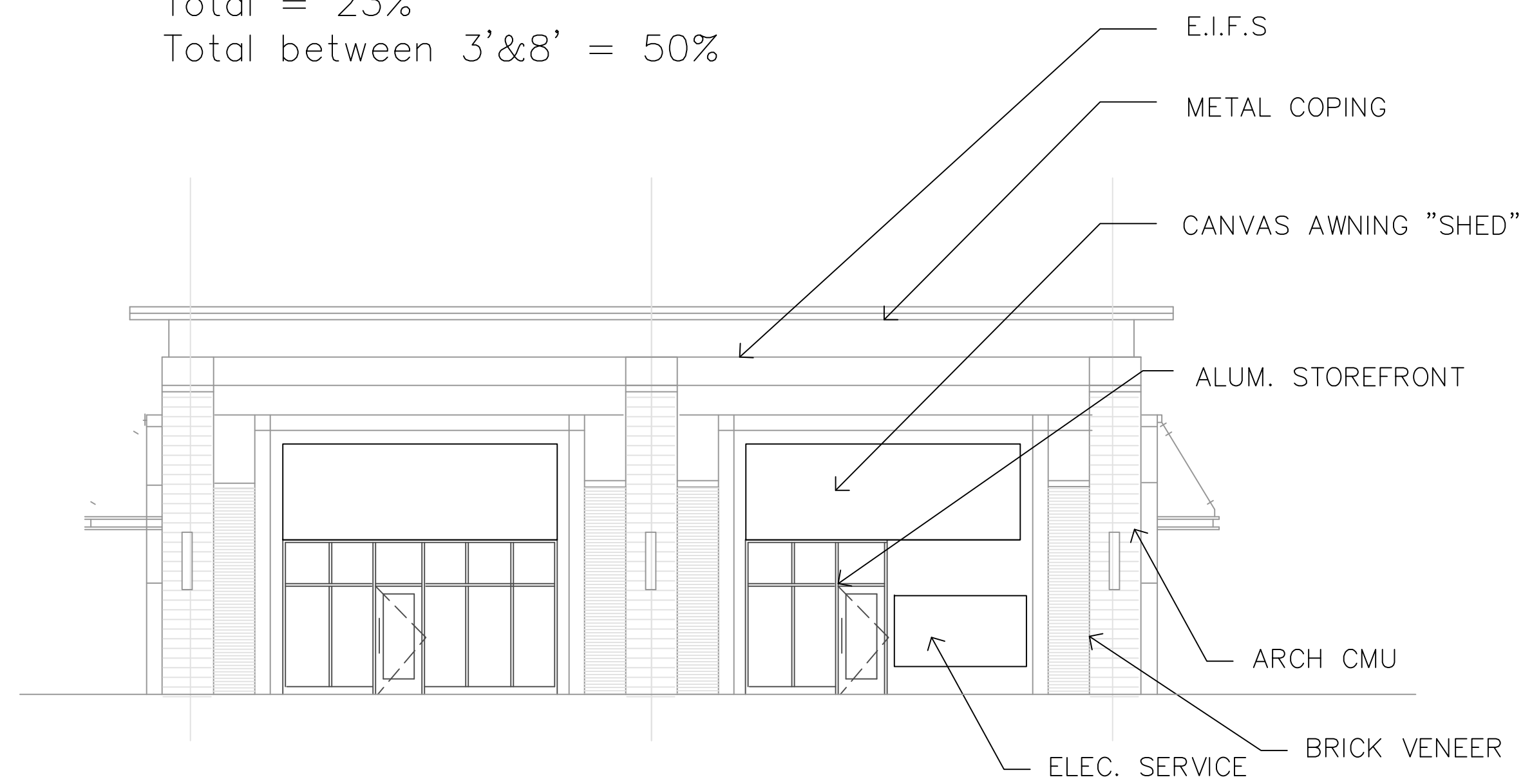
CITY OF RALEIGH

SHEET NUMBER  
**L1.0**





3 NORTH ELEVATION  
 $\frac{1}{8}'' = 1'-0''$   
 NORTH DEDIT TRANSPARENCY  
 Total = 23%  
 Total between 3' & 8' = 50%



1 EAST ELEVATION  
 $\frac{1}{8}'' = 1'-0''$   
 EAST TRANSPARENCY  
 Total = 17%  
 Total between 3' & 8' = 83%

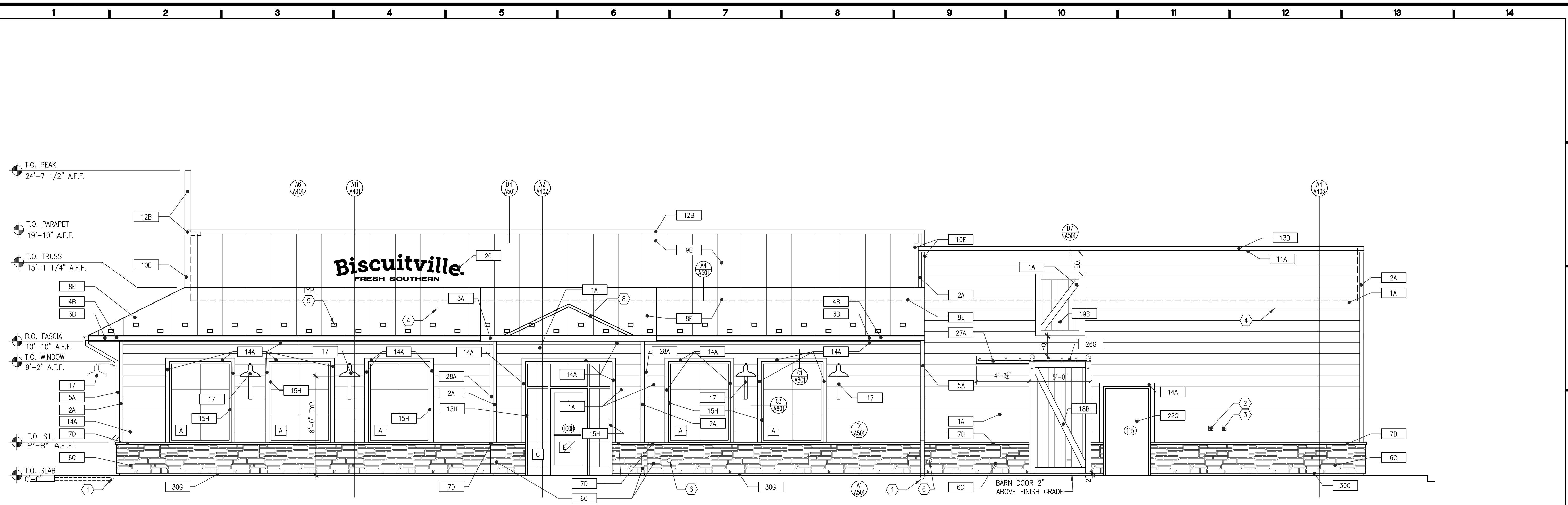


4 SOUTH ELEVATION  
 $\frac{1}{8}'' = 1'-0''$   
 SOUTH TRANSPARENCY  
 Total = 23%  
 Total between 3' & 8' = 50%

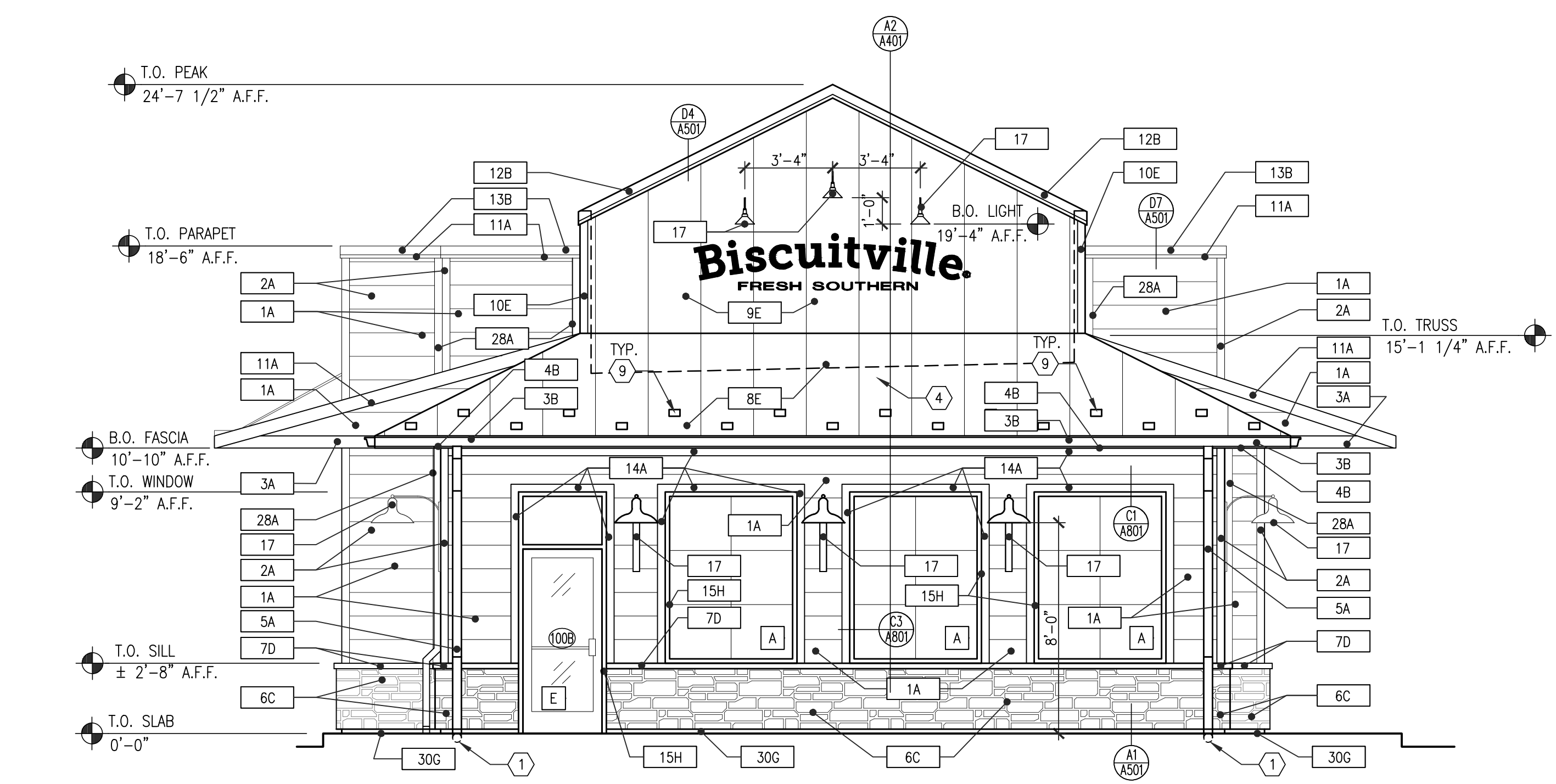


2 WEST ELEVATION  
 $\frac{1}{8}'' = 1'-0''$   
 WEST TRANSPARENCY  
 Total = 23%  
 Total between 3' & 8' = 50%





**E1 EXTERIOR ELEVATION - RIGHT SIDE**  
 A201 SCALE: 1/4" = 1'-0"



**WINDOW REQUIREMENTS:**  
 REQUIRED 33% BETWEEN 0'-12'  
 TOTAL WALL AREA 0'-12' = 322 SQ. FT.  
 TOTAL WINDOW AREA PROVIDED = 117 SQ. FT.  
 TOTAL WINDOW PERCENTAGE PROVIDED = 36%

**A1 EXTERIOR ELEVATION - FRONT**  
 A201 SCALE: 1/4" = 1'-0"

EXTERIOR FINISH SCHEDULE	GENERAL NOTES
<p><b>COLOR</b></p> <p>A - SHERWIN WILLIAMS - SW 7005 - PURE WHITE - MATTE ENAMEL                      B - SHERWIN WILLIAMS - SW 6684 - BRITTLE BRUSH - SATIN ENAMEL                      C - CORONADO STONE - COUNTRY RUBBLE - COLOR: BLACK HILLS                      D - CORONADO STONE - CAP - COLOR: ASPEN                      E - KYNAR 500 - SLATE GRAY</p> <p>NOT USED.</p> <p>G - SHERWIN WILLIAMS - SW 7020 - BLACK FOX - MATTE ENAMEL                      H - "KAWNEER" CLASSIC BRONZE</p>	<p>1. EXTERIOR SIGNAGE REQUIREMENTS MAY BE LIMITED OR OTHERWISE DICTATED BY LOCAL ORDINANCES. SIGNAGE CONTRACTOR SHALL HANDLE ALL PERMIT SUBMITTALS &amp; PROCUREMENT &amp; SHALL MODIFY SIGNAGE PACKAGE ACCORDINGLY.</p>
<p><b>CONSTRUCTION NOTES</b></p> <p>(1) GC TO PROVIDE 3"x4" DOWNSPOUT ADAPTER PIPE THEN OUT TO FACE OF CURB                      (2) CO2 FILL BOX - COORDINATE W/CO2 SUPPLIER                      (3) GREASE SUCTION BOX - COORDINATE W/GREASE CONTAINMENT TANK OUT SHEETS                      (4) ROOF DECK LINE SHOWN HIDDEN                      (5) NOT USED.                      (6) ROOF OVERFLOW DRAIN OUT THRU WALL @ 12" A.F.F. W/ DECORATIVE "TONGUE" - SEAL AS REQ'D.                      (7) ROOF LADDER SEE C11/A501 FOR MORE INFORMATION.                      (8) METAL ROOF RAIN DIVERTER.                      (9) ICE CLEATS TO BE INSTALLED ON ALL SLOPED METAL ROOFING. MFR: ZALESKI MODEL #15 / CLEAR SNOW GUARDS ATTACHED W/ADHESIVE - NO SCREWS</p>	<p><b>EXTERIOR FINISH SCHEDULE</b></p> <p><b>MATERIAL</b></p> <p>1 - HORIZONTAL HARDIE LAP SIDING - 10 3/4" EXPOSURE                      2 - HARDIE BOARD 1x4 OUTSIDE CORNER BOARD                      3 - HARDIE FASCIA BOARD 1x6                      4 - 4"x4" ALUMINUM GUTTERS                      5 - ALUMINUM DOWNSPOUT 3"x4"                      6 - FAUX STONE WAINSCOT. SEE DET. F1/A501                      7 - FAUX STONE WAINSCOT SILL                      8 - STANDING SEAM METAL ROOF - SEE FINISH SCHEDULE A103 FOR MORE PRODUCT INFORMATION                      9 - VERTICAL STANDING SEAM METAL ROOFING                      10 - STANDING SEAM METAL ROOF CORNER FLASHING                      11 - HARDIE BOARD 1x6 TRIM                      12 - ALUMINUM COPING CAP - SEE DETAIL D4/A501                      13 - ALUMINUM EDGE FLASHING                      14 - HARDIE TRIM BOARD 1x4                      15 - ALUMINUM STOREFRONT WINDOWS "KAWNEER"                      16 - PREMANUFACTURED METAL CANOPY - SEE EXTERIOR ELEVATIONS FOR SIZE - SEE DETAILS FOR MORE INFORMATION                      17 - DECORATIVE WALL LIGHT - SEE ELECTRICAL DRAWINGS                      18 - PREMANUFACTURED ALUMINUM BARN DOORS 5'x9' - SEE DETAIL G4/A501 FOR MORE INFORMATION                      19 - PREMANUFACTURED ALUMINUM SHUTTERS 4'x5' SEE DETAIL G4/A501 FOR MORE INFORMATION                      20 - EXTERIOR SIGN UNDER SEPARATE PERMIT - SEE ELECTRICAL DRAWINGS FOR ELECTRICAL CIRCUIT INFORMATION                      21 - GAS METER &amp; PIPING - SEE PLUMBING DRAWINGS                      22 - PAINTED HOLLOW METAL DOOR &amp; FRAME                      23 - PREMANUFACTURED ALUMINUM SHUTTERS 2'x5' SEE DETAIL G4/A501 FOR MORE INFORMATION                      24 - SINGLE PLY ROOF MEMBRANE ON PARAPET BEYOND - SEE ROOF PLAN SHT. A104                      25 - ELECTRICAL METER, CT CABINET - SEE ELECTRICAL DRAWINGS                      26 - NON OPERATIONAL BARN DOOR HARDWARE - SEE DETAIL G4/A501 FOR MORE INFORMATION                      27 - DOUBLE PRESSURE TREATED 2x8 - SEE DETAIL G4/A501 FOR MORE INFORMATION                      28 - HARDIE BOARD 1X4 INSIDE CORNER BOARD.                      29 - METAL ROOF ACCESS LADDER.                      30 - EXPOSED RUBBED CONC. FOUND.- PAINT TO MATCH STONE.</p>

**Biscuitville**

PROJECT: **BISCUITVILLE**  
 76 SEAT PROTOTYPE  
 SPRING FOREST RD. + ATLANTIC AVE.  
 RALEIGH, NC 27615  
 DRAWING: EXTERIOR ELEVATIONS

Revisions
REVISION DATE
PROJECT DATE 2.8.18
Drawn By MTA
Checked By GRL
Sheet No. <b>A201</b>

Revisions table with columns for REVISION DATE and description.

**EXTERIOR FINISH SCHEDULE**

- COLOR: A - SHERWIN WILLIAMS - SW 7005 - PURE WHITE - MATTE ENAMEL, B - SHERWIN WILLIAMS - SW 6684 - BRITTLE BRUSH - SATIN ENAMEL, C - CORONADO STONE - COUNTRY RUBBLE - COLOR: BLACK HILLS, D - CORONADO STONE - CAP - COLOR: ASPEN, E - KYNAR 500 - SLATE GRAY, G - SHERWIN WILLIAMS - SW 7020 - BLACK FOX - MATTE ENAMEL, H - "KAWNEER" CLASSIC BRONZE.

**CONSTRUCTION NOTES**

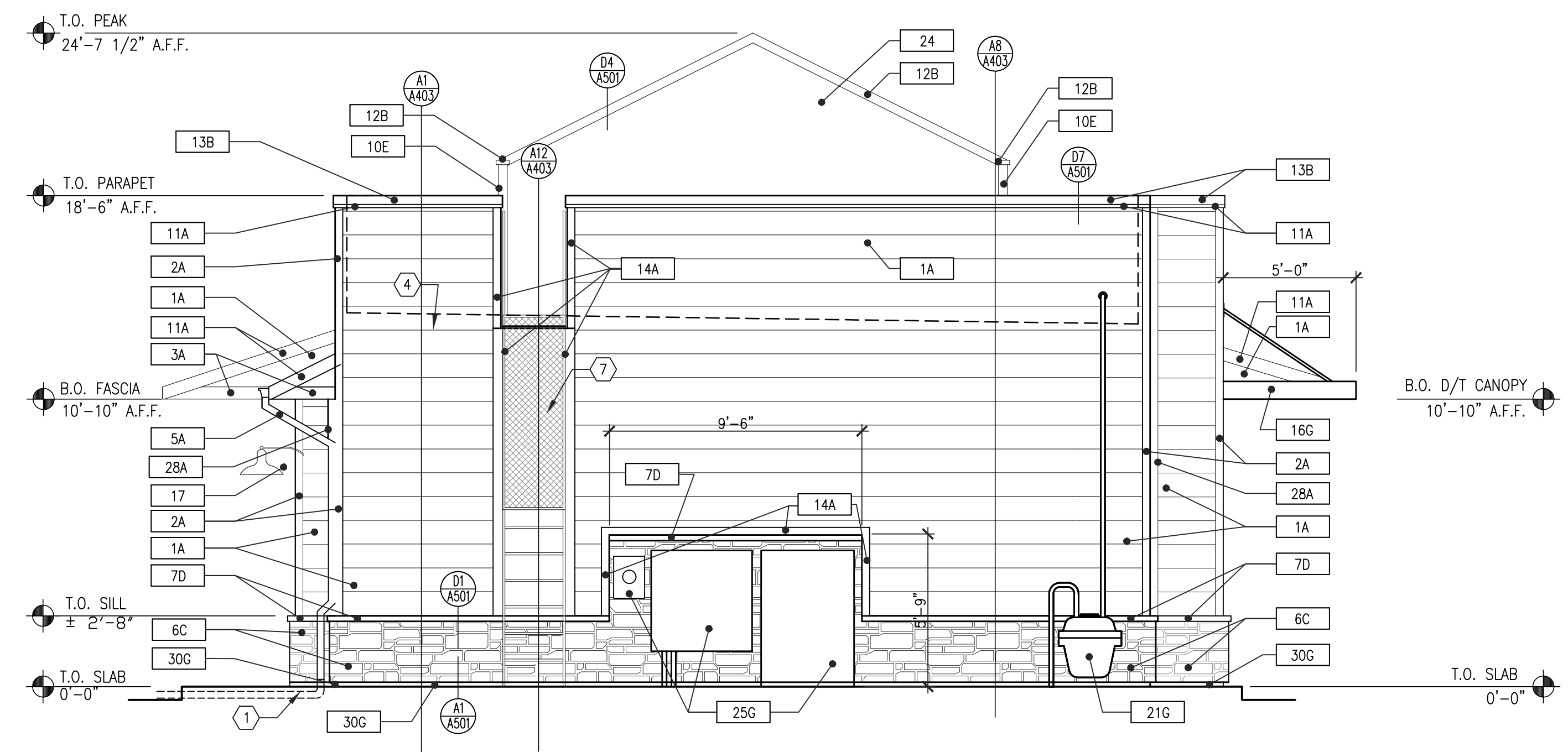
- 1) GC TO PROVIDE 3"x4" DOWNSPOUT ADAPTER PIPE THEN OUT TO FACE OF CURB, 2) CO2 FILL BOX - COORDINATE W/CO2 SUPPLIER, 3) GREASE SUCTION BOX - COORDINATE W/GREASE CONTAINMENT TANK CUT SHEETS, 4) ROOF DECK LINE SHOWN HIDDEN, 5) NOT USED, 6) ROOF OVERFLOW DRAIN OUT THRU WALL @ 12" A.F.F. W/ DECORATIVE "TONGUE" - SEAL AS REQ'D, 7) ROOF LADDER SEE C1/A501 FOR MORE INFORMATION, 8) METAL ROOF RAIN DIVERTER, 9) ICE CLEATS TO BE INSTALLED ON ALL SLOPED METAL ROOFING. MFR: ZALESKI MODEL #15 / CLEAR SNOW GUARDS ATTACHED W/ADHESIVE - NO SCREWS

**GENERAL NOTES**

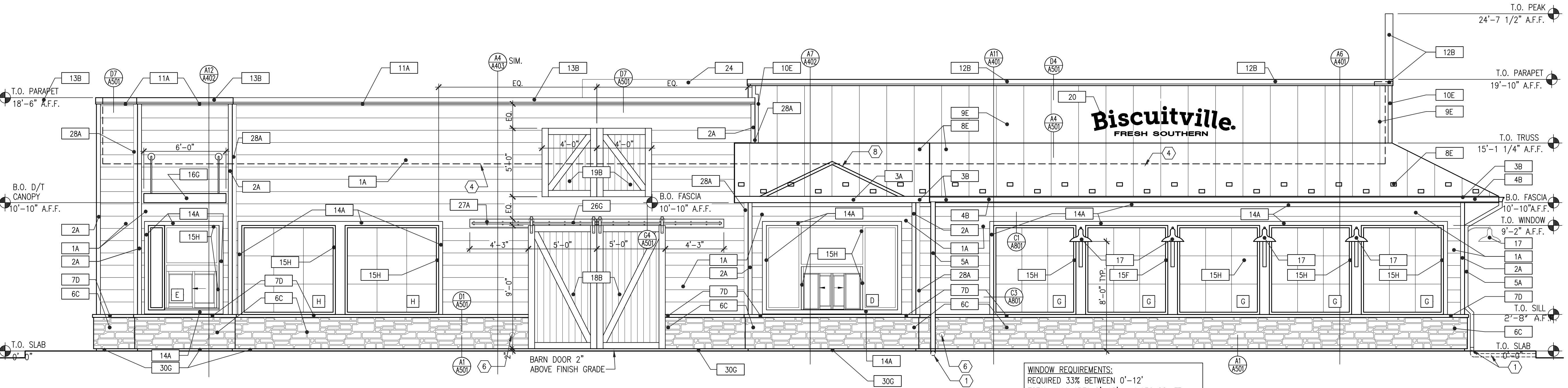
1. EXTERIOR SIGNAGE REQUIREMENTS MAY BE LIMITED OR OTHERWISE DICTATED BY LOCAL ORDINANCES. SIGNAGE CONTRACTOR SHALL HANDLE ALL PERMIT SUBMITTALS & PROCUREMENT & SHALL MODIFY SIGNAGE PACKAGE ACCORDINGLY.

**EXTERIOR FINISH SCHEDULE**

- MATERIAL: 1 - HORIZONTAL HARDIE LAP SIDING - 10 3/4" EXPOSURE, 2 - HARDIE BOARD 1x4 OUTSIDE CORNER BOARD, 3 - HARDIE FASCIA BOARD 1x6, 4 - 4"x4" ALUMINUM GUTTERS, 5 - ALUMINUM DOWNSPOUT 3"x4", 6 - FAUX STONE WAINSCOT. SEE DET. F1/A501, 7 - FAUX STONE WAINSCOT SILL, 8 - STANDING SEAM METAL ROOF - SEE FINISH SCHEDULE A103 FOR MORE PRODUCT INFORMATION, 9 - VERTICAL STANDING SEAM METAL ROOFING, 10 - STANDING SEAM METAL ROOF CORNER FLASHING, 11 - HARDIE BOARD 1x6 TRIM, 12 - ALUMINUM COPING CAP - SEE DETAIL D4/A501, 13 - ALUMINUM EDGE FLASHING, 14 - HARDIE TRIM BOARD 1x4, 15 - ALUMINUM STOREFRONT WINDOWS "KAWNEER", 16 - PREMANUFACTURED METAL CANOPY - SEE EXTERIOR ELEVATIONS FOR SIZE - SEE DETAILS FOR MORE INFORMATION, 17 - DECORATIVE WALL LIGHT - SEE ELECTRICAL DRAWINGS, 18 - PREMANUFACTURED ALUMINUM BARN DOORS 5'x9' - SEE DETAIL G4/A501 FOR MORE INFORMATION, 19 - PREMANUFACTURED ALUMINUM SHUTTERS 4'x5' SEE DETAIL G4/A501 FOR MORE INFORMATION, 20 - EXTERIOR SIGN UNDER SEPARATE PERMIT - SEE ELECTRICAL DRAWINGS FOR ELECTRICAL CIRCUIT INFORMATION, 21 - GAS METER & PIPING - SEE PLUMBING DRAWINGS, 22 - PAINTED HOLLOW METAL DOOR & FRAME, 23 - PREMANUFACTURED ALUMINUM SHUTTERS 2'x5' SEE DETAIL G4/A501 FOR MORE INFORMATION, 24 - SINGLE PLY ROOF MEMBRANE ON PARAPET BEYOND - SEE ROOF PLAN SHT. A104, 25 - ELECTRICAL METER, CT CABINET - SEE ELECTRICAL DRAWINGS, 26 - NON OPERATIONAL BARN DOOR HARDWARE - SEE DETAIL G4/A501 FOR MORE INFORMATION, 27 - DOUBLE PRESSURE TREATED 2x8 - SEE DETAIL G4/A501 FOR MORE INFORMATION, 28 - HARDIE BOARD 1x4 INSIDE CORNER BOARD, 29 - METAL ROOF ACCESS LADDER, 30 - EXPOSED RUBBED CONC. FOUND.- PAINT TO MATCH STONE.



**E1 EXTERIOR ELEVATION - REAR**  
A202 SCALE: 1/4" = 1'-0"



**A1 EXTERIOR ELEVATION - LEFT SIDE**  
A202 SCALE: 1/4" = 1'-0"

WINDOW REQUIREMENTS:  
REQUIRED 33% BETWEEN 0'-12'  
TOTAL WALL AREA 0'-12' = 1,136 SQ. FT.  
TOTAL WINDOW AREA PROVIDED = 375 SQ. FT.  
TOTAL WINDOW PERCENTAGE PROVIDED = 33%