

# CERTIFICATE OF APPROPRIATENESS PLACARD

for Raleigh Historic Resources

## Project Description:

Repaint front façade; replace windows; repair storefront;  
replace rear door; rebuild roof of rear addition

215 S Wilmington St

Address

Moore Square

Historic District

Historic Property

COA-0019-2019

Certificate Number

3/4/2019

Date of Issue

9/4/2019

Expiration Date

*This card must be kept posted in a location within public view until all phases of the described project are complete. The work must conform with the code of the City of Raleigh and laws of the state of North Carolina. When your project is complete, you are required to ask for a final zoning inspection in a historic district area. Telephone the RHDC office at 832-7238 and commission staff will coordinate the inspection with the inspections Department. If you do not call for this final inspection, your Certificate of Appropriateness is null and void.*

Signature, \_\_\_\_\_

*Collette R. Kunn*

Raleigh Historic Development Commission

*Pending the resolution of appeals, commencement of work is at your own risk.*



# Raleigh Historic Development Commission – Certificate of Appropriateness (COA) Application



**DEVELOPMENT  
SERVICES  
DEPARTMENT**

Development Services  
Customer Service Center  
One Exchange Plaza  
1 Exchange Plaza, Suite 400  
Raleigh, North Carolina 27601  
Phone 919-996-2495  
eFax 919-996-1831



<input checked="" type="checkbox"/> <b>Minor Work (staff review) – 1 copy</b>  <input type="checkbox"/> <b>Major Work (COA Committee review) – 10 copies</b> <input type="checkbox"/> Additions Greater than 25% of Building Square Footage <input type="checkbox"/> New Buildings <input type="checkbox"/> Demo of Contributing Historic Resource <input type="checkbox"/> All Other  <input type="checkbox"/> Post Approval Re-review of Conditions of Approval	<p style="text-align: center;"><b>For Office Use Only</b></p> Transaction # <u>586306</u> File # <u>COA-0019-2019</u> Fee <u>\$ 30</u> Amount Paid <u>\$ 30</u> Received Date <u>2/14/19</u> Received By <u>Jorraine</u>
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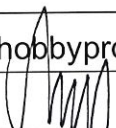
Property Street Address <u>215 S. Wilmington Street</u>		
Historic District <u>Moore Square</u>		
Historic Property/Landmark name (if applicable) <u>Raleigh Sandwich Shop</u>		
Owner's Name <u>Hobby Properties</u>		
Lot size <u>1850 SF</u>	(width in feet) <u>22</u>	(depth in feet) <u>59</u>

For applications that require review by the COA Committee (Major Work), provide addressed, stamped envelopes to owners of all properties within 100 feet (i.e. both sides, in front (across the street), and behind the property) not including the width of public streets or alleys ([Label Creator](#)).

Property Address	Property Address

I understand that all applications that require review by the commission's Certificate of Appropriateness Committee must be submitted by 4:00 p.m. on the application deadline; otherwise, consideration will be delayed until the following committee meeting. An incomplete application will not be accepted.

Type or print the following:

Applicant John F. Holmes, Jr. / Meredith Kirkpatrick  
 Mailing Address 515 N. Blount Street / 115 1/2 E Hargett St, Ste 300, 27601  
 City Raleigh State NC Zip Code 27604  
 Date 10-1-18 Daytime Phone 919-783-6141 / 919-205-2205  
 Email Address info@hobbyproperties.com / meredith@maurerarchitecture.com  
 Applicant Signature 

Will you be applying for rehabilitation tax credits for this project?  Yes  No  
 Did you consult with staff prior to filing the application?  Yes  No

Office Use Only  
 Type of Work 51,85,68  
 29,60

**Design Guidelines** - Please cite the applicable sections of the design guidelines ([www.rhdc.org](http://www.rhdc.org)).

Section/Page	Topic	Brief Description of Work (attach additional sheets as needed)
2.4	Paint and Paint Color	1. Repaint building facade (front only) 2. Replace all windows. 3. Repair storefront 4. Replace back door 5. Rebuild roof of rear addition
2.7	Windows and Doors	
2.9	Storefronts	
2.5	Roofs	



### Minor Work Approval (office use only)

Upon being signed and dated below by the Planning Director or designee, this application becomes the Minor Work Certificate of Appropriateness. It is valid until 09/04/2019. Please post the enclosed placard form of the certificate as indicated at the bottom of the card. Issuance of a Minor Work Certificate shall not relieve the applicant, contractor, tenant, or property owner from obtaining any other permit required by City Code or any law. Minor Works are subject to an appeals period of 30 days from the date of approval.

Signature (City of Raleigh) Collette R K Date 03/04/2019

	TO BE COMPLETED BY APPLICANT		TO BE COMPLETED BY CITY STAFF		
	YES	N/A	YES	NO	N/A
Attach 8-1/2" x 11" or 11" x 17" sheets with written descriptions and drawings, photographs, and other graphic information necessary to completely describe the project. Use the checklist below to be sure your application is complete.  <b>Minor Work</b> (staff review) – 1 copy  <b>Major Work</b> (COA Committee review) – 10 copies			✓		
1. <b>Written description.</b> Describe clearly and in detail the nature of your project. Include exact dimensions for materials to be used (e.g. width of siding, window trim, etc.)	<input checked="" type="checkbox"/>		✓		
2. <b>Description of materials</b> (Provide samples, if appropriate)	<input checked="" type="checkbox"/>		✓		
3. <b>Photographs</b> of existing conditions are required. Minimum image size 4" x 6" as printed. Maximum 2 images per page.	<input checked="" type="checkbox"/>		✓		
4. <b>Paint Schedule</b> (if applicable)	<input checked="" type="checkbox"/>	<input type="checkbox"/>	✓		
5. <b>Plot plan</b> (if applicable). A plot plan showing relationship of buildings, additions, sidewalks, drives, trees, property lines, etc., must be provided if your project includes any addition, demolition, fences/walls, or other landscape work. Show accurate measurements. You may also use a copy of the survey you received when you bought your property. Revise the copy as needed to show existing conditions and your proposed work.	<input type="checkbox"/>	<input checked="" type="checkbox"/>			✓
6. <b>Drawings</b> showing existing and proposed work <input checked="" type="checkbox"/> Plan drawings <input checked="" type="checkbox"/> Elevation drawings showing the façade(s) <input checked="" type="checkbox"/> Dimensions shown on drawings and/or graphic scale (required) <input checked="" type="checkbox"/> 11" x 17" or 8-1/2" x 11" reductions of full-size drawings. If reduced size is so small as to be illegible, make 11" x 17" or 8-1/2" x 11" snap shots of individual drawings from the big sheet.	<input checked="" type="checkbox"/>	<input type="checkbox"/>	✓		
7. Stamped envelopes addressed to all property owners within 100 feet of property not counting the width of public streets and alleys (required for Major Work). Use the <a href="#">Label Creator</a> to determine the addresses.	<input type="checkbox"/>	<input checked="" type="checkbox"/>			✓
8. <b>Fee</b> ( <a href="#">See Development Fee Schedule</a> )	<input type="checkbox"/>				





January 2, 2019

City of Raleigh  
Certificate of Appropriateness  
Raleigh Sandwich Shop  
215 S. Wilmington Street  
Raleigh, NC 27601

### **Written Description of Work**

#### Front Exterior:

At the first floor, the existing original storefront will be refurbished. Non-original wood window reinforcing will be removed, and the existing glass will be replaced in the original storefront (which is to remain). The existing original entry doors will be repaired and refinished. The tile beneath the glass will be cleaned and repaired. A new black fabric awning by DAC Awnings will be installed. On the second floor, three non-original fixed windows will be removed, and new 2/2 double hung wood windows will be installed. The existing painted brick on the front façade will be repainted according to the attached paint schedule.

#### Back Exterior:

At the first floor, the existing window and door openings will be replaced with new functional and secure windows and doors. On the second floor, new 2/2 double hung wood windows will be installed in existing openings. New downspouts will be installed in existing locations. The existing exposed brick and CMU will remain. On the existing CMU addition, the existing roof will be rebuilt, and a new TPO roof will be installed.

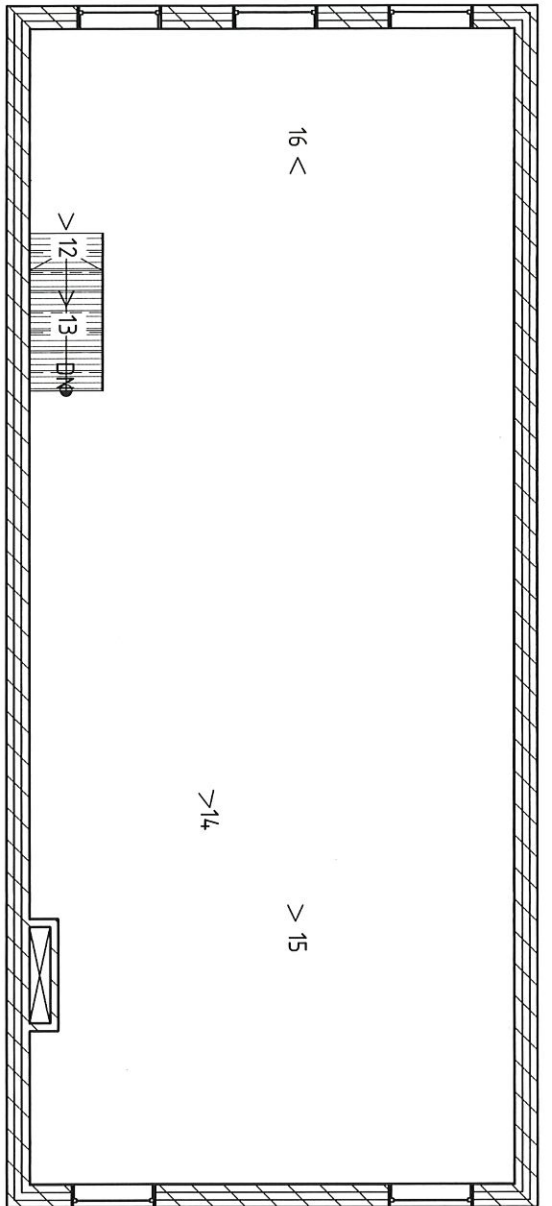
### **Description of Materials**

Painted wood storefront and doors will remain. Painted brick on the front of the building will be repainted. New painted wood windows will be installed. A new TPO roof will be installed on the back addition, and the existing roof on the main building will remain.

*Please let me know if you have any questions.*

*Sincerely,*

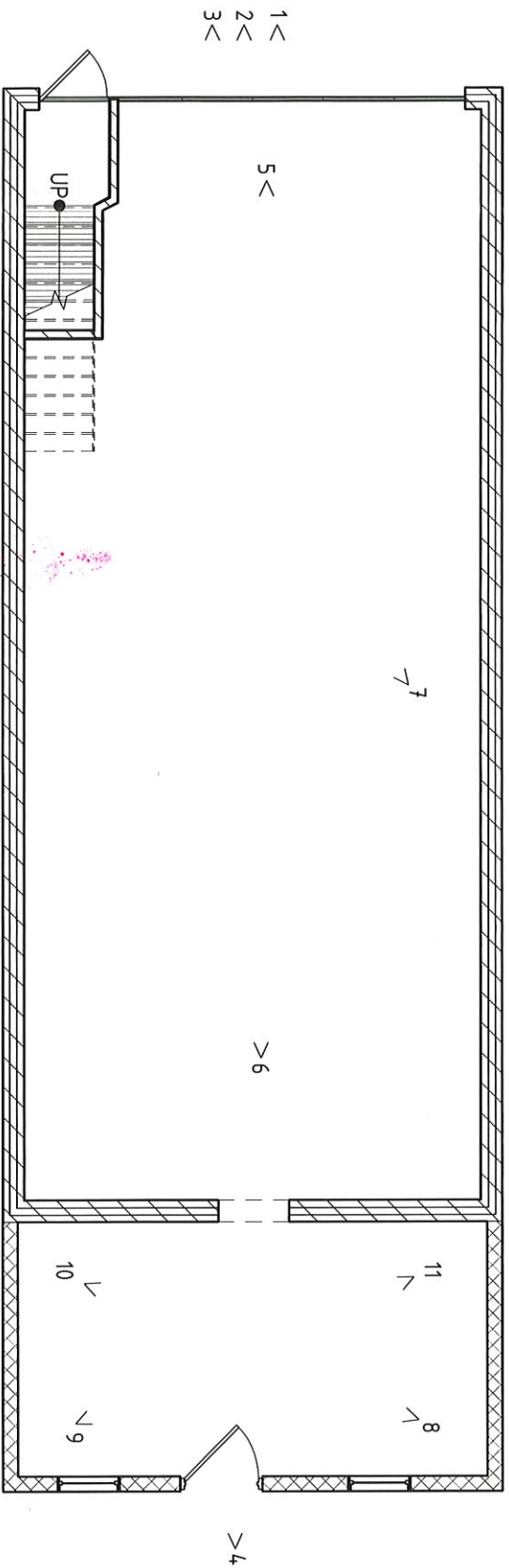
*Meredith Kirkpatrick, Project Manager  
Maurer Architecture PA  
919-205-2205  
meredith@maurerarchitecture.com*



2

Photo Key - Second Floor

SCALE: 1/8" = 1'-0"



1

Photo Key - First Floor

SCALE: 1/8" = 1'-0"





01 - Front (West) Elevation



02 - Front (West) Elevation





03 - Front (West) Elevation



04 - Rear (East) Elevation





05 - First Floor Interior



06 - First Floor Storefront Interior





07 - First Floor Interior

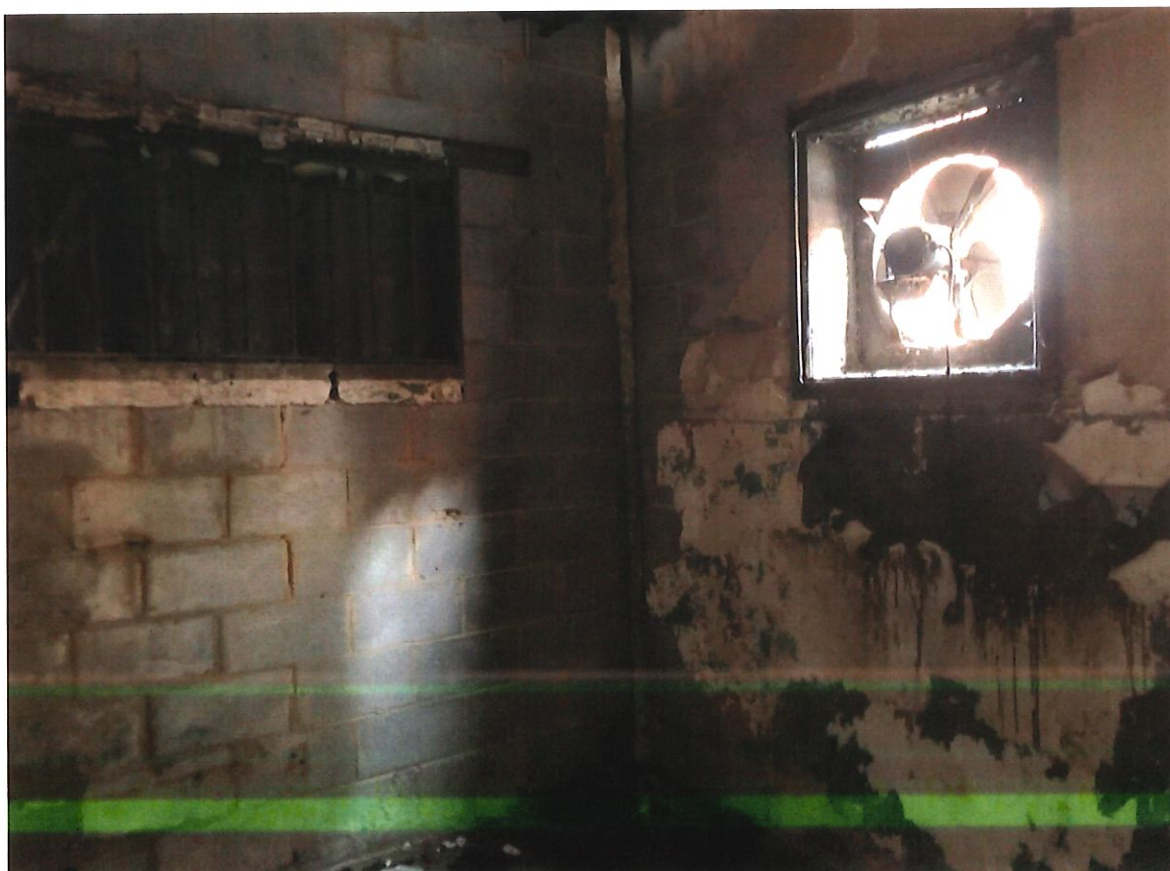


08 - First Floor Interior





09 - First Floor Interior



10 - First Floor Interior





11 - First Floor Interior



12 - Stairwell (photo turned 90 degrees counterclockwise)



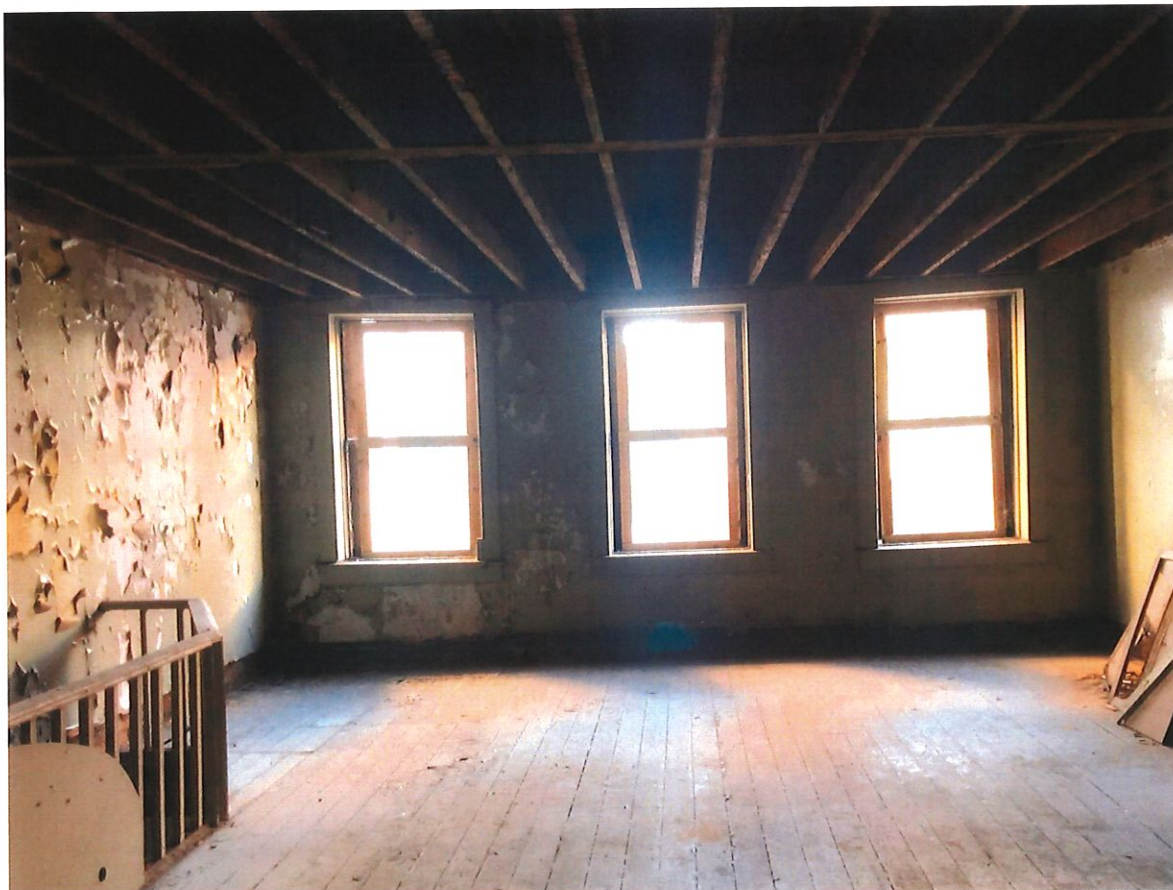


13 - Stairwell (photo turned 90 degrees counterclockwise)



14 - Second Floor





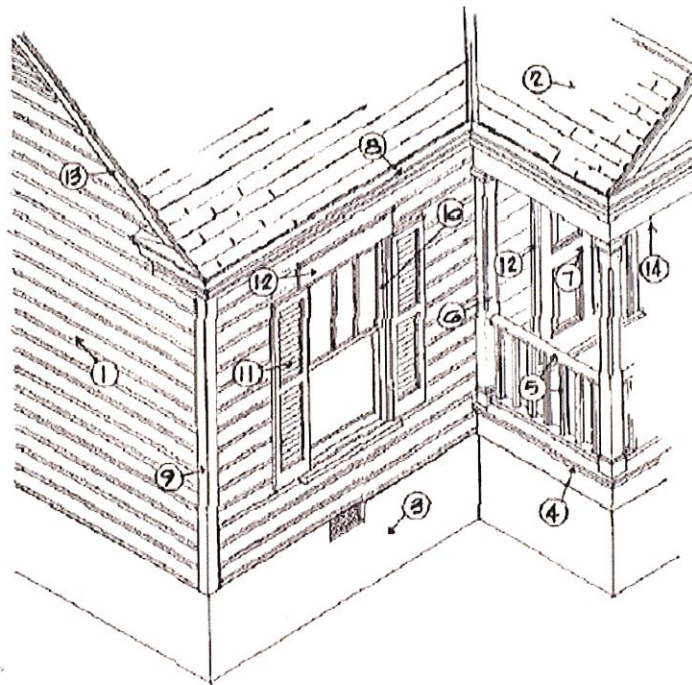
15 - Second Floor looking toward front



16 - Second Floor looking toward rear



Raleigh Historic Development Commission – Certificate of Appropriateness Paint Schedule



**Applicant** John F. Holmes, Jr., Hobby Properties

**Address** 215 S. Wilmington Street

**Paint Manufacturer** (Please submit color chips with this schedule) Farrow and Ball

**Color Schedule**

1	<b>Body of House</b>	Whimbourne White, No. 239
2	<b>Roofing</b>	
3	<b>Foundation</b>	
4	<b>Porch Floor</b>	
5	<b>Railing</b>	
6	<b>Columns</b>	
7	<b>Entrance Door</b>	Main Entry: Rectory Red, No. 217 / Side Entry: Farrow's Cream, No. 67
8	<b>Cornice</b>	
9	<b>Corner Boards</b>	
10	<b>Window Sash</b>	
11	<b>Shutter</b>	
12	<b>Door &amp; Window Trim</b>	Double Hung Windows: Wimbourne White, No. 239 / Storefront: Off Black, No. 57
13	<b>Rake</b>	
14	<b>Porch Ceiling</b>	
15	<b>Other</b>	



All colors by  
Farrow and Ball

Brick and trim -  
Wimbourne White

Door - Rectory Red

Storefront - Off Black

Door - Farrow's  
Cream





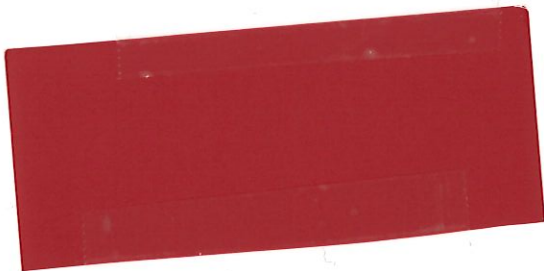
All Colors By Farrow & Ball



Wimbourne White  
No. 239



Farrow's Cream  
No. 67

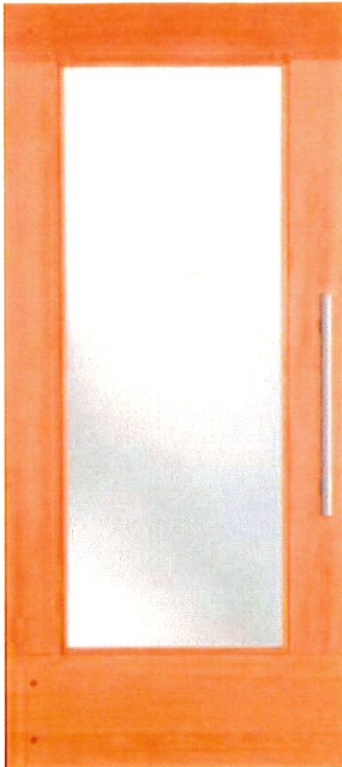


Rectory Red  
No. 217



Off Black - No. 57

4976 — ARTIST (new back door)

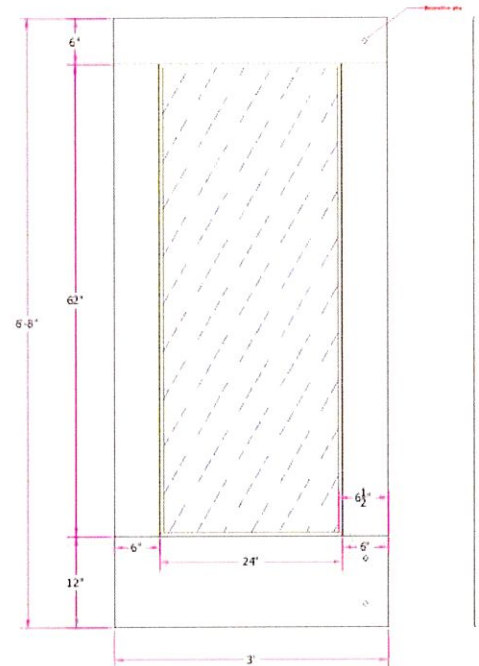


**SERIES:** Artist Collection®  
**TYPE:** Exterior French & Sash  
**APPLICATIONS:** Can be used for a swing door, with barn track hardware, with pivot hardware, in a patio swing door or slider system and many other applications for the home's exterior.





**Construction Type:**  
 Engineered All-Wood Stiles and Rails with Dowel Pinned Stile/Rail Joinery

**Panels:** 1-3/4" Panels with Square Groove  
**Profile:** Square Groove  
**Glass:** 3/4" Insulated Glazing

**DETAILED DRAWING**



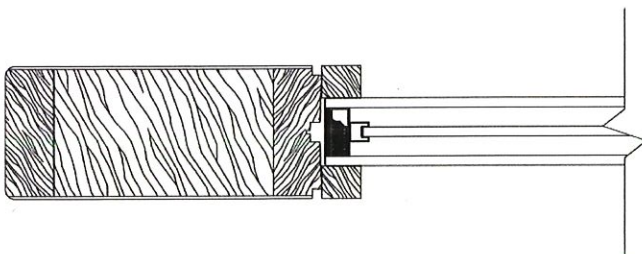
**STANDARD FEATURES**

-  Any Wood Species
-  Virtually Any Size
-  Glass Options
-  Privacy Rating: 1

THIS DRAWING AND THE INFORMATION CONTAINED HEREIN IS PROPRIETARY TO \_\_\_\_\_

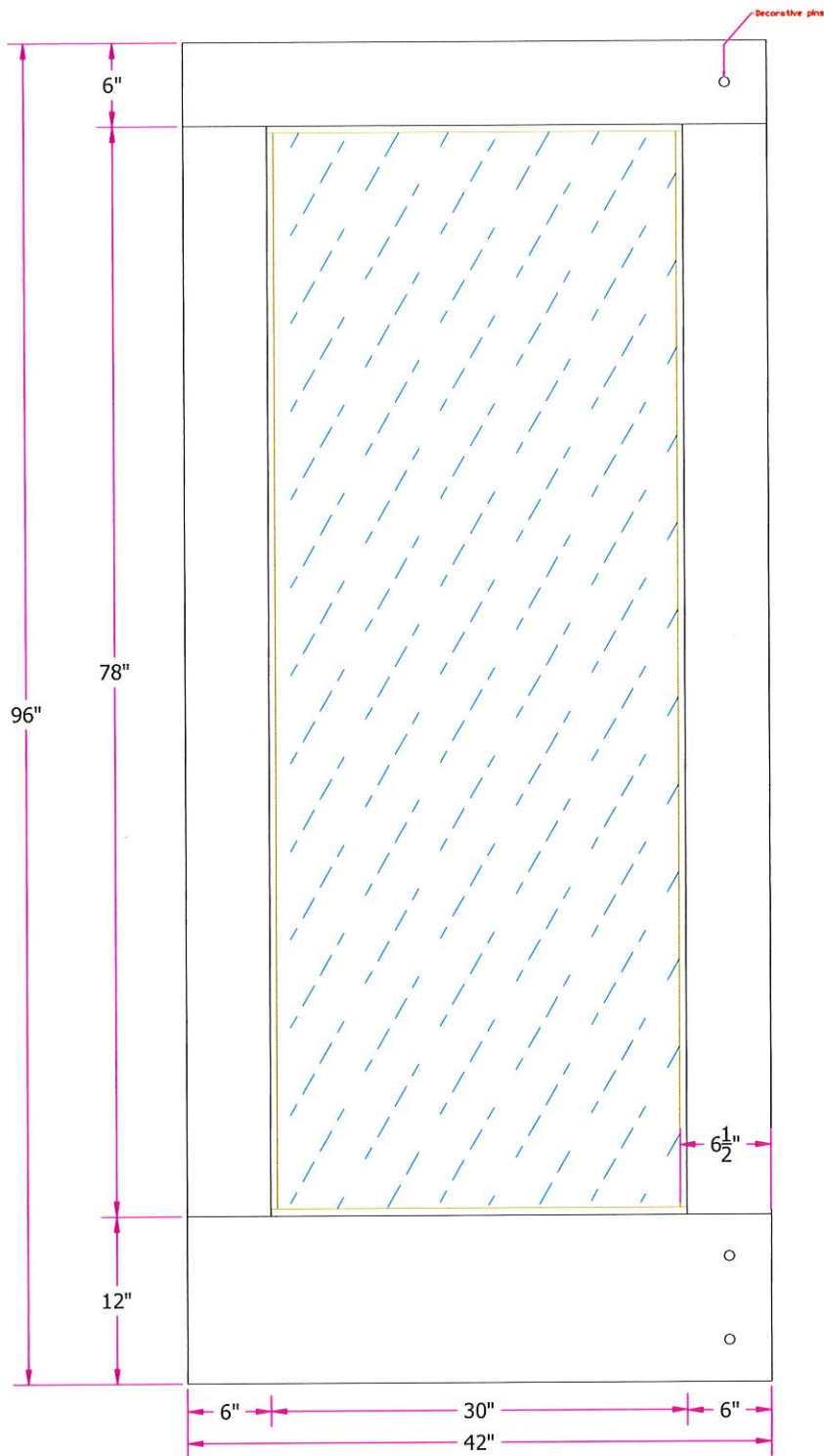
**DETAILS**

Glazing Profile



(Standard)





THIS DRAWING AND THE INFORMATION CONTAINED HEREIN IS PROPRIETARY TO SIMPSON DOOR COMPANY AND SHALL NOT BE REPRODUCED, COPIED OR DISCLOSED IN WHOLE OR PART, OR USED FOR MANUFACTURE OR FOR ANY OTHER PURPOSE WITHOUT THE WRITTEN PERMISSION OF SIMPSON DOOR COMPANY.

TITLE **4976 3/6 x 8/0**  
**Customer Layout**

DRAWING NO. **D-4976-306-800-0800**

LAYOUT **N/A** SCALE **NTS** PATTERN #  
DRAWN BY: **J. Decker** DATE **3/1/2014**

Revisions

Rev. #	Description	Date	by Whom

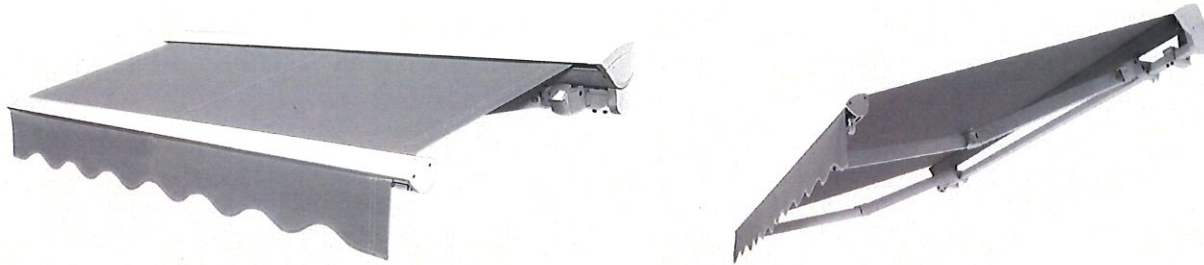






# The Sunesta Retractable Awning

## Specification Sheet



THE SUNESTA - Increase your outdoor living area and create the perfect day with a customizable Sunesta retractable awning. An overhead retractable not only adds shade, it adds beauty and value to your property. Featuring multiple add-on options and availability, The Sunesta is offered with 7 different projections, up to 40' width.

### FRAME

**Mounting Bar:** One piece cold roll from steel 40x40x40x40mm profile wall thickness 1/16". Hot dip coated strip powdercoated.  
**Arms:** Constructed of extruded aluminum profiles. Electrostatic powder coated. Hinged by 4 PVC coated steel cables. Cables are connected to up to 3 tension springs.  
**Fabric Tube Support Brackets:** Constructed of one piece extruded aluminum profile wall thickness 1/4". Electrostatic powdercoated.  
**Smartcase:** Cassette constructed of 2 piece extruded aluminum profile. Electrostatic powdercoated.  
**Fabric tube:** Constructed of galvanized steel, ø 85 mm with groove for the attachment of the fabric, mounted maintenance-free to the lateral parts.  
**Front bar:** One piece extruded aluminum profile wall thickness 1/16". Electrostatic powdercoated.  
**Shoulder:** Aluminum shoulder mechanism with an adjustable tilting range of 0-45 degrees. Electrostatic powdercoated.  
**Hardware:** A2 stainless steel

### FRAME COLORS

The Sunesta frame is available in white, beige, brown, & clay.  
 White: RAL 9010    Beige: RAL 1015    Brown: RAL 8019    Clay: RAL 1019

### MOUNTING BRACKETS

The Sunesta can be mounted with any of the following extruded aluminum electrostatic powdercoated brackets:  
 Wall bracket, Ceiling bracket, Roof bracket.  
 The number of mounting brackets recommended will be based up overall width of unit specified by manufacturer.

### GEAR / MOTOR

The Sunesta is equipped with a manual 3:1 or 7.8:1 gear depending on size of unit.  
 The Sunesta can be optionally equipped with a 50 Nm wired or wireless SOMFY motor. Motor can be mounted on left or right side of the fabric roller tube.  
 Wired standard motor: SOMFY 550  
 Wired manual override motor: SOMFY 550-CMO  
 Wireless standard motor: SOMFY 550-ALTUS  
 Wireless manual override motor: SOMFY 550-RTS-CMO

### FABRIC COVER

**Fabric:** The Sunesta can be equipped with any standard awning and marine grade acrylic fabrics or fire retardant fabrics. Specific fabrics may be available upon request by specifier and approved by manufacturer.  
**Thread:** Thread to be PTFE GORE TENARA when using acrylic or fire retardant fabrics.

### MAXIMUM DIMENSIONS

**Dimensions:** The Sunesta can be built to the inch up to 40' wide and has available projections of 5', 6'8", 8'3", 10', 11'6", 13', & 14'8".  
**Weight:** Complete unit with fabric is 13lbs/linear ft.

### WIND RESISTANCE

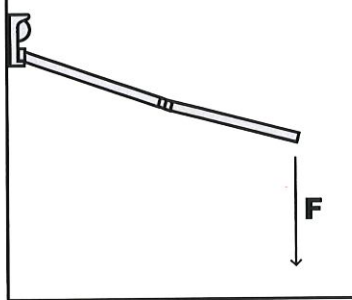
The Sunesta has the following wind resistance class ratings:

Projection	Wind Force	Wind Speed
5'	6 (according to Beaufort wind scale)	24-30 mph
6'8"	6 (according to Beaufort wind scale)	24-30 mph
8'3"	6 (according to Beaufort wind scale)	24-30 mph
10'	6 (according to Beaufort wind scale)	24-30 mph
11'6"	6 (according to Beaufort wind scale)	24-30 mph
13'0"	6 (according to Beaufort wind scale)	24-30 mph
14'8"	5 (according to Beaufort wind scale)	17-23 mph

### WARRANTY

Frame: 15 years    Motor: 5 years    Fabric: 10 years

**1. Failure strength of arm:**



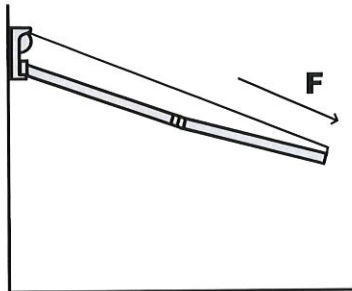
Projection	Failure Value (F)
5'-0"	264 lb
6'-8"	198 lb
8'-3"	159 lb
10'-0"	132 lb
11'-6"	176 lb
13'-0"	154 lb
14'-8"	136 lb

F = Failure value per arm  
(with the weight on the arm end)

**2. Strength of steel cables (PVC covered):**

Cable diameter:	0.10 inches
Number of cables:	4
Failure load:	4 x 1,083 lb = 4,332 lb
Working life of cables:	80,000 movements

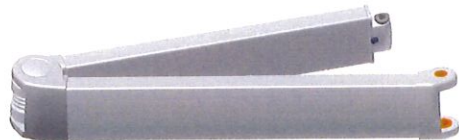
**3. Number and strength of tension springs in arms:**



Projection	Number of Springs p/Arm	Tensional Force (F)
5'-0"	1	143 lb
6'-8"	1	158 lb
8'-3"	2	176 lb
10'-0"	2	200 lb
11'-6"	3	218 lb
13'-0"	3	220 lb
14'-8"	3	198 lb

F = Tensional force of one pair of arms  
on the fabric for an open awning

**4. Arm profile & dimensions:**

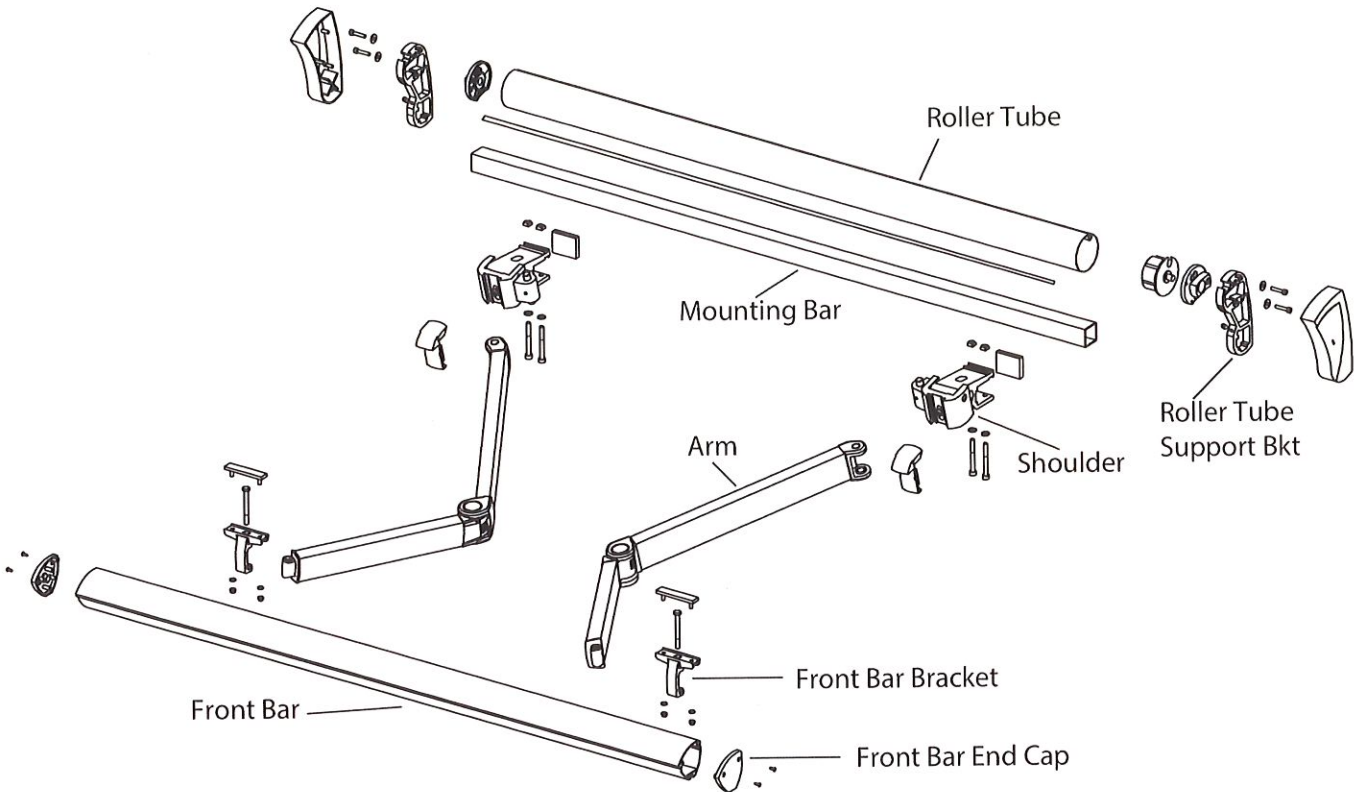


Front Profile	Up to 10' Arm	11'6", 13', & 14'8" Arm
Height:	2.42 in	2.44 in
Width:	1.24 in	1.26 in
Wall Thickness:	0.06 to 0.08 in	0.07 to 0.09 in
Weight:	0.54 lb p/ft	0.63 lb p/ft

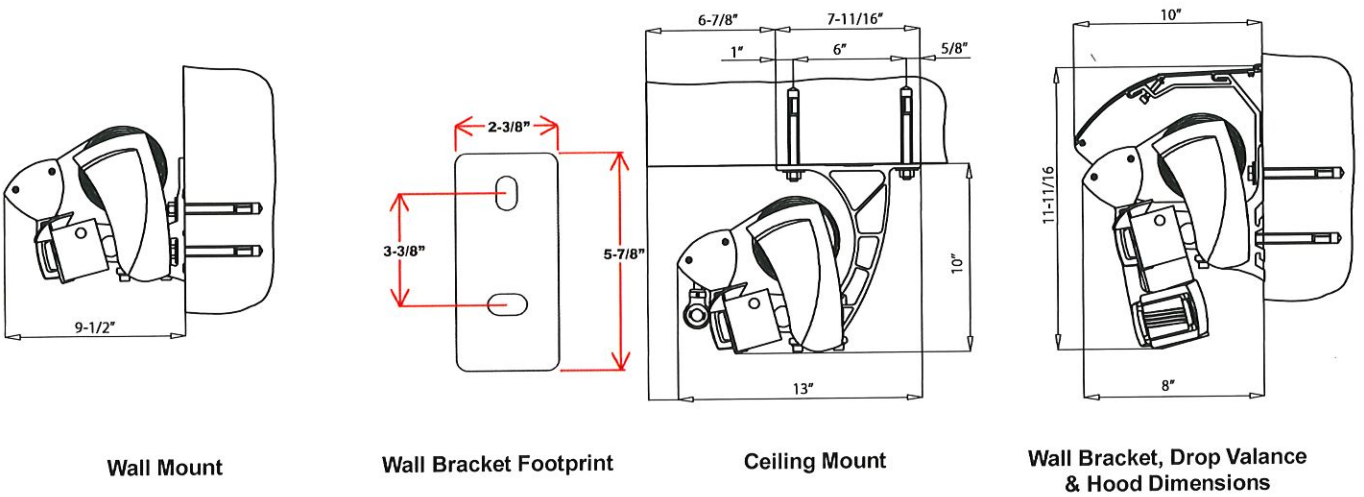
Rear Profile	Up to 10' Arm	11'6", 13', & 14'8" Arm
Height:	2.72 in	2.80 in
Width:	1.34 in	1.38 in
Wall Thickness:	0.06 to 0.16 in	0.08 to 0.20 in
Weight:	0.67 lb p/ft	0.88 lb p/ft



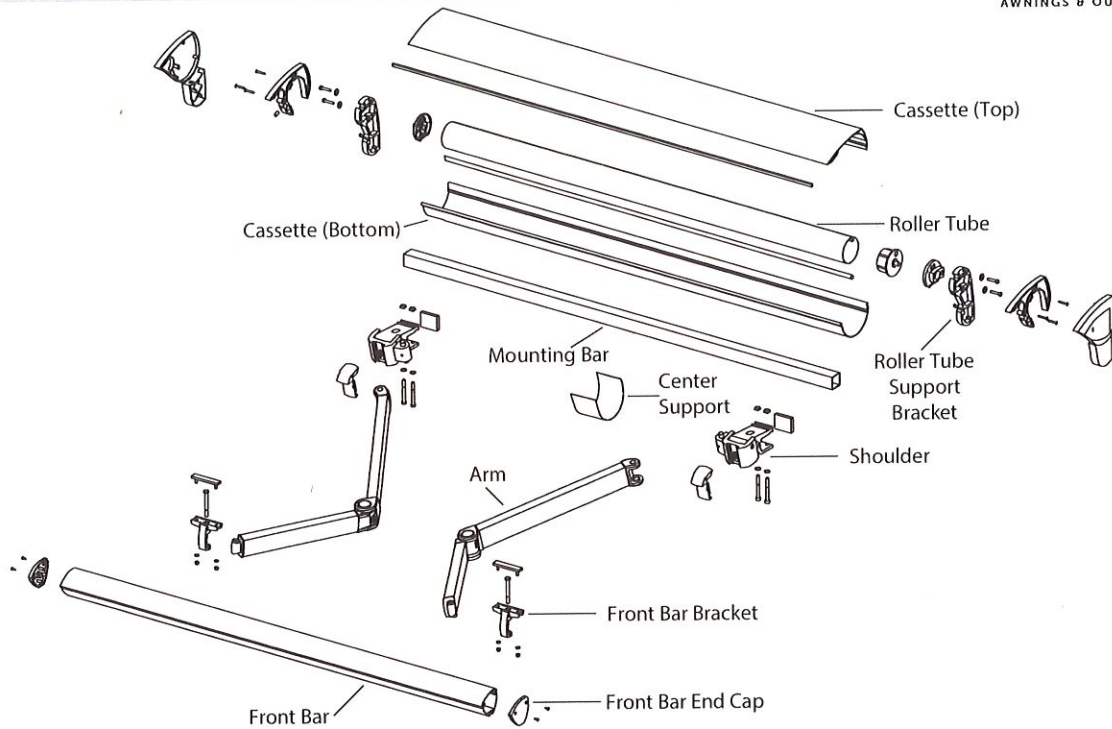
# SUNESTA COMPONENTS & DIMENSIONS



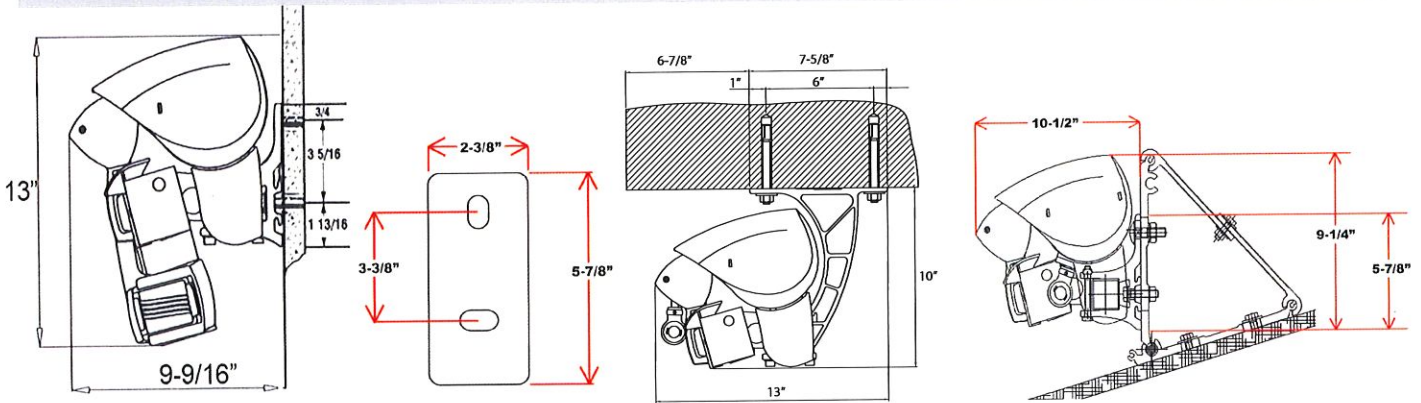
# SUNESTA MOUNTING DIMENSIONS



# SUNESTA with SMARTCASE COMPONENTS (OPTIONAL)



## MOUNTING OPTIONS



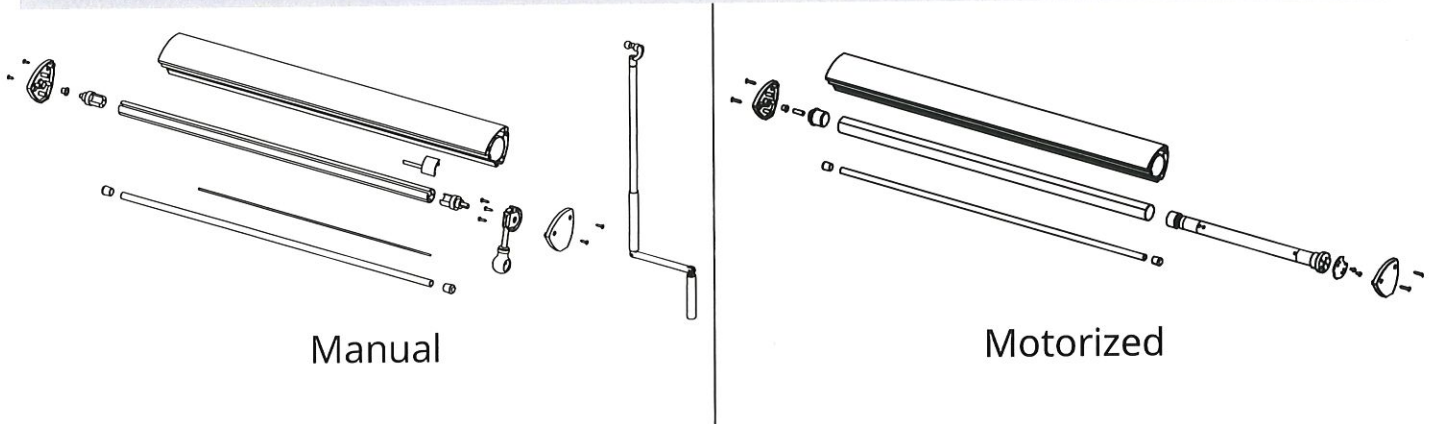
Smartcase with SmartFold

Wall Bracket

Ceiling Mount

Roof Bracket & Smartcase

## SUNESTA DROP VALANCE COMPONENTS (OPTIONAL)



Manual

Motorized



# THE BEST OF BOTH WORLDS

Specify FIRESIST® for an up-to-code fire-resistant awning and shade fabric that looks as good as it performs. Improved strength, colorfastness, and weather-resistance make fabrication with FIRESIST easier than ever.



CEAR  
82023-0000



IVORY  
82015-0000



FOG  
82024-0000



SAND  
82004-0000



GREY  
82030-0000



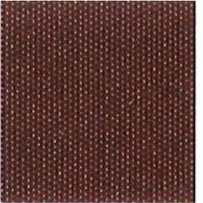
TOAST BEIGE  
82012-0000



SUNBURST YELLOW  
82013-0000



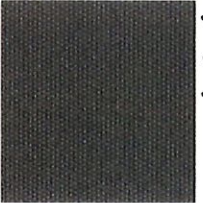
FOREST GREEN  
82003-0000



REDWOOD  
82021-0000



FLANNEL  
82022-0000



BLACK  
82008-0000



ADMIRAL NAVY  
82010-0000



REGATTA  
82009-0000



BURGUNDY  
82014-0000



CRIMSON RED  
82017-0000



TERRACOTTA  
82014-0000

# FIRERESIST

## FIRE RETARDANT

FIRERESIST® delivers a state-of-the-art combination of flame retardant performance and UV resistance that exceeds industry standards.

## WEATHER RESISTANCE

With over 100 years of outdoor awning experience, Glen Raven has engineered new coatings and finishes to maximize water repellency, sunlight resistance, and ease of cleaning.

## COLOR RETENTION & STRENGTH

The deep, rich colors and robust durability of FIRERESIST deliver long lasting good looks to any application. Plus, workability improvements make cutting, sewing and welding easier than ever.

## STYLING

The new FIRERESIST color palette focuses on popular solids and tweeds.



**GREENGUARD CERTIFICATION**  
 Firesist fabric has achieved GREENGUARD GOLD Certification. Firesist fabrics are certified by GREENGUARD as contributing to healthy air quality by being a very low chemical emitting product.

## TECHNICAL DATA

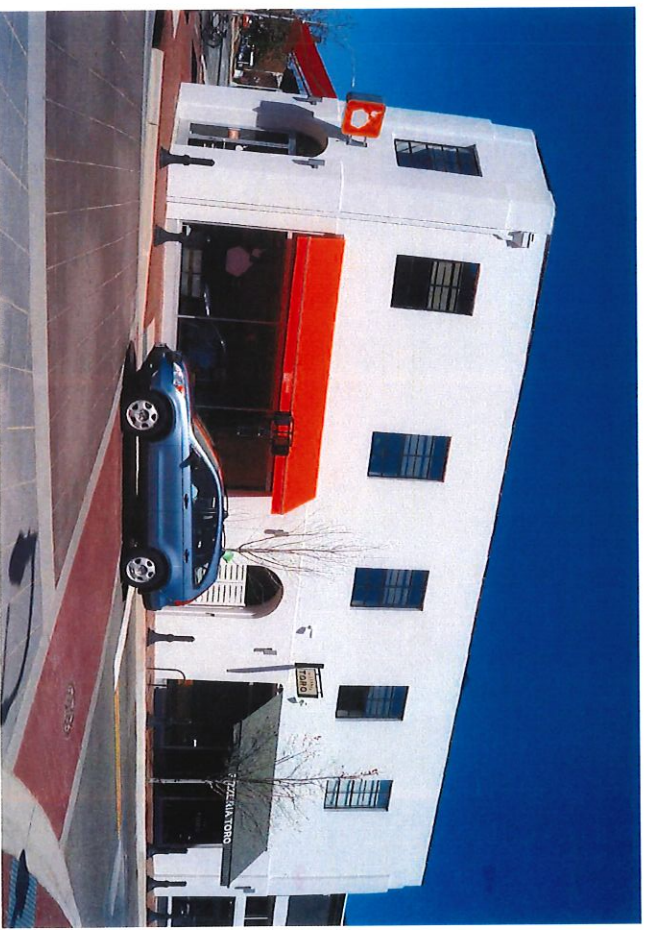
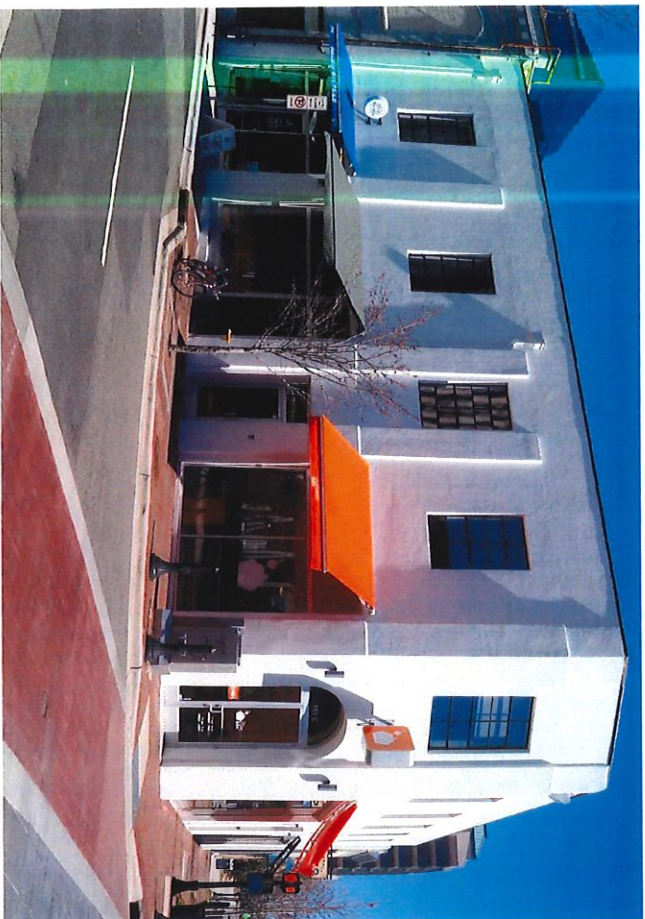
WEIGHT	8.75 oz. per square yard
WIDTH	60" / 152.4 cm
COLOR	Solution dyed to resist color loss from UV exposure and weathering. Resistant to most chemicals, including bleach.
WARRANTY	5 years against loss of color or strength.
SURFACE	Plain weave - Highly water repellent and soil/stain release finish.
UNDERSIDE	Urethane/acrylic coating
TRANSPARENCY LEVEL	Lighter shades translucent for back-lighting applications.
ABRASION RESISTANCE	Excellent
FLEXIBILITY	Excellent in both hot and very cold conditions.
FLAME RESISTANCE (PASSES ALL, BUT NOT LIMITED TO)	California State Fire Marshal Title 19 NFPA 701-99, test method II CPAI-84; Tent walls and roof FMVSS 302 FAA 25.853 (Aviation) U/FAC Upholstered Furniture, Class 1 ULCS-109
MILDEW RESISTANCE	Excellent (with proper maintenance and cleaning)
CHEMICAL RESISTANCE	Excellent
WATER REPELLENCY	Excellent
OIL RESISTANCE	Very good
SEWABILITY	Excellent
HEAT SEALING	Can be heat sealed using sealing tape and heat source such as wedge, hot air, radio frequency welding, etc.

Firesist® is a registered trademark of Glen Raven, Inc.





Examples of similar awnings provided by DAC Awnings







## A.I.A. SPECIFICATION FOR WOOD DOUBLE HUNG WINDOW

### SECTION 08550 WOOD WINDOWS & CLAD WOOD WINDOWS

#### PART 1 - GENERAL

Note: Up to date performance data can be found in the technical data section on our website at <http://www.lincolnwindows.com>

##### 1.01 SECTION INCLUDES

- A. Wood double hung windows with accessories and components as indicated on window schedule.

##### 1.02 REFERENCED STANDARDS

- A. ASTM C1036 - Flat Glass
- B. ASTM E283 - Rate of Air Leakage Through Exterior Windows, Curtain Walls and Doors.
- C. ASTM E330 - Structural Performance of Exterior Windows, Curtain Walls and Doors by Uniform Static Air Pressure Performance.
- D. ASTM E547 - Water Penetration of Exterior Windows, Curtain Walls and Doors by Uniform Static Air Pressure Difference.
- E. ASTM E2190-08 - Specification for Sealed Insulated Glass Units.
- F. Federal Specifications- FL L-S-125B - Screening, Insect Non-Metallic.- FS DD-G-451D - Glass, Float or Plate, Sheet.
- G. AAMA/WDMA/CSA 101/I.S.2/A440-11 Standard and Specification for Windows, Doors and Skylights.

##### 1.03 QUALITY ASSURANCE

- A. Sealed Durability of Insulating Glass Test – ASTM E2190-08.
- B. Argon Gas Concentration of Insulating Glass Units Test – ASTM E2649-09.
- C. Harmonized Insulating Glass Testing Standards as designated by IGCC and IGMA.
- D. NFRC Certification Program for Energy Ratings of Fenestration Products.
- E. AAMA Certification Program. AAMA Gold Label.

##### 1.04 SYSTEM DESCRIPTION

- A. Design and Performance Requirements:
  - 1. Air, water, structural performance and forced entry resistance testing shall be at levels which meet the specifications as outlined in AAMA/WDMA/CSA 101/I.S.2/A440-11.
  - 2. All glass shall be select quality complying with FS DD-G-451 D.
  - 3. Insulating glass shall be manufactured and tested to comply with IGCC and ASTM E2190-08.
- B. Energy Requirements:
  - 1. All units tested are single lite residential as listed on the NFRC label adhered to the glass. Values are certified per NFRC Certification Program.
- C. Emergency Escape & Rescue
  - 1. Larger width & height units with standard hardware, as designated, shall comply with the International Residential Code (minimum clear opening of 5.7 sq.ft. or 5 sq. ft. for grade floor).

##### 1.05 SUBMITTALS

- A. Submit the following in accordance with Section 01330.
- B. Shop drawings showing rough openings, unit dimensions and fenestration of specialty units as required.
- C. Insulated Glass Warranty: Lincoln Wood Products, Inc. Lifetime Limited Warranty.

##### 1.06 DELIVERY AND STORAGE

- A. Deliver products in manufacturer's original containers, dry, undamaged, seals and labels intact.
- B. Store and protect products from job site damage. Uninstalled products must be protected from exposure to the weather.

##### 1.07 INSULATED GLASS WARRANTY

- A. Lincoln Wood Products, Inc. provides a ten (10) year limited warranty on general product found to be defective by virtue of materials or workmanship. Glass is covered for seal failure causing impaired visibility due to moisture, film or dust between the glass panes for twenty (20) years on insulated glass and ten (10) years on impact-resistant or laminated glass. For complete details, terms, conditions, limitations and exclusions, reference the most current warranty, available at [www.lincolnwindows.com](http://www.lincolnwindows.com).

#### PART 2 - PRODUCTS

##### 2.01 MANUFACTURER

Refer to drawings for window schedule indicating sizes and configuration of units and type of components, colors, glazing and additional data.

- A. Wood double hung windows as specified in this section and as manufactured by Lincoln Wood Products, Inc., Merrill, Wisconsin.

##### 2.02 MATERIALS AND FINISHES

- A. **WOOD:** Kiln-dried selected soft woods and or engineered wood products, treated with water repellent preservative in accordance with WDMA I.S.4 – 2000 and applicable Commercial Standards. Frame depth shall be 4-9/16", with jamb extensions available up to 10". Head and side jambs shall be 11/16" thick, with the frame sill 1-3/16" thick. Sash thickness shall be 1-7/16". Brickmould shall be 2" x 1-3/16", nosing shall be 1-9/16" x 1-1/16".
- B. **GLASS:** 11/16" IG. Low "E" with Argon. Tempered. Tint: Bronze, Grey, Obscure, Clear. Endur IG stainless steel spacer or foam spacer used. **\*\*High altitude IG and IG units with glass less than 12" width**





## A.I.A. SPECIFICATION FOR WOOD DOUBLE HUNG WINDOW

### SECTION 08550 WOOD WINDOWS & CLAD WOOD WINDOWS

or height have open breather tube and will not contain argon gas\*\*

- C. **WEATHERSTRIPPING:** Sashes are weather-stripped at the top and bottom rail with a foam bulb. Check rail is soft pile weatherstrip. Soft pile weather-strip is used in the jamb-liners at the sides of the sash.
- D. **SCREEN:** Factory-finished aluminum frame, .011x18x16 charcoal fiberglass cloth.
- E. **STANDARD WOOD GRILLES:** 5/8", 7/8", 1" Profiled select wood for attachment to interior of sash and designed for removal for glass cleaning.
- F. **FULL SURROUND GRILLES:** 5/8", 7/8", 1", 1-7/8" Profiled select wood for attachment to interior of sash and designed for removal for glass cleaning
- G. **INTERNAL MUNTINS:** Profiled 11/16", 1" aluminum grilles permanently sealed between two panes of insulating glass. **Note: Not available on StormPoint products.**
- H. **TRUE DIVIDED LITES:** 7/8" and 1-1/4" wide pine muntin bars to the exterior with applied pine stops on the interior. **Note: Not available on StormPoint products.**
- I. **SIMULATED DIVIDED LITES:** SDL glass is 11/16" insulated. Available in 2", 1-1/8", 7/8" and 5/8" bar widths. Lite division is accomplished with the application of interlocking primed aluminum grids on the exterior and interlocking wood grids on the interior, both secured to the glass lite with an adhesive glazing tape. Available with or without grids between the glass.
- J. **INTERIOR EXTENSION JAMBS:** Kiln-dried selected softwood, for transparent interior finish.

#### 2.03 HARDWARE

- A. **JAMBLINERS:** Extruded vinyl with a spring loaded mechanical balancing system.
- B. **LOCK:** Manufacturers' standard cam locks. Provide two locks on units 32" and wider.
- C. **TILT LATCH:** A spring loaded tilt latch is used to engage and release the sash from the jamb liner, allowing the sash to be tilted in and removed for cleaning.

#### 2.04 FABRICATION

- A. Fabricate frame, mullions and sash members for hairline fit, water and airtight.
- B. Set insulating glass in silicone bedding compound, interior glazed with wood stops.
- C. Provide insect screens of roll formed frames with mesh set into frame and secured.

### PART 3 – EXECUTION

#### 3.01 INSPECTION

- A. Verify rough openings are correctly sized and located.
- B. Beginning of installation means acceptance of existing conditions.

#### 3.02 PREPARATION

- A. Prepare opening to permit correct installation of window unit and air and vapor barrier seal.

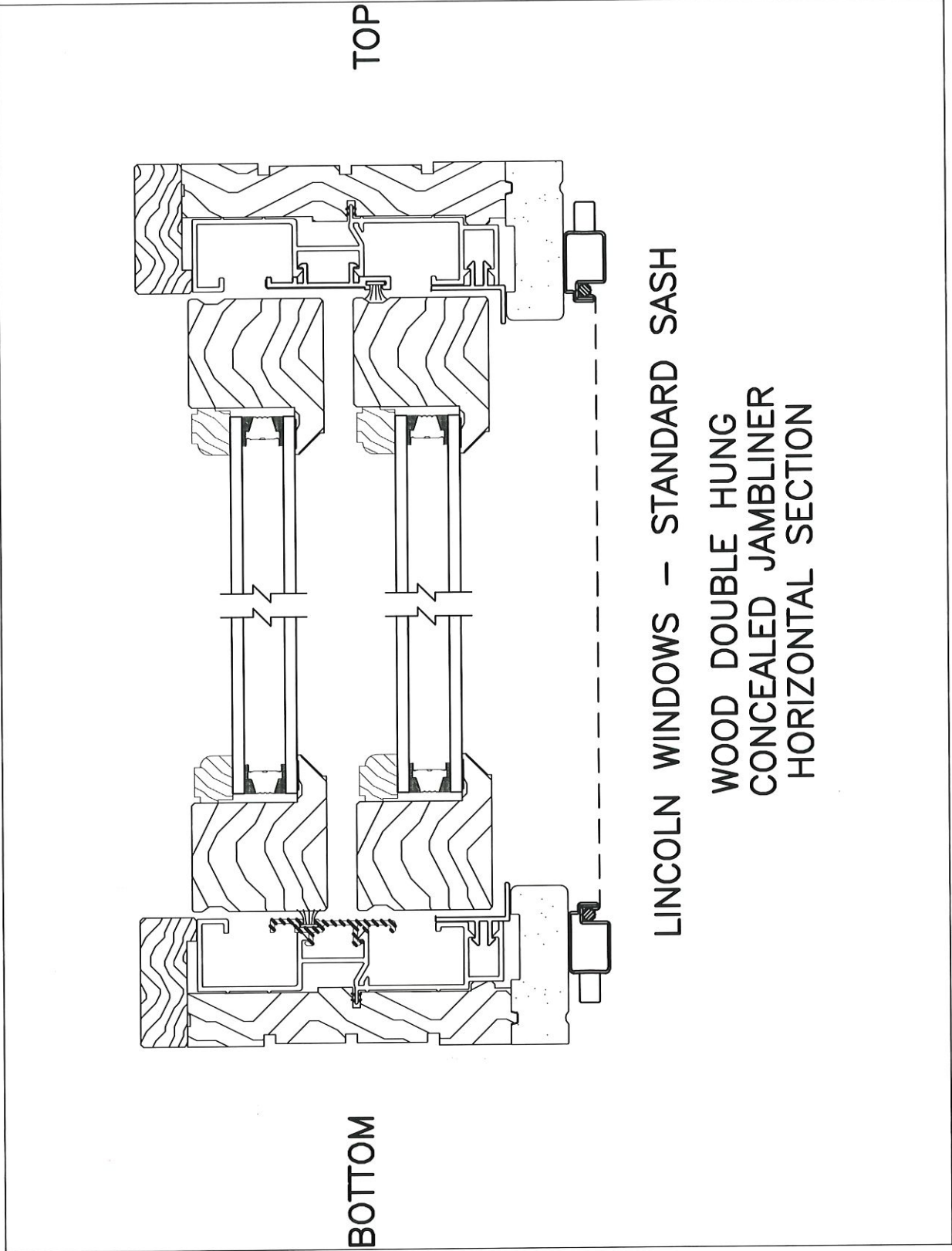
#### 3.03 INSTALLATION

- A. Install windows in accordance with manufacturer's instructions.
- B. Align windows plumb and level, free of warp or twist. Maintain dimensional tolerances, aligning with adjacent work. Secure assembly to frame openings without distortion or stress.
- C. Ensure air and vapor barrier is sealed to window frame. Coordinate placement of insulation in shim spaces around unit perimeter.
- D. Install sealant and related backing materials at exterior and interior of installed assembly.
- E. Close and latch operating sash.

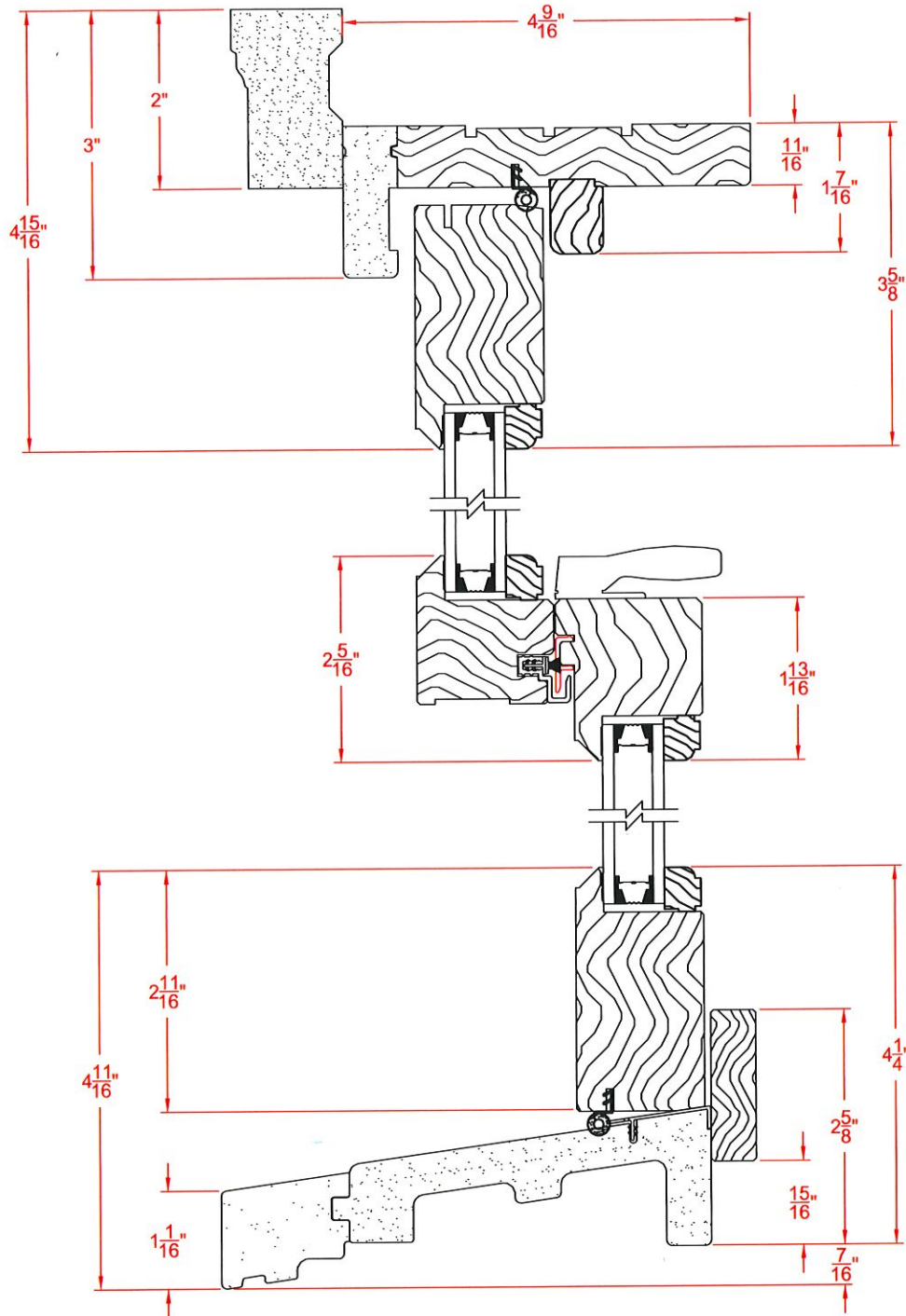
#### 3.04 CLEANING

- A. Clean exterior and interior surfaces of window frames and glass after installation. Do not damage interior or exterior finishes.
- B. Remove labels and visible markings. Comply with manufacturer's recommendations for cleaning glass.
- C. Remove and replace glass that is broken, chipped, cracked, abraded or damaged at no expense to owner.

#### END OF SECTION







WOOD DOUBLE HUNG - WIDE RAILS  
 VERTICAL SECTION  
 SCALE: 6" = 1' 0"



**LINCOLN WOOD PRODUCTS, INC.**

1400 W. TAYLOR ST. Merrill, WI 54452 (715) 536-2461

## Kinane, Collette

---

**From:** John Holmes <johnh@hobbyproperties.com>  
**Sent:** Monday, March 4, 2019 1:09 PM  
**To:** Kinane, Collette  
**Cc:** Meredith Kirkpatrick  
**Subject:** Minor Work COA - 215 S Wilmington Street

Hi Collette:

No signage or wording on the awning...

Best,

John

**John F. Holmes, Jr.**  
President



515 North Blount Street  
Raleigh, North Carolina 27604

(919) 783 6141 *office*  
(919) 782 3321 *fax*  
(919) 205 3601 *direct*

[www.hobbyproperties.com](http://www.hobbyproperties.com)  
[johnh@hobbyproperties.com](mailto:johnh@hobbyproperties.com)

**From:** Kinane, Collette <[Collette.Kinane@raleighnc.gov](mailto:Collette.Kinane@raleighnc.gov)>  
**Sent:** Monday, March 4, 2019 11:31 AM  
**To:** [meredith@maurerarchitecture.com](mailto:meredith@maurerarchitecture.com); Info <[info@hobbyproperties.com](mailto:info@hobbyproperties.com)>  
**Subject:** Minor Work COA - 215 S Wilmington Street

Hi, Meredith and John –

I'm completing the review of the minor work application filed for the Raleigh Sandwich Shop. I have only one question – will there be any signage or wording on the awning?

Thanks,  
Collette

**Collette R. Kinane**  
Preservation Planner II

■ **Raleigh Urban Design Center**  
One Exchange Plaza, Suite 300 | Raleigh, NC 27601  
919-996-2649 | [raleighnc.gov](http://raleighnc.gov)



NOT FOR  
CONSTRUCTION  
FOR REFERENCE  
ONLY

01-03-19

PROJECT TYPE: Renovation  
**Old Raleigh Sandwich Shop**  
215 S. Wilmington Street, Raleigh NC 27601

DATE	01-03-19
DR.	LP
CH.	DSM
PROJ. #	17123
REVISIONS	DATE

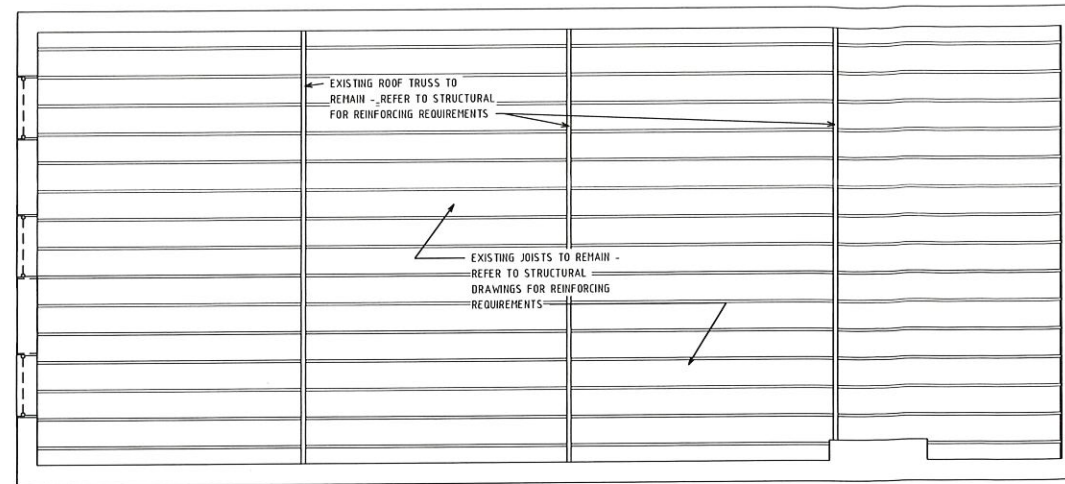
Demo Ceiling  
Plans

AD1.2

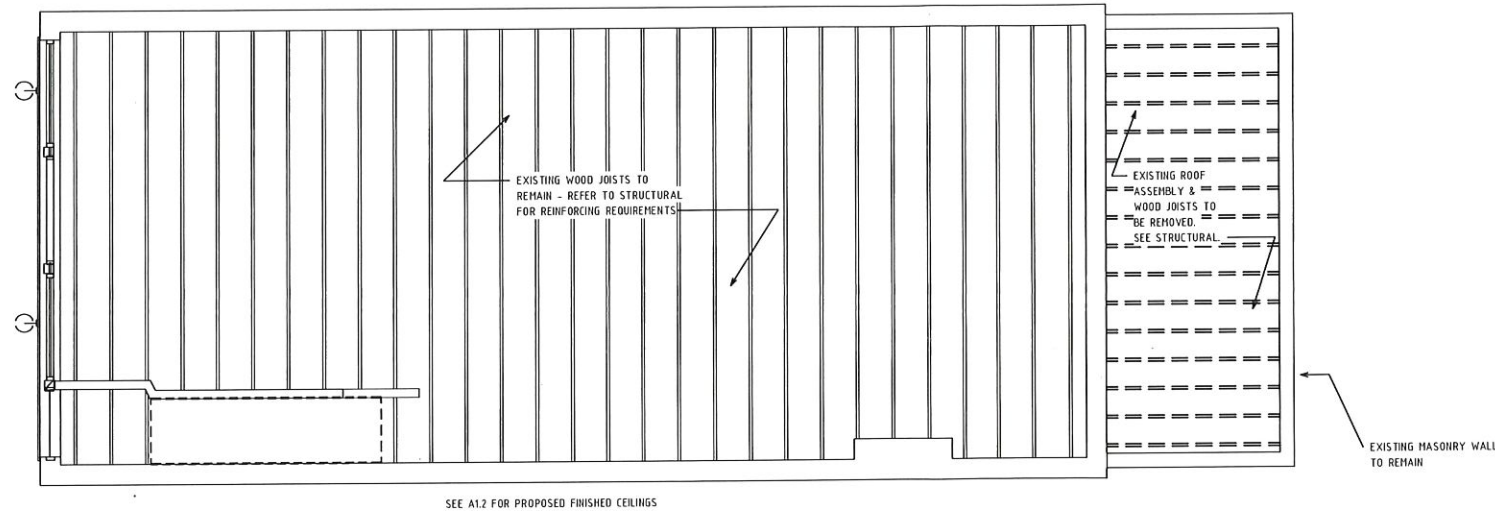
**GENERAL INTERIOR DEMOLITION NOTES**

1. GENERAL CONTRACTOR SHALL EXERCISE CAUTION IN REMOVAL OF ALL ITEMS INDICATED SO AS TO NOT DAMAGE ADJACENT OR UNDERLYING SURFACES. ANY DAMAGE CAUSED SHALL BE THE CONTRACTOR'S RESPONSIBILITY TO PATCH AND REPAIR TO MATCH ADJACENT SURFACES.
2. GENERAL CONTRACTOR TO REMOVE ALL WALLS AS INDICATED ON PLANS. SALVAGE ANY ORIGINAL TRIM FOR POSSIBLE REUSE.
3. LEAD AND ASBESTOS ABATEMENT IS TO BE COMPLETED BEFORE THE START OF CONSTRUCTION.
4. REMOVE ALL WIRING AS POSSIBLE. REMOVE ALL WALL PLATES, OUTLETS, SWITCHES, AND LIGHT FIXTURES. REMOVE ALL EXTERIOR WIRING AND DEVICES.
5. REMOVE ALL PUMBING FIXTURES AND PIPING AS POSSIBLE.

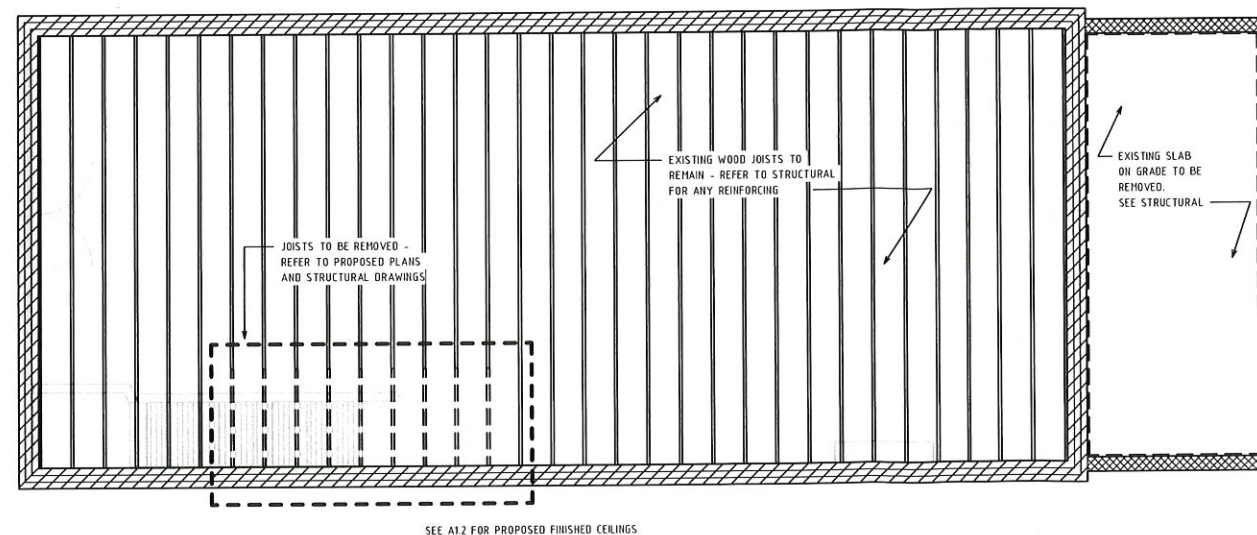
Interior Demolition Notes  
SCALE: 1/4" = 1'-0"



1 DEMO SECOND FLOOR RCP  
SCALE: 1/4" = 1'-0"



2 DEMO FIRST FLOOR RCP  
SCALE: 1/4" = 1'-0"



3 DEMO BASEMENT RCP  
SCALE: 1/4" = 1'-0"



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01-03-19

PROJECT TYPE: Renovation

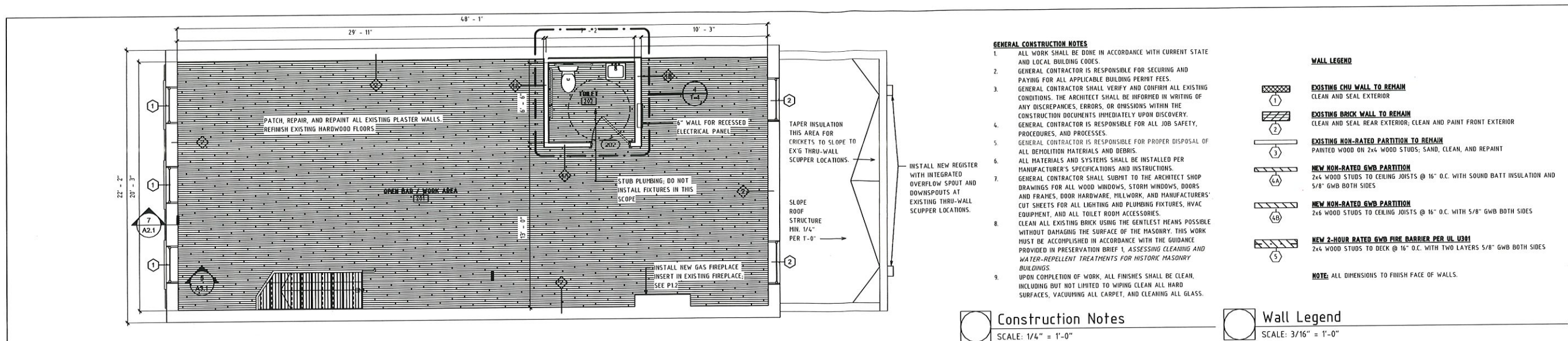
Old Raleigh Sandwich Shop

215 S. Wilmington Street, Raleigh NC 27601

DATE 01-03-19  
DR. MJK  
CH. DSM  
PROJ. # 17123  
REVISIONS DATE

Proposed Plans

A1.1



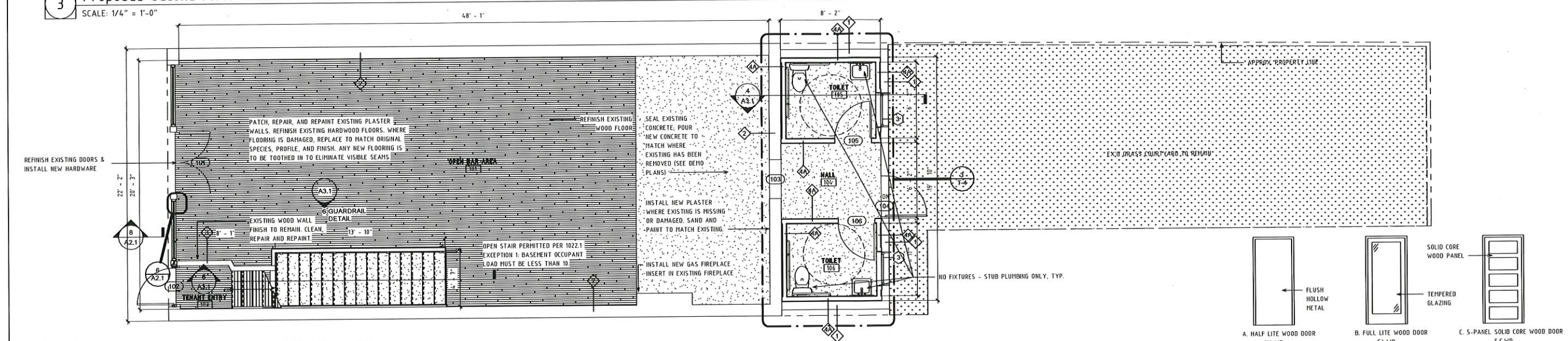
- GENERAL CONSTRUCTION NOTES**
- ALL WORK SHALL BE DONE IN ACCORDANCE WITH CURRENT STATE AND LOCAL BUILDING CODES.
  - GENERAL CONTRACTOR IS RESPONSIBLE FOR SECURING AND PAYING FOR ALL APPLICABLE BUILDING PERMIT FEES.
  - GENERAL CONTRACTOR SHALL VERIFY AND CONFIRM ALL EXISTING CONDITIONS. THE ARCHITECT SHALL BE INFORMED IN WRITING OF ANY DISCREPANCIES, ERRORS, OR OMISSIONS WITHIN THE CONSTRUCTION DOCUMENTS IMMEDIATELY UPON DISCOVERY.
  - GENERAL CONTRACTOR IS RESPONSIBLE FOR ALL JOB SAFETY, PROCEDURES, AND PROCESSES.
  - GENERAL CONTRACTOR IS RESPONSIBLE FOR PROPER DISPOSAL OF ALL DEMOLITION MATERIALS AND DEBRIS.
  - ALL MATERIALS AND SYSTEMS SHALL BE INSTALLED PER MANUFACTURER'S SPECIFICATIONS AND INSTRUCTIONS.
  - GENERAL CONTRACTOR SHALL SUBMIT TO THE ARCHITECT SHOP DRAWINGS FOR ALL WOOD WINDOWS, STORM WINDOWS, DOORS AND FRAMES, DOOR HARDWARE, MILLWORK, AND MANUFACTURERS' CUT SHEETS FOR ALL LIGHTING AND PLUMBING FIXTURES, HVAC EQUIPMENT, AND ALL TOILET ROOM ACCESSORIES.
  - CLEAN ALL EXISTING BRICK USING THE GENTLEST MEANS POSSIBLE WITHOUT DAMAGING THE SURFACE OF THE MASONRY. THIS WORK MUST BE ACCOMPLISHED IN ACCORDANCE WITH THE GUIDANCE PROVIDED IN PRESERVATION BRIEF 1, ASSESSING CLEANING AND WATER-REPELLENT TREATMENTS FOR HISTORIC MASONRY BUILDINGS.
  - UPON COMPLETION OF WORK, ALL FINISHES SHALL BE CLEAN, INCLUDING BUT NOT LIMITED TO WIPING CLEAN ALL HARD SURFACES, VACUUMING ALL CARPET, AND CLEANING ALL GLASS.

- WALL LEGEND**
- EXISTING CHU WALL TO REMAIN**  
CLEAN AND SEAL EXTERIOR
  - EXISTING BRICK WALL TO REMAIN**  
CLEAN AND SEAL REAR EXTERIOR, CLEAN AND PAINT FRONT EXTERIOR
  - EXISTING NON-RATED PARTITION TO REMAIN**  
PAINTED WOOD ON 2x4 WOOD STUDS; SAND, CLEAN, AND REPAINT
  - NEW NON-RATED GWB PARTITION**  
2x4 WOOD STUDS TO CEILING JOISTS @ 16" O.C. WITH SOUND BATT INSULATION AND 5/8" GWB BOTH SIDES
  - NEW NON-RATED GWB PARTITION**  
2x6 WOOD STUDS TO CEILING JOISTS @ 16" O.C. WITH 5/8" GWB BOTH SIDES
  - NEW 2-HOUR RATED GWB FIRE BARRIER PER UL U381**  
2x4 WOOD STUDS TO DECK @ 16" O.C. WITH TWO LAYERS 5/8" GWB BOTH SIDES
- NOTE:** ALL DIMENSIONS TO FINISH FACE OF WALLS.

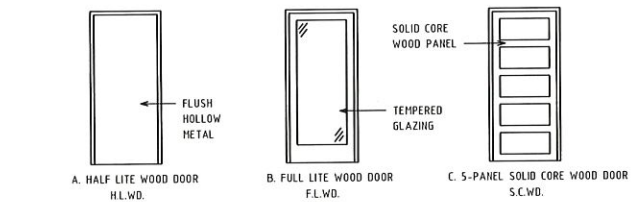
Construction Notes  
SCALE: 1/4" = 1'-0"

Wall Legend  
SCALE: 3/16" = 1'-0"

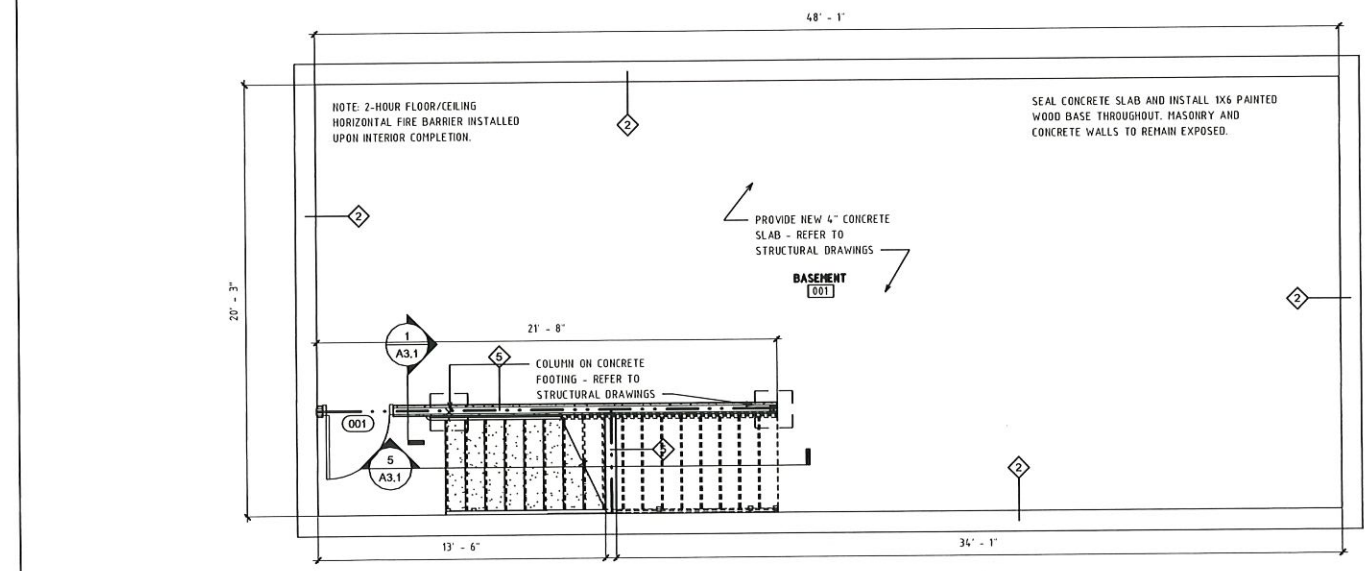
3 Proposed Second Floor - 1108 Gross SF  
SCALE: 1/4" = 1'-0"



4 DOOR ELEVATIONS  
SCALE: 1/4" = 1'-0"



2 Proposed First Floor Plan - 1374 Gross SF  
SCALE: 1/4" = 1'-0"



1 Proposed Basement Plan - 1108 Gross SF  
SCALE: 1/4" = 1'-0"

Door Schedule										
Mark	Door Type	Width	Height	Material	Finish	Frame Type	Frame Finish	Fire Rating	Hardware	Comments
001	A	3' - 0"	6' - 8"	HOLLOW METAL	PAINT	HOLLOW METAL	PAINT	90 MIN.	PUSH/PULL W/ DEADBOLT AND CLOSER	
101	EXISTING	5' - 0"	7' - 0"	EXISTING	PAINT	EXISTING	PAINT	--	KEYED PUSH/PULL	REFURBISH EXISTING DOOR LEAFS, NEW HARDWARE
102	EXISTING	3' - 0"	7' - 0"	EXISTING	PAINT	EXISTING	PAINT	--	KEYED PUSH/PULL	
103	EXISTING	0' - 0"	0' - 0"	EXISTING	N/A	EXISTING	PAINT	--	N/A	FRAMED OPENING; EXISTING TO REMAIN
104	B	3' - 4"	7' - 4"	F.L.W.D.	PAINT	WOOD	PAINT	--	KEYED PUSH/PULL	NEW DOOR IN EXISTING OPENING, FIELD VERIFY DIMENSIONS
105	C	3' - 0"	7' - 0"	S.C.W.D.	PAINT	WOOD	PAINT	--	PRIVACY LEVER	
106	C	3' - 0"	7' - 0"	S.C.W.D.	PAINT	WOOD	PAINT	--	PRIVACY LEVER	
202	C	3' - 0"	7' - 0"	S.C.W.D.	PAINT	WOOD	PAINT	--	PRIVACY LEVER	

Window Schedule							
Mark	R.O.		Type	Manufacturer	Material	Finish	Comments
	Width	Height					
1	3' - 0"	6' - 0"	Double Hung with Trim	Lincoln	Wood	Paint	Field Verify Dimensions
2	3' - 6"	6' - 0"	Double Hung with Trim	Lincoln	Wood	Paint	Field Verify Dimensions
3	2' - 9"	2' - 9"	Fixed	Lincoln	Wood	Paint	Field Verify Dimensions

Room Schedule						
Room Number	Room Name	Floor Finish	Base Finish	Wall Finish	Ceiling Finish	Comments
101	OPEN BAR AREA	REFINISH EXISTING HARDWOOD	REFINISH EXISTING BASE	PAINT EX'G PLASTER	PAINTED T&G	
102	TENANT ENTRY	REFINISH EXISTING HARDWOOD	REFINISH EXISTING BASE	PAINT EX'G PLASTE	PAINTED GWB	
104	HALL	SEALED CONCRETE	6" PAINTED WOOD BASE	PAINTED GWB	PAINTED GWB	
105	TOILET	SEALED CONCRETE	6" PAINTED WOOD BASE	PAINTED GWB	PAINTED GWB	
106	TOILET	SEALED CONCRETE	6" PAINTED WOOD BASE	PAINTED GWB	PAINTED GWB	
201	OPEN BAR / WORK AREA	REFINISH EXISTING HARDWOOD	REFINISH EXISTING BASE	PAINT EX'G PLASTE	SEAL EXPOSED JOISTS	
202	TOILET	REFINISH EXISTING HARDWOOD	6" PAINTED WOOD BASE	PAINTED GWB	PAINTED GWB	



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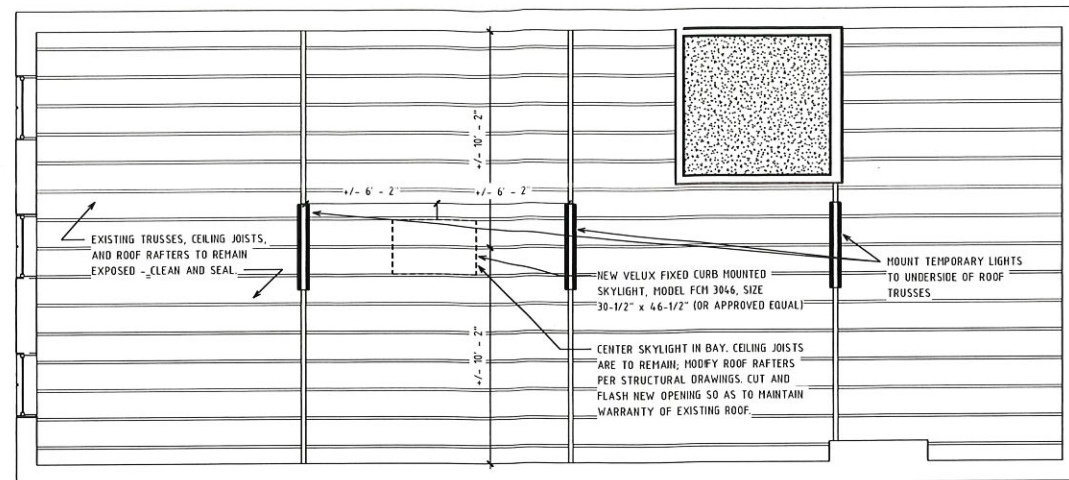
01-03-19





PROJECT TYPE: Renovation  
**Old Raleigh Sandwich Shop**  
215 S. Wilmington Street, Raleigh NC 27601

DATE	01-03-19
DR.	LP
CH.	DSM
PROJ. #	17123
REVISIONS	DATE

Proposed  
Reflected  
Ceiling Plans

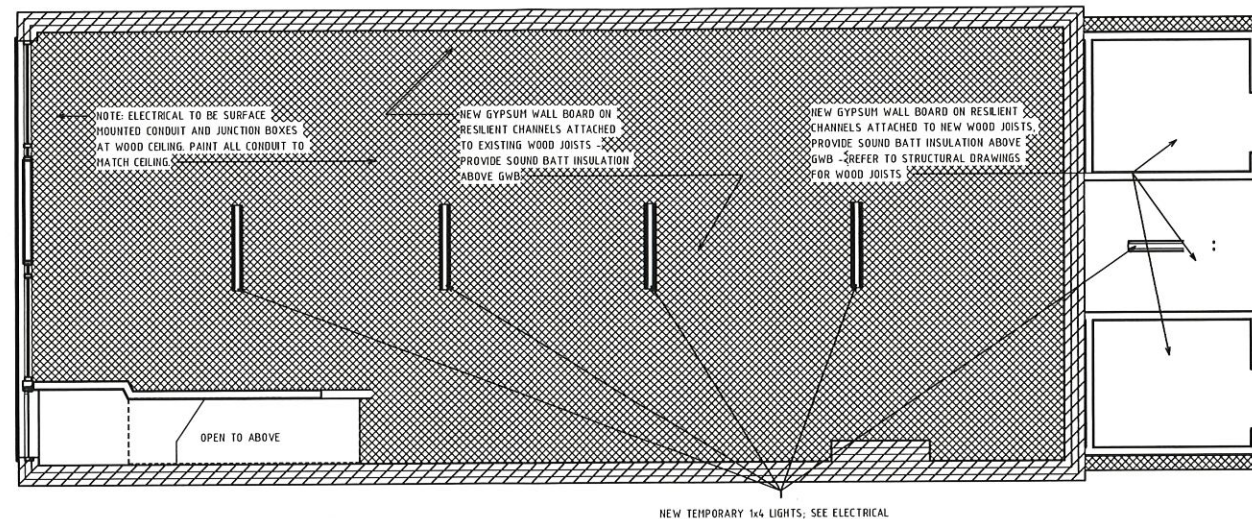
A1.2



-  EXISTING CEILING JOISTS TO REMAIN EXPOSED
-  NEW NON-RATED WOOD CEILING: PAINTED V-GROOVE TAG WITH OPTIONAL 4" ECOTOUCH QUIET ZONE INSULATION ON EXISTING CEILING JOISTS.
-  NEW HORIZONTAL FIRE BARRIER 2-HR RATED GWB CEILING PER UL 1595: (TO BE INSTALLED AT INTERIOR COMPLETION) TWO LAYERS 5/8" TYPE "C" GWB ON RESILIENT CHANNELS ON EXISTING CEILING JOISTS AND FLOOR STRUCTURE. SEE T3 FOR UL 1595 ASSEMBLY.
-  NEW NON-RATED GWB CEILING: (1) LAYER 5/8" GWB ON EXISTING CEILING JOISTS

 Ceiling Legend  
SCALE: 1/4" = 1'-0"

**2** PROPOSED SECOND FLOOR RCP  
SCALE: 1/4" = 1'-0"

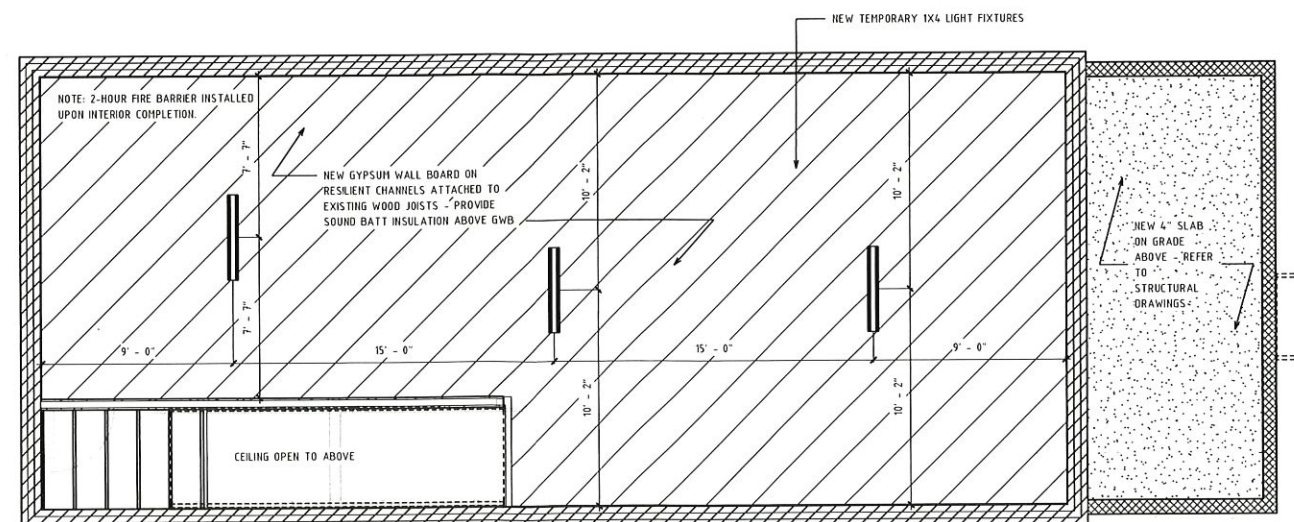


 TEMPORARY 1x4 LIGHTS

NOTE: VERIFY ALL FIXTURE TYPES AND LOCATIONS WITH CLIENT PRIOR TO INSTALL

 Light Fixture Schedule  
SCALE: 1/4" = 1'-0"

**1** PROPOSED FIRST FLOOR RCP  
SCALE: 1/4" = 1'-0"



**3** PROPOSED BASEMENT RCP  
SCALE: 1/4" = 1'-0"



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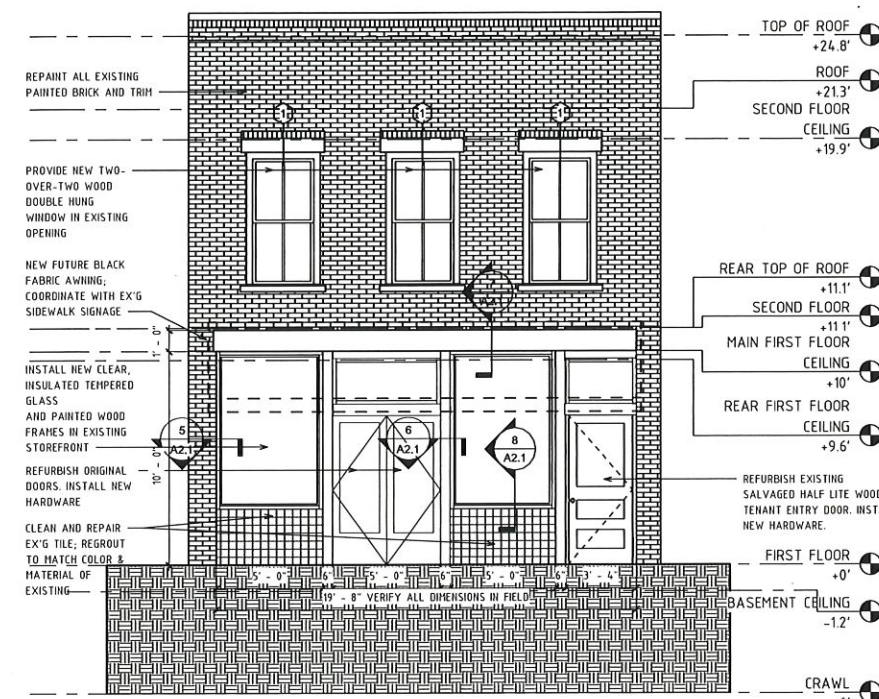
Old Raleigh Sandwich Shop

215 S. Wilmington Street, Raleigh, NC 27601

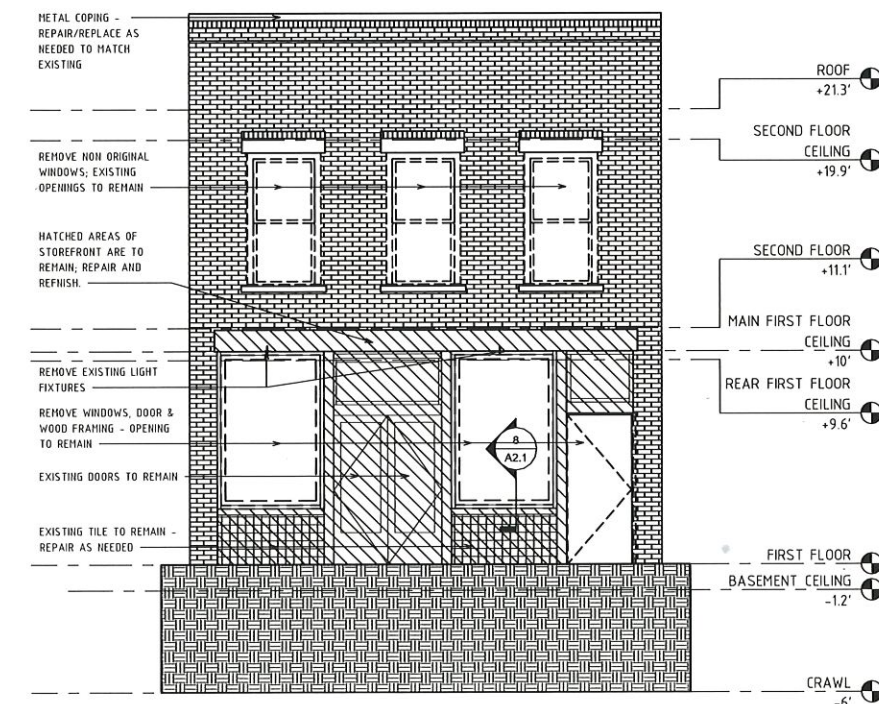
DATE	01-03-19
DR.	MJK
CH.	DSM
PROJ. #	17123
REVISIONS	DATE

Demo &  
Proposed  
Elevations

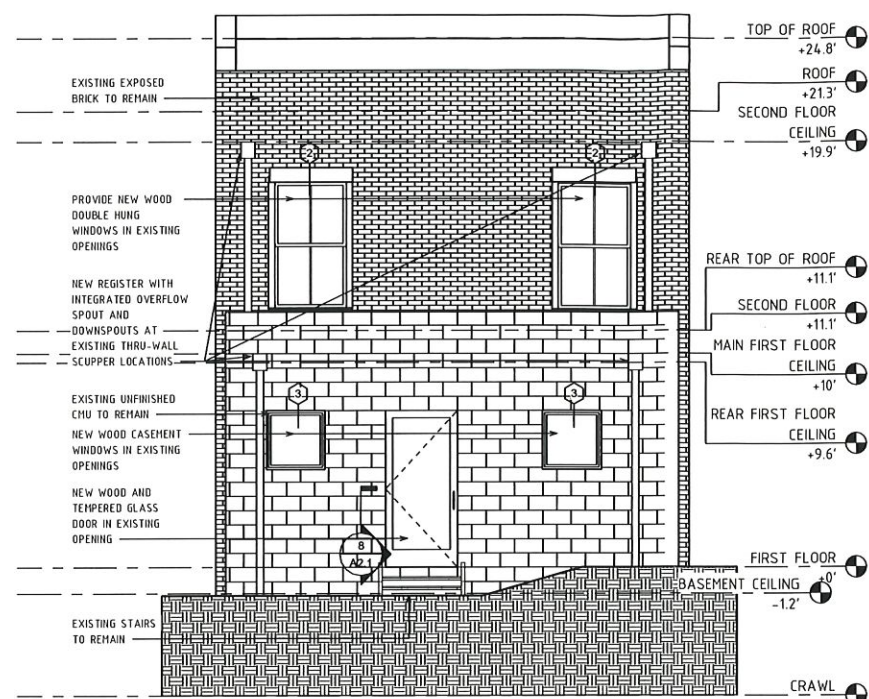
A2.1



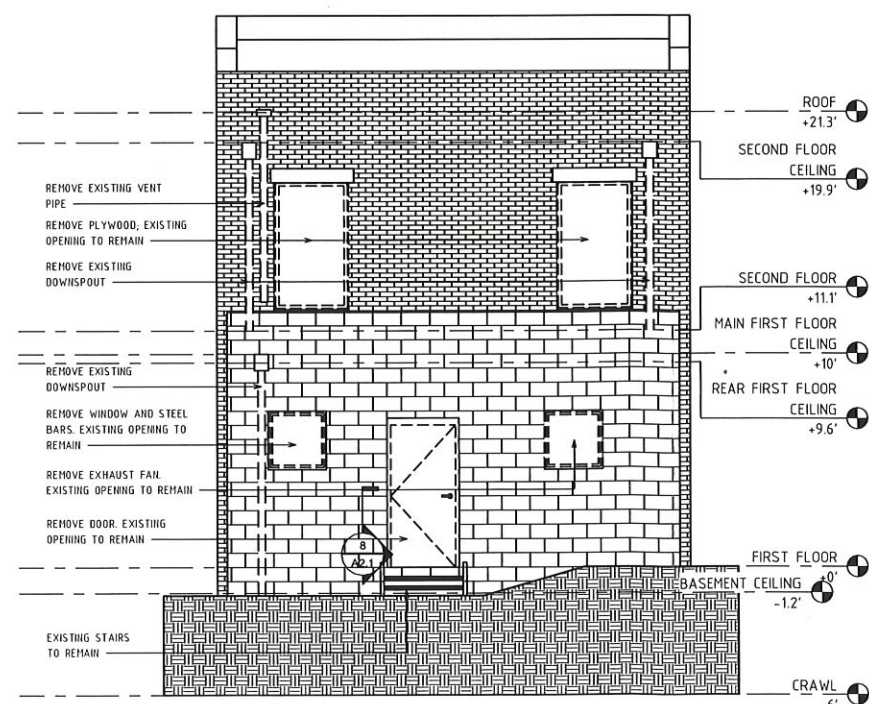
2 Proposed West (Front) Elevation  
SCALE: 1/4" = 1'-0"



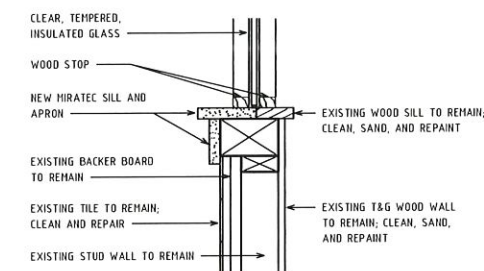
1 Demo West (Front) Elevation  
SCALE: 1/4" = 1'-0"



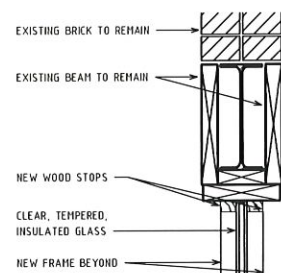
4 Proposed East (Rear) Elevation  
SCALE: 1/4" = 1'-0"



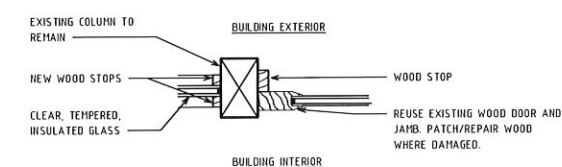
3 Demo East (Rear) Elevation  
SCALE: 1/4" = 1'-0"



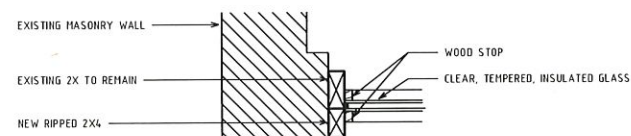
8 STOREFRONT SILL DETAIL  
SCALE: 1 1/2" = 1'-0"



7 STOREFRONT HEAD DETAIL  
SCALE: 1 1/2" = 1'-0"



6 COLUMN & JAMB DETAIL  
SCALE: 1 1/2" = 1'-0"



5 WALL & JAMB DETAIL  
SCALE: 1 1/2" = 1'-0"



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Building Section

A3.1

