

Preliminary Subdivision Plan Application



**DEVELOPMENT
SERVICES
DEPARTMENT**

Development Services Customer Service Center | 1 Exchange Plaza, Suite 400 | Raleigh, NC 27601 | 919-996-2495 | efax 919-996-1831
Litchford Satellite Office | 8320 - 130 Litchford Road | Raleigh, NC 27601 | 919-996-4200

REVISION

When submitting plans, please check the appropriate review type and include the Plan Checklist document.

| | | | | | |
|---|--|--|--|---|--|
| Office Use Only: Transaction # 571368 | | Project Coordinator JE | | Team Leader Purifoy | |
| PRELIMINARY APPROVALS | | | | | |
| <input checked="" type="checkbox"/> Subdivision * | | <input type="checkbox"/> Conventional Subdivision | | <input type="checkbox"/> Compact Development | |
| <input type="checkbox"/> Conservative Subdivision | | | | | |
| *May require City Council approval if in a Metro Park Overlay or Historic Overlay District | | | | | |
| If your project has been through the Due Diligence process, provide the transaction #: | | | | | |
| GENERAL INFORMATION | | | | | |
| Development Name Cannae Subdivision | | | | | |
| Proposed Use Single Family Residential | | | | | |
| Property Address(es) 409 & 411 Glasscock St | | | | | |
| Wake County Property Identification Number(s) for each parcel to which these guidelines will apply: | | | | | |
| PIN Recorded Deed 1714.13-03-0803 1714036894 | | PIN Recorded Deed 1714.13-30-7910 1714036990 | | PIN Recorded Deed 1714036995 | |
| What is your project type? | | | | | |
| <input checked="" type="checkbox"/> Single family | | <input type="checkbox"/> Townhouse | | <input type="checkbox"/> Subdivision in a non-residential zoning district | |
| <input type="checkbox"/> Other (describe): | | | | | |
| OWNER/DEVELOPER INFORMATION | | | | | |
| Company Name Allier Group, LLC | | | Owner/Developer Name Stuart C. Cullinan | | |
| Address 2321 Blue Ridge Rd. Suite 202 | | | | | |
| Phone 919-398-3927 | | Email stuart@thefivehorizons.com | | Fax | |
| CONSULTANT/CONTACT PERSON FOR PLANS | | | | | |
| Company Name John A. Edwards & Company | | | Contact Name Jason G. Meadows, P.E. | | |
| Address 333 Wade Ave Raleigh, NC 27605 | | | | | |
| Phone 919-828-4428 | | Email jason@jaeco.com | | Fax | |

DEVELOPMENT TYPE AND SITE DATE TABLE (Applicable to all developments)

ZONING INFORMATION

Zoning District(s) **R-10**

If more than one district, provide the acreage of each:

Overlay District? Yes No

Inside City Limits? Yes No

CUD (Conditional Use District) Case # Z-

COA (Certificate of Appropriateness) Case #

BOA (Board of Adjustment) Case # A-

STORMWATER INFORMATION

| | | | | |
|--|----------|-------------------|------------------------------|--|
| Existing Impervious Surface N/A | acres/sf | Flood Hazard Area | <input type="checkbox"/> Yes | <input checked="" type="checkbox"/> No |
|--|----------|-------------------|------------------------------|--|

| | | | | |
|--|----------|--------------------|------------------------------|--|
| Proposed Impervious Surface N/A | acres/sf | Neuse River Buffer | <input type="checkbox"/> Yes | <input checked="" type="checkbox"/> No |
|--|----------|--------------------|------------------------------|--|

| | | | | |
|--|--|----------|------------------------------|--|
| | | Wetlands | <input type="checkbox"/> Yes | <input checked="" type="checkbox"/> No |
|--|--|----------|------------------------------|--|

If in a Flood Hazard Area, provide the following:

| | | |
|----------------|-------------|------------------|
| Alluvial Soils | Flood Study | FEMA Map Panel # |
|----------------|-------------|------------------|

NUMBER OF LOTS AND DENSITY

| | | |
|----------------------------|----------|----------|
| Total # of Townhouse Lots: | Detached | Attached |
|----------------------------|----------|----------|

| | |
|--|------------------------------|
| Total # of Single Family Lots 3 | Total # of All Lots 3 |
|--|------------------------------|

Overall Unit(s)/Acre Densities Per Zoning Districts **3 units / 0.389 ac**

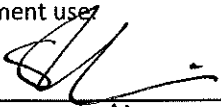
Total # of Open Space and/or Common Area Lots **0**

SIGNATURE BLOCK (Applicable to all developments)

In filing this plan as the property owner(s), I/we do hereby agree and firmly bind ourselves, my/our heirs, executors, administrators, successors and assigns jointly and severally to construct all improvements and make all dedications as shown on this proposed subdivision plan as approved by the City.

I hereby designate **Jason G. Meadows, P.E.** to serve as my agent regarding this application, to receive and respond to administrative comments, to resubmit plans on my behalf, and to represent me in any public meeting regarding this application.

I/we have read, acknowledge, and affirm that this project is conforming to all application requirements applicable with the proposed development use.

Signature  _____
Manager, Allier Group, LLC

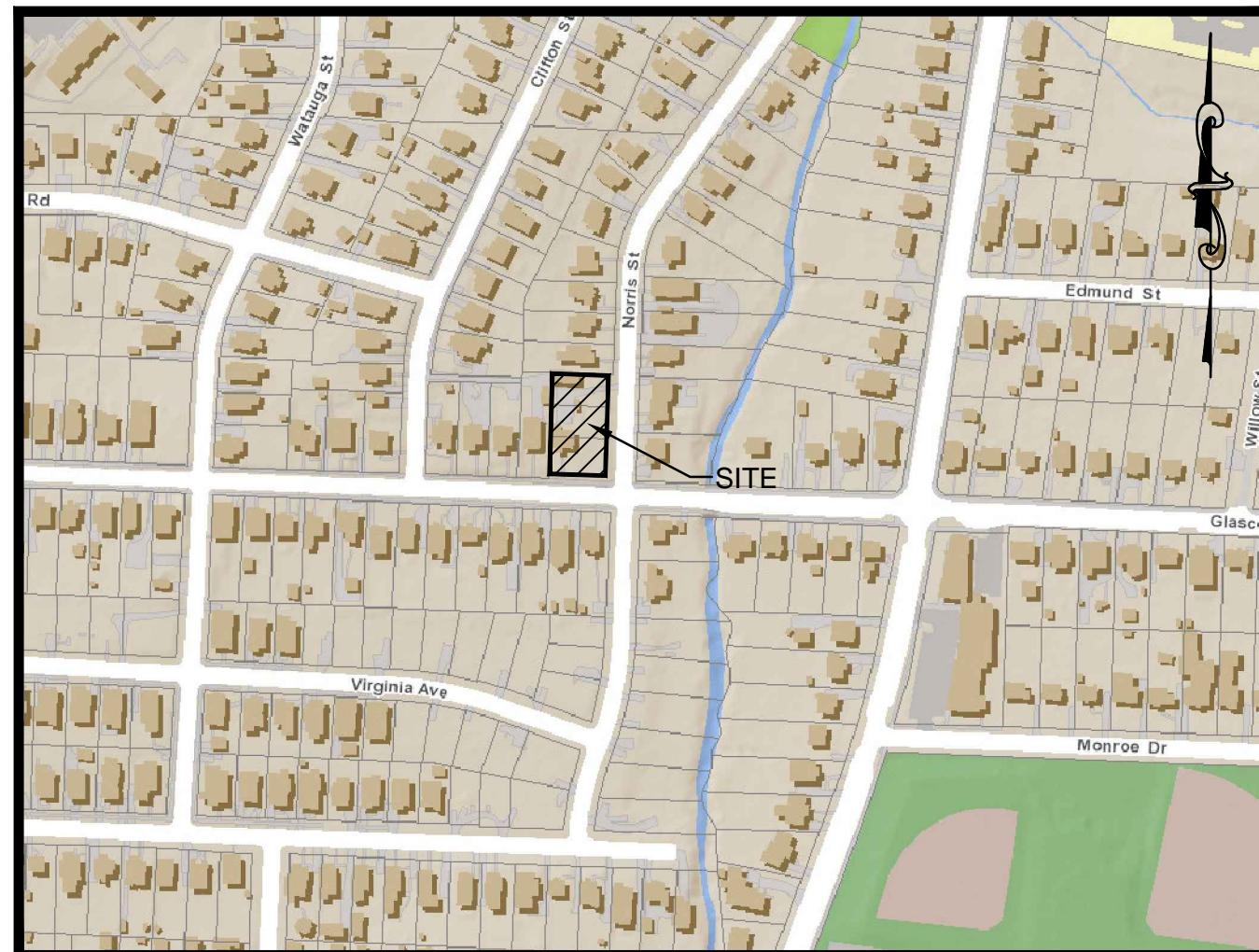
9-28-18

 Date

Signature _____

_____ Date

| GENERAL REQUIREMENTS | TO BE COMPLETED BY APPLICANT | | OFFICE USE ONLY | | |
|---|-------------------------------------|-------------------------------------|-----------------|----|-----|
| | YES | N/A | YES | NO | N/A |
| 1. Applicant must contact a Planner to determine if a Pre-Application Conference is required prior to application submittal | <input checked="" type="checkbox"/> | | | | |
| 2. Filing fee for plan review – payments may be made by cash, Visa, Mastercard, or check made payable to the City of Raleigh (no fee for infill recombination) | <input checked="" type="checkbox"/> | | | | |
| 3. Preliminary Subdivision Plan Application must be completed and signed by the property owner | <input checked="" type="checkbox"/> | <input type="checkbox"/> | ✓ | | |
| 4. Applicant must complete and print page 1 and 2 of the Preliminary Subdivision Plan Application to the plan cover sheet (not applicable for infill recombination) | <input checked="" type="checkbox"/> | <input type="checkbox"/> | ✓ | | |
| 5. I have referenced the Preliminary Subdivision Plan Checklist, and by using this as a guide, it will ensure that I receive a complete and thorough first review by the City | <input checked="" type="checkbox"/> | | ✓ | | |
| 6. Provide the following plan sheets: | <input checked="" type="checkbox"/> | | | | |
| a) Cover sheet, to include general notes, owner's name, contact's name, phone number, mailing address, email address | <input checked="" type="checkbox"/> | | ✓ | | |
| b) Existing conditions sheet | <input checked="" type="checkbox"/> | <input type="checkbox"/> | ✓ | | |
| c) Proposed Subdivision Plan | <input checked="" type="checkbox"/> | | ✓ | | |
| d) Proposed Grading and Stormwater Plan | <input type="checkbox"/> | <input checked="" type="checkbox"/> | | | ✓ |
| e) Proposed Utility Plan, including Fire | <input checked="" type="checkbox"/> | <input type="checkbox"/> | ✓ | | |
| f) Proposed Tree Conservation Plan | <input type="checkbox"/> | <input checked="" type="checkbox"/> | | | ✓ |
| g) Proposed Landscaping | <input checked="" type="checkbox"/> | <input type="checkbox"/> | ✓ | | |
| h) Transportation Plan | <input checked="" type="checkbox"/> | <input type="checkbox"/> | ✓ | | |
| 7. Ten (10) sets of proposed plans to engineering scale (1"=20', 1"=100', etc.) and date of preparation. For re-submittals only, include all revision dates. | <input checked="" type="checkbox"/> | | ✓ | | |
| 8. Plan size must be 18" x 24" or 24" x 36" | <input checked="" type="checkbox"/> | | ✓ | | |
| 9. A vicinity map no smaller/less than 1"=500' and no larger than 1"=1000' to the inch, showing the position of the subdivision with its relation to surrounding streets and properties, and oriented in the same direction as the preliminary plan | <input checked="" type="checkbox"/> | | ✓ | | |
| 10. Include sheet index and legend defining all symbols with true north arrow, with north being at the top of the map | <input checked="" type="checkbox"/> | | ✓ | | |
| 11. Digital copy of only the plan and elevations – label the CD with the plan name, case file number, and indicate how many times the plan has been resubmitted for review | <input checked="" type="checkbox"/> | | ✓ | | |
| 12. Wake County School form, if dwelling units are proposed | <input type="checkbox"/> | <input checked="" type="checkbox"/> | | | ✓ |
| 13. Preliminary stormwater quantity and quality summary and calculations package | <input type="checkbox"/> | <input checked="" type="checkbox"/> | | | ✓ |
| 14. For secondary tree conservation areas, include two (2) copies of the tree cover report completed by a certified arborist, North Carolina licensed landscape architect, or North Carolina registered forester | <input type="checkbox"/> | <input checked="" type="checkbox"/> | | | ✓ |



CANNAE

SUBDIVISION REVISION

S-68-16

ORIGINAL TRANS# 491216

RALEIGH, NORTH CAROLINA

APPROVED DECEMBER 5, 2016
 REVISED OCTOBER 1, 2018

OWNER/DEVELOPER:

ALLIER GROUP, LLC
 2321 Blue Ridge Road, Suite 202
 Raleigh, N.C. 27607
 919-398-3927
 stuart@thefivehorizons.com

CIVIL ENGINEER:

JOHN A. EDWARDS & COMPANY
 Consulting Engineers
 NC License F-0289
 333 Wade Ave., Raleigh, N.C. 27605
 Phone: (919) 828-4428
 Fax: (919) 828-4711
 E-mail: info@jaeco.com



PREVIOUS S-68-16 APPROVALS (AA-3565)

PREVIOUS DESIGN ADJUSTMENT APPROVALS

A PREVIOUS DESIGN ADJUSTMENT HAS BEEN GRANTED FOR AN ALTERNATE STREET TREE LOCATION ALONG THE GLASSCOCK STREET FRONTAGE PER AA-3565.

IN ACCORDANCE WITH RALEIGH UNIFIED DEVELOPMENT ORDINANCE SECTION 9.2.2.A.3 THE SUBDIVISION IS EXEMPT FROM STORMWATER CONTROLS AT THE TIME OF ORIGINAL APPROVAL.

IN ACCORDANCE WITH RALEIGH UNIFIED DEVELOPMENT ORDINANCE SECTION 9.1.2 THIS SUBDIVISION HAS AN AREA LESS THAN 2 ACRES AND IS THEREFORE IS EXEMPT FROM TREE CONSERVATION

FEE-IN-LIEU

THE APPLICANT HAS PREVIOUSLY PAID FEE-IN-LIEU 1' OF SIDEWALK WIDTH ALONG THE GLASSCOCK ST. PROPERTY FRONTAGE PER AA-3565.

SOLID WASTE INSPECTIONS STATEMENT

DEVELOPER IS IN COMPLIANCE WITH THE REQUIREMENTS SET FORTH IN THE SOLID WASTE DESIGN MANUAL. RESIDENT WILL USE 96 GALLON CONTAINERS STORED BEHIND UNITS, TO BE ROLLED FOR CURB SIDE COLLECTION.

S-68-16 REVISION

DESIGN ADJUSTMENT APPLICATION

THE APPLICANT HAS SUBMITTED A DESIGN ADJUSTMENT FOR AN ALTERNATE LOCATION OF THE REQUIRED 6' SIDEWALK AND STREET TREE PLACEMENT ALONG NORRIS STREET ASSOCIATED WITH THE S-68-16 SUBDIVISION. EXISTING TOPOGRAPHY BEHIND THE CURB ALONG THE SUBJECT PROPERTY AS WELL AS FURTHER NORTH ALONG NORRIS STREET IS PROHIBITIVE TO PROVIDING THE TYPICAL 6' TREE LAWN AND 6' SIDEWALK AS REQUIRED BY THE NEIGHBORHOOD YIELD STREET CLASSIFICATION. THE PROPOSED SIDEWALK LOCATION WILL BE ADJUSTED FROM THE BACK-OF-CURB AT THE LOCATION OF AN EXISTING UTILITY POLE.

INDEX

| | |
|------|------------------------------|
| EX-1 | EXISTING CONDITIONS |
| CE-1 | PRELIMINARY SUBDIVISION PLAN |
| CE-2 | PRELIMINARY STREETSCAPE PLAN |
| CE-3 | PRELIMINARY UTILITY PLAN |

Preliminary Subdivision Plan Application

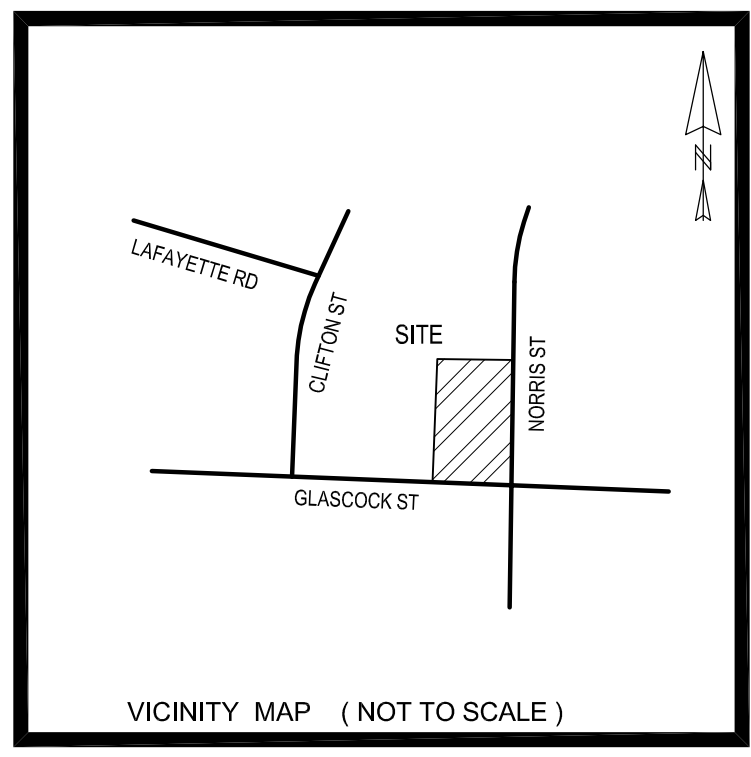


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| Office Use Only: Transaction # | Project Coordinator | Team Leader |
| PRELIMINARY APPROVALS | | |
| <input checked="" type="checkbox"/> Subdivision * | <input type="checkbox"/> Conventional Subdivision | <input type="checkbox"/> Compact Development |
| <input type="checkbox"/> Conservative Subdivision | | |
| *May require City Council approval if in a Metro Park Overlay or Historic Overlay District | | |
| If your project has been through the Due Diligence process, provide the transaction #: | | |
| GENERAL INFORMATION | | |
| Development Name Cannae Subdivision | | |
| Proposed Use Single Family Residential | | |
| Property Address(es) 409 & 411 Glasscock St | | |
| Wake County Property Identification Number(s) for each parcel to which these guidelines will apply: | | |
| PIN Recorded Deed 1714-13-02-000 | PIN Recorded Deed 1714-13-02-000 | PIN Recorded Deed 1714-13-02-000 |
| What is your project type? | | |
| <input checked="" type="checkbox"/> Single family | <input type="checkbox"/> Townhouse | <input type="checkbox"/> Subdivision in a non-residential zoning district |
| <input type="checkbox"/> Other (describe): | | |
| OWNER/DEVELOPER INFORMATION | | |
| Company Name Allier Group, LLC | | Owner/Developer Name Stuart C. Cullinan |
| Address 2321 Blue Ridge Rd, Suite 202 | | |
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| Company Name John A. Edwards & Company | | Contact Name Jason G. Meadows, P.E. |
| Address 333 Wade Ave Raleigh, NC 27605 | | |
| Phone 919-828-4428 | Email jason@jaeco.com | Fax |

| | | |
|--|---|--|
| DEVELOPMENT TYPE AND SITE DATE TABLE (Applicable to all developments) | | |
| ZONING INFORMATION | | |
| Zoning District(s) R-10 | | |
| If more than one district, provide the acreage of each: | | |
| Overlay District? | <input type="checkbox"/> Yes | <input checked="" type="checkbox"/> No |
| Inside City Limits? | <input checked="" type="checkbox"/> Yes | <input type="checkbox"/> No |
| CUD (Conditional Use District) Case # 2- | | |
| COA (Certificate of Appropriateness) Case # | | |
| BOA (Board of Adjustment) Case # A- | | |
| STORMWATER INFORMATION | | |
| Existing Impervious Surface | N/A acres/sf | Flood Hazard Area <input type="checkbox"/> Yes <input checked="" type="checkbox"/> No |
| Proposed Impervious Surface | N/A acres/sf | Neuse River Buffer <input type="checkbox"/> Yes <input checked="" type="checkbox"/> No |
| Wetlands <input type="checkbox"/> Yes <input checked="" type="checkbox"/> No | | |
| If in a Flood Hazard Area, provide the following: | | |
| Alluvial Soils | Flood Study | FEMA Map Panel # |
| NUMBER OF LOTS AND DENSITY | | |
| Total # of Townhouse Lots: | Detached | Attached |
| Total # of Single Family Lots | 3 | Total # of All Lots 3 |
| Overall Units/Acre Densities Per Zoning Districts 3 units / 0.389 ac | | |
| Total # of Open Space and/or Common Area Lots 0 | | |
| SIGNATURE BLOCK (Applicable to all developments) | | |
| In filing this plan as the property owner(s), I/we do hereby agree and firmly bind ourselves, my/our heirs, executors, administrators, successors and assigns jointly and severally to construct all improvements and make all dedications as shown on this proposed subdivision plan as approved by the City. | | |
| I hereby designate Jason G. Meadows, P.E. to serve as my agent regarding this application, to receive and respond to administrative comments, to resubmit plans on my behalf, and to represent me in any public meeting regarding this application. | | |
| I/we have read, acknowledge, and affirm that this project is conforming to all application requirements applicable with the proposed development use. | | |
| Signature | <i>Stuart C. Cullinan</i> | Date 4-26-18 |
| Signature | | Date |



DB 11291, PG 1863

TOTAL PROJECT AREA: 0.389 AC.

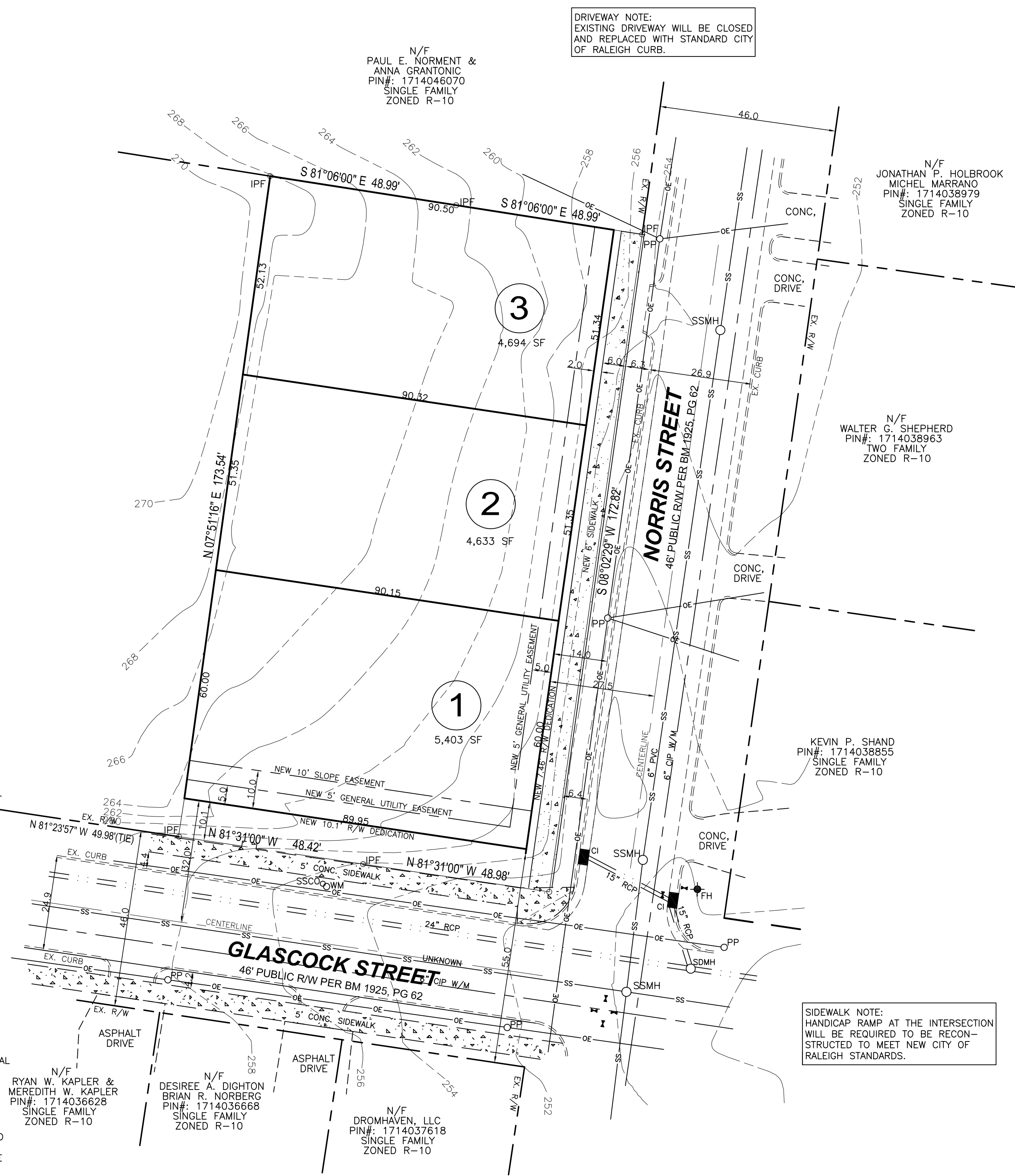
- REFERENCES:
1. DB 11291, PG 1863
 2. BM 1925, PG 62
 3. PIN 1714.13-03-6889 (LOT 15)
 4. PIN 1714.13-03-7910 (LOT 14)

- LEGEND:
- IPF = IRON PIPE FOUND
 - IPS = IRON PIPE SET
 - N/F = NOW OR FORMERLY
 - R/W = RIGHT OF WAY
 - PP = POWER POLE
 - OE= OVERHEAD ELECTRIC LINE
 - SSMH = SANITARY SEWER MANHOLE
 - SSCO = SANITARY SEWER CLEANOUT
 - CP = COVERED PATIO
 - WM = WATER METER
 - FH = FIRE HYDRANT
 - ◀= WATER VALVE
 - CI = CURB INLET
 - RCP = REINFORCED CONCRETE PIPE

BLOCK PERIMETER:
 EXISTING BLOCK PERIMETER: 2,956'
 BLOCK PERIMETER ALLOWED: 2,500'

- NOTES:
1. BOUNDARY SURVEY AND ALL EXISTING ON-SITE AND OFF-SITE FEATURES PROVIDED BY CHANCE SUEVEY COMPANY, DATED 09/23/16.
 2. STREETS, SANITARY & STORM SEWERS ARE EXISTING PER ABOVE SURVEY.
 3. THE LOCATION OF EXISTING WATER MAINS ARE SHOWN PER ABOVE SURVEY MAP.
 4. CONTOURS WERE TAKEN FROM RALEIGH GIS MAPS..
 5. ALL CONSTRUCTION SHALL COMPLY WITH APPLICABLE CITY OF RALEIGH DEVELOPMENT STANDARDS AND SPECIFICATIONS.
 6. ALL NEW DRIVEWAY LOCATIONS WILL BE DETERMINED AND PERMITTED AT SITE PLAN SUBMITTAL PER CITY OF RALEIGH STANDARDS.
 7. SOLID WASTE SERVICE WILL BE PROVIDED AT PUBLIC STREET BY INDIVIDUAL 96-GAL. STANDARD CITY OF RALEIGH RESIDENTIAL SOLID WAST CART PER CITY OF RALEIGH WASTE DESIGN MANUAL.
 8. EXISTING DRIVEWAY ON NORRIS STREET WILL BE CLOSED AND REPLACED WITH CURB & GUTTER PER CITY OF RALEIGH STANDARDS.
 9. DEMOLITION PERMITS WILL BE OBTAINED FROM CITY FOR EXISTING BUILDINGS PRIOR TO RECORDATION OF FINAL SUBDIVISION PLAT.
 10. A SURETY COVERING ALL WORK IN THE RIGHT OF WAY SHALL BE POSTED WITH THE CITY PRIOR TO RECORDATION OF SUBDIVISION.
 11. PER SEC. 9.1.2, THIS PROJECT IS EXEMPT FROM CITY OF RALEIGH TREE CONSERVATION REQUIREMENTS.

STORMWATER EXEMPTION:
 PER SEC. 9.2.2, A, 3, THIS PROJECT IS EXEMPT FROM CITY OF RALEIGH STORMWATER REQUIREMENTS.



SIDEWALK NOTE:
 HANDICAP RAMP AT THE INTERSECTION WILL BE REQUIRED TO BE RECONSTRUCTED TO MEET NEW CITY OF RALEIGH STANDARDS.

EXISTING CONDITIONS

EX-1



JOHN A. EDWARDS & COMPANY
Consulting Engineers
and Land Surveyors

NC License F-0289
333 Wade Ave., Raleigh, N.C. 27605
Phone: (919) 828-4428
Fax: (919) 828-4711
E-mail: info@jaeco.com

www.jaeco.com

Project
CANNAE SUBDIVISION
NORRIS STREET
RALEIGH, NC 27604

Client
ALLIER GROUP, LLC
2321 BLUE RIDGE ROAD
SUITE 202
RALEIGH, NC 27607

Revisions

| Number | Description | Date |
|--------|-------------|------|
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| | | |
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| | | |
| | | |
| | | |
| | | |
| | | |
| | | |
| | | |

Approvals
ALL CONSTRUCTION SHALL BE IN ACCORDANCE WITH CITY OF RALEIGH STANDARDS AND SPECIFICATIONS.

Drawing Title
PRELIMINARY SUBDIVISION PLAN

JAECO # _____
Drawn By CZB
Checked By JRC
Date Issued 10/1/18

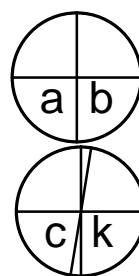
CE-1



X:\dwgs\201\Five Horizons Development\Norris Street\01-PRELIMINARY\Norris Street.dwg

NEW TREES PLANT LEGEND:

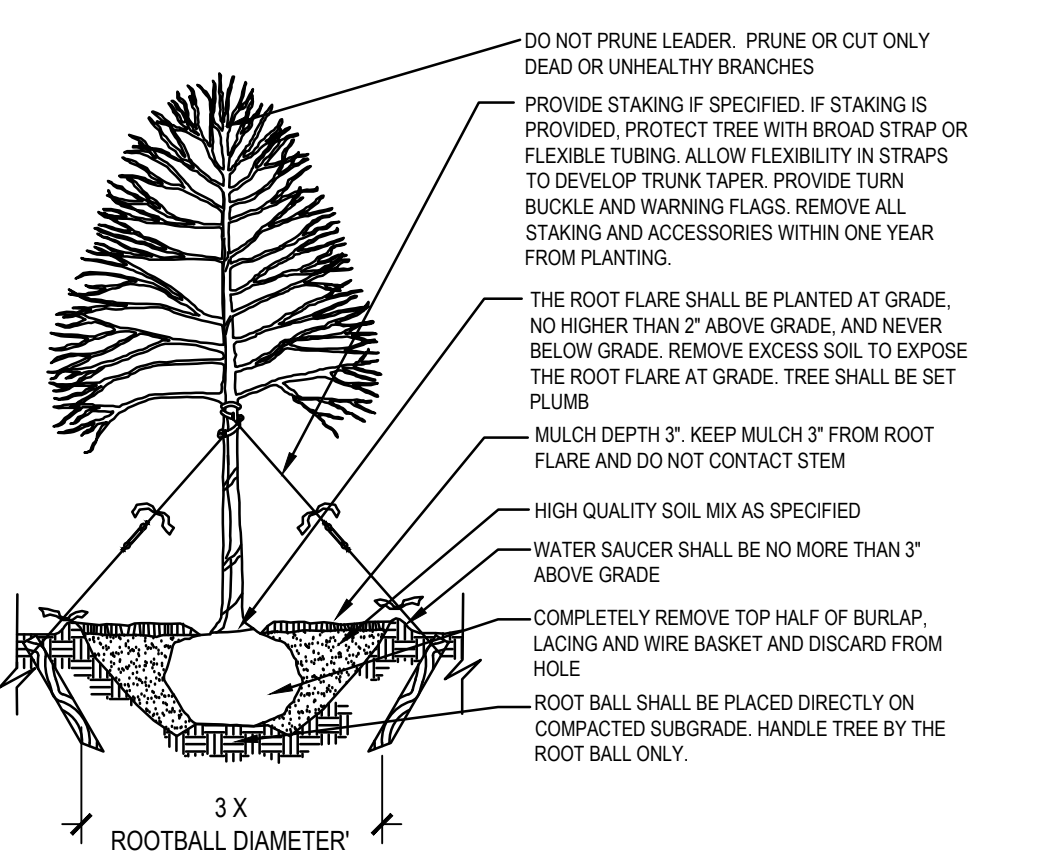
| QUANTITY | COMMON NAME | BOTANICAL NAME | SIZE |
|----------|---------------|-------------------|--|
| 7 | TRIDENT MAPLE | Acer buergerianum | 1.5" - CAL. 6' to 8' HGT. - MIN. SINGLE STEM |
| 6 | KUSA DOGWOOD | Cornus kousa | 1.5" - CAL. 6' to 8' HGT. - MIN. SINGLE STEM |



- NOTES:**
- ALL STREET TREE INSTALLATION AND MAINTENANCE WILL COMPLY WITH CITY OF RALEIGH STREET DESIGN MANUAL SECTIONS 6.18.1 AND 6.18.2.
 - TREES SHALL BE PLANTED 20' OFF CENTER ALONG GLASCOCK & NORRIS STREETS.
 - A TREE IMPACT PERMIT IS REQUIRED FROM C.O.R. PRIOR TO ISSUANCE OF BUILDING PERMITS.
- 5. STREET TREES SHALL BE INSTALLED AND MAINTAINED IN ACCORDANCE WITH THE REQUIREMENTS OF CHAPTER 2 OF THE RALEIGH CITY TREE MANUAL.**

- PLANTING STANDARDS:**
- ALL PLANT MATERIAL AND INSTALLATION WORK SHALL CONFORM TO THE STANDARDS DETAILED IN THE FOLLOWING DOCUMENTS:
 - AMERICAN NATIONAL STANDARDS FOR TREE CARE OPERATIONS, ANSI A300. AMERICAN NATIONAL STANDARDS INSTITUTE, 11 WEST 42nd STREET, NEW YORK, N.Y. 10036
 - AMERICAN NATIONAL STANDARD FOR NURSERY STOCK, ANSI Z60.1. AMERICAN NURSERY AND LANDSCAPE ASSOCIATION, 1250 EYE STREET, NW, SUITE 500, WASHINGTON, DC 20005
 - HORTUS THIRD, THE STAFF OF THE L.H. BAILEY HORTORIUM, 1976. MacMILLAN PUBLISHING CO., NEW YORK

| STREETSCAPE YARD: | |
|---------------------------|------------------------|
| GLASCOCK STREET FRONTAGE: | 90.00' |
| STREETSCAPE WIDTH = | 6' |
| STREETSCAPE TREES REQ'D: | 90'/20'=4.5 TREES |
| STREETSCAPE TREES PROV'D: | TREES: 5 |
| NORRIS STREET FRONTAGE: | 163.80' |
| STREETSCAPE WIDTH = | 6' |
| STREETSCAPE TREES REQ'D: | 163.80'/20'=8.19 TREES |
| STREETSCAPE TREES PROV'D: | TREES: 8 |

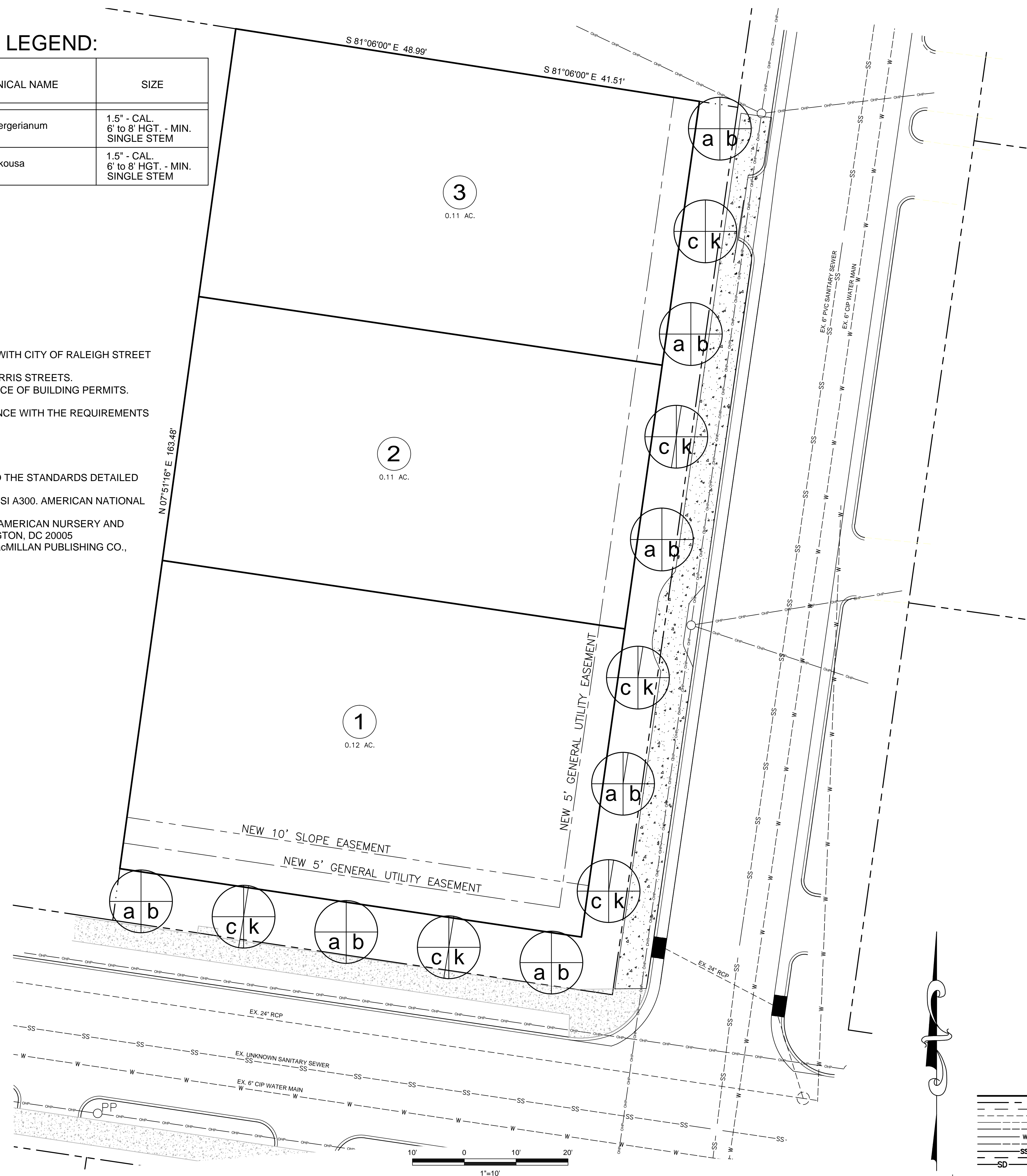


- NOTES:**
- CONTRACTOR IS RESPONSIBLE FOR ADEQUATE DRAINAGE OF ALL PLANTING PITS. (POSITIVE DRAINAGE AWAY FROM PIT)
 - ADHERE TO STANDARDS IN THE CITY TREE MANUAL.
 - STREET TREES MUST BE 3" CALIPER AT INSTALLATION WITH A 5' MINIMUM FIRST BRANCH HEIGHT.
 - PLANTING SEASON OCTOBER - APRIL.
 - A TREE IMPACT PERMIT IS REQUIRED.
 - ELECTRICAL, OUTLETS AND OTHER UTILITIES ARE PROHIBITED IN THE PLANTING AREA IMMEDIATELY SURROUNDING THE TREE.

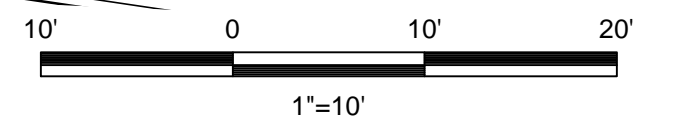
CONTACT INFORMATION:
CITY OF RALEIGH PARKS, RECREATION AND CULTURAL RESOURCES DEPARTMENT URBAN FORESTER:
TREES@RALEIGHNC.GOV
WWW.RALEIGHNC.GOV

CITY OF RALEIGH
PARKS, RECREATION AND CULTURAL RESOURCES DEPT
REVISIONS: DATE BY NOT TO SCALE

TREE PLANTING DETAIL
PRCR-03



- LEGEND**
- BM BOOK OF MAPS
 - DB DEED BOOK
 - PG PAGE
 - N/F NOW OR FORMERLY
 - R/W RIGHT OF WAY
 - EP EXISTING IRON PIPE
 - EMAG EXISTING MAG NAIL
 - EPK EXISTING PK NAIL
 - ERRS EXISTING RAILROAD SPIKE
 - ENAIL EXISTING NAIL FOUND
 - ERF EXISTING RAIL FOUND
 - ECM EXISTING CONCRETE MONUMENT
 - IPS IRON PIPE SET
 - MAG MAG NAIL SET
 - CP COMPUTED POINT
 - RCP REINFORCED CONCRETE STORM PIPE
 - PP POWER POLE
 - GUY GUY ANCHORS
 - ⊕ PROPOSED INSERTION VALVE
 - ⊕ EXISTING FIRE HYDRANT
 - ⊕ PROPOSED FIRE HYDRANT
 - ⊕ EXISTING WATER VALVE
 - ⊕ PROPOSED WATER VALVE
 - ⊕ EXISTING WATER REDUCER
 - ⊕ PROPOSED WATER REDUCER
 - ⊕ EXISTING WATER METER
 - ⊕ PROPOSED WATER METER
 - ⊕ EXISTING HOT BOX
 - ⊕ PROPOSED HOT BOX
 - ⊕ EXISTING MANHOLE
 - ⊕ PROPOSED MANHOLE
 - BOUNDARY LINE
 - RIGHT OF WAY LINE
 - LINES NOT SURVEYED
 - EASEMENT LINES
 - OVERHEAD ELECTRICAL LINES
 - EXISTING WATER LINE
 - W — PROPOSED WATER LINE
 - SS — EXISTING SANITARY SEWER LINE
 - SS — PROPOSED SANITARY SEWER LINE
 - SD — EXISTING STORM DRAINAGE LINE
 - SD — PROPOSED STORM DRAINAGE LINE



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www.jaeco.com

Project

CANNAE SUBDIVISION
NORRIS STREET
RALEIGH, NC 27604

Client

ALLIER GROUP, LLC
2321 BLUE RIDGE ROAD
SUITE 202
RALEIGH, NC 27607

Revisions

| Number | Description | Date |
|--------|-------------|------|
| | | |
| | | |
| | | |
| | | |
| | | |
| | | |

ALL CONSTRUCTION SHALL BE IN ACCORDANCE WITH CITY OF RALEIGH STANDARDS AND SPECIFICATIONS.

PRELIMINARY
STREETSCAPE PLAN

JAECO # _____
Drawn By CZB
Checked By JRC
Date Issued 10/1/18

CE-2



JOHN A. EDWARDS & COMPANY
Consulting Engineers
and Land Surveyors

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333 Wade Ave., Raleigh, N.C. 27605
Phone: (919) 828-4428
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CANNAE SUBDIVISION
NORRIS STREET
RALEIGH, NC 27604

Client:
ALLIER GROUP, LLC
2321 BLUE RIDGE ROAD
SUITE 202
RALEIGH, NC 27607

| Revisions | | |
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| Number | Description | Date |
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Approvals
ALL CONSTRUCTION SHALL BE IN ACCORDANCE WITH CITY OF RALEIGH STANDARDS AND SPECIFICATIONS.

Drawing Title
PRELIMINARY UTILITY PLAN

JAECO # _____
Drawn By CZB
Checked By JRC
Date Issued 10/1/18

CE-3

FIRE PROTECTION NOTES:

1. FIRE HYDRANTS SHALL BE NO MORE THAN 400' FROM A BUILDING OR HOUSE ALONG AN APPROVED APPARATUS ACCESS ROAD, AS MEASURED BY AN APPROVED ROUTE AROUND THE BUILDING OR HOUSE. (ENFORCED AT TIME OF BLDG. PLAN SUBMITTAL) PER THE 2012 NCFPC, SECTION 507.3.1.
2. ALL PORTIONS OF THE EXTERIOR WALLS OF THE FIRST FLOOR SHALL BE LOCATED WITHIN 150 FEET OF THE APPARATUS ROAD SURFACE.
3. FIRE FLOW ANALYSIS MUST BE PROVEN AT TIME OF BUILDING PERMITS PER THE 2012 NCFPC, SECTION 507.3.

UTILITY NOTES:

1. NEW WATER & SEWER SERVICES SHALL BE INSTALLED BY OPEN CUT PER CITY OF RALEIGH STANDARDS.
2. PRIVATE WATER & SEWER MAINS OR SERVICES CANNOT CROSS PROPERTY LINES, SEC. 8-2007.
3. EXISTING UTILITY SERVICES (UNUSED) SHALL BE ABANDONED AT TAP (MAIN) & REMOVED FROM R.O.W. OR EASEMENT-PU HANDBOOK PG. 67 & PG. 125.
4. PROPOSED WATER AND SEWER SERVICES WILL NOT BE LOCATED IN NEW DRIVEWAYS SERVING EACH LOT.

LEGEND:
IPF = IRON PIPE FOUND
IPS = IRON PIPE SET
N/F = NOW OR FORMERLY
R/W = RIGHT OF WAY
PP = POWER POLE
-OE= OVERHEAD ELECTRIC LINE
SSMH = SANITARY SEWER MANHOLE
SSCO = SANITARY SEWER CLEANOUT
CP = COVERED PATIO
WM = WATER METER
FH = FIRE HYDRANT
WV = WATER VALVE
CI = CURB INLET
RCP = REINFORCED CONCRETE PIPE

NOTES:

1. BOUNDARY SURVEY AND ALL EXISTING ON-SITE AND OFF-SITE FEATURES PROVIDED BY CHANCE SUEVEY COMPANY, DATED 09/23/16.
2. STREETS, SANITARY & STORM SEWERS ARE EXISTING PER ABOVE SURVEY.
3. THE LOCATION OF EXISTING WATER MAINS ARE SHOWN PER ABOVE SURVEY MAP.
4. CONTOURS WERE TAKEN FROM RALEIGH GIS MAPS.
5. ALL CONSTRUCTION SHALL COMPLY WITH APPLICABLE CITY OF RALEIGH DEVELOPMENT STANDARDS AND SPECIFICATIONS.
6. ALL NEW DRIVEWAY LOCATIONS WILL BE DETERMINED AND PERMITTED AT SITE PLAN SUBMITTAL PER CITY OF RALEIGH STANDARDS.
7. SOLID WASTE SERVICE WILL BE PROVIDED AT PUBLIC STREET BY INDIVIDUAL CITY OF RALEIGH WASTE DESIGN MANUAL.
8. EXISTING DRIVEWAY ON NORRIS STREET WILL BE CLOSED AND REPLACED WITH CURB & GUTTER PER CITY OF RALEIGH STANDARDS.
9. DEMOLITION PERMITS WILL BE OBTAINED FROM CITY FOR EXISTING BUILDINGS PRIOR TO RECORDATION OF FINAL SUBDIVISION PLAT.
10. A SURETY COVERING ALL WORK IN THE RIGHT OF WAY SHALL BE POSTED WITH THE CITY PRIOR TO RECORDATION OF SUBDIVISION.
11. PER SEC. 9.1.2, THIS PROJECT IS EXEMPT FROM CITY OF RALEIGH TREE CONSERVATION REQUIREMENTS.

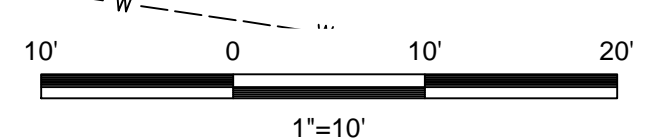
STORMWATER EXEMPTION:
PER SEC. 9.2.2, A, 3, THIS PROJECT IS EXEMPT FROM CITY OF RALEIGH STORMWATER REQUIREMENTS.



SIDEWALK NOTE:
HANDICAP RAMP AT THE INTERSECTION WILL BE REQUIRED TO BE RECONSTRUCTED TO MEET NEW CITY OF RALEIGH STANDARDS.

LEGEND

| | |
|-------|--------------------------------|
| BM | BOOK OF MAPS |
| DB | DEED BOOK |
| PG | PAGE |
| N/F | NOW OR FORMERLY |
| R/W | RIGHT OF WAY |
| EP | EXISTING IRON PIPE |
| EMAG | EXISTING MAG NAIL |
| EPK | EXISTING PK NAIL |
| ERRS | EXISTING RAILROAD SPIKE |
| ENAIL | EXISTING NAIL FOUND |
| ERF | EXISTING RAIL FOUND |
| EDM | EXISTING CONCRETE MONUMENT |
| IPS | IRON PIPE SET |
| MAG | MAG NAIL SET |
| CP | COMPUTED POINT |
| RCP | REINFORCED CONCRETE STORM PIPE |
| PP | POWER POLE |
| GUY | GUY ANCHORS |
| ⊗ | PROPOSED INSERTION VALVE |
| ⊕ | EXISTING FIRE HYDRANT |
| ⊕ | PROPOSED FIRE HYDRANT |
| ⊕ | EXISTING WATER VALVE |
| ⊕ | PROPOSED WATER VALVE |
| ⊕ | EXISTING WATER REDUCER |
| ⊕ | PROPOSED WATER REDUCER |
| ⊕ | EXISTING WATER METER |
| ⊕ | PROPOSED WATER METER |
| ⊕ | EXISTING HOT BOX |
| ⊕ | PROPOSED HOT BOX |
| ⊕ | EXISTING MANHOLE |
| ⊕ | PROPOSED MANHOLE |
| --- | BOUNDARY LINE |
| --- | RIGHT OF WAY LINE |
| --- | LINES NOT SURVEYED |
| --- | EASEMENT LINES |
| --- | OVERHEAD ELECTRICAL LINES |
| --- | EXISTING WATER LINE |
| --- | PROPOSED WATER LINE |
| --- | EXISTING SANITARY SEWER LINE |
| --- | PROPOSED SANITARY SEWER LINE |
| --- | EXISTING STORM DRAINAGE LINE |
| --- | PROPOSED STORM DRAINAGE LINE |



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