



# Administrative Approval Action

Carolina Country Club Addition: SR-4-19,  
Transaction# 583228, AA# 3954

City of Raleigh  
Development Services Department  
One Exchange Plaza  
Raleigh, NC 27602  
(919) 996-2495  
DS.help@raleighnc.gov  
www.raleighnc.gov

**LOCATION:** This site is located on the east side of Glenwood Avenue and north of the intersection of Glenwood Avenue and Argyle Drive. The address for this site is 2500 Glenwood Avenue and the PIN number is 1705129928 and designated as Lot 2 on BM2018 page 2326.

**REQUEST:** There is an existing Golf Club course at the subject site with 61,260 square feet of indoor recreational space/club house. The site is zoned as Residential-4 (R-4). The applicant is proposing 6,006 square feet of additional gross floor area to the club house. The subject site must adhere to the Civic Building type in UDO Section 2.2.5 and provide parking based on 4 spaces per hole plus 1 space per 500 square feet of gross floor area.

**DESIGN  
ADJUSTMENT(S)/  
ALTERNATES, ETC:** One Design Adjustment, case DA-5-19, has been approved by the Development Services Director Designee for this project, noted below:

1. A Design Adjustment granting relief from the block perimeter requirements. Based on the proposed addition, any proposed road extending from the property's frontage would be in conflict with existing private infrastructure.

**FINDINGS:** City Administration finds that this request, with the below conditions of approval being met, conforms to the Unified Development Ordinance. This approval is based on a preliminary plan dated 3/20/2019 by Johnny Edwards of John A. Edwards & Company.

## **CONDITIONS OF APPROVAL and NEXT STEPS:**

*This document must be applied to the second sheet of all future submittals except for final plats. This is a preliminary plan and as such no permits have been issued with this approval. To obtain permits and/or completion of the project, the following steps are required:*

**CONCURRENT SITE REVIEW NOT REQUIRED AT THIS TIME** – However, plan revisions or further development that includes land disturbance of 12,000 square feet or greater, public or private infrastructure, shared stormwater devices, etc. will require concurrent site review.

**CONCURRENT SITE REVIEW** - For land disturbance of 12,000 square feet or greater, public or private infrastructure, shared stormwater devices, etc. Concurrent Site Review may be submitted upon receipt of this signed approval document.



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**LEGAL DOCUMENTS** - Email to [legaldocumentreview@raleighnc.gov](mailto:legaldocumentreview@raleighnc.gov). Legal documents must be approved, executed, and recorded prior to or in conjunction with the recorded plat on which the associated easements are shown. Copies of recorded documents must be returned to the City within one business day of recording to avoid withholding of further permit issuance.

<input type="checkbox"/>	City Code Covenant	<input checked="" type="checkbox"/>	Slope Easement
<input type="checkbox"/>	Stormwater Maintenance Covenant	<input type="checkbox"/>	Transit Easement
<input type="checkbox"/>	Utility Placement Easement	<input checked="" type="checkbox"/>	Cross Access Easement
<input type="checkbox"/>	Sidewalk Easement	<input type="checkbox"/>	Public Access Easement
		<input type="checkbox"/>	Other:

**RECORDED MAP(S)** - Submit plat to record new property lines, easements, tree conservation areas, etc.). Plats may be submitted for review when the Concurrent Site Review plans, if required, have been deemed ready for mylar signature.

***The following items must be approved prior to recording the plat:***

**General**

1. A Type C2 Street Protective Yard is required for this project and a note shall be placed on the final plat stating this requirement.

**Stormwater**

2. The flood prone areas, as approved by the City Stormwater Engineer and shown on the preliminary plan, shall be shown on the recorded map (UDO 9.3.3.G).
3. All stormwater control measures and means of transporting stormwater runoff to and from any nitrogen and stormwater runoff control measures shall be shown on all plats for recording as private drainage easements (UDO 9.2).
4. The riparian buffers, in accordance with the preliminary plan and the State of North Carolina regulations, shall be shown on plats for recording along with required buffer statement (Recorded Map Checklist).

**BUILDING PERMITS** – For buildings and structures shown on the approved plans. Commercial building permit plans must include the signed, approved Concurrent Site Review plans attached, if applicable. Permit sets may be reviewed prior to the recordation of required plats, but cannot be approved.



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***The following items must be approved prior to the issuance of building permits:***

**General**

1. A recombination map shall be recorded prior to or in conjunction with the recording of lots, recombining the existing lot into a single tract.
2. Provide fire flow analysis.
3. A Type C2 Street Protective Yard is required for this project and a note shall be placed on the final plat stating this requirement.

**Engineering**

4. The required right of way and slope easement for proposed and/or existing streets shall be dedicated to the City of Raleigh and is shown on a plat approved for recordation.
5. A fee-in-lieu for 1' of sidewalk along the property frontage shall be paid to the City of Raleigh (UDO 8.1.10).
6. A cross access agreement between this parcel and the other parcels also owned by Carolina Country Club shall be approved by the Development Services Department for recording in the Wake County Registry, and a copy of the recorded cross access easement shall be returned to the Development Services Department within one day of plat recordation. If a recorded copy of the document is not provided, further recordings and building permit issuance will be withheld.
7. A right-of-way obstruction permit shall be obtained from Right-of-way Services for any construction activity within the right-of-way.

**Stormwater**

8. All stormwater control measures and means of transporting stormwater runoff to and from any nitrogen and stormwater runoff control measures shall be shown on all plats for recording as private drainage easements (UDO 9.2).
9. A surety equal to of the cost of clearing, grubbing and reseeding a site, shall be paid to the City, if applicable (UDO 9.4.4).

***The following are required prior to issuance of building occupancy permit:***

1. All Water, Sanitary Sewer and Reuse facilities shall be installed, inspected, tested and accepted by the City of Raleigh Public Utilities Department for operations and maintenance.
2. Required public right-of-way infrastructure improvements shall be, at a minimum, sufficiently completed to provide the necessary, safe emergency and vehicular access.



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3. Required underground storm drainage improvements shall be completed and as-built plan(s) and certification(s) reviewed and accepted by the City of Raleigh Development Services – Development Engineering program.
4. All street lights and street signs required as part of the development approval are installed.
5. Copies of certified inspection reports for alleys and internal access ways are submitted to the City of Raleigh Development Services – Development Engineering program.
6. As-built drawings and associated forms for all Stormwater devices are accepted by the Engineering Services Department (UDO 9.2.2.D.3).

**EXPIRATION DATES:** The expiration provisions of UDO Section 10.2.8 E, including the ability to request extensions in the expiration date, apply to this site plan. If significant construction has not taken place on a project after administrative site review approval, that approval may expire and be declared void, requiring re-approval before permits may be issued. To avoid allowing this plan approval to expire the following must take place by the following dates:

**3-Year Expiration Date:** 4-17-2022

Obtain a valid building permit for the total area of the project, or a phase of the project.

**4-Year Completion Date:**

Within four years after issuance of the first building permit for the site plan, the construction of the entire site plan must be completed unless an applicant has been granted vested rights. Failure to complete construction within this specified time frame shall automatically void the approved site plan for which no building permits have been issued.

I hereby certify this administrative decision.

Signed: (Development Services Dir./Designee)

Date: 5/9/19

Staff Coordinator: Daniel L. Stegall


# Design Adjustment Staff Response



**DEVELOPMENT  
SERVICES  
DEPARTMENT**

Per Section 10.2.18.C of the Unified Development Ordinance, the Development Services Director, or designee, shall consult with the heads of other City Departments regarding the review of the request. The Development Services Director, or designee, shall approve, approve with conditions or deny the request, but must do so within 60 days of the receipt of a completed application. Additional time may be necessary if a municipal or state entity is incorporated in the review process or if a detailed engineering study is submitted in conjunction with the request.

<b>PROJECT</b>	<b>Project Name</b>	Carolina Country Club - Service Area Addition	
	<b>Development Case Number</b>	SR-4-2019	
	<b>Transaction Number</b>	583228	
	<b>Design Adjustment Number</b>	DA - 5 - 2019	
<b>STAFF RESPONSE</b>	<b>Staff recommendation based upon the findings in the applicable code(s):</b>		
	<input checked="" type="checkbox"/> UDO Art. 8.3 Blocks, Lots, Access	<input type="checkbox"/> UDO Art. 8.5 Existing Streets	
	<input type="checkbox"/> UDO Art. 8.4 New Streets	<input type="checkbox"/> Raleigh Street Design Manual	
	Staff <b>SUPPORTS</b> <input checked="" type="checkbox"/> <b>DOES NOT SUPPORT</b> <input type="checkbox"/> the design adjustment request.		
	<b>DEPARTMENTS</b>		
	<input type="checkbox"/> Dev. Services Planner	<input type="checkbox"/> City Planning	
	<input checked="" type="checkbox"/> Development Engineering	<input type="checkbox"/> Transportation	
	<input type="checkbox"/> Engineering Services	<input type="checkbox"/> Parks & Recreation and Cult. Res.	
	<input type="checkbox"/> Public Utilities		
	<b>CONDITIONS:</b>		
Development Services Director or Designee Action: <input checked="" type="checkbox"/> APPROVE <input type="checkbox"/> APPROVE WITH CONDITIONS <input type="checkbox"/> DENY			


Daniel G. Kula, PE
4/10/19  
Fabrication Review Manager
Date

\*The Development Services Director may authorize a designee to sign in his/her stead. Please print name and title next to signature. Appeal of the decision from the Development Services Director, or his or her designee, shall be made in writing within 30 days to the Board of Adjustment (see Section 10.2.18.C3b).

# Staff Response

## Article 8.3 Blocks Lots, Access



DEVELOPMENT  
SERVICES  
DEPARTMENT

The Development Services Director may in accordance with *Sec. 10.2.18*, approve a design adjustment, subject to all of the following findings.

- A. The requested design adjustment meets the intent of this Article;  
YES  NO
- B. The requested design adjustment conforms with the Comprehensive Plan and adopted City plans;  
YES  NO
- C. The requested design adjustment does not increase congestion or compromise Safety;  
YES  NO
- D. The requested design adjustment does not create any lots without direct street Frontage;  
YES  NO
- E. The requested design adjustment is deemed reasonable due to one or more of the following:
1. Topographic changes are too steep;
  2. The presence of existing buildings, stream and other natural features;
  3. Site layout of developed properties;
  4. Adjoining uses or their vehicles are incompatible;
  5. Strict compliance would pose a safety hazard; or
  6. Does not conflict with an approved or built roadway construction project
  7. adjacent to or in the vicinity of the site.
- YES  NO

### STAFF FINDINGS

Staff supports the request for relief pertaining to block perimeter standards. Based on the proposed addition, any proposed road pulled from the property's frontage would be in conflict with existing private infrastructure. As this project is an addition to the existing structure, not granting relief would cause significant demolition of the existing facilities on the property. Also, the Beaverdam Creek is perpendicular to this property and any road stubs would need to cross the blue line stream and enter the floodplain. With no logical termini for any proposed stub road at this time, no crossing or encroachment would be granted.

# Design Adjustment Application



**DEVELOPMENT SERVICES DEPARTMENT**

The purpose of this request is to seek a Design Adjustment from the Development Services Director, or designee, for a specific project only and, if granted, may be approved with special conditions and provisions. This application and all further action shall be consistent with Section 10.2.18 in the Unified Development Ordinance (UDO). The consideration and decision of this request shall be based solely on the conformance of the findings, as outlined in Sec. 8.3.6, Sec. 8.4.1.E and Sec. 8.5.1.G of the UDO or the Raleigh Street Design Manual.

<b>PROJECT</b>	<b>Project Name</b> Carolina Country Club - Service Area Addition		
	<b>Case Number</b> SR-4-2019		
	<b>Transaction Number</b> 583228		
<b>OWNER</b>	<b>Name</b> Carolina Country Club Company		
	<b>Address</b> 2500 Glenwood Ave		<b>City</b> Raleigh
	<b>State</b> NC	<b>Zip Code</b> 27608	<b>Phone</b>
<b>CONTACT</b>	<b>Name</b> Johnny Edwards		<b>Firm</b> John A. Edwards & Co.
	<b>Address</b> 333 Wade Ave		<b>City</b> Raleigh
	<b>State</b> NC	<b>Zip Code</b> 27605	<b>Phone</b> 919.828.4428
<b>REQUEST</b>	I am seeking a Design Adjustment from the requirements set forth in the following:		
	<input checked="" type="checkbox"/> UDO Art. 8.3 Blocks, Lots, Access	- See page 2 for findings	
	<input type="checkbox"/> UDO Art. 8.4 New Streets	- See page 3 for findings	
	<input type="checkbox"/> UDO Art. 8.5 Existing Streets	- See page 4 for findings	
	<input type="checkbox"/> Raleigh Street Design Manual	- See page 5 for findings	
	<b>Provide details about the request; (please attach a memorandum if additional space is needed):</b>		
	The applicant is requesting a design adjustment from the required block perimeter as established under UDO Article 8.3 due to surrounding site constraints and floodplain along adjacent parcel. The existing block perimeter is approximately 14,120'. The current zoning is R-4 and R-6 which indicates a 8,000 maximum block perimeter for the existing average lot size of 40k+ SF under UDO Sec 8.3.2.		

It is the responsibility of the applicant to provide all pertinent information needed for the consideration of this request. Applicant must be the Property Owner.

By signing this document, I hereby acknowledge the information on this application is, to my knowledge, accurate.

Owner/Owner's Representative Signature *[Signature]* Date 1/17/19

CHECKLIST	
Signed Design Adjustment Application	<input checked="" type="checkbox"/> Included
Page(s) addressing required findings	<input checked="" type="checkbox"/> Included
Plan(s) and support documentation	<input checked="" type="checkbox"/> Included
Notary page (page 6) filled out; Must be signed by property owner	<input checked="" type="checkbox"/> Included
First Class stamped and addressed envelopes with completed notification letter	<input checked="" type="checkbox"/> Included

Submit all documentation, with the exception of the required addressed envelopes and letters to [designadjustments@raleighnc.gov](mailto:designadjustments@raleighnc.gov).

**Deliver the addressed envelopes and letters to:**  
 Development Services, Development Engineering  
 One Exchange Plaza, Suite 500  
 Raleigh NC, 27601

<b>For Office Use Only</b>	<b>RECEIVED DATE:</b>	DA - -
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# Article 8.3, Blocks, Lots, Access

## Administrative Design Adjustment Findings



DEVELOPMENT  
SERVICES  
DEPARTMENT

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The Development Services Director may in accordance with *Sec. 10.2.18*, approve a design adjustment, subject to all of the following findings. Describe how each item is met:

- A. The requested design adjustment meets the intent of this Article;  
This request meets the established requirements due to the existing site constraints and floodplain.
- B. The requested design adjustment conforms with the Comprehensive Plan and adopted City plans;  
There are no proposed improvements will effect subject property.
- C. The requested design adjustment does not increase congestion or compromise Safety;  
The requested design adjustment will not increase congestion or compromise safety.
- D. The requested design adjustment does not create any lots without direct street Frontage;  
The requested design adjustment does not create any lots without direct street frontage.
- E. The requested design adjustment is deemed reasonable due to one or more of the following:
1. Topographic changes are too steep;
  2. The presence of existing buildings, stream and other natural features;
  3. Site layout of developed properties;
  4. Adjoining uses or their vehicles are incompatible;
  5. Strict compliance would pose a safety hazard; or
  6. Does not conflict with an approved or built roadway construction project
  7. adjacent to or in the vicinity of the site.

Yes, requested design adjustment is deemed reasonable due to site layout of developed properties. A block connection would also be an obstacle due to the floodplain located north of the property.



# Individual Acknowledgement



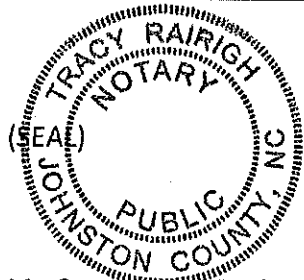
DEVELOPMENT  
SERVICES  
DEPARTMENT

STATE OF NORTH CAROLINA  
COUNTY OF Johnston

INDIVIDUAL

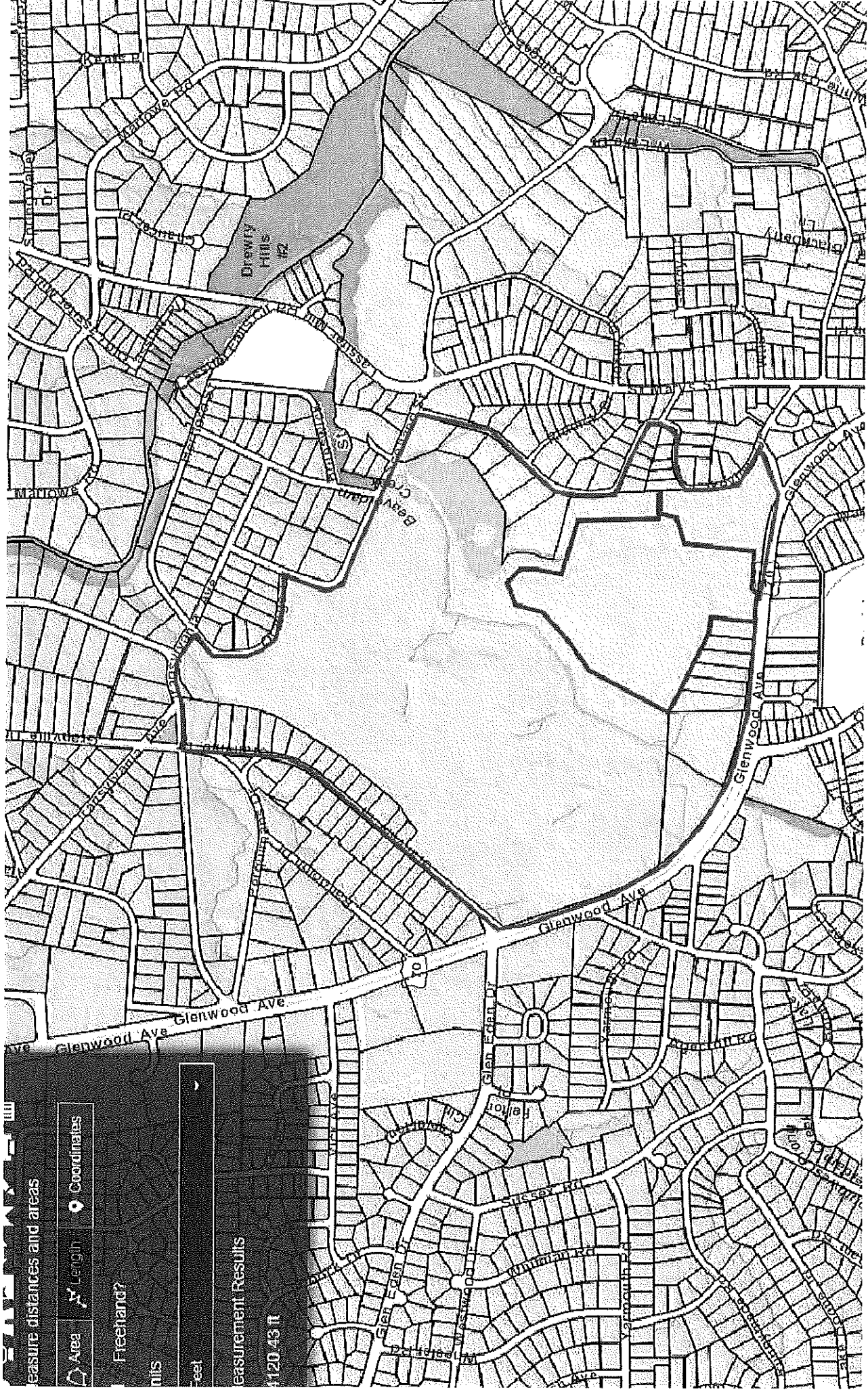
I, Tracy Rairigh, a Notary Public do hereby certify that John A. Edwards Jr. personally appeared before me this day and acknowledged the due execution of the forgoing instrument.

This the 17 day of January, 2019.



Notary Public Tracy Rairigh

My Commission Expires: May 23, 2023



Measure distances and areas

Area Length Coordinates

Freehand?

Units  
Feet

Measurement Results  
120.43 ft





VICINITY MAP  
1" = 500'

# CAROLINA COUNTRY CLUB SERVICE ADDITION ADMINISTRATIVE SITE REVIEW

SR-4-19

TRANS. #583228

RALEIGH, NORTH CAROLINA

JANUARY 17, 2019

REVISED MARCH 20, 2019

**OWNER:**

**Carolina Country Club Company**  
2500 Glenwood Avenue  
Raleigh, N.C. 27608  
919-787-3621  
jack@carolinacc.net

**CIVIL ENGINEER:**

**JOHN A. EDWARDS & COMPANY**  
Consulting Engineers  
NC License F-0289  
333 Wade Ave., Raleigh, N.C. 27605  
Phone: (919) 828-4428  
E-mail: info@jaeco.com

**ARCHITECT:**

**Chapman Coyle Chapman & Associates Architects AIA, Inc.**  
9040 Roswell Road, Suite 400  
Atlanta, GA 30350  
Phone: (770) 973-6644 Ext. 3042  
E-mail: beattym@ccaarchitects.com

**PARKING SUMMARY**

**VEHICLE PARKING SUMMARY - LOT 1**  
PARKING FOR A GOLF COURSE (PRIVATE) IS BASED ON 4 SPACES PER HOLE PLUS 1 SPACE PER 500 S.F. OF GROSS FLOOR AREA. THE SQUARE FOOTAGE IS CALCULATED AT 1/500 INDOOR OR OUTDOOR.

GOLF COURSE - (4 SPACES PER HOLE) (13 HOLES)	52 SPACES
HEATED SQUARE FOOTAGE - (2,835 S.F.) (1 SPACES PER 500 S.F.)	6 SPACES
TENNIS COURTS - (74,700 S.F.) (1 SPACE PER 500 S.F.)	149 SPACES
TOTAL REQUIRED	207 SPACES
TOTAL PROVIDED	208 SPACES

**VEHICLE PARKING SUMMARY - LOT 2**  
PARKING FOR A GOLF COURSE (PRIVATE) IS BASED ON 4 SPACES PER HOLE PLUS 1 SPACE PER 500 S.F. OF GROSS FLOOR AREA. THE SQUARE FOOTAGE IS CALCULATED AT 1/500 INDOOR OR OUTDOOR.

GOLF COURSE - (4 SPACES PER HOLE) (5 HOLES)	20 SPACES
HEATED SQUARE FOOTAGE - (67,266 S.F.) (1 SPACES PER 500 S.F.)	135 SPACES
POOL - (15,000 S.F.) (1 SPACE PER 500 S.F.)	30 SPACES
TOTAL REQUIRED	185 SPACES
TOTAL PROVIDED	189 SPACES (INCLUDES 9 HANDICAP SPACES)

**SITE DATA**

OWNER: CAROLINA COUNTRY CLUB COMPANY  
2500 GLENWOOD AVENUE  
RALEIGH, NC 27608-1002

ADDRESS: 2500 GLENWOOD AVENUE  
RALEIGH, NC 27608-1002

PIN: 1705.13-12-9928

LOT AREA: 1,508,572 SF (34.63 AC)

ZONING: R-4 & R-6

CURRENT LAND USE: PRIVATE GOLF COURSE

REFERENCE: DB 2056, PG 088  
WAKE COUNTY REGISTRY

**INDEX**

- CE-1 RECORDED MAP
- CE-2 LOT 1 & 2 RECOMBINATION
- CE-3 EXISTING CONDITIONS
- CE-4 SITE PLAN
- CE-5 UTILITY PLAN
- CE-6 UTILITY & GRADING PLAN
- CE-7 STORMWATER MANAGEMENT PLAN
- LA-1 LANDSCAPE PLAN TYPE C2 STREET PROTECTIVE YARD
- A5.01 BUILDING EXTERIOR ELEVATIONS

SOLID WASTE INSPECTIONS STATEMENT  
DEVELOPER IS IN COMPLIANCE WITH THE  
REQUIREMENTS SET FORTH IN THE SOLID  
WASTE DESIGN MANUAL.  
PRIVATE SERVICE TO BE PROVIDED.

ALL CONSTRUCTION SHALL BE IN  
ACCORDANCE WITH CITY OF RALEIGH  
AND / OR NCDOT STANDARDS AND  
SPECIFICATIONS.

HORIZONTAL DATUM: NAD83  
VERTICAL DATUM: NAVD88

Administrative Site Review Application  
(for UDO Districts only)

DEVELOPMENT SERVICES DEPARTMENT

Development Services Customer Service Center | Exchange Plaza, Suite 400 | Raleigh, NC 27601 | 919-996-2495 | Fax: 919-996-1831  
Litchford Satellite Office | 8320 - 130 Litchford Road | Raleigh, NC 27601 | 919-996-4200

When submitting plans, please check the appropriate building type and include the Plan Checklist document.

<input type="checkbox"/> Detached	<input checked="" type="checkbox"/> Civic	Transaction Number
<input type="checkbox"/> Attached	<input type="checkbox"/> Mixed Use	Assigned Project Coordinator
<input type="checkbox"/> Apartment	<input type="checkbox"/> Open Lot	Assigned Team Leader
<input type="checkbox"/> Townhouse		

Has your project previously been through the Due Diligence or Sketch Plan Review process? If yes, provide the transaction #

**GENERAL INFORMATION**

Development Name: Carolina Country Club - Service Addition

Zoning District: R-4 & R-6 Overlay District (if applicable): N/A Inside City Limits?  Yes  No

Proposed Use: Club House Addition

Property Address(es): 2500 Glenwood Avenue Major Street Location: Glenwood Avenue

Wake County Property Identification Number(s) for each parcel to which these guidelines will apply:

P.I.N. - 1705129928 P.I.N. P.I.N. P.I.N.

What is your project type?  Apartment  Elderly Facilities  Hospitals  Hotels/Motels  Office  
 Mixed Residential  Non-Residential Condo  School  Shopping Center  Banks  Industrial Building  
 Duplex  Telecommunication Tower  Religious Institutions  Residential Condo  Retail  Cottage Court  
 Other: if other, please describe: Golf Course Club House

**WORK SCOPE** Per City Code Section 10.2.8.D.1, summarize the project work scope. For additions, changes of use, or occupancy (per Chapter 6 of the UDO), indicate impacts on parking requirements.  
Building Addition Requiring 12 Additional Required Parking Spaces.

**DESIGN ADJUSTMENT OR ADMIN ALTERNATE** Per City Code Chapter 8, summarize if your project requires either a design adjustment, or Section 10 - Alternate Administrative #:  
Block Perimeter Design Adjustment Submitted

**CLIENT/DEVELOPER/OWNER** Company: Carolina Country Club Company Name (s)  
Address: 2500 Glenwood Avenue, Raleigh, NC 27608  
Phone (919) 787-3621 Email Fax

**CONSULTANT (Contact Person for Plans)** Company: John A. Edwards & Company Name (s) Johnny Edwards  
Address: 333 Wade Avenue, Raleigh, NC 27605  
Phone (919) 828-4428 Email johnny@jaeco.com Fax

PAGE 1 OF 3 WWW.RALEIGHNC.GOV REVISION 05.13.16

**DEVELOPMENT TYPE & SITE DATA TABLE (Applicable to all developments)**

<b>Zoning Information</b>	<b>Building Information</b>
Zoning District(s) R-4 & R-6	Proposed building use(s) Club House
If more than one district, provide the acreage of each:	Existing Building(s) sq. ft. gross 61,260 S.F.
Overlay District	Proposed Building(s) sq. ft. gross 6,006 S.F.
Total Site Acres Inside City Limits: <input checked="" type="checkbox"/> Yes <input type="checkbox"/> No 35.69 AC.	Total sq. ft. gross (existing & proposed) 67,266 S.F.
Off street parking: Required 392 Provided 397	Proposed height of building(s)
CDA (Certificate of Appropriateness) case # N/A	# of stories 2
SOA (Board of Adjustment) case # A- N/A	Ceiling height of 2 <sup>nd</sup> floor
CUO (Conditional Use District) case # Z- N/A	
<b>Stormwater Information</b>	
Existing Impervious Surface 187,308 square feet	Flood Hazard Area <input checked="" type="checkbox"/> Yes <input type="checkbox"/> No
Proposed Impervious Surface 1,742 square feet	If Yes, please provide: FEMA Map Panel # 3720170500J
Neuse River Buffer <input checked="" type="checkbox"/> Yes <input type="checkbox"/> No Wetlands <input type="checkbox"/> Yes <input checked="" type="checkbox"/> No	
<b>FOR RESIDENTIAL DEVELOPMENTS</b>	
1. Total # Of Apartment, Condominium or Residential Units	5. Bedroom Units: 1br 2br 3br 4br or more
2. Total # Of Congregate Care Or Life Care Dwelling Units	6. Infill Development 2.2.7
3. Total Number of Hotel Units	7. Open Space (only) or Amenity
4. Overall Total # Of Dwelling Units (1-6 Above)	8. Is your project a cottage court? <input type="checkbox"/> Yes <input checked="" type="checkbox"/> No
<b>SIGNATURE BLOCK (Applicable to all developments)</b>	
In filing this plan as the property owner(s), I/we do hereby agree and firmly bind ourselves, my/our heirs, executors, administrators, successors and assigns jointly and severally to construct all improvements and make all dedications as shown on this proposed development plan as approved by the City.	
I hereby designate <u>Johnny Edwards</u> to serve as my agent regarding this application, to receive and respond to administrative comments, to resubmit plans on my behalf and to represent me in any public meeting regarding this application.	
I/we have read, acknowledge and affirm that this project is conforming to all application requirements applicable with the proposed development use.	
Signed <u>Jack Slaughter</u> Date <u>1/9/19</u>	
Printed Name <u>Jack Slaughter, G.M./COO, Carolina CC</u>	
Signed _____ Date _____	
Printed Name _____	



**JOHN A. EDWARDS & COMPANY**  
Consulting Engineers  
and Land Surveyors

NC License F-0289  
333 Wade Ave., Raleigh, N.C. 27605  
Phone: (919) 828-4428  
Fax: (919) 828-4711  
E-mail: info@jaeco.com

www.jaeco.com

**CAROLINA COUNTRY CLUB**  
SERVICE ADDITION

Client  
**CAROLINA COUNTRY CLUB**  
2500 GLENWOOD AVE.

**LEGEND**

BM BOOK OF MAPS	MH MANHOLE
DB DEED BOOK	WL WATER LINE
PG PAGE	WM WATER METER
RW RIGHT-OF-WAY	WW WATER VALVE
AC ACRESAGE	WS WATER SERVICE
S.F. SQUARE FEET	WH WATER HYDRANT
EIP EXISTING IRON PIPE	FL FIRE LINE
IPS IRON PIPE SET	BO BLOWOFF
NF NOW OR FORMERLY	HC HANDICAP
ELEV ELEVATION	TC TOP OF CURB
EX EXISTING	TW TOP OF WALL
EOP EDGE OF PAVEMENT	BW BOTTOM OF WALL
CB CATCH BASIN	HB HANDICAP BOTTOM
D.I. DUCTILE IRON	HT HANDICAP TOP
CMP CORRUGATED METAL PIPE	MIN MINIMUM
JB JUNCTION BOX	TYP TYPICAL
HW HEADWALL	INV INVERT
SS SANITARY SEWER	SW SIDEWALK
FES FLARED END SECTION	SP SPACES
FEE FINISHED FLOOR ELEVATION	CO SEWER CLEANOUT
PVC POLYVINYL CHLORIDE PIPE	YI YARD INLET
TCA TREE CONSERVATION AREA	ESMT. EASEMENT
FDC FIRE DEPARTMENT CONNECTION	CONC. CONCRET
RCP REINFORCED CONCRETE PIPE	C&G CURB AND GUTTER
RPR REDUCED PRESSURE ZONE	TSP TRAFFIC SIGNAL
DCVA DOUBLE CHECK VALVE ASSEMBLY	TC TERRA COTTA
RPOA REDUCED PRESSURE DETECTOR ASSEMBLY	
	NEW POWER POLE
	NEW WATER VALVE
	NEW WATER REDUCER
	NEW FIRE HYDRANT
	NEW WATER METER
	NEW SEWER MANHOLE
	NEW SEWER CLEANOUT
	NEW STORM CATCH BASIN
	NEW STORM DROP INLET
	NEW FLARED END SECTION
	PROPERTY LINE
	RIGHT-OF-WAY LINE
	LOT LINE
	EASEMENT LINE
	EXISTING WATER LINE
	EXISTING SANITARY SEWER
	EXISTING STORM DRAINAGE
	NEW WATER LINE
	NEW SANITARY SEWER
	NEW STORM DRAINAGE
	EXISTING CONTOUR LINE
	NEW CONTOUR LINE
	FEMA 100 YR. FLOOD PLAN
	FLOODWAY
	NEUSE RIVER BUFFER
	CENTRELINE OF CREEK
	EXISTING OVERHEAD POWER

**EXISTING CONDITIONS**

Revisions

Number	Description	Date

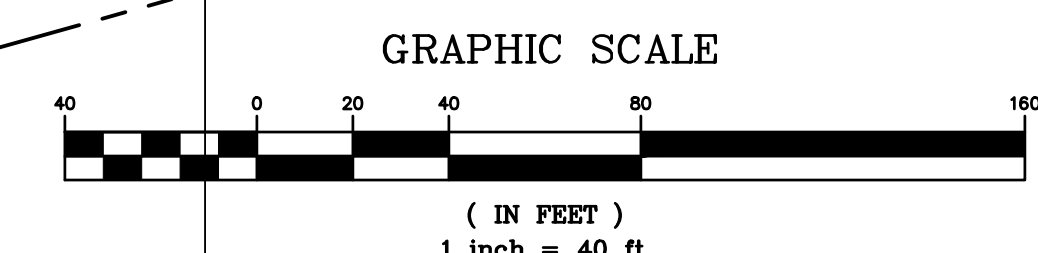
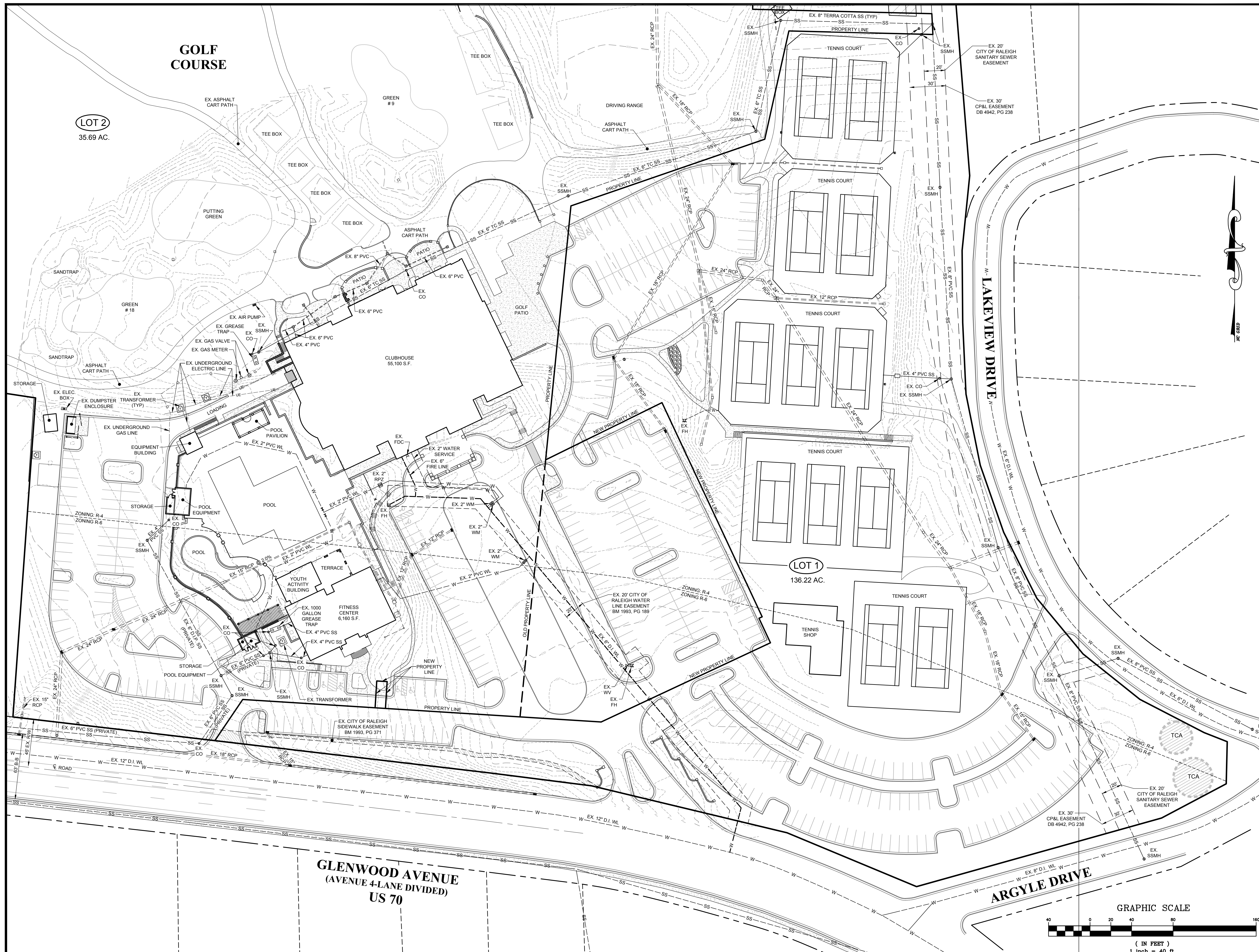
Drawing Scale 1" = 40'

Drawn By BF

Checked By JAE, JR

Date Issued 01/17/19

**CE-3**



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Fax: (919) 828-4711  
E-mail: info@jaeco.com

www.jaeco.com

Project  
**CAROLINA COUNTRY CLUB**  
SERVICE ADDITION

Client  
**CAROLINA COUNTRY CLUB**  
2500 GLENWOOD AVE.

**LEGEND**

BM BOOK OF MAPS	MH MANHOLE
DB DEED BOOK	WL WATER LINE
PG PAGE	WM WATER METER
RW RIGHT-OF-WAY	WV WATER VALVE
AC ACRES	WS WATER SERVICE
S.F. SQUARE FEET	FH FIRE HYDRANT
EIP EXISTING IRON PIPE	FL FIRE LINE
IPS IRON PIPE SET	BL BLOWOFF
NF NOW OR FORMERLY	HC HANDICAP
ELEV. ELEVATION	TC TOP OF CURB
EX. EXISTING	TW TOP OF WALL
EOP EDGE OF PAVEMENT	BW BOTTOM OF WALL
CB CATCH BASIN	HB HANDICAP BOTTOM
DI DROP INLET	HT HANDICAP TOP
DI DUCTILE IRON	MIN. MINIMUM
CMP CORRUGATED METAL PIPE	TYP. TYPICAL
JB JUNCTION BOX	INV. INVERT
HW HEADWALL	SW SIDEWALK
SS SANITARY SEWER	SP SPACES
FES FLARED END SECTION	CO SEWER CLEANOUT
FEE FINISHED FLOOR ELEVATION	YI YARD INLET
PVC POLYVINYL CHLORIDE PIPE	ESMT. EASEMENT
TCA TREE CONSERVATION AREA	CONC. CONCRETE
FDC FIRE DEPARTMENT CONNECTION	C&G CURB AND GUTTER
RCF REINFORCED CONCRETE PIPE	TSP TRAFFIC SIGNAL
RPZ REDUCED PRESSURE ZONE	TC TERRA COTTA
DCVA DOUBLE CHECK VALVE ASSEMBLY	
RPDA REDUCED PRESSURE DETECTOR ASSEMBLY	

CONCRETE	EX. POWER POLE
EX. WATER VALVE	NEW WATER VALVE
EX. FIRE HYDRANT	NEW WATER REDUCER
EX. WATER METER	NEW FIRE HYDRANT
EX. SEWER MANHOLE	NEW WATER METER
EX. SEWER CLEANOUT	NEW SEWER MANHOLE
EX. STORM CATCH BASIN	NEW SEWER CLEANOUT
EX. STORM DROP INLET	NEW STORM CATCH BASIN
EX. FLARED END SECTION	NEW STORM DROP INLET
EX. LIGHT POLE	NEW FLARED END SECTION

PROPERTY LINE	NEW PROPERTY LINE
RIGHT-OF-WAY LINE	NEW RIGHT-OF-WAY LINE
LOT LINE	NEW LOT LINE
EASEMENT LINE	NEW EASEMENT LINE
SS EXISTING SANITARY SEWER	NEW SANITARY SEWER
SS EXISTING STORM DRAINAGE	NEW STORM DRAINAGE
SS EXISTING WATER LINE	NEW WATER LINE
SS EXISTING CONTOUR LINE	NEW CONTOUR LINE
SS EXISTING SANITARY SEWER	NEW SANITARY SEWER
SS EXISTING STORM DRAINAGE	NEW STORM DRAINAGE
SS EXISTING WATER LINE	NEW WATER LINE
SS EXISTING CONTOUR LINE	NEW CONTOUR LINE
FW EXISTING FLOODWAY	NEW FLOODWAY
NRB EXISTING NEUSE RIVER BUFFER	NEW NEUSE RIVER BUFFER
OHP EXISTING OVERHEAD POWER	NEW OVERHEAD POWER

Drawing Title

**SITE PLAN**

Revisions

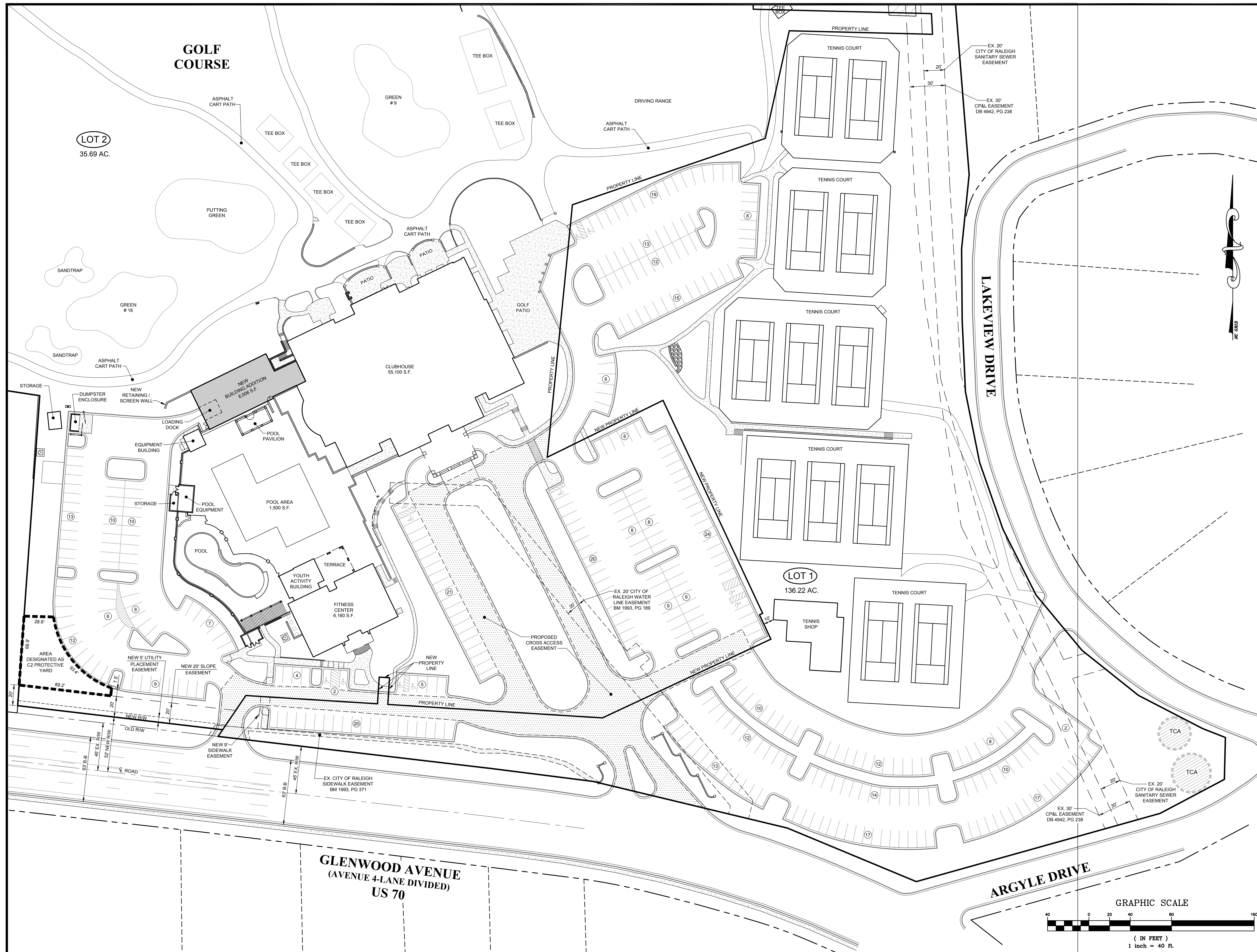
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Drawing Scale 1" = 40'

Drawn By BF

Checked By JAE, JR

Date Issued 01/17/19



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**CAROLINA COUNTRY CLUB**  
SERVICE ADDITION

CAROLINA COUNTRY CLUB  
2500 GLENWOOD AVE.

**LEGEND**

BM	BOOK OF MAPS	MH	MANHOLE
DB	DEED BOOK	WL	WATER LINE
PG	PAGE	WM	WATER METER
RW	RIGHT-OF-WAY	WV	WATER VALVE
AC	ACREAGE	WS	WATER SERVICE
S.F.	SQUARE FEET	FL	FIRE HYDRANT
EIP	EXISTING IRON PIPE	BO	BLOWOFF
IPS	IRON PIPE SET	HC	HANDICAP
NF	NOW OF FORMERLY	TC	TOP OF CURB
ELEV.	ELEVATION	TW	TOP OF WALL
EX.	EXISTING	BW	BOTTOM OF WALL
EOP	EDGE OF PAVEMENT	HB	HANDICAP BOTTOM
CB	CATCH BASIN	HT	HANDICAP TOP
DI	DROP INLET	MIN.	MINIMUM
D.I.	DUCTILE IRON	MN.	MINIMUM
CMP	CORRUGATED METAL PIPE	TYP.	TYPICAL
JB	JUNCTION BOX	INV.	INVERT
HW	HEADWALL	SW	SIDEWALK
SS	SANITARY SEWER	SP	SPACES
FE	FLARED END SECTION	CO	CATCH BASIN
FFE	FINISHED FLOOR ELEVATION	YI	YARD INLET
PVC	POLYVINYL CHLORIDE PIPE	ESMT	EASEMENT
CA	TREE CONSERVATION AREA	CONC.	CONCRETE
FDC	FIRE DEPARTMENT CONNECTION	C&G	CURB AND GUTTER
RP	REINFORCED CONCRETE PIPE	TSP	TRAFFIC SIGN
RPZ	REDUCED PRESSURE ZONE	TC	TERRA COTTA
DOVA	DOUBLE CHECK VALVE ASSEMBLY		
RPDA	REDUCED PRESSURE DETECTOR ASSEMBLY		

**LANDSCAPE PLAN**  
TYPE C2 STREET  
PROTECTIVE YARD

Revisions

Number	Description	Date
1	Revised C2 Protective Yard	3/8/19

Drawing Scale 1" = 20'  
Drawn By RT  
Checked By JAE, JR.  
Date Issued 01/17/19

**SITE SUMMARY**

EXISTING GROSS FLOOR AREA	61,260 S.F.
PROPOSED GROSS FLOOR AREA	67,266 S.F.*
ADDITIONAL REQUIRED PARKING	12 SPACES
IMPROVED SITE AREA	0 S.F.

\*GROSS FLOOR AREA < 25% INCREASE

**NOTE:**

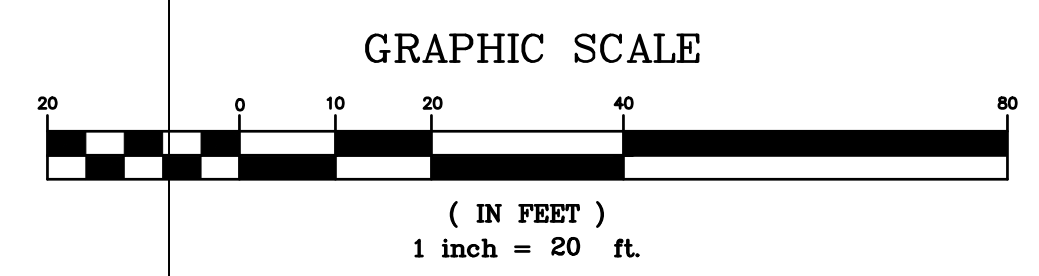
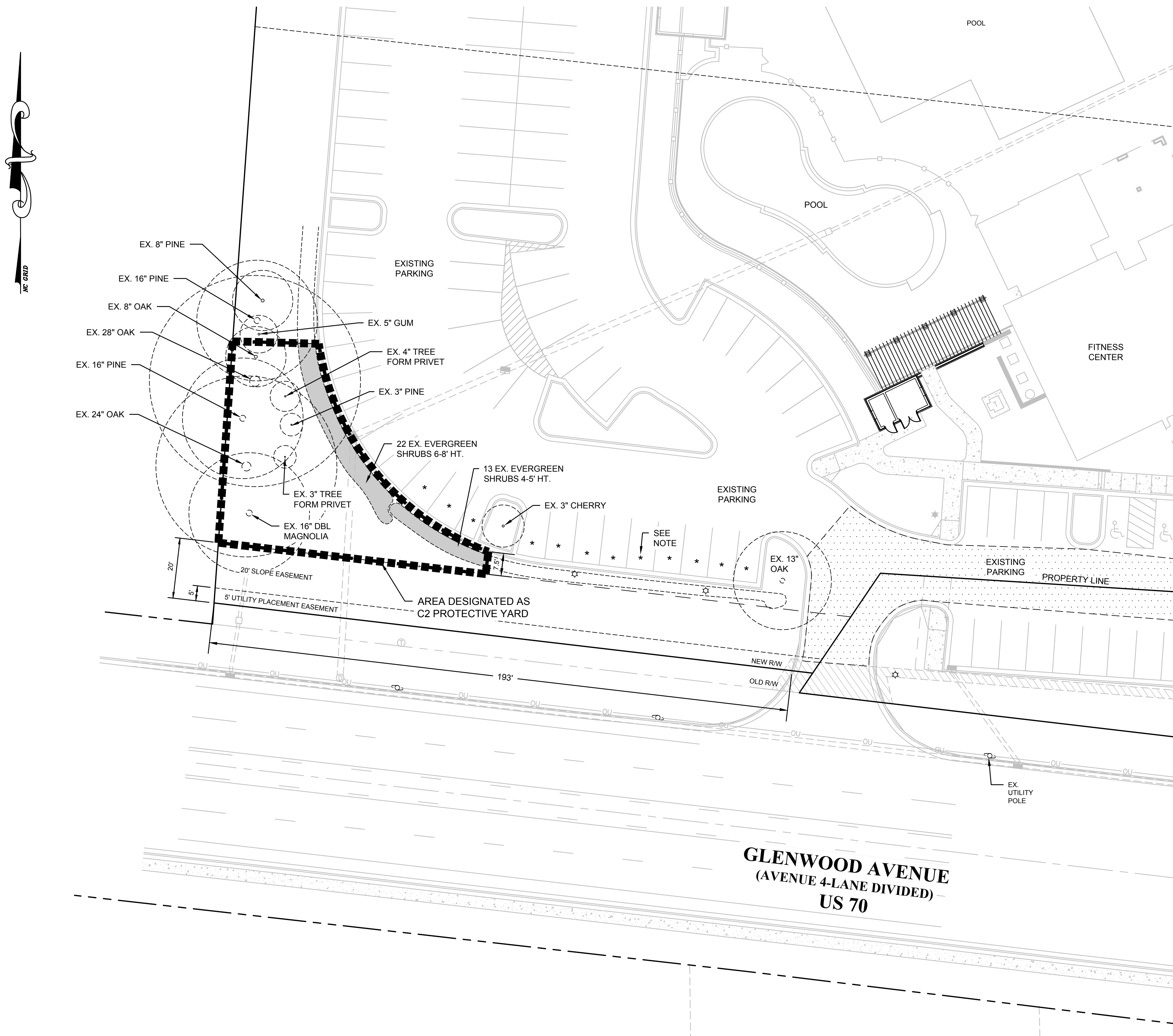
12 EXISTING PARKING SPACES WITH "A" USED FOR COMPLIANCE WITH UDO SECTION 7.2.2.B.

**NOTE:**

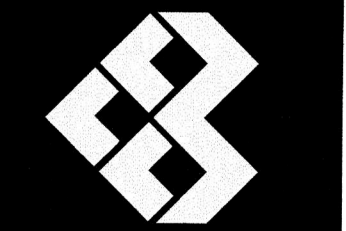
ALL PLANTS AND TREES SHOWN ARE EXISTING. THERE ARE MORE TREES LOCATED NORTH ALONG THE WESTERN PROPERTY LINE.

**C2 YARD SUMMARY:**

LINEAR FEET OF STREET FRONTAGE	192'
REQUIRED AVERAGE WIDTH	15'
REQUIRED SQ. FT. OF PROTECTIVE YARD (192X15)	2,895 SQ. FT.
PROVIDED SQ. FT. OF PROTECTIVE YARD	3,545 SQ. FT.
SHADE TREES REQUIRED (4/100 FT.)	8 TREES
SHADE TREES PROVIDED	8 TREES
SHRUBS REQUIRED (15/100 FT.)	29 SHRUBS
SHRUBS PROVIDED	35 SHRUBS



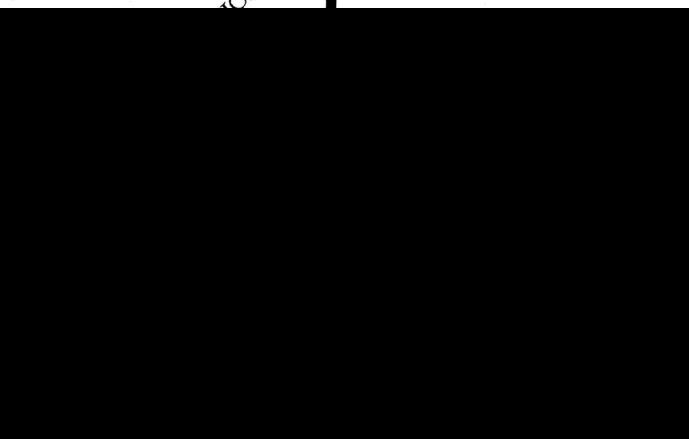
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ARCHITECT:



REVISIONS	
DATE	DESCRIPTION
6/25/18	FROM PRICING REVIEW
2/8/19	100% DESIGN DEVELOPMENT

9040 ROSWELL ROAD, SUITE 400, ATLANTA, GEORGIA 30350

CHAPMAN COYLE CHAPMAN & ASSOCIATES ARCHITECTS AIA, INC.

SERVICE ADDITION  
 Carolina Country Club  
 2500 Greenwood Avenue  
 Raleigh, North Carolina 27608

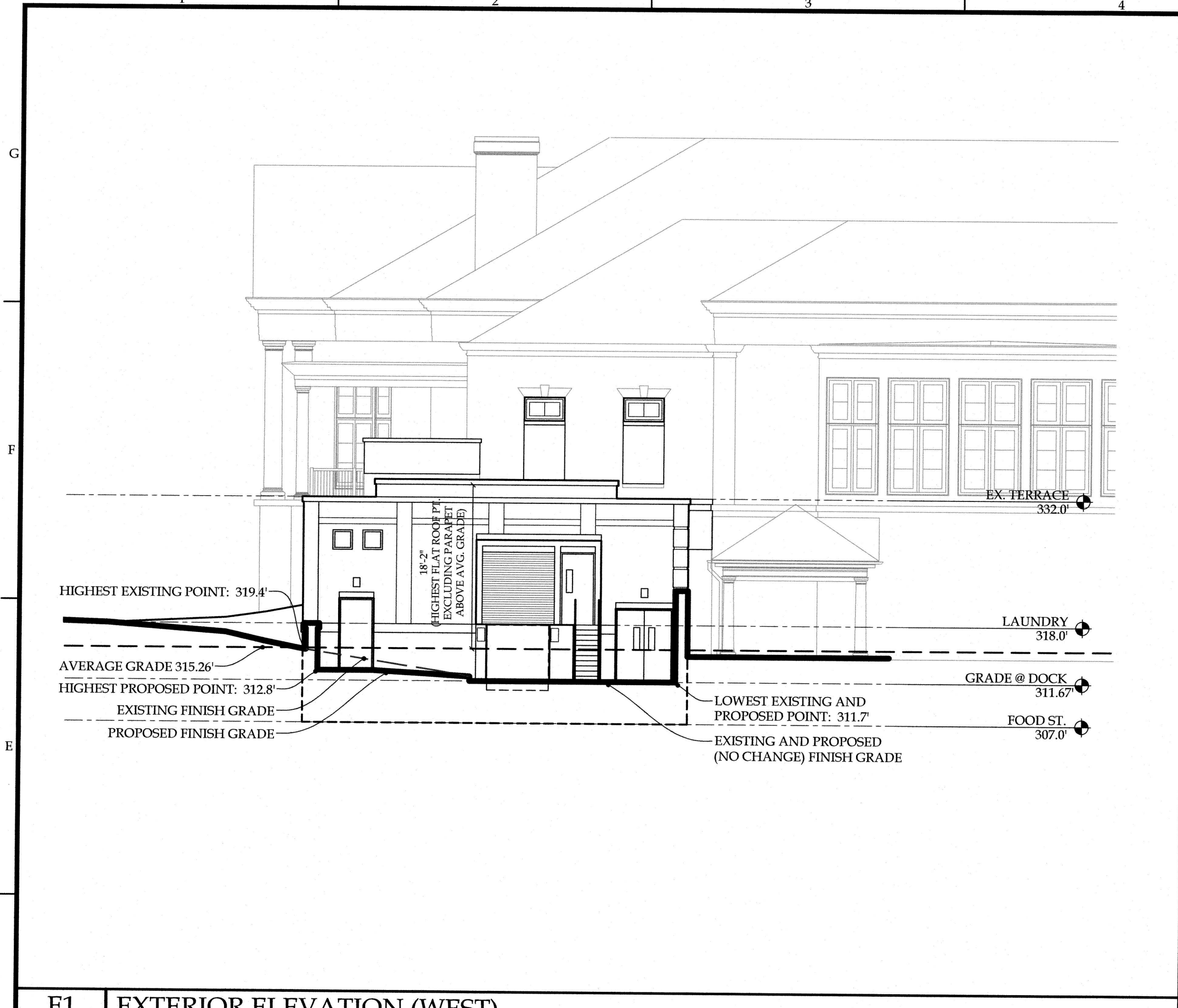
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JOB NUMBER :  
 18.005.00

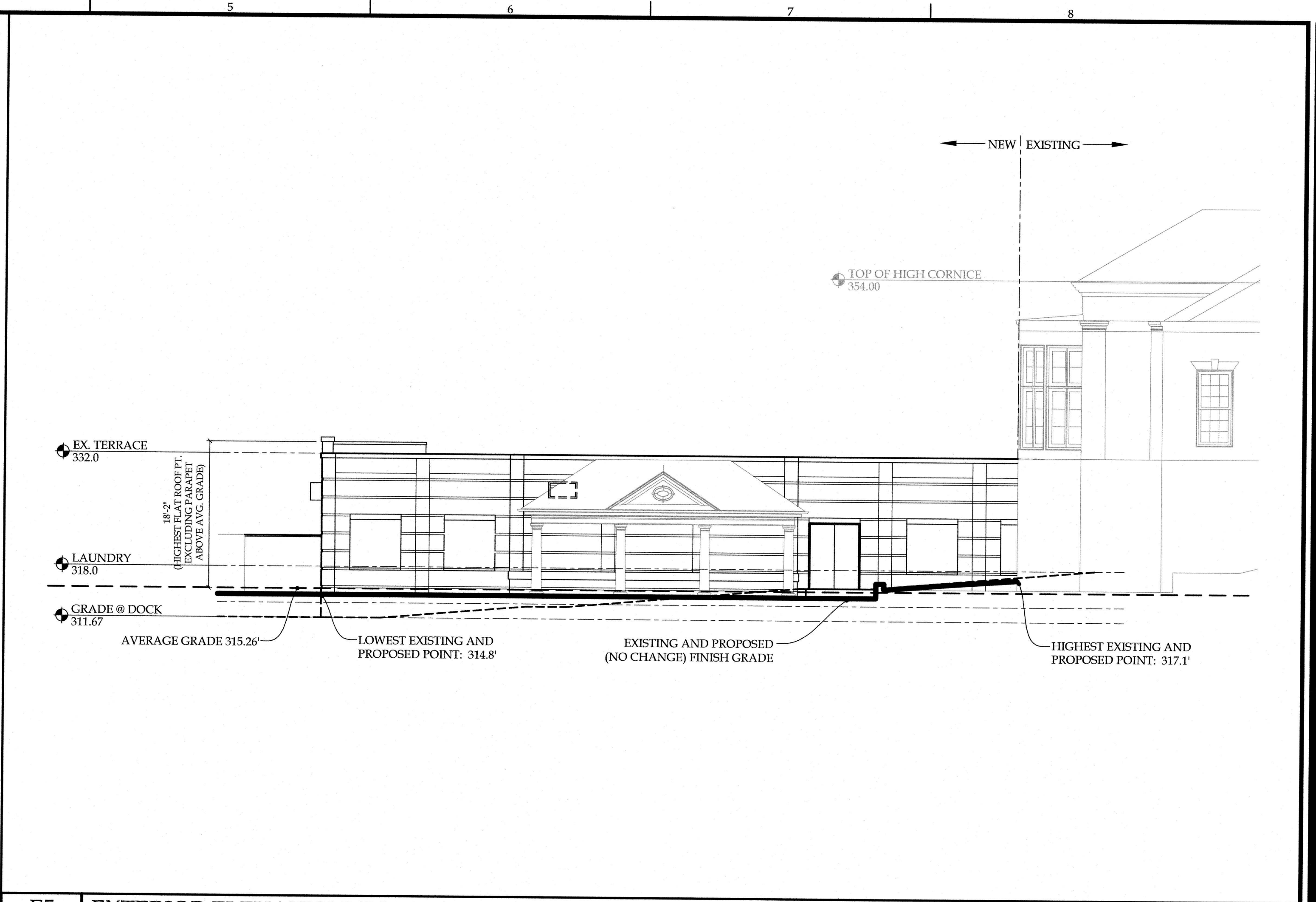
DATE :  
 6/25/2018

SHEET NAME :  
 EXTERIOR ELEVATIONS

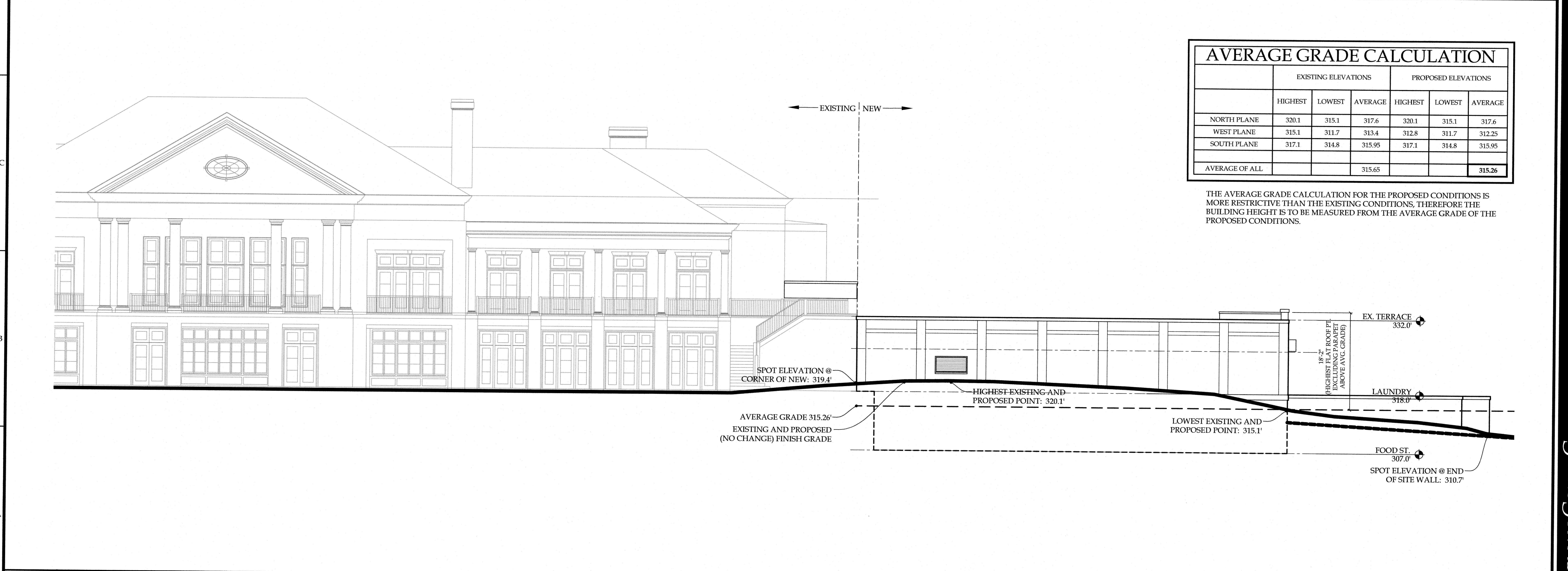
SHEET :  
 A5.01



E1 EXTERIOR ELEVATION (WEST)  
 A5.01 1/8" = 1'-0" x-ae01-00.000.00



E5 EXTERIOR ELEVATION (SOUTH)  
 A5.01 1/8" = 1'-0" x-ae01-00.000.00



A1 EXTERIOR ELEVATION (NORTH)  
 A5.01 1/8" = 1'-0" x-ae01-00.000.00

	EXISTING ELEVATIONS			PROPOSED ELEVATIONS		
	HIGHEST	LOWEST	AVERAGE	HIGHEST	LOWEST	AVERAGE
NORTH PLANE	320.1	315.1	317.6	320.1	315.1	317.6
WEST PLANE	315.1	311.7	313.4	312.8	311.7	312.25
SOUTH PLANE	317.1	314.8	315.95	317.1	314.8	315.95
AVERAGE OF ALL			315.65			315.26

THE AVERAGE GRADE CALCULATION FOR THE PROPOSED CONDITIONS IS MORE RESTRICTIVE THAN THE EXISTING CONDITIONS, THEREFORE THE BUILDING HEIGHT IS TO BE MEASURED FROM THE AVERAGE GRADE OF THE PROPOSED CONDITIONS.