



CERTIFICATE OF APPROPRIATENESS PLACARD

for Raleigh Historic Resources

Project Description:

Construct screening fence; rear and side yard landscaping

602 N Bloodworth St

Address

Oakwood

Historic District

Historic Property

COA-0039-2019

Certificate Number

4/17/2019

Date of Issue

10/17/2019

Expiration Date

This card must be kept posted in a location within public view until all phases of the described project are complete. The work must conform with the code of the City of Raleigh and laws of the state of North Carolina. When your project is complete, you are required to ask for a final zoning inspection in a historic district area. Telephone the RHDC office at 832-7238 and commission staff will coordinate the inspection with the inspections Department. If you do not call for this final inspection, your Certificate of Appropriateness is null and void.

Signature, _____

Collette R. Kinnane

Raleigh Historic Development Commission

Pending the resolution of appeals, commencement of work is at your own risk.

Raleigh Historic Development Commission – Certificate of Appropriateness (COA) Application



**DEVELOPMENT
SERVICES
DEPARTMENT**

Development Services
Customer Service Center
One Exchange Plaza
1 Exchange Plaza, Suite 400
Raleigh, North Carolina 27601
Phone 919-996-2495
eFax 919-996-1831



<input checked="" type="checkbox"/> Minor Work (staff review) – 1 copy <input type="checkbox"/> Major Work (COA Committee review) – 10 copies <input type="checkbox"/> Additions Greater than 25% of Building Square Footage <input type="checkbox"/> New Buildings <input type="checkbox"/> Demo of Contributing Historic Resource <input type="checkbox"/> All Other <input type="checkbox"/> Post Approval Re-review of Conditions of Approval	<p style="text-align: center; margin: 0;">For Office Use Only</p> Transaction # <u>589868</u> File # <u>COA-0039-2019</u> Fee <u>\$300⁰⁰</u> Amount Paid <u>3000</u> Received Date <u>3/18/2019</u> Received By <u>Parneela Best</u>
Property Street Address <u>602 N. Bloodworth Street</u>	
Historic District <u>Oakwood</u>	
Historic Property/Landmark name (if applicable) _____	
Owner's Name <u>James and Barbara McMahan</u>	
Lot size <u>6321.47 SF</u>	(width in feet) <u>60.13</u>
(depth in feet) <u>105.13</u>	
<p>For applications that require review by the COA Committee (Major Work), provide addressed, stamped envelopes to owners of all properties within 100 feet (i.e. both sides, in front (across the street), and behind the property) not including the width of public streets or alleys (Label Creator).</p>	
Property Address	Property Address

I understand that all applications that require review by the commission's Certificate of Appropriateness Committee must be submitted by 4:00 p.m. on the application deadline; otherwise, consideration will be delayed until the following committee meeting. An incomplete application will not be accepted.

Type or print the following:

Applicant John L. Thomas for Gardener by Nature LLC

Mailing Address 5508 Swiftbrook Circle

City Raleigh

State NC

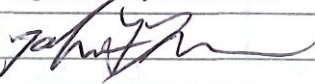
Zip Code 27606

Date Jan 28, 2019

Daytime Phone 919-810-1927

Email Address john@gardenerbynature.com

Applicant Signature



Will you be applying for rehabilitation tax credits for this project? Yes No

Did you consult with staff prior to filing the application? Yes No

Office Use Only

Type of Work 36, 46

Design Guidelines - Please cite the applicable sections of the design guidelines (www.rhdc.org).

Section/Page	Topic	Brief Description of Work (attach additional sheets as needed)
1.3/p22	Site Features and Plantings	-Install lattice screening fence, 10' x 42" to mask HVAC in North side yard.
1.4/p24	Fences and Walls	-Install stone bowl fountain feature in NE corner.
		-Rework existing rear step stone path, adding larger stones and a short connecting path to deck steps.
		-Remove 3 small wild trees along rear fence, all under 8" caliper ACH: 1 Ligustrum, 1 Maple, 1 Hackberry.
		-Add new plantings in side and rear yards as described on plan drawing.

Proposed Landscape Improvements
for
6702 North Bloodworth Street
Oakwood Historic District

Minor Work COA



Gardener by Nature LLC
February 4, 2019
Design by John L Thomas

Minor Work Approval (office use only)

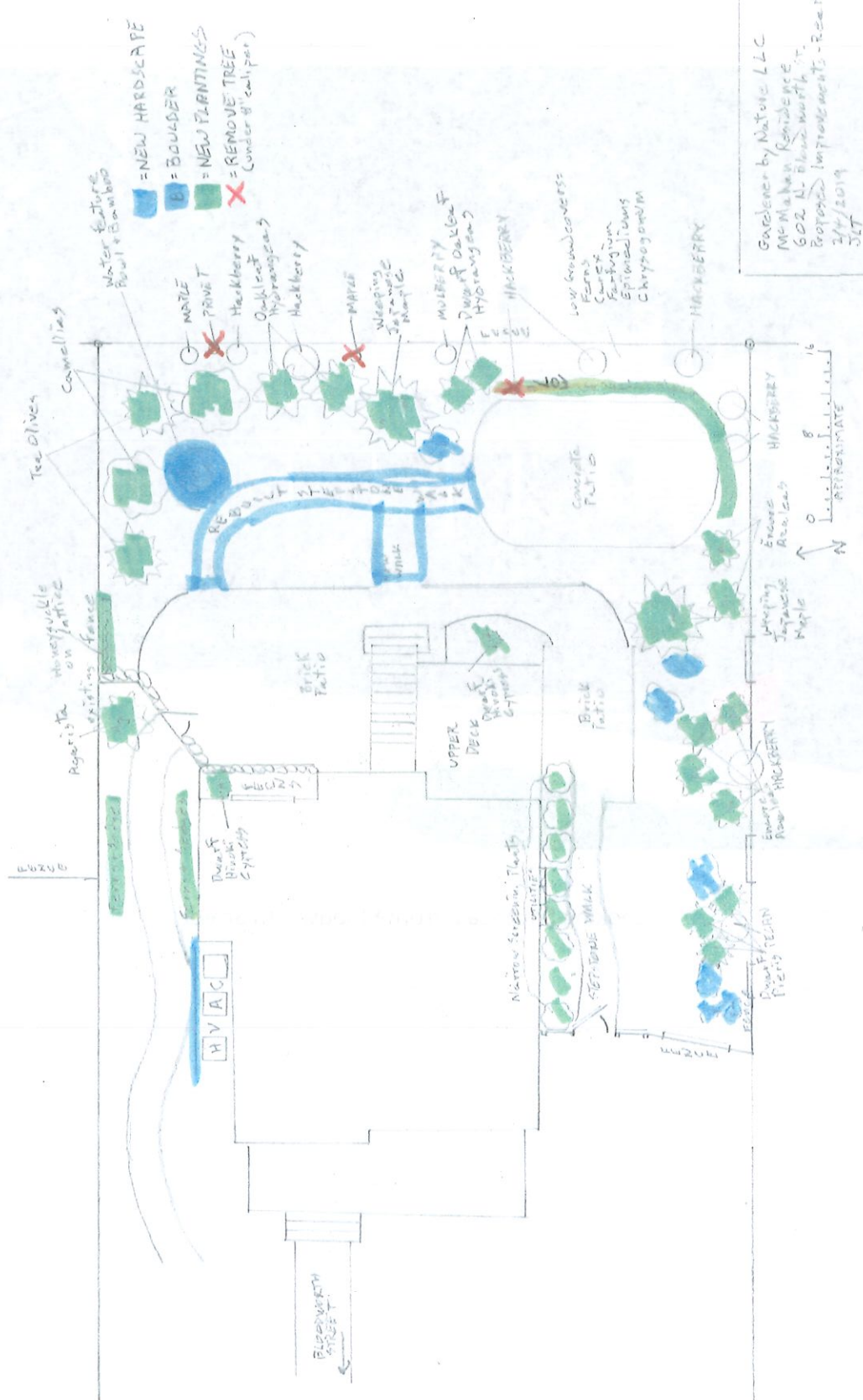
Upon being signed and dated below by the Planning Director or designee, this application becomes the Minor Work Certificate of Appropriateness. It is valid until 10/17/2019. Please post the enclosed placard form of the certificate as indicated at the bottom of the card. Issuance of a Minor Work Certificate shall not relieve the applicant, contractor, tenant, or property owner from obtaining any other permit required by City Code or any law. Minor Works are subject to an appeals period of 30 days from the date of approval.

Signature (City of Raleigh) Collette R K Date 04/17/2019

	TO BE COMPLETED BY APPLICANT		TO BE COMPLETED BY CITY STAFF		
	YES	N/A	YES	NO	N/A
Attach 8-1/2" x 11" or 11" x 17" sheets with written descriptions and drawings, photographs, and other graphic information necessary to completely describe the project. Use the checklist below to be sure your application is complete. Minor Work (staff review) – 1 copy Major Work (COA Committee review) – 10 copies					
1. Written description. Describe clearly and in detail the nature of your project. Include exact dimensions for materials to be used (e.g. width of siding, window trim, etc.)	<input checked="" type="checkbox"/>				
2. Description of materials (Provide samples, if appropriate)	<input checked="" type="checkbox"/>				
3. Photographs of existing conditions are required. Minimum image size 4" x 6" as printed. Maximum 2 images per page.	<input checked="" type="checkbox"/>				
4. Paint Schedule (if applicable)	<input type="checkbox"/>	<input type="checkbox"/> <i>NA</i>			
5. Plot plan (if applicable). A plot plan showing relationship of buildings, additions, sidewalks, drives, trees, property lines, etc., must be provided if your project includes any addition, demolition, fences/walls, or other landscape work. Show accurate measurements. You may also use a copy of the survey you received when you bought your property. Revise the copy as needed to show existing conditions and your proposed work.	<input type="checkbox"/>	<input type="checkbox"/> <i>NA</i>			
6. Drawings showing existing and proposed work <input type="checkbox"/> Plan drawings <input type="checkbox"/> Elevation drawings showing the façade(s) <input type="checkbox"/> Dimensions shown on drawings and/or graphic scale (required) <input type="checkbox"/> 11" x 17" or 8-1/2" x 11" reductions of full-size drawings. If reduced size is so small as to be illegible, make 11" x 17" or 8-1/2" x 11" snap shots of individual drawings from the big sheet.	<input type="checkbox"/>	<input type="checkbox"/> <i>NA</i>			
7. Stamped envelopes addressed to all property owners within 100 feet of property not counting the width of public streets and alleys (required for Major Work). Use the Label Creator to determine the addresses.	<input type="checkbox"/>	<input type="checkbox"/> <i>NA</i>			
8. Fee (See Development Fee Schedule)	<input type="checkbox"/>	<input type="checkbox"/> <i>NA</i>			



Looking Southeast from Bloodworth Street



Garden by Nature LLC
 Mc Mahon Residence
 602 N. Blue Mountain
 Botanical Improvements - Re-est
 2/1/2019
 JLT

**Existing Conditions
602 North Bloodworth Street
Side and Rear Yards**

Here are a number of photos illustrating existing conditions in the areas affected.



HVAC equipment in North side yard.



Fence along South boundary looking East from gate.



South wall of house, inside gate.



Rear garden looking East from South side yard.



Rear Garden looking Northeast.



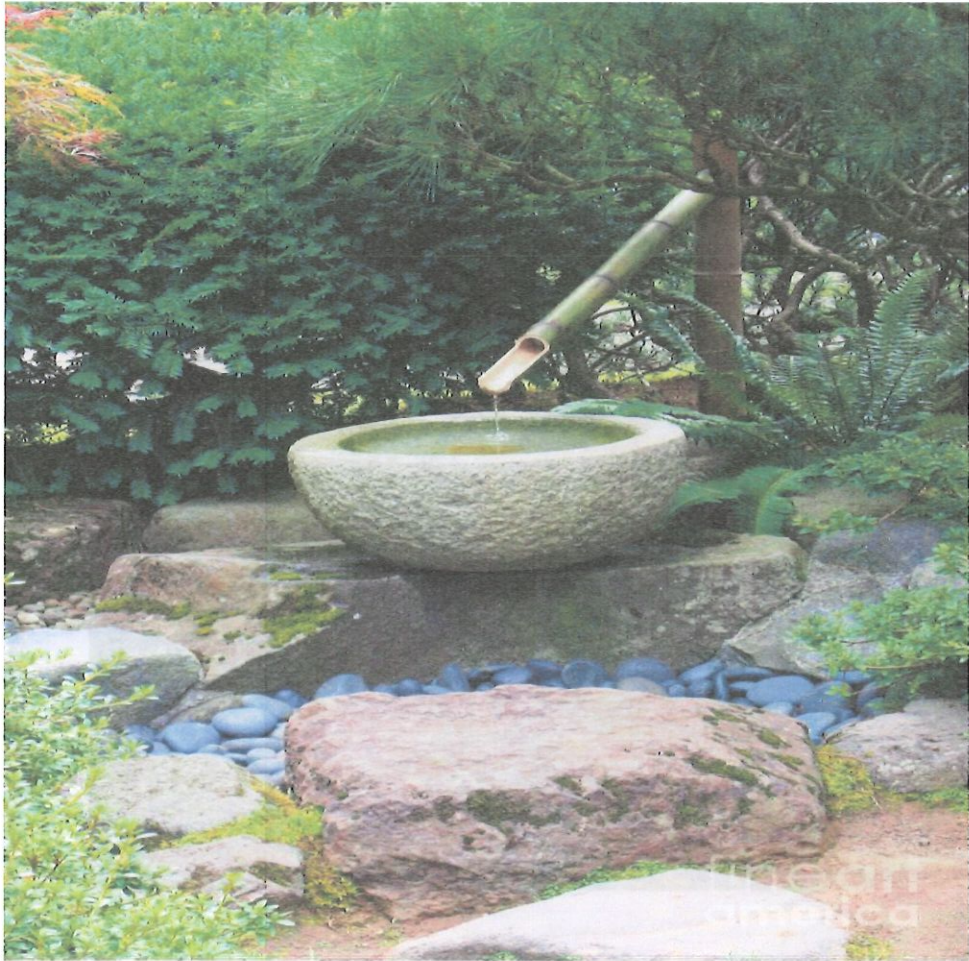
Rear garden looking North.

Proposed Hardscape Alterations

-Install a lattice fence 10' long x 42" high to screen HVAC equipment in the North side yard. Lattice will match existing fence and gate in South side yard as in photo below.



-Add a disappearing fountain water feature in the NE corner near the path. The fountain is to be a stone bowl with bamboo inlet pipe, on a bed of gravel concealing a reservoir and pump, comparable to the illustration below.



-Add several decorative boulders (not to exceed 30") in South side and rear yards for Asian landscaping. The effect is to be similar to the illustration below which was installed at 610 N. Bloodworth Street, two lots to the North, under a COA three years ago.

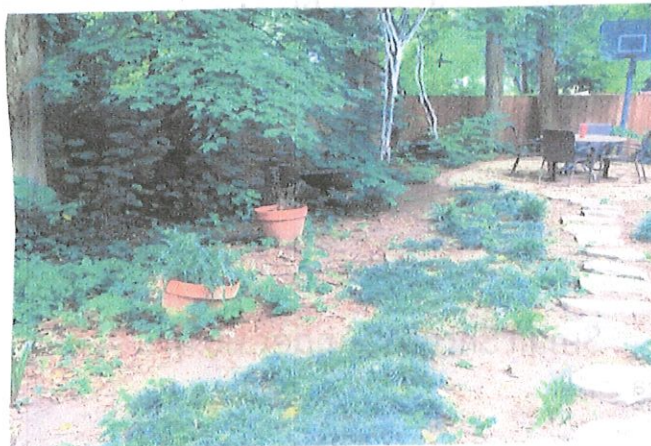


-Rebuild existing step stone walk in rear yard, adding several larger stones, and build a short connector pathway between this walk and the deck stairs.



Tree Impact

-Remove 1 ligustrum, 1 maple, and 1 hackberry, highlighted in the photos below, along the rear fence. These are small wild trees, all under 8" caliper ACH.



-The proposed work involves no excavation or compaction that might damage the root systems of existing trees. No heavy equipment is to be brought onto the property during installation.

Proposed Planting Alterations

Numerous diverse new shrubs and groundcovers are to be installed in the rear and side yards as shown on the plan, in order to create a rear garden with Asian stylings. These proposals involve no changes to the front yard, and the appearance from the street will be fundamentally unchanged.

Groundcover Plants

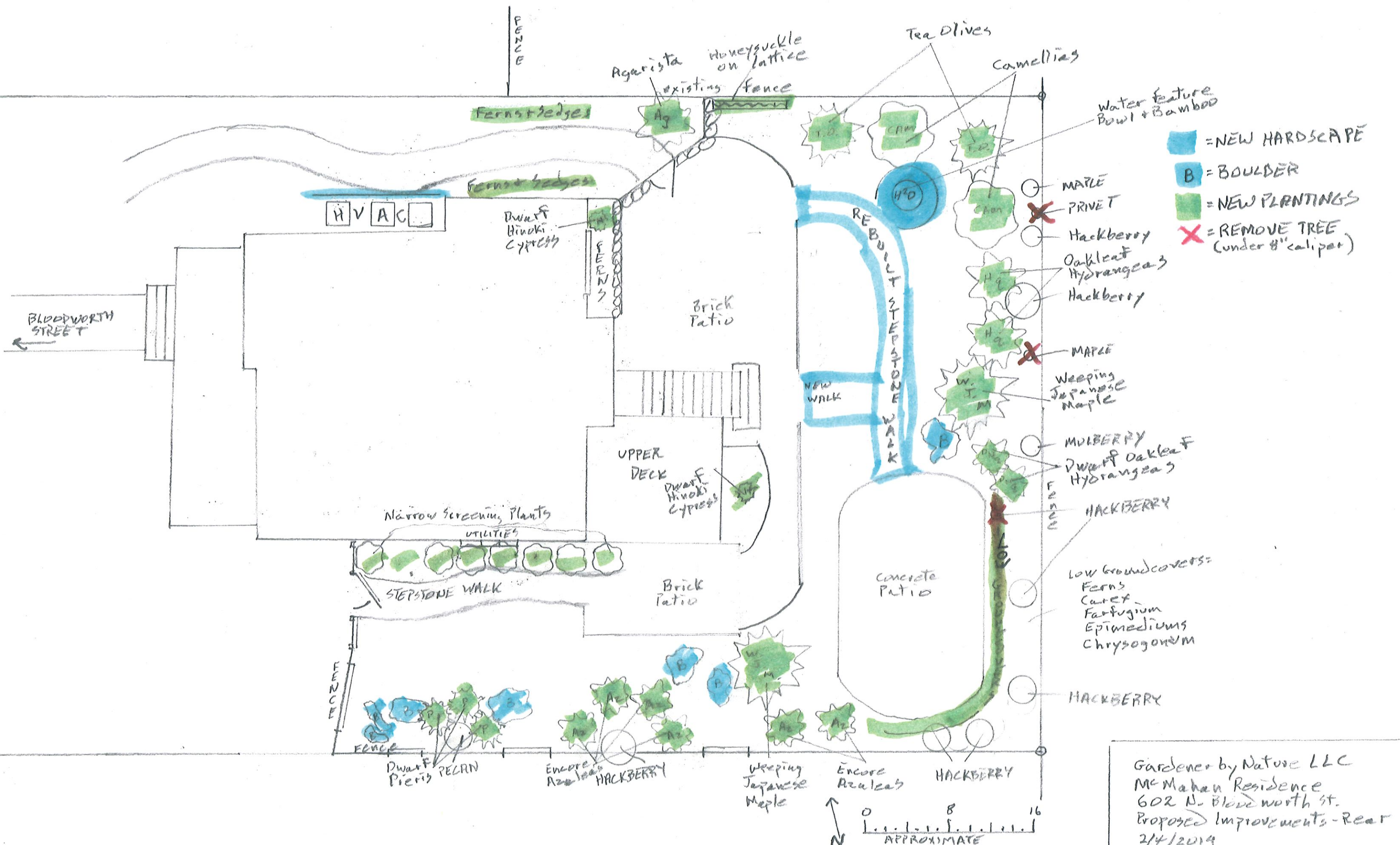
Ferns
Carex
Farfugium
Epimedium
Chrysogonum

Small Shrubs (under 60")

2 – Dwarf Oakleaf Hydrangea
6 – Encore Azalea
3 – Dwarf Pieris
2 – Dwarf Hinoki Cypress
2 – Weeping Japanese Maples

Large Shrubs (5 – 12')

2 – Tea Olive
2 – Camellia
2 – Oakleaf Hydrangea
8 – Narrow Screening Plants



- = NEW HARDSCAPE
- = BOULDER
- = NEW PLANTINGS
- X = REMOVE TREE (under 8" caliper)

Gardener by Nature LLC
 McMahan Residence
 602 N. Bloodworth St.
 Proposed Improvements - Rear
 2/4/2019
 JLT

Kinane, Collette

Subject: FW: 602 N Bloodworth - boulders
Attachments: McMahan Boulder Condition.pdf

From: John L. Thomas <john@gardenerbynature.com>
Sent: Wednesday, April 17, 2019 10:11 AM
Subject: 602 N Bloodworth - boulders

Greetings All,

This is in reference to the Minor Work COA for Jim and Barbara McMahan at 602 N Bloodworth St. My understanding is that all the work has been approved except for the proposed use of small boulders in the front yard. Collette suggests that if similar boulder installations have been approved by the board we should let you know.

Attached is a copy of the approval letter for 088-15-CA approved 7/6/15 for 610 N Bloodworth, which includes several installations of small boulders in the front and side yards. The photo shows one of the completed front yard installations.

The work proposed for 602 N Bloodworth would be very similar to this, and also be entirely in the back and side yards, concealed from the street by a wooden fence. We hope that this additional evidence will be sufficient to arrive at full approval for the proposal. Please let me know if you need more documentation for this.



Onward Through The Fog!
John

John L. Thomas
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919-828-2015
www.gardenerbynature.com