

# CERTIFICATE OF APPROPRIATENESS PLACARD

for Raleigh Historic Resources

**Project Description:**

Installation of mechanical equipment; remove crawl space door; install power pole

501 S Person St

Address

Prince Hall

Historic District

Gethsemane Seventh Day Adventist  
Church

Historic Property

COA-0062-2019

Certificate Number

7/1/2019

Date of Issue

1/1/2020

Expiration Date

*This card must be kept posted in a location within public view until all phases of the described project are complete. The work must conform with the code of the City of Raleigh and laws of the state of North Carolina. When your project is complete, you are required to ask for a final zoning inspection in a historic district area. Telephone the RHDC office at 832-7238 and commission staff will coordinate the inspection with the inspections Department. If you do not call for this final inspection, your Certificate of Appropriateness is null and void.*

Signature, \_\_\_\_\_

*Collette R. Kinne*

Raleigh Historic Development Commission

*Pending the resolution of appeals, commencement of work is at your own risk.*



# Certificate of Appropriateness | Application

Development Services Customer Service Center • One Exchange Plaza, Suite 400 | Raleigh, NC 27601 | 919-996-2495

This form can be submitted in person or via USPS at the above address.

| Type or print the following:   |  |                 |
|--|--|-----------------|
| Applicant name: NICOLE ALVAREZ, CLEARSCAPES PA   |  |                 |
| Mailing address: 311-200 W MARTIN ST   |  |                 |
| City: RALEIGH  | State: NC  | Zip code: 27601 |
| Date: 5/30/19  | Daytime phone #: 919-821-2775  |                 |
| Email address: NALVAREZ@CLEARSCAPES.COM  |  |                 |
| Applicant signature: <i>Nicole Alvarez</i>   |  |                 |
| <input checked="" type="checkbox"/> Minor work (staff review) – one copy<br>Major work (COA committee review) – one copy<br>(10 copies will be required after initial staff review) <ul style="list-style-type: none"> <li><input type="checkbox"/> Additions &gt; 25% of building sq. footage</li> <li><input type="checkbox"/> New buildings</li> <li><input type="checkbox"/> Demolition of building or structure</li> <li><input type="checkbox"/> All other</li> </ul> <input type="checkbox"/> Post approval re-review of conditions of approval | <p style="text-align: center; margin: 0;"><b>Office Use Only</b></p> Transaction #: <u>598611</u><br>File #: <u>COA-0062-2019</u><br>Fee: _____<br>Amount paid: <u>\$30.00</u><br>Received date: _____<br>Received by: _____ |                 |
| Property street address: 501 S PERSON ST   |  |                 |
| Historic district: PRINCE HALL   |  |                 |
| Historic property/Landmark name (if applicable):   |  |                 |
| Owner name: PHUC TRAN  |  |                 |
| Owner mailing address: PO Box 12994, Raleigh NC 27605  |  |                 |

For applications that require review by the COA Committee (major work), provide addressed and stamped envelopes for owners for all properties with 100 feet on all sides of the property, as well as the property owner.

| Property Owner Name & Address | Property Owner Name & Address |
|-------------------------------|-------------------------------|
|                               |                               |
|                               |                               |
|                               |                               |
|                               |                               |
|                               |                               |
|                               |                               |
|                               |                               |

I understand that all major work applications that require review by the Raleigh Historic Development Commission's COA Committee must be submitted by 4 p.m. on the date of the application deadline; otherwise, consideration will be delayed until the following committee meeting. An incomplete application will not be accepted.

|  |  |
|--|--|
| Will you be applying for rehabilitation tax credits for this project? Yes <input type="checkbox"/> No <input checked="" type="checkbox"/><br>Did you consult with staff prior to filing the application? Yes <input checked="" type="checkbox"/> No <input type="checkbox"/> | Office Use Only<br>Type of work: <u>50, 91</u> |
|--|--|

| Design Guidelines: please cite the applicable sections of the design guidelines ( <a href="http://www.rhdc.org">www.rhdc.org</a> ). |              |   |
|---|--------------|---|
| Section/Page  | Topic        | Brief description of work (attach additional sheets as needed). |
| 1.1/18-19   | RIGHT-OF-WAY | NEW ELECTRICAL POWER POLE IN R-O-W. LOCATING ELEC/GAS SERVICES. |
| 2.2/40-41   | MASONRY      | PROTECT AND REPAIR MASONRY                                      |
| 2.4/44-45   | PAINT        | PAINT EXISTING ADDITION AND NEW ELEC PANEL                      |
|   |              |   |

**Minor Work Approval (office use only)**

Upon being signed and dated below by the Planning Director or designee, this application becomes the Minor Work Certificate of Appropriateness. It is valid until 01/01/2020.

Please post the enclosed placard form of the certificate as indicated at the bottom of the card. Issuance of a Minor Work Certificate shall not relieve the applicant, contractor, tenant, or property owner from obtaining any other permit required by City Code or any law. Minor Works are subject to an appeals period of 30 days from the date of approval.

Signature (City of Raleigh) Collette K K Date 07/01/2019

|  | To be completed by applicant        |                                     | Office Use Only                     |                          |                                     |
|--|-------------------------------------|-------------------------------------|-------------------------------------|--------------------------|-------------------------------------|
|  | Yes                                 | N/A                                 | Yes                                 | No                       | N/A                                 |
| Attach 8-1/2"x11" or 11"x17" sheets with written descriptions and drawings, photographs, and other graphic information necessary to completely describe the project. Use the checklist below to be sure your application is complete.<br><u>Minor Work</u> (staff review) – 1 copy<br><u>Major Work</u> (COA Committee review) – 1 copy (10 copies will be required after initial staff review).   | <input checked="" type="checkbox"/> |                                     | <input checked="" type="checkbox"/> | <input type="checkbox"/> | <input type="checkbox"/>            |
| 1. <b>Written description.</b> Describe clearly and in detail the nature of your project. Include exact dimensions for materials to be used (e.g. width of siding, window trim, tree species, etc.)  | <input checked="" type="checkbox"/> |                                     | <input checked="" type="checkbox"/> | <input type="checkbox"/> | <input type="checkbox"/>            |
| 2. <b>Description of materials</b> (Provide samples, if appropriate)   | <input checked="" type="checkbox"/> |                                     | <input checked="" type="checkbox"/> | <input type="checkbox"/> | <input type="checkbox"/>            |
| 3. <b>Color Photographs</b> of existing conditions are required. Minimum image size 4" x 6" as printed. Maximum 2 images per page. Photos should be of each side of the house, fully show the yards, and include streetscapes.   | <input checked="" type="checkbox"/> |                                     | <input checked="" type="checkbox"/> | <input type="checkbox"/> | <input type="checkbox"/>            |
| 4. <b>Paint Schedule</b> (if applicable)   | <input checked="" type="checkbox"/> | <input type="checkbox"/>            | <input checked="" type="checkbox"/> | <input type="checkbox"/> | <input type="checkbox"/>            |
| 5. <b>Site Drawings.</b> Required for projects that include any addition, demolition, fences, walls, or other landscape work. <ul style="list-style-type: none"> <li>• <u>Plot plan</u>   showing relationship of buildings, additions, sidewalks, drives, trees, property lines, etc.</li> <li>• Tree survey   include size, species, and critical root zone for each tree over 8" diameter when measured 4' above ground level</li> <li>• Tree protection plan   include material staging area, construction access, limits of disturbance, location of tree protection fencing</li> <li>• Grading plan</li> <li>• Dimensions shown on drawings and/or graphic scale (required)</li> <li>• 11"x17" or 8-1/2"x11" reductions of full-size drawings</li> </ul> | <input checked="" type="checkbox"/> | <input type="checkbox"/>            | <input checked="" type="checkbox"/> | <input type="checkbox"/> | <input type="checkbox"/>            |
| 6. <b>Architectural Drawings</b> showing existing and proposed work (if applicable) <ul style="list-style-type: none"> <li>• Plan drawings</li> <li>• Elevation drawings showing the façade(s). For additions, deck, and porches, include the grade.</li> <li>• Dimensions shown on drawings and/or graphic scale (required)</li> <li>• 11" x 17" or 8-1/2" x 11" reductions of full-size drawings. If reduced size is so small as to be illegible, make 11" x 17" or 8-1/2" x 11" snap shots of individual drawings from the big sheet.</li> </ul>  | <input type="checkbox"/>            | <input checked="" type="checkbox"/> | <input type="checkbox"/>            | <input type="checkbox"/> | <input checked="" type="checkbox"/> |
| 7. Stamped envelopes addressed to all property owners within 100 feet of property, on all sides of the property, as well as the property owner (required for Major Work). Use the <u>Label Creator</u> to determine the addresses.   | <input type="checkbox"/>            | <input checked="" type="checkbox"/> | <input type="checkbox"/>            | <input type="checkbox"/> | <input checked="" type="checkbox"/> |
| 8. <b>Fee</b> (See <u>Development Fee Schedule</u> )   | <input checked="" type="checkbox"/> |                                     | <input checked="" type="checkbox"/> | <input type="checkbox"/> | <input type="checkbox"/>            |

## **Minor Work Application**

**St Gethsemane Church  
501 S. Person St.**

May 30, 2019

### **Description:**

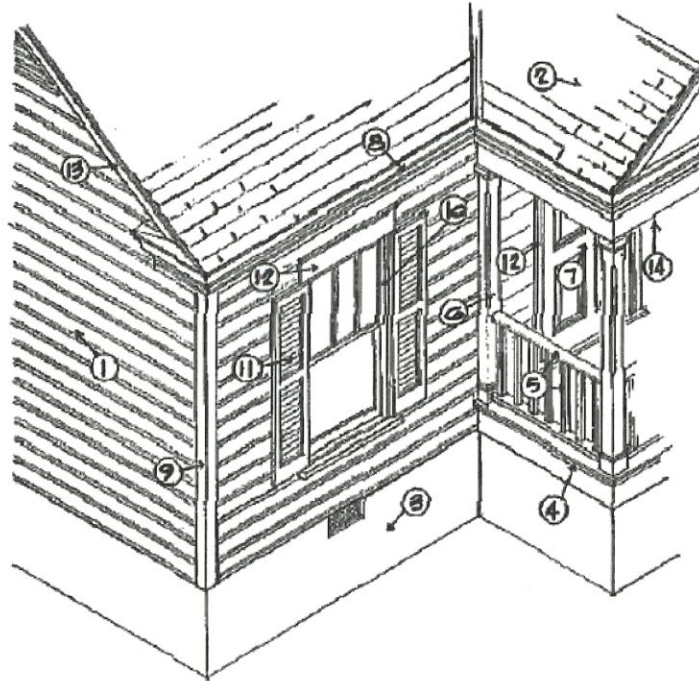
This application is to request approval for utility services to St Gethsemane Church. The project site is located within the Prince Hall Historic Overlay District.

Work includes adding a new, wood electrical power pole required by Duke Power in the right-of-way. The new electrical service will be underground to a new electrical panel/meter on a rear side of the church. Attached sheets explain former, current, and proposed services and locations.

Also, the existing painted addition is proposed to be painted to match the existing masonry/stone. The new electrical panel/meter will be painted to match the existing masonry/stone, too.

Please see attached drawings, photos, samples, and specifications for more details.

Raleigh Historic Development Commission – Certificate of Appropriateness Paint Schedule



**Applicant** NICOLE ALVAREZ, CLEARSCAPES

**Address** 501 S PERSON STREET

**Paint Manufacturer** (Please submit color chips with this schedule) SHERWIN WILLIAMS

**Color Schedule**

|    |  |
|----|--|
| 1  | Body of House  |
| 2  | Roofing  |
| 3  | Foundation   |
| 4  | Porch Floor  |
| 5  | Railing  |
| 6  | Columns  |
| 7  | Entrance Door  |
| 8  | Cornice  |
| 9  | Corner Boards  |
| 10 | Window Sash  |
| 11 | Shutter  |
| 12 | Door & Window Trim   |
| 13 | Rake   |
| 14 | Porch Ceiling  |
| 15 | Other PAINT EXISTING ADDITION CMU WALLS AND SIDING TO MATCH EXISTING MASONRY/STONE WALLS - SEE SHEET A6 FOR MORE INFO AND COLOR CHIP |



LOCATION OF REQUIRED NEW WOOD ELECTRICAL POWER POLE PER DUKE POWER. IN RIGHT-OF-WAY. NEW ELECTRICAL SERVICE TO BE RUN UNDERGROUND FROM POLE TO NEW PANEL (SEE A3 AND A5)

CURRENT PHOTO OF NORTH (SIDE STREET) FACADE AND EAST (SIDE) FACADE FACING NEIGHBOR



LOCATION OF REQUIRED NEW WOOD ELECTRICAL POWER POLE PER DUKE POWER. IN RIGHT-OF-WAY. NEW ELECTRICAL SERVICE TO BE RUN UNDERGROUND FROM POLE TO NEW PANEL (SEE A3 AND A5)

CURRENT PHOTO OF NORTH (SIDE STREET) FACADE

**ST GETHSEMANE  
 RENOVATION**

PROJECT NO:  
 DRAWN: NNA  
 CHECKED: FB  
 DATE: 05/30/2019

**CURRENT PHOTOS**



EXISTING ADDITION  
 CMU AND SIDING TO  
 BE PAINTED TO MATCH  
 EXISTING  
 MASONRY/STONE, SEE  
 A6. EAVE TRIM TO  
 REMAIN WHITE.

SEE A3 FOR INFO ON  
 FORMER/NEW SERVICES

CURRENT PHOTO OF NORTH FACADE



MISC METAL ROD TO BE  
 REMOVED AND PATCHED

CURRENT TEMPORARY  
 POWER POLE

FORMER PERMANENT  
 ELECTRICAL  
 CONNECTION TO  
 EXPOSED  
 METER/PANEL FED BY  
 AN AERIAL LINE TO A  
 WEATHERHEAD AND  
 POLE.

CURRENT PHOTO OF NORTH (SIDE STREET) FACADE.

**ST GETHSEMANE  
 RENOVATION**

PROJECT NO:  
 DRAWN: NNA  
 CHECKED: FB  
 DATE: 05/30/2019

**CURRENT PHOTOS**



**GENERAL NOTE:** SPECIAL CARE WILL BE TAKEN TO MINIMIZE DAMAGE OF EXISTING MASONRY/STONE BLOCKS. AS NEEDED, IT WILL BE PATCHED TO MATCH. EXISTING MOLDS STILL ON SITE FROM PRVIOUS REHAB. OWNER IS STILL IN CONTACT WITH THE MASON THAT DID PREVIOUS REPAIR WORK.

*Panel to remain in existing loc. per email cxx*

THIS MODEL OF PANEL WAS INCORRECTLY ORDERED, SEE A5 FOR SPECS OF CORRECT PANEL/METER COMBO. LOCATION OF PANEL TO BE ADJUSTED. AS SHOWN.

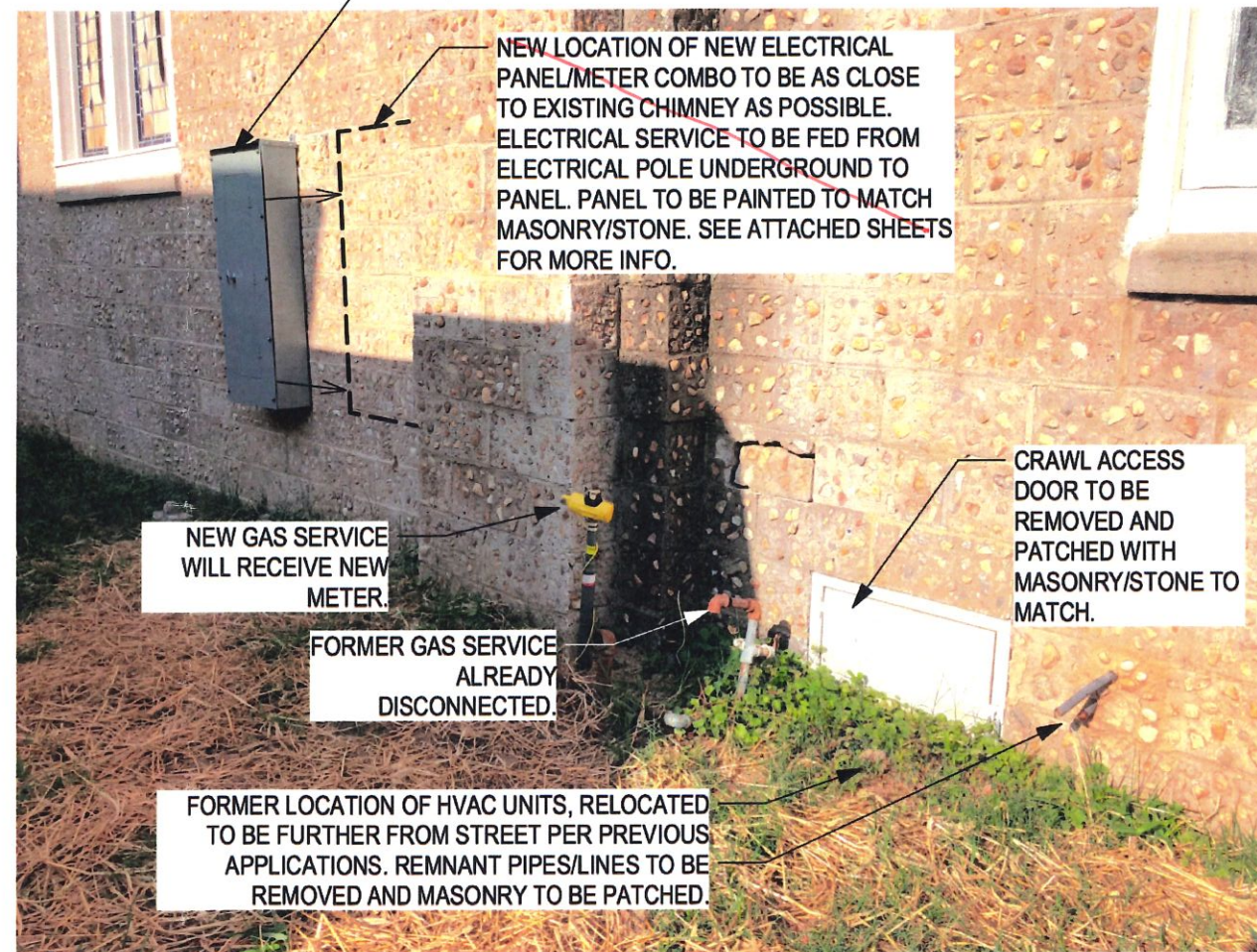
NEW LOCATION OF NEW ELECTRICAL PANEL/METER COMBO TO BE AS CLOSE TO EXISTING CHIMNEY AS POSSIBLE. PANEL TO BE PAINTED TO MATCH MASONRY/STONE. SEE ATTACHED SHEETS FOR MORE INFO.



CURRENT PHOTO OF INSTALLED ELECTRICAL PANEL AT EAST FACADE

THIS MODEL OF PANEL WAS INCORRECTLY ORDERED, SEE A5 FOR SPECS OF CORRECT PANEL/METER COMBO

NEW LOCATION OF NEW ELECTRICAL PANEL/METER COMBO TO BE AS CLOSE TO EXISTING CHIMNEY AS POSSIBLE. ELECTRICAL SERVICE TO BE FED FROM ELECTRICAL POLE UNDERGROUND TO PANEL. PANEL TO BE PAINTED TO MATCH MASONRY/STONE. SEE ATTACHED SHEETS FOR MORE INFO.



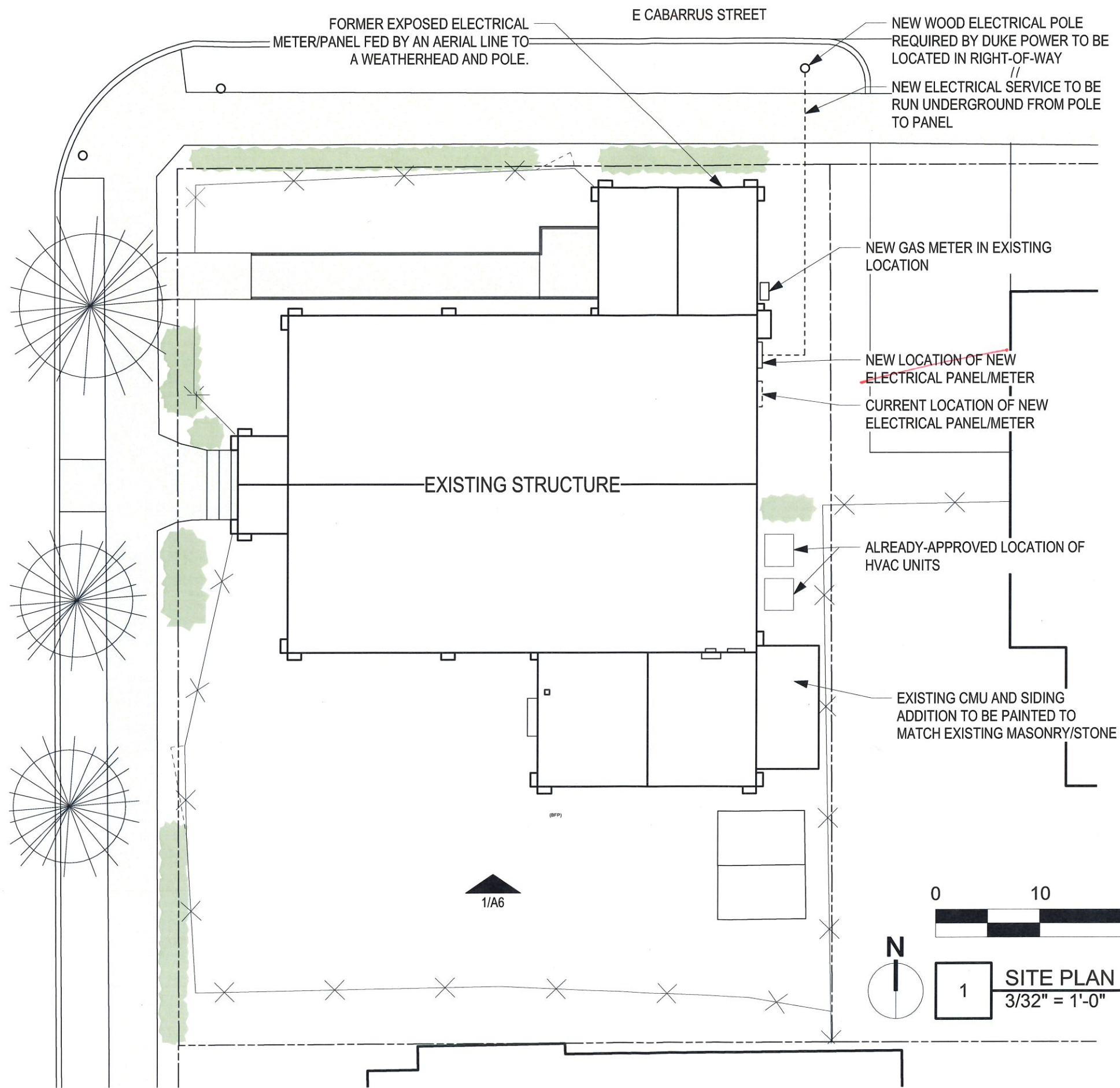
CURRENT PHOTO SHOWING PORTION OF EAST FACADE AND EXISTING/NEW UTILITIES

**ST GETHSEMANE  
RENOVATION**

PROJECT NO:  
DRAWN: NNA  
CHECKED: FB  
DATE: 05/30/2019

**CURRENT PHOTOS**

S PERSON STREET



E CABARRUS STREET

FORMER EXPOSED ELECTRICAL METER/PANEL FED BY AN AERIAL LINE TO A WEATHERHEAD AND POLE.

NEW WOOD ELECTRICAL POLE REQUIRED BY DUKE POWER TO BE LOCATED IN RIGHT-OF-WAY

NEW ELECTRICAL SERVICE TO BE RUN UNDERGROUND FROM POLE TO PANEL

NEW GAS METER IN EXISTING LOCATION

NEW LOCATION OF NEW ELECTRICAL PANEL/METER

CURRENT LOCATION OF NEW ELECTRICAL PANEL/METER

EXISTING STRUCTURE

ALREADY-APPROVED LOCATION OF HVAC UNITS

EXISTING CMU AND SIDING ADDITION TO BE PAINTED TO MATCH EXISTING MASONRY/STONE

1/A6



1 SITE PLAN + ROOF PLAN  
3/32" = 1'-0"

**ST GETHSEMANE RENOVATION**

PROJECT NO:  
DRAWN: NNA  
CHECKED: FB  
DATE: 05/30/2019

**SITE PLAN**



11197 CSR

pe.eaton.com

### Eaton house panel

HP816P400BSL

UPC:782116080250

#### Dimensions:

- Height: 44 IN
- Length: 6 IN
- Width: 29.75 IN

71-CSR220

Weight:160 LB

#### Warranties:

- Eaton Selling Policy 25-000, one (1) year from the date of installation of the Product or eighteen (18) months from the date of shipment of the Product, whichever occurs first.

#### Specifications:

- Amperage Rating: 400A
- Bus Material: Aluminum
- Bypass: Lever
- Enclosure: NEMA 3R
- Feed Type: Top/bottom
- Interrupt Rating: 22 kAIC
- Line: Lug landings for compression, lugs not included
- Main Circuit Breaker: CSR2150
- Mounting: Surface
- Number Of Circuits: 16
- Number Of Sockets: 1
- Number Of Spaces: 8
- Secondary Circuit Breaker: BW/BWH
- Security: Ring
- Used With: Type BR breakers
- Voltage Rating: 120/240V

#### Supporting documents:

- Dimensional Drawing - METER BREAKER HP816P400BSL (RI)



SPECS FOR NEW ELECTRICAL PANEL/METER  
CURRENT PANEL ON SITE WAS INCORRECT MDOEL



NEW ELECTRICAL POLE TO MATCH EXISTING WOOD ELECTRICAL POLES  
AT CORNER OF CABARRUS AND PERSON STREETS

### ST GETHSEMANE RENOVATION

PROJECT NO:  
DRAWN: NNA  
CHECKED: FB  
DATE: 05/30/2019

### ADDITIONAL INFO - ELECTRICAL

A5



ACTUAL PAINT CHIP

SHERWIN-WILLIAMS 2506 11/11/17  
 919-829-8005 Order# 0183929

EXTERIOR ARCHITECTURAL  
 SUPER PAINT LATEX  
 FLAT IFC 8112NP

**BRICK MATCH**  
**CUSTOM SHER-COLOR MATCH**

| CCE*COLORANT | OZ | 32 | 64 | 128 |
|--------------|----|----|----|-----|
| L1-Blue      | -  | 25 | 1  | -   |
| R2-Maroon    | -  | 24 | 1  | -   |
| Y3-Deep Gold | 4  | 5  | 1  | -   |

ONE GALLON EXTRA WHITE  
 AB0W01151 640413720

**BRICK**

**Non Returnable Tinted Color**  
 CAUTION: To assure consistent color,  
 always order enough paint to complete  
 the job and intermix all containers  
 of the same color before application.  
 Mixed colors may vary slightly from  
 color strip or color chip.

0183929-001

PAINT DETAILED INFO



PHOTO OF PAINT CHIP AND EXISTING MASONRY/STONE.  
 ELECTRICAL PANEL TO BE PAINTED TO MATCH MASONRY/STONE.  
 EXISTING ADDITION SIDES TO BE PAINTED TO MATCH MASONRY/STONE.

**ST GETHSEMANE  
 RENOVATION**

PROJECT NO:  
 DRAWN: NNA  
 CHECKED: FB  
 DATE: 05/30/2019

**ADDITIONAL INFO -  
 PAINT**

## Kinane, Collette

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**From:** Nicole Alvarez <nalvarez@clearscapes.com>  
**Sent:** Monday, June 24, 2019 3:22 PM  
**To:** Kinane, Collette  
**Subject:** Re: Gethsemane

Hey, correct it's not larger. I provided the dimensions of the new panel in my application.

The old panel actually had a separate meter box that wasn't installed yet. The new panel will not have the separate meter box, it's a combined box.

Thanks!

**NICOLE ALVAREZ, AIA**

**CLEARSCAPES** | 311-200 W. Martin Street | Raleigh, NC 27601 | 919.821.2775 | [www.clearscapes.com](http://www.clearscapes.com)

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**From:** "Kinane, Collette" <Collette.Kinane@raleighnc.gov>  
**Date:** Monday, June 24, 2019 at 9:21 AM  
**To:** Nicole Alvarez <nalvarez@clearscapes.com>  
**Subject:** RE: Gethsemane

And just to double check, the new panel is no larger than the existing?

**Collette R. Kinane**  
Preservation Planner II

■ **Raleigh Urban Design Center**  
One Exchange Plaza, Suite 300 | Raleigh, NC 27601  
919-996-2649 | [raleighnc.gov](http://raleighnc.gov)

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**From:** Nicole Alvarez <nalvarez@clearscapes.com>  
**Sent:** Monday, June 24, 2019 9:18 AM  
**To:** Kinane, Collette <Collette.Kinane@raleighnc.gov>  
**Subject:** Re: Gethsemane

Hi Collette,

I had a site meeting this morning and reviewed with the GC.

If we install the new panel in the same location we will not need to drill more into the existing block. We can gladly keep it in the same location.

Thanks,  
Nicole

NICOLE ALVAREZ, AIA

**CLEARSCAPES** | 311-200 W. Martin Street | Raleigh, NC 27601 | 919.821.2775 | [www.clearscapes.com](http://www.clearscapes.com)

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**From:** "Kinane, Collette" <[Collette.Kinane@raleighnc.gov](mailto:Collette.Kinane@raleighnc.gov)>

**Date:** Thursday, June 20, 2019 at 4:04 PM

**To:** Nicole Alvarez <[nalvarez@clearscapes.com](mailto:nalvarez@clearscapes.com)>

**Subject:** Gethsemane

Hello! A million apologies for taking so long to get back to you about this. Today is finally the first day in SO MANY that we're actually at our desks like normal and naturally you're out of the office (I hope you're doing something fun somewhere!)

We've been thinking about the utility panel on the rear of Gethsemane and have a few questions. If the new, correctly sized panel is installed in the same location as the one that's currently there, will there need to be any additional drilling into or removal of brick? In other words, can the new panel use the holes that were created for the existing one? If yes, and no further brick removal/drilling is necessary, then we would be able to approve the new panel in the current location so as to not disturb any more brick. If new holes will be required to accommodate the new box, then we'd approve moving it closer to the chimney.

Let me know what you think.

Collette

**Collette R. Kinane**

Preservation Planner II

■ **Raleigh Urban Design Center**

One Exchange Plaza, Suite 300 | Raleigh, NC 27601

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