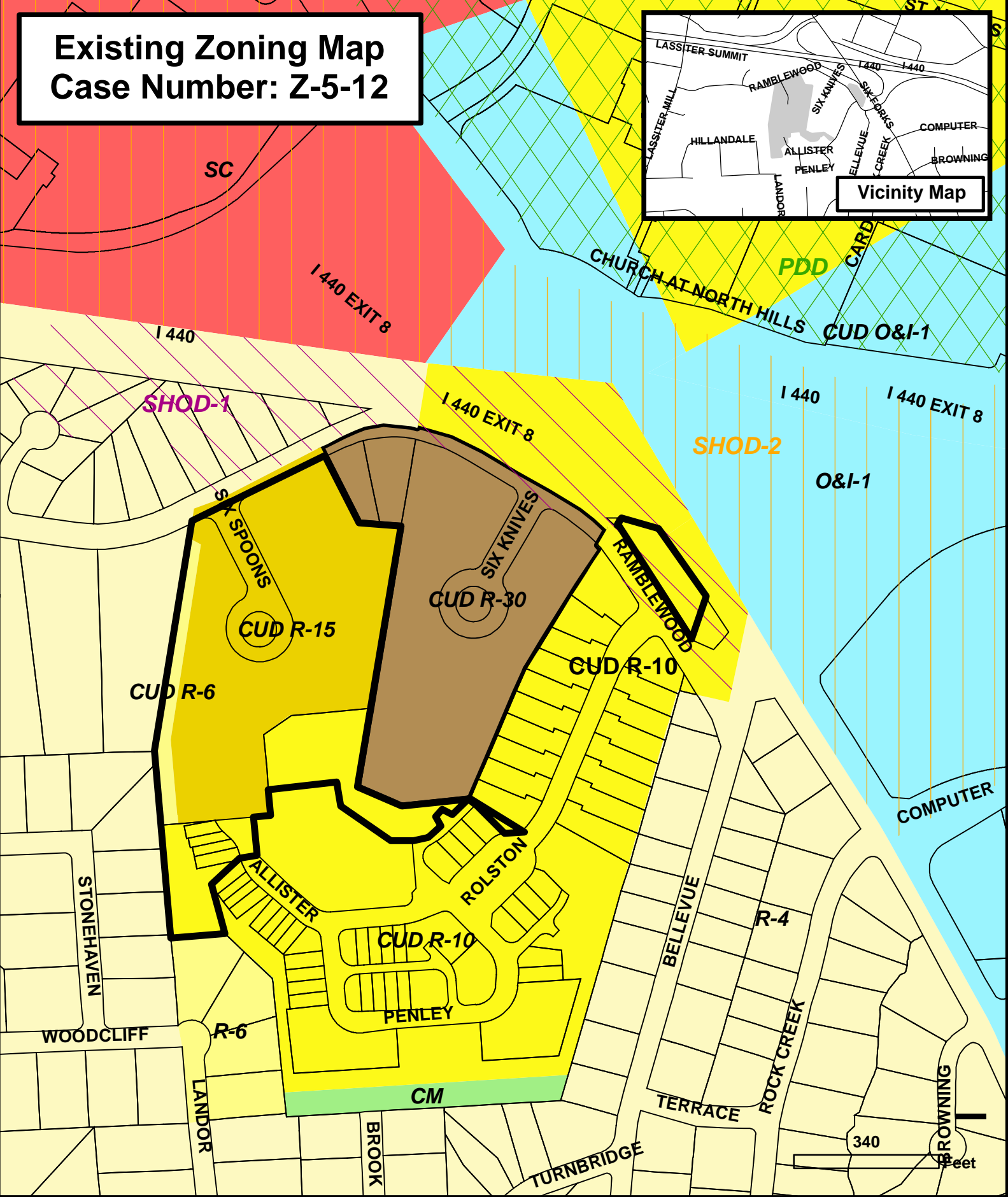
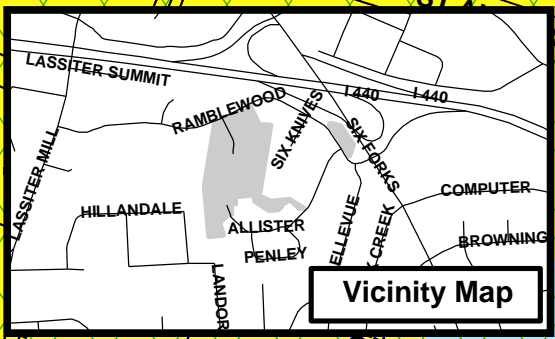


Existing Zoning Map

Case Number: Z-5-12



Request:
16.42 ac from R-6 CUD, R-10 CUD &
R-15 CUD to R-30 CUD

City of Raleigh Public Hearing
January 17, 2012
(April 16, 2012)



Certified Recommendation

Raleigh Planning Commission

CR# 11444

Case Information Z-5-12 Ramblewood Dr

<i>Location</i>	Ramblewood Drive and Six Forks Road
<i>Size</i>	9.91 acres
<i>Request</i>	Rezone property from R-6 CUD, R-10 CUD, R-10 CUD W/ SHOD-1, R-15 CUD to R-30 CUD and R-30 CUD w/ SHOD-1

Comprehensive Plan Consistency

Consistent

Inconsistent

Consistent

<i>Future Land Use Designation</i>	<input checked="" type="checkbox"/>	Medium Density Residential and Moderate Density Residential
<i>Applicable Policy Statements</i>	<input checked="" type="checkbox"/>	Policy LU 1.2 – Future Land Use map and Zoning Consistency
	<input checked="" type="checkbox"/>	Policy LU 1.3 – Conditional Use District Consistency
	<input checked="" type="checkbox"/>	Policy LU 2.2 – Compact Development
	<input checked="" type="checkbox"/>	Policy LU 2.6 – Zoning and Infrastructure Impacts
	<input checked="" type="checkbox"/>	Policy LU 4.5 – Connectivity
	<input type="checkbox"/>	Policy LU 5.1 – Reinforcing the Urban Pattern
	<input type="checkbox"/>	Policy LU 5.4 – Density Transitions
	<input checked="" type="checkbox"/>	Policy LU 5.6 – Buffering Requirements
	<input checked="" type="checkbox"/>	Policy EP 8.4 – Noise and Light Impacts

Summary of Conditions

<i>Submitted Conditions</i>	<ol style="list-style-type: none"> The density on the Property shall be restricted to no more than 28 units per gross acre. All structures shall be residential in character; minimum roof pitch of 3:12. Building materials specified, minimum transparency requirements. Additional setback from Ramblewood Drive for buildings taller than 40 feet (three feet of additional setback per one foot of building height above 40 feet). All structures shall be no greater than sixty five (65) feet in height. 20 foot setback along the western edge of the property. All lighting for any structured parking built on the property shall utilize full cutoff light fixtures directed away from adjacent R-4 zoned residential development.
-----------------------------	---

Issues and Impacts

<i>Outstanding Issues</i>	1. Unknown how building mass and scale will impact low density residential areas to north across Ramblewood Drive	<i>Suggested Conditions</i>	1. Address building mass and scale in areas adjacent to low density residential areas to the north across Ramblewood Drive
---------------------------	---	-----------------------------	--

<i>Impacts Identified</i>	<ol style="list-style-type: none"> 1. Potential increase in traffic 2. Potential Increase in transit ridership 3. Potential increase in school age children in already over-capacity base schools 	<i>Proposed Mitigation</i>	<ol style="list-style-type: none"> 1. Restripe westbound Ramblewood Drive at Lassiter Mill Rd to provide separate left-turn & right-turn lanes. The intersection is to be monitored by Public Works Department for the appropriate time to restripe Ramblewood Drive.
---------------------------	--	----------------------------	--

Public Meetings

<i>Neighborhood Meeting</i>	<i>Public Hearing</i>	<i>Committee</i>	<i>Planning Commission</i>
9/14/11	1/17/12	None	2/14/12: Approve

Valid Statutory Protest Petition

Attachments

1. Staff report
2. Existing Zoning/Location Map
3. Future Land Use

Planning Commission Recommendation

<i>Recommendation</i>	The Planning Commission finds that this case is consistent with the Comprehensive Plan and recommends that this case be approved in accordance with zoning conditions dated February 14, 2012.
<i>Findings & Reasons</i>	<ol style="list-style-type: none"> 1. The request is consistent with guidelines set forth in the Comprehensive Plan. The Future Land Use Map designates this area as being appropriate for Moderate Density Residential and Medium Density Residential. The proposed zoning is consistent with these designations. 2. The request is reasonable and in the public interest. Rezoning to Residential 30 Conditional Use District and Residential 30 Conditional Use District with Special Highway Overlay District 1 will have little additional impact on surrounding infrastructure, and will provide the applicant a broader range of options for redevelopment. Applicable policies and guidelines have been met. 3. The proposal is consistent and compatible with the surrounding area. While the property is adjacent to low density residential, the applicant has provided conditions for an increased setback along the western edge of the property, additional building setbacks from Ramblewood Drive for buildings taller than 40 feet, a maximum building height of 65 feet, and requirements for buildings to be residential in character.

<i>Motion and Vote</i>	Motion: Butler Second: Haq Excused: Schuster In Favor: Butler, Buxton, Fleming, Harris Edmisten, Haq, Mattox, Sterling Lewis
------------------------	--

This document is a true and accurate statement of the findings and recommendations of the Planning Commission. Approval of this document incorporates all of the findings of the attached Staff Report.

	Date		Date
Planning Director		Planning Commission Chairperson	2/14/12

Staff Coordinator: Carter Pettibone carter.pettibone@raleighnc.gov



Zoning Staff Report - Z-5-12

Conditional Use District

Request

<i>Location</i>	SE quadrant of I-440 and Six Forks Road. Ramblewood Drive and Six Forks Road
<i>Request</i>	Rezone property from R-6 CUD, R-10 CUD, R-10 CUD W/ SHOD-1, R-15 CUD to R-30 CUD and R-30 CUD w/ SHOD-1
<i>Area of Request</i>	9.91 acres
<i>Property Owner</i>	Ramblewood 2005 LLC. Ramblewood Lantern LLC, Delta Durham Associates LLC
<i>PC Recommendation Deadline</i>	April 16, 2012

Subject Property

	<i>Current</i>	<i>Proposed</i>
<i>Zoning</i>	R-6 CUD, R-10 CUD, and R-15 CUD	R-30 CUD
<i>Additional Overlay</i>	SHOD-1	SHOD-1
<i>Land Use</i>	Residential	Residential
<i>Residential Density</i>	6, 10, and 15 units per acre (max. 130 units)	28 units per acre (max. 276 units)

Surrounding Area

	<i>North</i>	<i>South</i>	<i>East</i>	<i>West</i>
<i>Zoning</i>	R-4 w/ SHOD-1, R-10 w/ SHOD-1. O&I-1 w/ SHOD-2, SC w/ SHOD-2	R-4, R-6, R-10 CUD	R-4, R-10 CUD, R-30 CUD	R-4
<i>Future Land Use</i>	Low Density Residential, Regional Retail Mixed Use, Office/Research and Development	Low Density Residential, Moderate Density Residential	Low Density Residential, Medium Density Residential, Moderate Density Residential, Office/Research and Development	Low Density Residential
<i>Current Land Use</i>	Low Density Residential, Multi-Family Residential, Commercial	Low Density Residential, Multi-Family Residential	Low Density Residential, Multi-Family Residential, Office	Low Density Residential

Comprehensive Plan Guidance

<i>Future Land Use</i>	Medium Density Residential and Moderate Density Residential
<i>Area Plan</i>	n/a
<i>Applicable Policies</i>	Policy LU 1.2 – Future Land Use Map and Zoning Consistency Policy LU 1.3 – Conditional Use District Consistency Policy LU 2.2 – Compact Development Policy LU 2.6 – Zoning and Infrastructure Impacts Policy LU 4.5 – Connectivity Policy LU 5.1 – Reinforcing the Urban Pattern Policy LU 5.4 – Density Transitions Policy LU 5.6 – Buffering Requirements Policy EP 8.4 – Noise and Light Impacts

Contact Information

<i>Staff</i>	Carter Pettibone, carter.pettibone@raleighnc.gov
<i>Applicant</i>	John Kane, Ramblewood 2005 LLC and Ramblewood Lantern LLC, (919) 833-7785
<i>Citizens Advisory Council</i>	Midtown; Patrick Martin, acemar@aol.com , 919-781-0857

Case Overview

The proposal seeks to rezone 9.91 acres currently zoned R-6 CUD, R-10 CUD, R-10 CUD with SHOD-1 Overlay and R-15 CUD to R-30 CUD and R-30 CUD w/ SHOD-1 Overlay. The parcels are located along Ramblewood Drive near its intersection with Six Forks Road in the southwest quadrant of Six Forks Road and Interstate 440. A majority (7.19 acres) of the area under consideration is currently taken up by a portion of the Lantern Square apartments, a 1960's apartment complex consisting of a mix of townhome and garden apartment buildings. Another 2.24 acres consists of open space and townhouse properties within the Ramblewood Subdivision located south of Lantern Square. The final 0.48 acres is an undeveloped parcel located further east across Ramblewood Drive near its intersection with Six Forks Road.

The areas zoned R-6 CUD and R-15 CUD received those zoning designations in 2007, as part of Z-10-07. The areas currently zoned R-10 CUD and R-10 CUD with SHOD-1 were part of rezoning Z-38-05. Both of those cases were brought forth by the applicant of this case.

The applicant has proposed conditions similar to those of Z-10-07, except for proposed density. They include a density cap of 28 dwelling units per acre, residential style design requirements for buildings, additional setback from Ramblewood Drive for buildings taller than 40 feet, a 65 foot height maximum, additional setback along the western property line, and a requirement for structured parking lighting to be directed away from adjacent low density residential areas.

The rezoning would allow additional density for an area already primarily zoned for and consisting of multi-family residential. An additional 146 residential units could be developed on the subject properties with this rezoning. The applicant is currently developing the Ramblewood Subdivision with a mix of single-family, townhome, and multi-family housing types, and plans to redevelop the entire Lantern Square apartment complex with higher density multi-family dwellings.

Exhibit C & D Analysis

1. Consistency of the proposed rezoning with the Comprehensive Plan and any applicable City-adopted plan(s)

1.1 Future Land Use

The request is generally consistent with the Future Land Use Map, which has a majority of the proposed area designated Medium Density Residential. Medium Density Residential applies to garden apartments, townhomes, condominiums, and suburban style apartment complexes. It would also apply to older neighborhoods with a mix of single-family and multi-family housing with gross densities in the 14 to 28 unit per acre range. The property contains 7.19 acres of land classified Medium Density Residential.

The remaining 2.72 acres is designated Moderate Density Residential, which applies to some of the city's older single family residential neighborhoods, along with newer small lot single family subdivisions and patio home developments. Other housing types would be consistent with this designation as long as an overall gross density not exceeding 14 units per acre was maintained. Gross density in these areas would be 6 to 14 units per acre.

The proposal calls for 28 units per acre for the proposed area. While the entire acreage does not entirely lie within the Medium Density Residential FLUM category, the request is generally consistent when looking at the broader context. When applying the proposed 28 units an acre towards these 2.7 acres the result would be a maximum of 76 units within the Ramblewood Subdivision development to the south. The remainder of the Ramblewood development supports 165 units per the underlying R-10 zoning. The resulting 165 units for Ramblewood represent a density of 12.5 units per acre, which falls within the density range for the Moderate Density Residential FLUM category.

1.2 Policy Guidance

The following policy guidance is applicable with this request:

Policy LU 1.2 - Future Land Use Map and Zoning Consistency

All conditions proposed as part of a conditional use district (CUD) should be consistent with the Comprehensive Plan

The proposal is generally consistent with this policy. See the section above for a more detailed analysis.

Policy LU 1.3 - Conditional Use District Consistency

All conditions proposed as part of a conditional use district (CUD) should be consistent with the Comprehensive Plan

The proposal is consistent with this policy. Rezoning conditions provided by the applicant are consistent with the Comprehensive Plan.

Policy LU 2.2 - Compact Development

New development and redevelopment should use a more compact land use pattern to support the efficient provision of public services, improve the performance of transportation networks, preserve open space, and reduce the negative impacts of low intensity and non-contiguous development.

The proposal is consistent with this policy. Development at the proposed density would result in a more compact land use pattern on the parcels than there is currently. The subject property is located in close proximity to a large mixed use development. The rezoning would permit increased densities in the area. The increase in residential density would capitalize on the adjacent services without much impact to infrastructure.

Policy LU 2.6 - Zoning and Infrastructure Impacts

Carefully evaluate all amendments to the zoning map that significantly increase permitted density or floor area to ensure that impacts to infrastructure capacity resulting from the projected intensification of development are adequately mitigated or addressed.

The proposal appears to be generally consistent with this policy. Aside from potential traffic impacts, there are little additional impacts to infrastructure associated with this request. A Traffic Impact Assessment is under review by the City's Office of Transportation Planning.

Policy LU 4.5- Connectivity

New development and redevelopment should provide pedestrian and vehicular connectivity between individual development sites to provide alternative means of access along corridors.

The proposal is consistent with this policy. Allister Street, which is part of the Ramblewood Subdivision stubs into the south of the proposed parcels. Any redevelopment of the subject properties would connect at that point, providing an alternate means of accessing the site.

Policy LU 5.1 - Reinforcing the Urban Pattern

New development should be visually integrated with adjacent buildings, and more generally with the surrounding area. Quality design and site planning is required so that new development opportunities within the existing urban fabric of Raleigh are implemented without adverse impacts on local character and appearance.

The proposal is not fully consistent with this policy. The properties are in close proximity to a regional mixed use center and the zoning classification is in keeping with the general character of the area. However, the proposed maximum height of 65 feet seems to be out of scale with surrounding lower intensity form and character of single family residential to the north and west of the site. The applicant is encouraged to consider conditions that would address mass and scale to better fit with the residential character of the built environment to the north and west.

Policy LU 5.4 - Density Transitions

New development should be visually integrated with adjacent buildings, and more generally with the surrounding area. Quality design and site planning is required so that new development opportunities within the existing urban fabric of Raleigh are implemented without adverse impacts on local character and appearance.

The proposal is not fully consistent with this policy. The proposal allows for appropriate density transitions to the east and south, yet the change in density to adjacent R-4 zoning is rather abrupt. The applicant should consider zoning conditions to help ensure an appropriate transition to surrounding low density residential uses.

Policy LU 5.6 - Buffering Requirements

New development adjacent to areas of lower intensity should provide effective physical buffers to avoid adverse effects. Buffers may include larger setbacks, landscaped or forested strips, transition zones, fencing, screening, height and/or density step downs, and other architectural and site planning measures that avoid potential conflicts.

The proposal contains a condition that calls for a larger setback towards lower density residential properties to the west. In addition, any development of the subject parcels would be required to comply with applicable buffering or screening provisions of the City's Zoning Ordinance.

Policy EP 8.4 - Noise and Light Impacts

Mitigate potential noise and light pollution impacts from new development on adjoining residential properties.

The proposal is consistent with this policy. It contains a condition calling for any lighting in structured parking facilities to be directed away from adjacent residentially zoned properties.

1.3 Area Plan Guidance

The site is not located in a portion of the City governed by an Area Plan.

2. Compatibility of the proposed rezoning with the property and surrounding area

The area to the north and east surrounding the subject properties contains predominantly single-family residences in R-4 zoning districts. Property to the east contains an apartment complex, while property to the south is made up of the Ramblewood development, containing a mix of residential building types, including multi-family buildings. The area proposed for rezoning currently contains 157 apartments.

The applicant states that the proposed rezoning is compatible with surroundings uses, including the Regional Mixed Use area immediately north of I-440 made of up of the North Hills and North Hill East.

The proposed rezoning is compatible with surrounding areas to the east and south and is generally compatible with the broader area, but compatibility with low density residential to the west and directly north across Ramblewood Drive could be difficult without conditions to address height, mass, and scale of buildings in those areas.

3. Public benefits of the proposed rezoning

The applicant states that the surrounding area and neighbors would benefit by redevelopment of the existing Lantern Square apartments. The rezoning would help create a higher density infill project in close proximity to transportation, retail, and employment. It could also help reduce traffic congestion over a larger area by placing high density residential in close proximity to these uses.

4. Detriments of the proposed rezoning

The proposed rezoning will allow for high density residential uses in close proximity to single family residential uses and will increase the traffic on the surrounding road network. There are also some outstanding issues that remain with this proposal. Applicant should consider amended zoning conditions to meet all applicable Comprehensive Plan policies and guidelines.

5. The impact on public services, facilities, infrastructure, fire and safety, parks and recreation, etc.

5.1 Transportation

<u>Primary Streets</u>	<u>Classification</u>	<u>2009 NCDOT Traffic Volume (ADT)</u>	<u>2035 Traffic Volume Forecast (CAMPO)</u>			
Ramblewood Drive	Residential	N/A	N/A			
Six Forks Road	Major Thoroughfare	44,000	55,500			
Street Conditions						
<u>Ramblewood Drive</u>	<u>Lanes</u>	<u>Street Width</u>	<u>Curb and Gutter</u>	<u>Right-of-Way</u>	<u>Sidewalks</u>	<u>Bicycle Accommodations</u>
Existing	2	34'	Back-to-back curb and gutter section	50'	None	None
City Standard	2	31'	Back-to-back curb and gutter section	60'	minimum 5' sidewalks on one or both sides	N/A
Meets City Standard?	YES	YES	YES	NO	NO	N/A
<u>Six Forks Road</u>	<u>Lanes</u>	<u>Street Width</u>	<u>Curb and Gutter</u>	<u>Right-of-Way</u>	<u>Sidewalks</u>	<u>Bicycle Accommodations</u>
Existing	6	95'	Back-to-back curb and gutter section	<200'	5' sidewalks on both sides	None
City Standard	4	65'	Back-to-back curb and gutter section	90'	minimum 5' sidewalks on both sides	Striped bicycle lanes on both sides
Meets City Standard?	YES	YES	YES	YES	YES	NO
<u>Expected Traffic Generation [vph]</u>	<u>Current Zoning</u>	<u>Proposed Zoning</u>	<u>Differential</u>			
AM PEAK	N/A	N/A	N/A			
PM PEAK	N/A	N/A	N/A			
Suggested Conditions/ Impact Mitigation:		A TIA has been reviewed by staff. The proposed rezoning will result in a net increase of 84 trips in the AM peak and 98 trips in the PM peak. All signalized intersections on Six Forks Rd will operate at LOS-F during the PM peak under both current zoning and proposed zoning. The TIA recommends restriping westbound Ramblewood Dr at Lassiter Mill Rd to provide separate left-turn & right-turn lanes. The Public Works Department should monitor this intersection for possible future restriping.				
Additional Information:	Neither NCDOT nor the City of Raleigh have any roadway construction projects scheduled in the vicinity of this case.					

Impact Identified: Traffic Impact Analysis Report has been submitted and reviewed.

5.2 Transit

There is transit along Six Forks Rd but it is not currently planned to be extended onto Ramblewood Drive.

Impact Identified: Transit use may increase on Six Forks Rd.

5.3 Hydrology

<i>Floodplain</i>	None.
<i>Drainage Basin</i>	Crabtree Creek
<i>Stormwater Management</i>	Subject to Part 10, Chapter 9
<i>Overlay District</i>	None.

Impact Identified: Neuse Riparian Buffers appear to be present on site.

5.4 Public Utilities

	<i>Maximum Demand (current)</i>	<i>Maximum Demand (proposed)</i>
<i>Water</i>	114,432 gpd	258,615 gpd
<i>Waste Water</i>	114,432 gpd	258,615 gpd

The proposed rezoning will add approximately 144,183 gpd to the wastewater collection and water distribution systems of the City. There are existing sanitary sewer and water mains in Ramblewood Drive and Six Spoons Road. If the rezoning requires reconfiguration of the sanitary sewer and/or water mains due to redevelopment of the properties, the applicant will be responsible for the realignment of the utilities.

5.5 Parks and Recreation

The subject tract is not located adjacent to a greenway corridor. This site is not located within a park search area.

Impact Identified: None

5.6 Urban Forestry

10-2082.14 Tree Conservation Ordinance does apply to this proposed site. There are wooded areas and individual trees on site that fall in 65 ft buffer areas and 65 ft of roadways.

Impact Identified: The density of the proposed site may challenge tree preservation requirements.

5.7 Wake County Public Schools

Under the existing zoning, a maximum of 130 dwelling units can be constructed on the sites. The proposed zoning could permit up to 276 units. The increase could result in 22 additional elementary school, 13 middle school, and ten high school students being enrolled at base schools:

School name	Current Enrollment	Current Capacity	Future Enrollment	Future Capacity
Root	426	108.7%	448	114.3%
Daniels	1,145	101.5%	1,158	102.6%
Broughton	2,045	106.3%	2,055	106.8%

Impact Identified: The proposal could result in an increase in the number of school-age children in the base school area, adding to the over-capacity conditions already in effect at the base schools.

5.8 Designated Historic Resources

No sites on the National Register of Historic Places and/or Raleigh Historic Landmarks are located on or within 1,000 feet of the subject property.

Impact Identified: The proposed rezoning would not impact the City's historic resources.

5.9 Community Development

The site is not located within a City redevelopment plan area.

Impact Identified: None.

5.10 Impacts Summary

- Potential increase in traffic.
- Potential increase in transit ridership.
- Potential increase in the number of school age children, adding to already over-capacity base schools.

5.11 Mitigation of Impacts

- Restripe westbound Ramblewood Drive at Lassiter Mill Road to provide separate left-turn and right-turn lanes

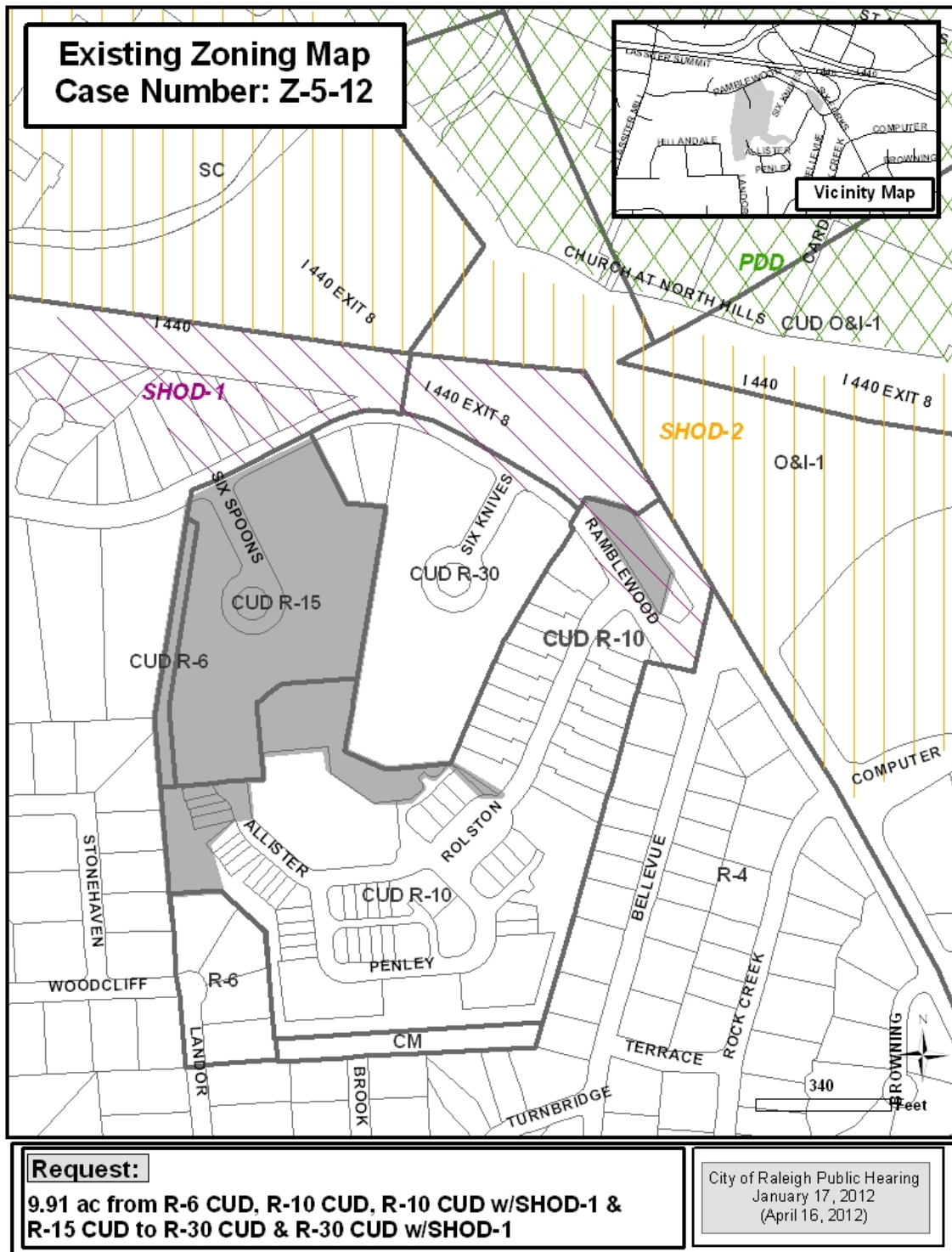
6. Appearance Commission

This proposal is not subject to Appearance Commission review.

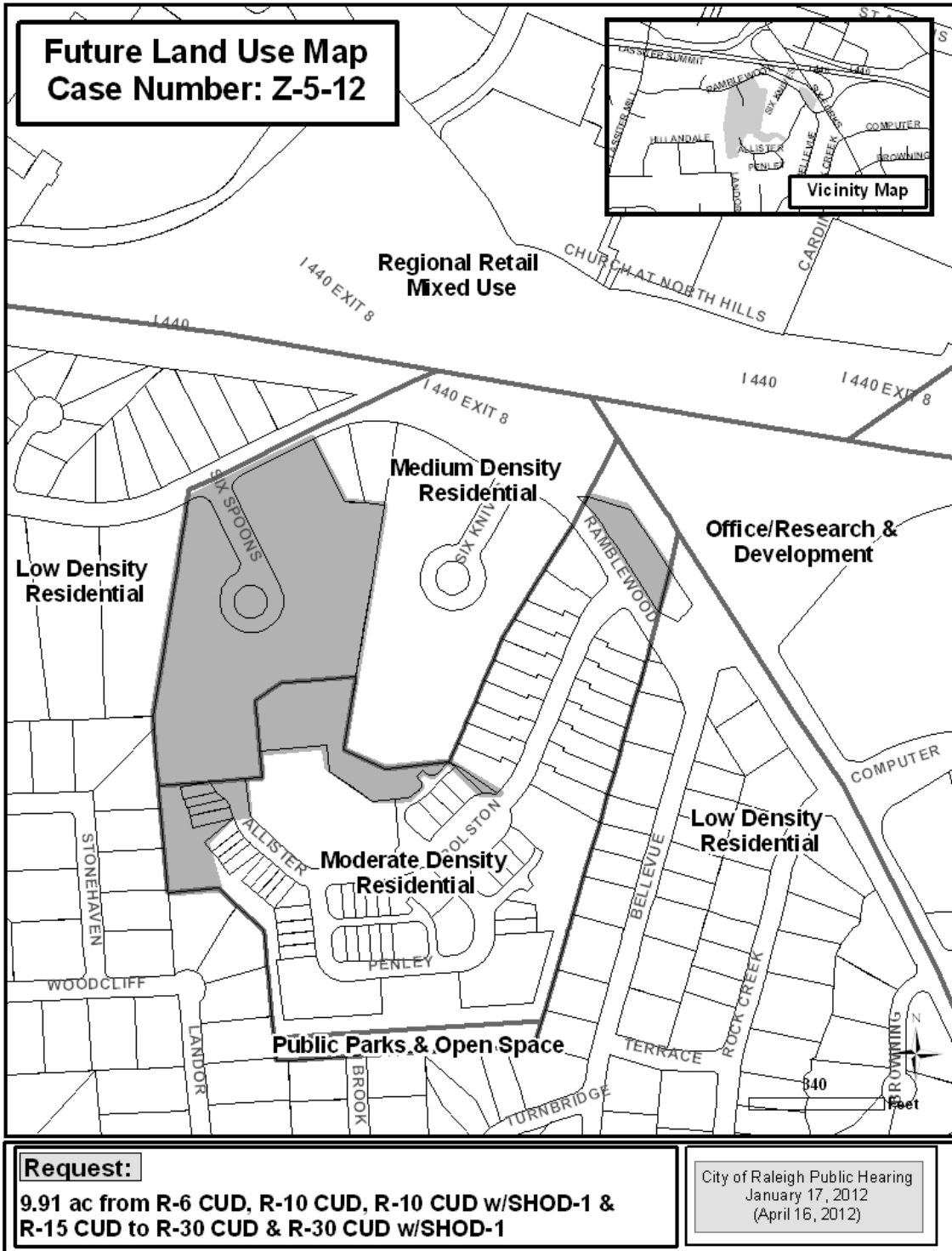
7. Conclusions

The proposal is generally consistent with the Future Land Use Map and consistent with several policies of the Comprehensive Plan. The applicant should consider adding conditions that address mass and scale for buildings along Ramblewood Drive.

Existing Zoning Map



Future Land Use Map





Petition to Amend the Official Zoning Map

Before the City Council of the City of Raleigh, North Carolina

The petitioner seeks to show the following:

1. That, for the purposes of promoting health, morals, or the general welfare, the zoning classification of the property described herein must be changed.
2. That the following circumstance(s) exist(s):
 - City Council has erred in establishing the current zoning classification of the property by disregarding one or a combination of the fundamental principles of zoning as set forth in the enabling legislation, North Carolina General Statutes Section 160A-381 and 160A-383.
 - Circumstances have so changed since the property was last zoned that its current zoning classification could not properly be applied to it now were it being zoned for the first time.
 - The property has not heretofore been subject to the zoning regulations of the City of Raleigh.
3. That the requested zoning change is or will be consistent with the Raleigh Comprehensive Plan.
4. That the fundamental purposes of zoning as set forth in the N.C. enabling legislation would be best served by changing the zoning classification of the property. Among the fundamental purposes of zoning are:
 - a. to lessen congestion in the streets;
 - b. to provide adequate light and air;
 - c. to prevent the overcrowding of land;
 - d. to facilitate the adequate provision of transportation, water, sewerage, schools, parks, and other public requirements;
 - e. to regulate in accordance with a comprehensive plan;
 - f. to avoid spot zoning; and
 - g. to regulate with reasonable consideration to the character of the district, the suitability of the land for particular uses, the conservation of the value of buildings within the district and the encouragement of the most appropriate use of the land throughout the City.

THEREFORE, petitioner requests that the Official Zoning map be amended to change the zoning classification of the property as proposed in this submittal, and for such other action as may be deemed appropriate. All property owners must sign below for conditional use requests.

ALL CONDITIONAL PAGES MUST BE SIGNED BY ALL PROPERTY OWNERS


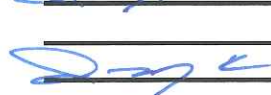

Signature(s)	Print Name	Date
	John Kane, Ramblewood 2005 LLC	9/14/11
	John Kane, Ramblewood Lantern LLC	9/14/11
	John Kane, Ramblewood Lantern LLC	9/14/11

EXHIBIT B. Request for Zoning Change

Please use this form only – form may be photocopied. Please type or print. See instructions in *Filing Addendum*

Contact Information

	Name(s)	Address	Telephone/Email
Petitioner(s) (for conditional use requests, petitioners must own petitioned property)	Ramblewood 2005 LLC	C/O Kane Realty Corp. P.O. Box 19107 Raleigh, NC 27619	919-833-7755 jkane@kanerealtycorp.com
	Ramblewood Lantern LLC	4321 Lassiter at North Hills Ave. Raleigh, NC 27609	919-833-7755 jkane@kanerealtycorp.com
	Ramblewood Lantern LLC	4321 Lassiter at North Hills Avenue Suite 250 Raleigh, NC 27609	919-833-7755 jkane@kanerealtycorp.com
Property Owner(s)	Mr. John Kane	4321 Lassiter at North Hills Avenue Suite 250 Raleigh, NC 27609	919-833-7755 jkane@kanerealtycorp.com
Contact Person(s)	Mr. John Kane	Same as above	Same as above
	Bob Zumwalt	John R. McAdams Co. 2905 Meridian Pkwy. Durham, NC 27713	919-361-5000 ext 294 zumwalt@johnrmcadams.com
	Mack Paul	K&L Gates LLP 4350 Lassiter at North Hills Ave. Suite 300 Raleigh, NC 27609	919-743-7300 Mack.paul@klgates.com

Property information

Property Description (Wake County PIN)

1705-78-2455
1705-68-4442
1705-67-5908
P/O 1705-67-6214
1705-67-1864
1705-67-1872
1705-67-1890
1705-67-2708

Nearest Major Intersection

Ramblewood Drive and
Six Forks Road

Area of Subject Property (in acres)

Approximately ~~10.42~~ **9.91 Acres to be rezoned.**

Current Zoning Districts (include all overlay districts)

CUD R-15; CUD R-10;
CUD R-10 SHOD-1; CUD
R-6

Requested Zoning Districts (include all overlay districts)

CUD R-30; CUD R30 SHOD-1

EXHIBIT B. Request for Zoning Change

Please use this form only – form may be photocopied. Please type or print. See instructions in *Filing Addendum*

The following are all of the persons, firms, property owners, associations, corporations, entities or governments owning property adjacent to and within one hundred feet (excluding right-of-way) of the property sought to be rezoned. Please include Wake County PINs with names, addresses and zip codes. Indicate if property is owned by a condominium property owners association. Please complete ownership information in the boxes below. If you need additional space, please copy this form.

Name	Street Address	City/State/Zip	Wake Co. PIN
See attached for all adjoining owners			

Exhibit B Adjoining Property Owners within 100' of subject property.

1705579795
VICK, DONALD B & MILDRED S
3712 STONEHAVEN DR
RALEIGH NC 27609-7028

1705597841
NHM OWNER-1 LLC
C/O KANE REALTY CORPORATION
PO BOX 19107
RALEIGH NC 27619-9107

1705670514
BREARLEY, FRANKLIN W TRUSTEE BREARLEY,
DORIS L TRUSTEE
3704 STONEHAVEN DR
RALEIGH NC 27609-7028

1705671864
RAMBLEWOOD 2005 LLC
C/O KANE REALTY CORPORATION
PO BOX 19107
RALEIGH NC 27619-9107

1705672092
MCCOY, STEPHEN P & LOUISE B
3416 LANDOR RD
RALEIGH NC 27609-7015

1705672362
TROXLER, MARIAN W
1100 MARLOWE RD
RALEIGH NC 27609-6346

1705672677
ANOBA, RICHARD C & MAUREEN E
321 ALLISTER DR
RALEIGH NC 27609-7231

1705672741
RAMBLEWOOD 2005 LLC
C/O KANE REALTY CORPORATION
PO BOX 19107
RALEIGH NC 27619-9107

1705673632
TIKVART, CHRISTOPHER & ROSEMARIE
311 ALLISTER DR
RALEIGH NC 27609-7231

1705674384
RAMBLEWOOD 2005 LLC
C/O KANE REALTY CORPORATION
PO BOX 19107
RALEIGH NC 27619-9107

1705579896
SAFRIT, ROBERT W & MARY C
3716 STONEHAVEN DR
RALEIGH NC 27609-7028

1705667999
COMAN, DAVID & DANA
3525 TURNBRIDGE DR
RALEIGH NC 27609-7135

1705670604
HARVEY, WILLIAM J & KRISTEN S
3708 STONEHAVEN DR
RALEIGH NC 27609-7028

1705671872
RAMBLEWOOD 2005 LLC
C/O KANE REALTY CORPORATION
PO BOX 19107
RALEIGH NC 27619-9107

1705672172
DOANE, GARY EUGENE & MARTHA E
3418 LANDOR RD
RALEIGH NC 27609-7015

1705672453
DAY, RICHARD CARLTON JR & BARBARA H
3424 LANDOR RD
RALEIGH NC 27609-7015

1705672708
RAMBLEWOOD 2005 LLC
C/O KANE REALTY CORPORATION
PO BOX 19107
RALEIGH NC 27619-9107

1705673579
VERNON, ERIC A HAMBRIDGE, KIMBERLY A
303 ALLISTER DR
RALEIGH NC 27609-7231

1705673651
WALTERS, MICHAEL & BARBARA M
307 ALLISTER DR
RALEIGH NC 27609-7231

1705674414
ELLIS, NICHOLAS L
243 PENLEY CIR
RALEIGH NC 27609-7240

1705579925
DEMPSEY, J WILLIAM & MARY S
300 HILLANDALE DR
RALEIGH NC 27609-7035

1705670423
COULES, BLAKE R & BRENDA J
3700 STONEHAVEN DR
RALEIGH NC 27609-7028

1705671565
LEWIS, MALCOLM G WORTHY, MARJORIE H
3428 LANDOR RD
RALEIGH NC 27609-7015

1705671890
RAMBLEWOOD 2005 LLC
C/O KANE REALTY CORPORATION
PO BOX 19107
RALEIGH NC 27619-9107

1705672262
WILLIFORD, MARQUIS BUREN WILLIFORD, TINA
COLLINS
3420 LANDOR RD
RALEIGH NC 27609-7015

1705672659
TING, ADAM C
325 ALLISTER DR
RALEIGH NC 27609-7231

1705672723
HARRINGTON, MARGARET M
333 ALLISTER DR
RALEIGH NC 27609-7231

1705673614
NOVAK, SUSAN ROYCROFT
4441 SIX FORKS RD STE 106-256
RALEIGH NC 27609-5729

1705674162
CLARY, EILEEN M
3609 BROOK DR
RALEIGH NC 27609-7111

1705674417
RAMBLEWOOD 2005 LLC
C/O KANE REALTY CORPORATION
PO BOX 19107
RALEIGH NC 27619-9107

1705674500
RAMBLEWOOD 2005 LLC
C/O KANE REALTY CORPORATION
PO BOX 19107
RALEIGH NC 27619-9107

1705674504
RAMBLEWOOD 2005 LLC
C/O KANE REALTY CORPORATION
PO BOX 19107
RALEIGH NC 27619-9107

1705674779
Nancy Warner
340 Allister Drive, Suite 111
Raleigh NC 27609

1705674779
Elaine Roston
340 Allister Drive, Suite 305
Raleigh NC 27609

1705674779
Marillyn Nations
340 Allister Drive, Suite 315
Raleigh NC 27609

1705674779
Paula Motley
340 Allister Drive, Suite 117
Raleigh NC 27609

1705674779
Laura Wright
340 Allister Drive, Suite 105
Raleigh NC 27609

1705674779
Ray Reisert
340 Allister Drive, Suite 307
Raleigh NC 27609

1705674779
Nathan Kryn
340 Allister Drive, Suite 301
Raleigh NC 27609

1705674779
Kay Carrington
340 Allister Drive, Suite 207
Raleigh NC 27609

1705674779
Sheel Patel
340 Allister Drive, Suite 101
Raleigh NC 27609

1705674779
Robert Leon
340 Allister Drive, Suite 201
Raleigh NC 27609

1705674779
Clara Underwood
340 Allister Drive, Suite 311
Raleigh NC 27609

1705674779
Elgie Woodyard
340 Allister Drive, Suite 317
Raleigh NC 27609

1705674779
Alicia Fabry
7126 Racine Way,
Raleigh NC 27615

1705674779
Nilsa Colon-Perez
340 Allister Drive, Suite 309
Raleigh NC 27609

1705674779
Kimberly Hambridge
303 Allister Drive,
Raleigh NC 27609

1705674779
Christopher Tikvart
311 Allister Drive,
Raleigh NC 27609

1705674779
Susan Novak
4441 Six Forks Road, Suite 106-256
Raleigh NC 27609

1705674779
Peggy Harrington
333 Allister Drive,
Raleigh NC 27609

1705674779
Richard & Maureen Anoba
321 Allister Drive,
Raleigh NC 27609

1705674779
Ralph & Linda Moore Moore
3603 Rolston Drive,
Raleigh NC 27609

1705674779
Nicholas Ellis
243 Penley Circle,
Raleigh NC 27609

1705674779
Thad & Jeme Avent
215 Penley Circle,
Raleigh NC 27609

1705674779
Bonner & Ashley Gaylord
3710 Rolston Drive,
Raleigh NC 27609

1705674779
Michael Jebson and Kimberly Fox
3717 Rolston Drive,
Raleigh NC 27609

1705674779
Sylvia Rowland
3721 Rolston Drive,
Raleigh NC 27609

1705674779
Alexander Auspitz
3724 Rolston Drive,
Raleigh NC 27609

1705674779
Robin Whitley Hood, II
3725 Rolston Drive,
Raleigh NC 27609

1705674779
Adam Ting
325 Allister Drive,
Raleigh NC 27609

1705674779
Michael & Barbara Walters
307 Allister Drive,
Raleigh NC 27609

1705674779
David and Carolyn Emmert
P. O. Box 1874,
Nashville IN 47448

1705674779
Lou Cunningham
3611 Rolston Drive,
Raleigh NC 27609

1705674779
Esther Hall
340 Allister Drive, Suite 109
Raleigh NC 27609

1705674779
Thomas Earley
227 Allister Drive,
Raleigh NC 27609

1705674779
Robert and Elizabeth Jones
230 Penley Circle,
Raleigh NC 27609

1705674779
Armbruster
226 Penley Circle,
Raleigh NC 27609

1705675426
JONES, ROBERT H & ELIZABETH W
230 PENLEY CIR
RALEIGH NC 27609-7241

1705675456
RAMBLEWOOD 2005 LLC
C/O KANE REALTY CORPORATION
PO BOX 19107
RALEIGH NC 27619-9107

1705675486
RAMBLEWOOD 2005 LLC
C/O KANE REALTY CORPORATION
PO BOX 19107
RALEIGH NC 27619-9107

1705675507
EARLEY, THOMAS R & ELIZABETH A
227 ALLISTER DR
RALEIGH NC 27609

1705675547
RAMBLEWOOD 2005 LLC
C/O KANE REALTY CORPORATION
PO BOX 19107
RALEIGH NC 27619-9107

1705675577
RAMBLEWOOD 2005 LLC
C/O KANE REALTY CORPORATION
PO BOX 19107
RALEIGH NC 27619-9107

1705675908
RAMBLEWOOD 2005 LLC
C/O KANE REALTY CORPORATION
PO BOX 19107
RALEIGH NC 27619-9107

1705676154
MALONE, JAMES MICHAEL & JENNIFER P
3608 BROOK DR
RALEIGH NC 27609-7112

1705676214
RAMBLEWOOD 2005 LLC
C/O KANE REALTY CORPORATION
PO BOX 19107
RALEIGH NC 27619-9107

1705676406
RAMBLEWOOD 2005 LLC
C/O KANE REALTY CORPORATION
PO BOX 19107
RALEIGH NC 27619-9107

1705676437
RAMBLEWOOD 2005 LLC
C/O KANE REALTY CORPORATION
PO BOX 19107
RALEIGH NC 27619-9107

1705676497
RAMBLEWOOD 2005 LLC
C/O KANE REALTY CORPORATION
PO BOX 19107
RALEIGH NC 27619-9107

1705676507
RAMBLEWOOD 2005 LLC
C/O KANE REALTY CORPORATION
PO BOX 19107
RALEIGH NC 27619-9107

1705676528
RAMBLEWOOD 2005 LLC
C/O KANE REALTY CORPORATION
PO BOX 19107
RALEIGH NC 27619-9107

1705677519
RAMBLEWOOD 2005 LLC
C/O KANE REALTY CORPORATION
PO BOX 19107
RALEIGH NC 27619-9107

1705677727
MOORE, LINDA KERR
3603 ROLSTON DR
RALEIGH NC 27609-7229

1705677860
RAMBLEWOOD 2005 LLC
C/O KANE REALTY CORPORATION
PO BOX 19107
RALEIGH NC 27619-9107

1705677883
CUNNINGHAM, LOU OAKLEY
3611 ROLSTON DR
RALEIGH NC 27609-7229

1705678016
REDDY, JOSEPH B & DONNA L ALLEN
3529 TURNBRIDGE DR
RALEIGH NC 27609-7135

1705678125
SMITH, WILLIAM C & MARY ALICE
3535 TURNBRIDGE DR
RALEIGH NC 27609-7135

1705678500
RAMBLEWOOD 2005 LLC
C/O KANE REALTY CORPORATION
PO BOX 19107
RALEIGH NC 27619-9107

1705678682
RAMBLEWOOD 2005 LLC
C/O KANE REALTY CORPORATION
PO BOX 19107
RALEIGH NC 27619-9107

1705678826
RAMBLEWOOD 2005 LLC
C/O KANE REALTY CORPORATION
PO BOX 19107
RALEIGH NC 27619-9107

1705678970
RAMBLEWOOD 2005 LLC
PO BOX 19017
RALEIGH NC 27619-9017

1705678996
RAMBLEWOOD 2005 LLC
PO BOX 19017
RALEIGH NC 27619-9017

1705679130
CHRISTIAN, ROBERT G & KATHLEEN M
3601 TURNBRIDGE DR
RALEIGH NC 27609-7137

1705679339
RAMBLEWOOD 2005 LLC
C/O KANE REALTY CORPORATION
PO BOX 19107
RALEIGH NC 27619-9107

1705679550
RAMBLEWOOD 2005 LLC
C/O KANE REALTY CORPORATION
PO BOX 19107
RALEIGH NC 27619-9107

1705679554
AVENT, THAD S & JEME M
215 PENLEY CIR
RALEIGH NC 27609-7240

1705679615
RAMBLEWOOD 2005 LLC
C/O KANE REALTY CORPORATION
PO BOX 19107
RALEIGH NC 27619-9107

1705679638
RAMBLEWOOD 2005 LLC
C/O KANE REALTY CORPORATION
PO BOX 19107
RALEIGH NC 27619-9107

1705679761
RAMBLEWOOD 2005 LLC
C/O KANE REALTY CORPORATION
PO BOX 19107
RALEIGH NC 27619-9107

1705680347
BELL, CHARLES E III & KATHRYN B
301 RAMBLEWOOD DR
RALEIGH NC 27609-6405

1705680607
MARTIN, MARCUS C & DEBORAH S
321 NORTHFIELD DR
RALEIGH NC 27609-5228

1705680761
FREEMAN, ANTHONY WAYNE BYRD, CRONIN K
300 RAMBLEWOOD DR
RALEIGH NC 27609-6406

1705681726
WILSON, WILLIAM HOOPER & JEAN G
212 RAMBLEWOOD DR
RALEIGH NC 27609-6404

1705682708
JORDAN, MICHAEL L & SUSAN W
208 RAMBLEWOOD DR
RALEIGH NC 27609-6404

1705682789
JORDAN, MICHAEL L & SUSAN WHELESS
208 RAMBLEWOOD DR
RALEIGH NC 27609-6404

1705683881
SARIR, AFSHIN JOHN & KAREN L
200 RAMBLEWOOD DR
RALEIGH NC 27609-6404

1705684442
RAMBLEWOOD LANTERN LLC
STE 250
4321 LASSITER AT NORTH HILLS AVE
RALEIGH NC 27609-5782

1705684882
RALEIGH CITY OF
PO BOX 590
RALEIGH NC 27602-0590

1705685636
ALPHA FIVE LLC
PO BOX 31108
RALEIGH NC 27622-1108

1705686607
ALPHA FIVE LLC
PO BOX 31108
RALEIGH NC 27622-1108

1705687361
RAMBLEWOOD LANTERN LLC DELTA DURHAM
ASSOC LLC
STE 250
4321 LASSITER AT NORTH HILLS AVE
RALEIGH NC 27609-5782

1705689021
RAMBLEWOOD 2005 LLC
C/O KANE REALTY CORPORATION
PO BOX 19107
RALEIGH NC 27619-9107

1705689046
RAMBLEWOOD 2005 LLC
C/O KANE REALTY CORPORATION
PO BOX 19107
RALEIGH NC 27619-9107

1705689162
RAMBLEWOOD 2005 LLC
C/O KANE REALTY CORPORATION
PO BOX 19107
RALEIGH NC 27619-9107

1705689187
RAMBLEWOOD 2005 LLC
C/O KANE REALTY CORPORATION
PO BOX 19107
RALEIGH NC 27619-9107

1705690521
TARGET CORPORATION
ATTN PROPERTY TAX DEPT T-1892
PO BOX 9456
MINNEAPOLIS MN 55440-9456

1705697712
DUKE/KANE LLC
DUKE REALTY CORPORATION
3005 CARRINGTON MILL BLVD STE 100
MORRISVILLE NC 27560-8886

1705770133
ELIZABETH R WILLIAMS REVOC TRUST ALLEN,
JOANNE W
6724 OLDE PROVINCE CT
RALEIGH NC 27609-5377

1705770284
STAINS, RAMP SHEILA ANN
3609 BELLEVUE RD
RALEIGH NC 27609-7105

1705770894
RAMBLEWOOD 2005 LLC RAMBLEWOOD 2005
LLC
C/O KANE REALTY CORP
PO BOX 19107
RALEIGH NC 27619-9107

1705771312
LITTLE, JOHN M & SARA KATHERINE
3613 BELLEVUE RD
RALEIGH NC 27609-7105

1705771444
CHOI, ANNA B & HUNT K
3623 BELLEVUE RD
RALEIGH NC 27609-7105

1705771586
BURROUGHS, DIANNA W
3605 WILLIAMSBOROUGH CT
RALEIGH NC 27609-6355

1705771910
RAMBLEWOOD 2005 LLC RAMBLEWOOD 2005
LLC
C/O KANE REALTY CORP
PO BOX 19107
RALEIGH NC 27619-9107

1705771935
RAMBLEWOOD 2005 LLC
C/O KANE REALTY CORPORATION
PO BOX 19107
RALEIGH NC 27619-9107

1705772605
WOOD, CAROL WINSTEAD
3705 BELLEVUE RD
RALEIGH NC 27609-7107

1705772721
KNOTT, GERALD H
3709 BELLEVUE RD
RALEIGH NC 27609-7107

1705772728
PINER, DANIELLE S & GREGORY C
3715 BELLEVUE RD
RALEIGH NC 27609-7107

1705772960
STONE, CAROLINE G THOMPSON, CAMILLE G
420 BLOOMSBURY PARK DR
RALEIGH NC 27609-6912

1705774944
WALKER, DORIS O
3724 BELLEVUE RD
RALEIGH NC 27609-7108

1705775957
LOWERY & WEBSTER PROPERTIES LLC
5204 REMBERT DR
RALEIGH NC 27612-6244

1705780212
DIXON KIRBY & CO INC
PO BOX 6469
RALEIGH NC 27628-6469

1705780237
JEBSEN, MICHAEL B & KIMBERLY D FOX
3717 ROLSTON DR
RALEIGH NC 27609-7226

1705780363
ROWLAND, SYLVIA W
3721 ROLSTON DR
RALEIGH NC 27609-7226

1705781051
RAMBLEWOOD 2005 LLC
C/O KANE REALTY CORPORATION
PO BOX 19107
RALEIGH NC 27619-9107

1705781066
RAMBLEWOOD 2005 LLC
C/O KANE REALTY CORPORATION
PO BOX 19107
RALEIGH NC 27619-9107

1705781181
GAYLORD, BONNER G & ASHLEY B
3710 ROLSTON DR
RALEIGH NC 27609-7227

1705781410
HOOD, ROBIN WHITLEY II
PO BOX 70
BENSON NC 27504-0070

1705782107
DIXON KIRBY & CO INC
PO BOX 6469
RALEIGH NC 27628-6469

1705782233
AUSPITZ, ALEXANDRE & HYJIN KYE
3724 ROLSTON DR
RALEIGH NC 27609-7227

1705782455
RAMBLEWOOD 2005 LLC
C/O KANE REALTY CORPORATION
PO BOX 19107
RALEIGH NC 27619-9107

1705783001
AVRAMIDIS, APOSTOLOS & AKATARINE
3727 BELLEVUE RD
RALEIGH NC 27609-7107

1705783108
AUSPITZ, ALEXANDRE & HYJIN KYE
3724 ROLSTON DR
RALEIGH NC 27609

1705783112
REKEWEG, TERRY
724 ROSEMONT AVE
RALEIGH NC 27607-7208

1705783352
RAMBLEWOOD LANTERN LLC
3805 BELLEVUE RD
RALEIGH NC 27609-0000

1705784077
GREGORY, PATRICIA SPENCER
3726 BELLEVUE RD
RALEIGH NC 27609-7108

1705790327
NORTH HILLS EAST MASTER DEVELOPER L
C/O KANE REALTY CORP
PO BOX 19107
RALEIGH NC 27619-9107

1705790643
NORTH HILLS EAST MASTER DEVELOPER L
C/O KANE REALTY CORP
PO BOX 19107
RALEIGH NC 27619-9107

1705790940
NORTH HILLS EAST RETAIL I LLC
C/O KANE REALTY CORP
PO BOX 19107
RALEIGH NC 27619-9107

1705792562
NORTH HILLS EAST MASTER DEVELOPER L
C/O KANE REALTY CORP
PO BOX 19107
RALEIGH NC 27619-9107

1705794303
NORTH HILLS EAST MASTER DEVELOPER L
C/O KANE REALTY CORP
PO BOX 19107
RALEIGH NC 27619-9107

1705795282
NORTH HILLS EAST MASTER DEVELOPER L
C/O KANE REALTY CORP
PO BOX 19107
RALEIGH NC 27619-9107

1705798078
NORTH HILLS EAST MASTER DEVELOPER L
C/O KANE REALTY CORP
PO BOX 19107
RALEIGH NC 27619-9107

1705880219
STATE EMPLOYEES CREDIT UNION
1000 WADE AVE
RALEIGH NC 27605-1157

1705885227
LATTIMORE & ASSOC LLC
PO BOX 10767
RALEIGH NC 27605-0767

1705890396
HCRI NC PROPERTIES III LTD PTNRP
HEALTH CARE REIT INC
4500 DORR ST
TOLEDO OH 43615-4040

1705894251
NORTH HILLS EAST MASTER DEVELOPER L
C/O KANE REALTY
PO BOX 19107
RALEIGH NC 27619-9107

1705895065
CHURCH OF THE APOSTLES OF RALEIGH
ATTN: PATRICK DOMINGUEZ
333 CHURCH AT NORTH HILLS ST
RALEIGH NC 27609-5177

1705981738
ST ALBANS LLC
702 OBERLIN RD STE 410
RALEIGH NC 27605-1357

EXHIBIT C. Request for Zoning Change

Please use this form only – form may be photocopied. Please type or print. See instructions in *Filing Addendum*

Conditional Use District requested: _____

Narrative of conditions being requested:

As used herein, the "Property" refers to all of those certain parcels of land containing a total of approximately 10 acres located on Ramblewood Drive just west of the intersection with Six Forks Road and having Wake County PINs 1705-78-2455, 1705-68-4442, 1705-67-5908, P/O 1705-67-6214, 1705-67-1864, 1705-67-1872, 1705-67-1890 and 1705-67-2708.

1. The density on the Property shall be restricted to no more than 28 units per gross acre.
2. All structures shall be residential in character with the principal roof structure either flat with parapets or have a minimum pitch of 3:12. All structures shall be faced with brick or concrete masonry; synthetic stucco or wood; cementitious wood and trim. Windows and doors combined shall represent no less than 15% and no greater than 60% of the front façade of any building containing dwelling units.
3. As measured from the property line along the Ramblewood Drive public right-of-way line, any building constructed on the Property after the effective date of this rezoning ordinance shall add three (3) feet of setback for every one (1) foot in height above 40 feet to the applicable base minimum district yard setback.
4. All structures shall be no greater than sixty five (65) feet in height.
5. In no event shall any principal building be located within 20 feet of those parcels with Wake County Parcel Identification Numbers 1705-68-0347 (DB 10537, PG 2409), 1705-57-9925 (DB 1774, PG 426), and 1705-57-9896 (DB 2977, PG 301).
6. All lighting for any structured parking built on the property shall utilize full cutoff light fixtures directed away from adjacent R-4 zoned residential development.

I acknowledge that these restrictions and conditions are offered voluntarily and with knowledge of the guidelines stated in the *Filing Addendum*. If additional space is needed, this form may be copied. Each page must be signed by all property owners.

ALL CONDITIONAL PAGES MUST BE SIGNED BY ALL PROPERTY OWNERS

Print Name
John Kane, Ramblewood 2005 LLC

02/14/12

Signature _____ Date

Print Name
John Kane, Ramblewood Lantern LLC

02/14/12

Signature _____ Date

Print Name
John Kane, Ramblewood Lantern LLC

02/14/12

Signature _____ Date

EXHIBIT D. Request for Zoning Change

Please use this form only -- form may be photocopied. Please type or print. See instructions in *Filing Addendum*

This section is reserved for the applicant to state factual information in support of the rezoning request.

Required items of discussion:

The Planning Department is instructed not to accept any application for amending the official zoning map without a statement prepared by the applicant analyzing the reasonableness of the rezoning request. This statement *shall* address the consistency of the proposed rezoning with the Comprehensive Plan and any other applicable *City*-adopted plan(s), the compatibility of the proposed rezoning with the *property* and surrounding area, and the benefits and detriments of the proposed rezoning for the landowner, the immediate neighbors and the surrounding community.

Recommended items of discussion (where applicable):

1. An error by the City Council in establishing the current zoning classification of the property.
2. How circumstances (land use and future development plans) have so changed since the property was last zoned that its current zoning classification could not properly be applied to it now were it being zoned for the first time.
3. The public need for additional land to be zoned to the classification requested.
4. The impact on public services, facilities, infrastructure, fire and safety, parks and recreation, topography, access to light and air, etc.

PETITIONER'S STATEMENT:

I. Consistency of the proposed map amendment with the Comprehensive Plan (www.raleighnc.gov).

- A. Please state the recommended land use(s) for this property as shown on the Future Land Use Map and discuss the consistency of the proposed land uses:**

Response: The vast majority of the property included in this zoning request is designated as Medium Density Residential (14-28 units per acre) on the future land use map. The proposed density of 28 units per acre is consistent with this recommendation. Only 2.3 acres is designated as Moderate Density Residential (6-14 units per acre) and this portion is contiguous to the existing CUD R-30 zoning and is largely contained within the interior of the overall Ramblewood development. If this small portion of the site designated for Moderate Density Residential is developed at the requested density (28 units per acre), the overall density within the existing phase of Ramblewood would still only be 12 units per acre, which is consistent with the 6-14 units per acre range recommended by the Moderate Density Residential category.

- B. Please state whether the subject property is located within any Area Plan or other City Council-adopted plans and policies and discuss the policies applicable to future development within the plan(s) area.**

Response: To the applicant's knowledge, the assemblage is not located within any other Council-adopted plan area.

- C. Is the proposed map amendment consistent or inconsistent with the Comprehensive Plan and other City Council-adopted plans and policies? All references to Comprehensive Plan policies should include both the policy number (e.g. LU 4.5) and short title (e.g. "Connectivity").**

EXHIBIT D. Request for Zoning Change

Please use this form only -- form may be photocopied. Please type or print. See instructions in *Filing Addendum*

Response: As noted above, the proposed density of 28 units per acre is consistent with the Future Land Use Map designation of Medium Density Residential, which covers the majority of the property. The balance of the property is designated Moderate Density Residential, and if this small portion of the site is developed at the proposed 28 units per acre density, phase one of Ramblewood would still only have a density of 12 units per acre, which is consistent with the 6-14 units per acre range consistent with the applicable Future Land Use Map category. Therefore, the proposed rezoning is consistent with Policy LU 1.2 "Future Land Use Map and Zoning Consistency" and Policy LU 1.3 "Conditional Use District Consistency." Also, the proposed rezoning is consistent with Policy LU 2.2 "Compact Development" by providing a medium density redevelopment opportunity that supports and improves the efficient provision of public utility and transportation infrastructure.

II. Compatibility of the proposed map amendment with the property and the surrounding area.

A. Description of land uses within the surrounding area (residential housing types, parks, institutional uses, commercial uses, large parking lots, thoroughfares and collector streets, transit facilities):

Response: The area surrounding the subject property consists mainly of single-family residential properties with the exception of the Ramblewood project and the current Lantern Square Apartments residing on the property. The site lies approximately 500' west of the intersection of Ramblewood Drive and Six Forks Road. Six Forks Road contains both east and westbound ramps to the 440 Beltline. On the east side of Six Forks Road lays a large area designated as Office, Research and Development. Immediately across the Beltline lies a Regional Retail Mixed-Use area containing both North Hills and North Hills East.

B. Description of existing Zoning patterns (zoning districts including overlay districts) and existing built environment (densities, building heights, setbacks, tree cover, buffer yards):

Response: As discussed above, the surrounding neighborhood contains predominately single-family homes located in the R-4 zoning district. The existing Lantern Square Apartments are zoned CUD R-6/R-15 and R30, while the existing Ramblewood development is zoned both CUD R-10 and CM. Across Six Forks Road, the zoning transitions to a mixture of O&I-1 and O&I-2. Across the Beltline and Six Forks Road, the zoning of the mixed-use center is primarily Shopping Center and Planned Development Conditional Use Overlay District. The built environment surrounding the subject property consists mainly of low-density single-family homes, along with townhomes and a multifamily residential building. Building heights are generally one, two and three-story. The area is a well established neighborhood with consistent mature tree cover scattered throughout the area.

C. Explanation of how the proposed zoning map amendment is compatible with the suitability of the property for particular uses and the character of the surrounding area:

Response: The proposed zoning request will allow for the Lantern Square Apartments to be redeveloped into a second phase of Ramblewood. The subject property already contains 157 apartments which were constructed in 1965. The proposed zoning designation would allow this property to redevelop at a higher density, which would be more consistent with the Future Land

FILING ADDENDUM: Instructions for filing a petition to amend the official Zoning Map of the City of Raleigh, North Carolina

Use Plan. This site is ideally suited for higher density as it sits at the crossroads of a major thoroughfare and a freeway, and within walking distance of a major mixed-use center.

III. Benefits and detriments of the proposed map amendment.

A. For the landowner(s):

Response: The proposed map amendment will benefit the landowner by allowing for the redevelopment of the property at a density that compliments the nearby existing mixed-use center as well as the developing Ramblewood subdivision that already contains a variety of housing types.

B. For the immediate neighbors:

Response: The proposed map amendment will benefit the immediate neighbors by facilitating the redevelopment of the current Lantern Square apartments. This redevelopment would compliment the ongoing Ramblewood subdivision that has already benefitted the immediate neighbors. Moreover, the conditions associated with this case benefit the neighbors by including lighting and height restrictions.

C. For the surrounding community:

Response: Redevelopment of this property to a higher density represents an appropriate infill development opportunity in close proximity to transportation, shopping and jobs, which should benefit the overall community in the form of reduced vehicle miles traveled and impact to existing infrastructure.

IV. Does the rezoning of this property provide a significant benefit which is not available to the surrounding properties? Explain:

Response: No, the rezoning of this property does not provide a significant benefit which is not available to surrounding properties. In fact, the property to the immediate east is already zoned for 30 units per acre.

Explain why the characteristics of the subject property support the proposed map amendment as reasonable and in the public interest.

Response: The subject property's proximity to the mixed use center and employment opportunities as well as the adequacy of the existing public utility and transportation infrastructure in the area supports the proposed rezoning for medium density residential uses as reasonable and in the public interest because it furthers the broad comprehensive plan themes of Expanding Housing Choices, Coordinating Land Use and Transportation and Managing Our Growth.

V. Recommended items of discussion (where applicable).

FILING ADDENDUM: Instructions for filing a petition to amend the official Zoning Map of the City of Raleigh, North Carolina

- a. An error by the City Council in establishing the current zoning classification of the property.
- b. How circumstances (land use and future development plans) have so changed since the property was last zoned that its current zoning classification could not properly be applied to it now were it being zoned for the first time.

Response: The existing zoning district and multi-family development were in place for a significant period of time prior to the now widespread resurgence of North Hills, as well as the adoption of the updated City of Raleigh Comprehensive Plan. Had these amenities been in place at the time this property was originally developed it is unlikely the property would currently house 157 garden apartments at a density of 11 units per acre. Given these changes, the proposed zoning will better complement the vibrant nature of the North Hills area.

- c. The public need for additional land to be zoned to the classification requested.

Response: Based on the remarkable renaissance of North Hills and the abundance of existing infrastructure, a diversity of residential neighborhoods will help successfully service the employment needs of the North Hills and Six Forks business districts. Contemporary multi-family residential housing options are limited inside the beltline at this location. The proposed rezoning would allow the redevelopment of this property at a higher density; further diversify housing options and helping to achieve a healthy and sustainable mix of uses adjacent to such a vibrant area of the community.

- d. The impact on public services, facilities, infrastructure, fire and safety, parks and recreation, topography, access to light and air, etc.
- e. How the rezoning advances the fundamental purposes of zoning as set forth in the N.C. enabling legislation.

Response: The rezoning advances the fundamental purposes of zoning, specifically to lessen congestion in the streets, to regulate in accordance with a comprehensive plan, and to regulate with reasonable consideration to the suitability of the land for particular uses, by allowing for the redevelopment of property for a density consistent with the comprehensive plan and in an area with adequate existing public facilities and mixed use amenities.

VI. Other arguments on behalf of the map amendment requested.

**TRAFFIC ANALYSIS REPORT
LANTERN/RAMBLEWOOD REZONING
RALEIGH, NORTH CAROLINA**

EXECUTIVE SUMMARY

1. Overview

This report summarizes the findings of the Traffic Impact Analysis (TIA) performed for the proposed rezoning of property in the existing Lantern Square and Ramblewood developments located on the west side of Six Forks Road just south of I-440 in Raleigh, North Carolina. As part of the proposed rezoning, some parcels within the Lantern/Ramblewood developments would allow a higher density of residential units. Upon approval of the rezoned parcels and Cluster Plan, the Lantern/Ramblewood areas would allow up to 656 residential units. Access to the site will be provided via existing full movement driveway connections to Ramblewood Drive from Six Spoons Road, Six Knives Road and Rolston Drive. Full build out is anticipated in 2013.

2. Existing and Future Traffic Volumes

Traffic counts were taken at study intersections during the weekday AM and PM peak hours. Future (2013) traffic with existing site plans were determined based on build out of the approved plans for the two developments. These traffic volumes represent the traffic that could be developed on the property based on existing zoning and/or approved site plans. Future with proposed zoning traffic is comprised of existing traffic growth within the study area plus additional traffic created by the proposed zoning. A compounded annual growth rate of 1.0% was used to project existing traffic volumes to the build out year 2013.

3. Trip Generation

Table 1 provides the trip generation for the potential build out of the Lantern Square property and Ramblewood development based on existing zoning and/or approved site plans. The approved site plan for Ramblewood shows a mix of townhome and condominium units;

however, the trip generation calculations assume the same land use category for all townhomes and condominiums.

Table 1
Trip Generation – Existing Site Plan/Zoning

ITE LAND USE (Code)	SIZE	DAILY TRIPS	AM PEAK HOUR (VPH)		PM PEAK HOUR (VPH)	
			Entering	Exiting	Entering	Exiting
Lantern Square						
Apartments (220)	157 units	1,075	16	65	68	36
Ramblewood						
Single-Family Homes (210)	40 units	448	10	28	29	17
Townhome/Condo (230)	111 units	704	10	46	44	21
Subtotal Ramblewood		1,113	20	74	73	38
Total (Existing Zoning)		2,227	36	139	141	74

Table 2 provides the trip generation for build out of the Lantern Square property and Ramblewood development based on proposed zoning. The proposed zoning would allow a total of 656 units that would consist of approximately 40 single-family homes and 616 townhome/condominium units.

Table 2
Trip Generation – Proposed Zoning

ITE LAND USE (Code)	SIZE	DAILY TRIPS	AM PEAK HOUR (VPH)		PM PEAK HOUR (VPH)	
			Entering	Exiting	Entering	Exiting
Single-Family Homes (210)	40 units	448	10	28	29	17
Townhome/Condo (230)	616 units	3,128	38	183	179	88
Total (Proposed Zoning)		3,576	48	211	208	105

4. Capacity Analysis Summary

The study analyzes existing (2011) traffic conditions, projected (2013) traffic conditions without additional development, future (2013) with existing site plan/zoning conditions, and future (2013) with proposed zoning conditions during the weekday AM and PM peak hours.

Six Forks Road and I-440 Westbound Ramps/North Hills Driveway

Under existing conditions the intersection currently operates at an overall LOS C during the AM peak hour and LOS E during the PM peak hour. Under projected, future with existing zoning and future with proposed zoning conditions, the intersection is expected to operate at an overall LOS C during the AM peak hour and LOS E or F during the PM peak hour. It should be noted that the increase in overall intersection delay is approximately two seconds between the projected conditions and the future with proposed zoning conditions.

Six Forks Road and I-440 Westbound Ramp

Capacity analyses indicate that the intersection operates at an overall LOS F for all scenarios. It should be noted that there is less than one second of overall intersection delay between the AM peak hour conditions for future with existing zoning and future with proposed zoning. During the PM peak hour conditions there is an overall intersection delay of about 3 seconds between the future with existing zoning and future with proposed zoning.

Six Forks Road and I-440 Eastbound Ramps/Ramblewood Drive

The intersection is expected to operate at an overall LOS C for the AM peak hour and LOS F for the PM peak hour under the existing, projected, future with existing zoning, and future with proposed zoning conditions. It should be noted that none of the approaches decline in LOS between existing (2011) and future (2013) conditions during the PM peak hour.

Six Forks Road and Rock Creek Drive/Computer Drive

Capacity analyses indicate the intersection is expected to operate with approaches ranging from LOS B to LOS C during the AM peak hour and ranging from LOS B to LOS F for the PM peak hour under the existing, projected, future with existing zoning, and future with

proposed zoning conditions. It should be noted that none of the approaches decline in LOS between existing (2011) and future (2013) conditions during the AM or PM peak hours.

Lassiter Mill Road and Ramblewood Drive

Capacity analyses indicate the intersection of Lassiter Mill Road and Ramblewood Drive is expected to operate with approaches ranging from LOS A to LOS F during the AM and PM peak hours under the existing, projected, future with existing zoning, and future with proposed zoning conditions. The westbound approach operates at LOS E under future conditions with existing zoning, but is expected to operate at LOS D under proposed zoning with the restriping of Ramblewood Drive to provide separate left and right turn lanes. Even without the restriping of Ramblewood Drive, the delays experienced by the minor street approach are under 60 seconds. These delays are typical for stop-controlled minor street approaches with heavier through volumes on the major street. Synchro and SimTraffic indicate that the existing left turn storage on Lassiter Mill Road is adequate to accommodate future traffic volumes.

Ramblewood Drive and Cardigan Place

Analyses of future with proposed zoning conditions indicate all intersection approaches and movements at the intersection of Ramblewood Drive and Cardigan Place are expected to operate at LOS B or better during both peak hours with minimal queuing.

Site Access Intersections

Analyses of future with proposed zoning conditions indicate all intersection approaches and movements at the following intersections are expected to operate at LOS B or better during both peak hours with minimal queuing:

- Ramblewood Drive and Six Spoons Road
- Ramblewood Drive and Six Knives Road
- Ramblewood Drive and Rolston Drive

Ramblewood Drive and Bellevue Road

Analyses of future with proposed zoning conditions indicate all intersection approaches and movements at the intersection of Ramblewood Drive and Bellevue are expected to operate at LOS B or better during both peak hours with minimal queuing.

5. Recommendations

Specific geometric improvements have been identified and are recommended to accommodate future traffic conditions. The specific recommendations include the following:

Lassiter Mill Road and Ramblewood Drive

- Restripe existing Ramblewood Drive to provide a separate left turn lane and right turn lane with a minimum of 100 feet of storage for the separate turn lanes. It is estimated that this improvement could be completed without widening Ramblewood Drive by narrowing lanes.



Lantern Square – Neighborhood Meeting Summary

KAN-11020

Zoning Map Change

Neighborhood Meeting Minutes and Response – September 15, 2011

Present on behalf of the developer/applicant:

- John Kane, Kane Realty*
- Mike Smith, Kane Realty*
- TJ Barringer, Kane Realty*
- Bob Zumwalt, RLA, The John R. McAdams Company, Land Planner*

An informational neighborhood meeting was held on September 14, 2011 from 6:00-7:00 pm at the offices of Kane Realty located at 4321 Lassiter at North Hills Avenue, Suite 250, Raleigh, NC 27609.

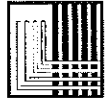
Notices of the Neighborhood Meeting were delivered to the Raleigh Planning Department on September 2nd for distribution via regular mail to property owners within 100'. At approximately 6:00 PM John Kane made a brief presentation of the zoning proposal as outlined in our application. During the meeting we presented an aerial view of the project illustrating the boundary of the property included in the zoning request. Turn out at the meeting was strong (20-25 attendees) and the meeting was well received. Many attendees expressed their appreciation for the opportunity to meet with us and share their thoughts and concerns. After the presentation we opened the floor up to questions.

Summary Discussion items

- There was a discussion about the four remaining townhome lots at the west end of Allister Drive and why they were included in the zoning request? It was explained that adding this land area added density that could be allocated around the greater siteplan.
- A number of Ramblewood residents expressed their desire for a “for sale” neighborhood for the overall Lantern and Ramblewood neighborhoods. It was explained that market conditions would dictate rentals vs. sale units, but there would likely be rental units included.

Research Triangle Park, NC
Post Office Box 14005
Research Triangle Park
North Carolina, 27709
2905 Meridian Parkway
Durham, North Carolina 27713
800-733-5646
919-361-5000
919-361-2269 Fax

Charlotte, NC
6701 Carmel Road
Suite 205
Charlotte North Carolina 28226
800-733-5646
704-527-0800
704-527-2003 Fax



Since 1979

THE JOHN R. McADAMS COMPANY, INC.

Examples were given of very successful communities that mixed both types of residential.

- There was a general discussion as to how property values in the area might be affected if the Lantern Square property were to be redeveloped as a higher density rental project.
- There was a concern raised that 5 story buildings would need to be setback from Ramblewood drive in order to stay in character of the neighborhood. It was explained that R-30 comes with standard setback requirements.
- One resident asked what the building setback on west property line would be and how that compared to the building setback under the current R-6 zoning?
- There was a general discussion regarding traffic in the vicinity and the impact the additional units might have on the intersection of Ramblewood and Six Forks Road as well as the intersection with Lassiter Mill Road. The residents indicated their desire for traffic calming along Ramblewood Drive.

The following is a list of general comments from the attendees.

- A number of the residents expressed gratitude for the quality of development Kane Realty has brought to the Mid-Town area.
- A resident indicated that he felt it was important to work together with the developer as that was the best way to insure a positive outcome for all involved.
- A resident indicated that there was very little that could be done to the current Lantern Square property that could make it any worse than it is today.
- A resident stated that Lantern Square “just needed to be torn down”.
- A resident stated that “if John Kane is involved, then I am fine...I trust him”.
- A number of residents expressed their desire to keep an open dialogue moving forward and a desire to see a site plan for the redevelopment once it is generated.

LANTERN SQUARE

182

2-5-12

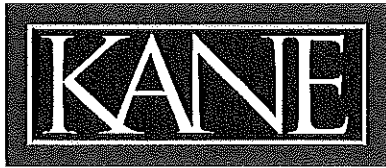
Attendance Registry					
Meeting date: 9/14/11					
Name	Address	Phone	Email		
1 Robert Leon	340 Allister #201	919 637 8099	rvhume@windstream.net		
2 Maureen Anohn	321 Allister DR	919 787 7314	maureen - anohn@hotmail.com		
3 Mawelge Nalms	340 Allister #315	6650459			
4 Alex RUSPITZ	3724 Polston Drive	519.360.9339	alexandra.wspitz@gmail.com		
5 Kay Cunningham	340 Allister Unit 207	782-4685	kaycee@nc.rr.com		
6 Clara Underwood	340 Allister Dr. Unit 311	786-6740	Clara@zeta-production.com		
7 Paula Abbott	340 Allister Dr. #117	919-247-0397	NOTKPO@bellsouth.net		
8 Ryan Barir	2007 Gambleswood Dr	783-7621	asair@nc.rr.com		
9 Robert Jones	230 Pearly Cir	571-7227	robert.jones@oaksvoetech.com		
10 Lou Cunningham	3611 Polston	9007492	cunninghamlou@gmail.com		
11 MARY WORTHY	3428 LUTHERALD				
12 Peggy Hammett	333 Allister	846-1055	Rpm1bh23@earthlink.net		
13					
14 Nathan Kryn	340 Allister Dr.	449-6944	nkryn@nc.rr.com		
15					
16					
17					

LANTERN SQUARE

282

2.5.12

Attendance Registry			
Name	Address	Phone	Email
1. FRANK BREMELEY	3704 SPVENTAVEN DR.	787-2597	
2. CHARLES BEN	301 RANGLWOOD DR	785-7077	
3. ESTHER HALL	304 RANGLWOOD #109	782-7108	
4. SUSAN GARDNER	208 RAN BLEWOOD	782-4278	MJ228479@aol.com
5. Wm A. Wilson	212 RANGLWOOD Dr	787-9777	HOOPER.1929@AOL.COM
6. Elizabeth Jones	230 Perley Circle	571-7227	elizabeth.jones1e@earthlink.net
7. Susan Nowak	315 Allister Dr	306-2757	susc1@a4wellness.com
8.			
9.			
10.			
11.			
12.			
13.			
14.			
15.			
16.			
17.			



KANE REALTY CORPORATION
North Hills
Post Office Box 19107
Raleigh, North Carolina 27619
919-833-7755 919-833-2473 Fax

2-5-12
Mailed out
9/2/11
[Signature]

August 31, 2011

Re: Lantern Square Neighborhood Meeting regarding Rezoning Petition

Dear Neighborhood Resident:

I am writing to invite you to an informational meeting regarding our proposed rezoning of Lantern Square apartments and adjacent land on Wednesday, September 14th from 6:00-7:00 pm at the offices of Kane Realty located at 4321 Lassiter at North Hills Avenue, Suite 250, Raleigh, NC 27609.

The purpose of the meeting is to inform interested parties of a Conditional Use Zoning Petition for approximately 10.0 acres of property located on the south side of Ramblewood Drive at 109 Ramblewood Drive. The subject property is the current site of the Lantern Square Apartments. Our Petition seeks to convert a number of parcels from CUD R-30/R-15/R-10 and R-6 to CUD R30 in order to redevelop the current Lantern Square Apartments into a high quality residential community that will complement the existing Ramblewood development. Additional details are attached and will be presented at the neighborhood meeting.

Should you need any additional information, you can contact me before or after the neighborhood meeting at john_kane@kanerealtycorp.com or (919) 719-5430.

Sincerely,

John Kane

2011 SEP -2 PM 3: 57
CITY OF RALEIGH
CITY PLANNING DEPT

Summary of Request

Lantern Square Apartments were built in 1964. Due to the age of the units and systems in place, it is our opinion that renovating the as-is property for the long term is not merited or practical. It is our intent to redevelop this property, replacing the current buildings with a new layout which will add more residential units. These residential units will offer more current finishes throughout, more efficient energy systems, and kitchens and bathrooms with the latest appliances and plumbing.

In keeping with the existing neighborhood we are not seeking any additional height over and above the previously agreed to restriction of 65 feet (i.e. a four to five story building). We also do not want to change the use from residential.

The current zoning for approximately 50% of Lantern Square apartment land is R-30 (30 residential units per acre) with the remaining apartment land currently zoned R-6 and R-15. Our rezoning application seeks to rezone these tracts to R-30 allowing us to have a project that is feasible to start. The proposed rezoning intends to match the City's long range plan for this area. Furthermore, the redevelopment of the Lantern Square Apartments will be compatible with the surrounding area and overall redevelopment vision for North Hills.

While we cannot guarantee any start dates, it is our intent to move forward on this redevelopment in 2012 upon approval of this rezoning.

We hope you will support our efforts towards the continued growth and evolution of our North Hills neighborhood.