

CERTIFICATE OF APPROPRIATENESS PLACARD

for Raleigh Historic Resources

Project Description:

Alter driveway from concrete to asphalt; remove portion of non-historic brick wall; alter shape of landscape bed

11 S Blount St

Address

Capitol Square

Historic District

Horton-Beckham-Bretsch House

Historic Property

COA-0025-2019

Certificate Number

3/8/2019

Date of Issue

9/9/2019

Expiration Date

This card must be kept posted in a location within public view until all phases of the described project are complete. The work must conform with the code of the City of Raleigh and laws of the state of North Carolina. When your project is complete, you are required to ask for a final zoning inspection in a historic district area. Telephone the RHDC office at 832-7238 and commission staff will coordinate the inspection with the inspections Department. If you do not call for this final inspection, your Certificate of Appropriateness is null and void.

Signature, _____

Collette R. Kinnel

Raleigh Historic Development Commission

Pending the resolution of appeals, commencement of work is at your own risk.



Certificate of Appropriateness | Application

Development Services Customer Service Center • One Exchange Plaza, Suite 400 | Raleigh, NC 27601 | 919-996-2495

This form can be submitted in person or via USPS at the above address.

Type or print the following:		
Applicant name: Bretsch, LLC <i>(Erin Capps)</i>		
Mailing address: 214 New Bern Place		
City: Raleigh	State: NC	Zip code: 27601
Date: 2-27-2019	Daytime phone #: 919-801-8892	
Email address: ecapps@collegiatecapital.com		
Applicant signature: <i>Erin Capps</i>		
<input checked="" type="checkbox"/> Minor work (staff review) – one copy Major work (COA committee review) – ten copies <input type="checkbox"/> Additions > 25% of building sq. footage <input type="checkbox"/> New buildings <input type="checkbox"/> Demolition of building or structure <input type="checkbox"/> All other <input type="checkbox"/> Post approval re-review of conditions of approval	<p style="text-align: center; margin: 0;">Office Use Only</p> Transaction #: <i>587682</i> File #: <i>COA-0025-2019</i> Fee: _____ Amount paid: _____ Received date: _____ Received by: _____	
Property street address: 11 S. Blount Street		
Historic district: Capitol Area		
Historic property/Landmark name (if applicable): Surface Lot next to Horton-Beckham-Bretsch		
Owner name: Bretsch, LLC		
Owner mailing address: 214 New Bern Place, Raleigh, NC 27601		

For applications that require review by the COA Committee (major work), provide addressed and stamped envelopes for owners for all properties with 100 feet on all sides of the property, as well as the property owner.

Property Owner Name & Address	Property Owner Name & Address

I understand that all major work applications that require review by the Raleigh Historic Development Commission's COA Committee must be submitted by 4 p.m. on the date of the application deadline; otherwise, consideration will be delayed until the following committee meeting. An incomplete application will not be accepted.

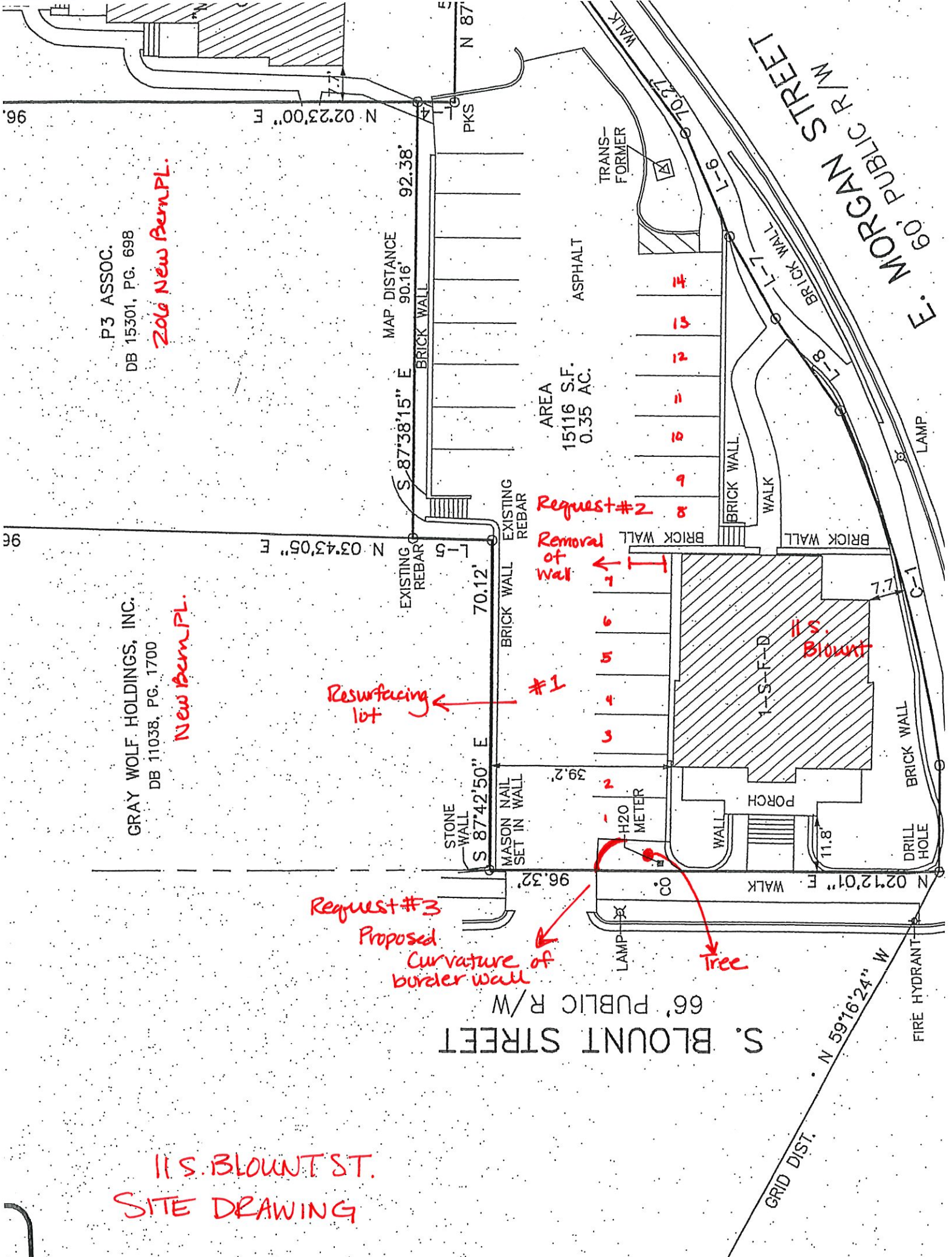
Will you be applying for rehabilitation tax credits for this project? Yes <input type="checkbox"/> No <input checked="" type="checkbox"/> Did you consult with staff prior to filing the application? Yes <input checked="" type="checkbox"/> No <input type="checkbox"/>	Office Use Only Type of work: <u>34, 35, 38</u>
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Design Guidelines: please cite the applicable sections of the design guidelines (www.rhdc.org).		
Section/Page	Topic	Brief description of work (attach additional sheets as needed).
Sect 1.5 Pg. 26-27	walkways, driveways, etc.	Resurfacing of bottom concrete portion of parking lot with asphalt.
Sect. 1.4/ Pg. 25	Fences & walls	Removal of portion of brick wall that juts out into parking lot.
Sect 1.4/ Pg. 25	Fences & walls	Reshaping of brick bordered landscape bed at entrance to parking lot.

Minor Work Approval (office use only)	
Upon being signed and dated below by the Planning Director or designee, this application becomes the Minor Work Certificate of Appropriateness. It is valid until <u>09/09/2019</u> .	
Please post the enclosed placard form of the certificate as indicated at the bottom of the card. Issuance of a Minor Work Certificate shall not relieve the applicant, contractor, tenant, or property owner from obtaining any other permit required by City Code or any law. Minor Works are subject to an appeals period of 30 days from the date of approval.	
Signature (City of Raleigh) <u>Collette R Kim</u>	Date <u>03/08/2019</u>

To be completed by applicant			Office Use Only		
	Yes	N/A	Yes	No	N/A
Attach 8-1/2"x11" or 11"x17" sheets with written descriptions and drawings, photographs, and other graphic information necessary to completely describe the project. Use the checklist below to be sure your application is complete. <u>Minor Work</u> (staff review) – 1 copy <u>Major Work</u> (COA Committee review) – 1 copy (10 copies will be required after initial staff review).	<input checked="" type="checkbox"/>		<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>
1. Written description. Describe clearly and in detail the nature of your project. Include exact dimensions for materials to be used (e.g. width of siding, window trim, tree species, etc.)	<input checked="" type="checkbox"/>		<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>
2. Description of materials (Provide samples, if appropriate)	<input checked="" type="checkbox"/>		<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>
3. Color Photographs of existing conditions are required. Minimum image size 4" x 6" as printed. Maximum 2 images per page. Photos should be of each side of the house, fully show the yards, and include streetscapes.	<input checked="" type="checkbox"/>		<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>
4. Paint Schedule (if applicable)	<input type="checkbox"/>	<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>
5. Site Drawings. Required for projects that include any addition, demolition, fences, walls, or other landscape work. <ul style="list-style-type: none"> • <u>Plot plan</u> showing relationship of buildings, additions, sidewalks, drives, trees, property lines, etc. • Tree survey include size, species, and critical root zone for each tree over 8" diameter when measured 4' above ground level • Tree protection plan include material staging area, construction access, limits of disturbance, location of tree protection fencing • Grading plan • Dimensions shown on drawings and/or graphic scale (required) • 11"x17" or 8-1/2"x11" reductions of full-size drawings 	<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>	<input type="checkbox"/>
6. Architectural Drawings showing existing and proposed work (if applicable) <ul style="list-style-type: none"> • Plan drawings • Elevation drawings showing the façade(s). For additions, deck, and porches, include the grade. • Dimensions shown on drawings and/or graphic scale (required) • 11" x 17" or 8-1/2" x 11" reductions of full-size drawings. If reduced size is so small as to be illegible, make 11" x 17" or 8-1/2" x 11" snap shots of individual drawings from the big sheet. 	<input type="checkbox"/>	<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>
7. Stamped envelopes addressed to all property owners within 100 feet of property, on all sides of the property, as well as the property owner (required for Major Work). Use the <u>Label Creator</u> to determine the addresses.	<input type="checkbox"/>	<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>
8. Fee (<u>See Development Fee Schedule</u>)	<input checked="" type="checkbox"/>		<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>

**11 S. BLOWNT ST.
SITE DRAWING**



Certificate of Appropriateness – Description of Work, Materials & Site Plan

Location: 11. South Blount Street, Raleigh, NC 27601 (Surface Parking lot)

**See site plan enclosed which illustrates minor work requests #1-3 detailed below and color photographs follow.*

Minor Work Request #1: Resurfacing of the bottom portion of surface lot with asphalt

Description of Work & Materials: The surface parking lot adjacent to the Horton-Beckham-Bretsch house is currently constructed of concrete at the bottom and asphalt. The proposed work would include removal of the deteriorated concrete portion (dimensions 65 ft x 26 ft) in spaces 1-7 and replacing it with asphalt to match the other portion of the surface lot. The concrete continues to deteriorate due to the age of the material, weight of cars, weather, etc. and contains large areas where the concrete has been torn apart. Work would also include restriping and numbering parking spaces 1-7 to match the rest of the parking lot.

Minor Work Request #2: Removal of portion of brick wall within the parking lot

Description of Work & Materials: The proposed work request is to remove a nine (9) foot long portion of a brick wall standing 3.6 feet high that currently juts out/extends into the parking lot and separates parking spaces 7 and 8 running directly behind the Horton-Beckham-Bretsch house as see in the attached survey. The wall is not attached to the home nor does it serve any structural purpose other than a divider. Removal of approximately 9 feet of the wall would make it flush with the rear walkway to the Horton-Beckham-Bretsch home and space 8 and would offer adequate clearance for vehicles parking in the lot to enter and exit spaces 7 and 8. Removal of the wall would alleviate some of the parking challenges that currently exist. The wall would then be recapped/finished off with brick repurposed from the portion that was removed (if salvageable) or brick that matches the current wall. Note, a 3.6 ft x 70 ft brick retaining wall located directly behind these spaces adds additional challenges when maneuvering in the lot. Although no changes are being proposed to this longer wall that runs the length of the left side of the parking lot, it further demonstrates and adds to the complexities of the lot and supports the removal of the portion of the wall that extends into the lot between spaces 7 and 8.

Minor Work Request #3: Reshaping/Rounding of the landscaped bed at the entrance of the lot

Description of Work & Materials: The proposed work is to add a curvature to the lower left quadrant of the existing 6.5 ft x 14.4 ft landscaped bed containing one crepe myrtle tree at the right entrance of the parking lot. The tree is in the upper quadrants of the bed, closer to the home. Reshaping/rounding the corner would allow for the tenant parking in space 1 to enter and exit the space without running over and destroying the brick border as see in the picture provided. The existing brick removed from the corner would be repurposed if possible to make

the curved portion. Alternatively, new brick would be utilized that matched the existing brick border. As stated in Minor Request #2, there is a 3.6-foot-high by 60-foot-long brick retaining wall that runs the length of spaces 1-7 that impacts clearance in the lot. Adding the curvature to the landscaped bed will not impact the vegetation in the bed or any underlying root structures.

Color Photographs of Proposed Requests

Minor Request #1 – Surface material change to lower portion of parking lot (concrete to asphalt)



Minor Request #1 (Contd) – Picture of deteriorated concrete we are proposing to replace with asphalt to match the upper portion.



Minor Request #2 – Removal of 9 ft portion of the wall marked in red below making the wall end where the parking border begins.



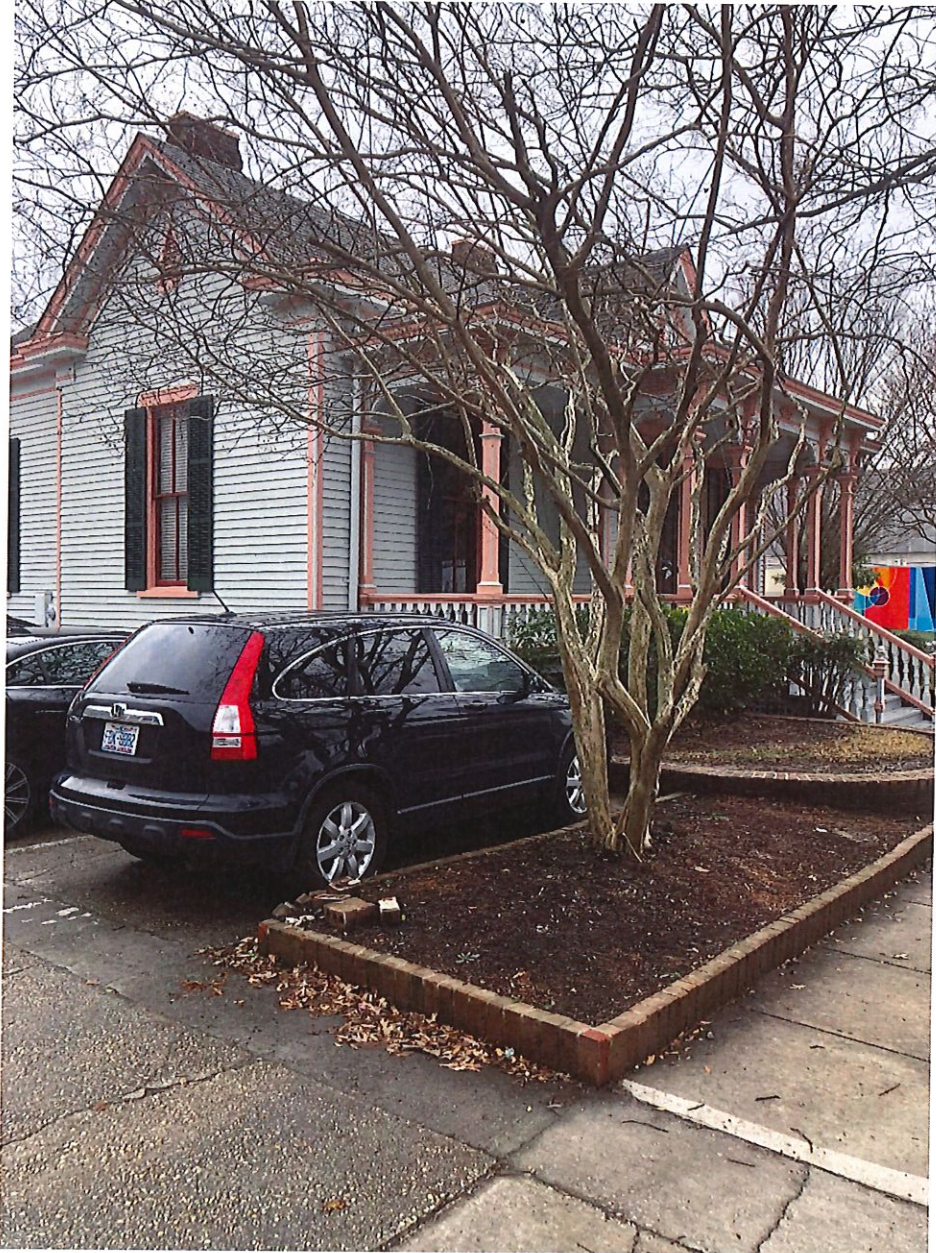
Minor Request #2 (Contd) - Backside of brick wall. Removal of area in red.



Minor Request #3 – Rounding/Reshaping lower left corner of the bricked in landscaped bed to prevent cars from causing damage to bed.



Minor Request #3 (Contd) – Picture of landscaped bed.



Kinane, Collette

From: Erin Capps <ecapps@collegiatecapital.com>
Sent: Friday, March 8, 2019 10:17 AM
To: Kinane, Collette
Cc: Tully, Tania; Robb, Melissa
Subject: Re: minor work COA - 11 S Blount Street

Hi Collette,

The answers to all three of the questions is yes. The pacer will be will using aggregate-textured asphalt, and in terms of all the brickwork, it will be matching the current facade and will look identical to the way the capped wall looks now and same for the brickwork around the mulched bed. Simply making the adjustments to allow for more space within the lot.

Please let me know if you have other questions.

Kind regards,
Erin
Collegiate Capital Management, Inc.

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From: Kinane, Collette <Collette.Kinane@raleighnc.gov>
Sent: Friday, March 8, 2019 9:07:26 AM
To: Erin Capps
Cc: Tully, Tania; Robb, Melissa
Subject: minor work COA - 11 S Blount Street

Hi, Erin –

We have met to review your minor work COA application. As a result of our discussion, we had a few questions:

- 1 – Please confirm that the asphalt will be aggregate-textured.
- 2 – Will the rear wall have a new finished edge similar to what is there now?
- 3 – Will the new curved edge of the landscape bed be edged in brick as it is now?

Please let me know if you have any questions.

Thanks,
Collette

Collette R. Kinane
Preservation Planner II

■ **Raleigh Urban Design Center**
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