



Administrative Approval Action

S-67-18 / Poole Subdivision
Transaction# 576850, AA# 3958

City of Raleigh
Development Services Department
One Exchange Plaza
Raleigh, NC 27602
(919) 996-2495
DS.help@raleighnc.gov
www.raleighnc.gov

LOCATION: This site is located on the north side of Poole Road between Rawls Drive and Sunnybrook Road, at 3117 Poole Road.

REQUEST: The Subdivision of six tracts totaling 27.15 acres zoned R-10 CU (Z-2-2017), and R-6 into 66 individual single family lots, 32 townhome lots, and 11 HOA open space lots. Both a greenway easement and a transit easement are provided with this subdivision.

DESIGN ADJUSTMENT(S)/ ALTERNATES, ETC: N/A

FINDINGS: City Administration finds that this request, with the below conditions of approval being met, conforms to the Unified Development Ordinance. This approval is based on a preliminary plan dated 3/01/19 with revisions dated 4/05/19, by Pabst Design Group, PA.

CONDITIONS OF APPROVAL and NEXT STEPS:

This document must be applied to the second sheet of all future submittals except for final plats. This is a preliminary plan and as such no permits have been issued with this approval. To obtain permits and/or completion of the project, the following steps are required:

CONCURRENT SITE REVIEW - For land disturbance of 12,000 square feet or greater, public or private infrastructure, shared stormwater devices, etc. Concurrent Site Review may be submitted upon receipt of this signed approval document.

The following items are required prior to approval of Concurrent Site Review plans:

Engineering

1. Required NCDOT encroachment and/or driveway permits must be approved and copies provided to Development Services – Development Engineering prior to concurrent review approval.
2. A right-of-way obstruction permit must be obtained from Right-of-way Services prior to the commencement of any construction activities within the right-of-way.

Stormwater

3. The State of North Carolina shall approve any proposed disturbance within the riparian buffer prior to the issuance of any grading or site permit (UDO 9.2.3.E).



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4. A stormwater control plan with a stormwater operations and maintenance manual and budget shall be approved (UDO 9.2).
5. A surety equal to of the cost of clearing, grubbing and reseeding a site, shall be paid to the City (UDO 9.4.4).

Urban Forestry

6. Submit a final tree conservation plan that includes metes and bounds descriptions of all tree conservation areas and tree protection fencing as required (UDO 9.1.5).
7. Tree protection fence must be inspected by Urban Forestry staff prior to the issuance of a grading permit.

LEGAL DOCUMENTS - Email to legaldocumentreview@raleighnc.gov. Legal documents must be approved, executed, and recorded prior to or in conjunction with the recorded plat on which the associated easements are shown. Copies of recorded documents must be returned to the City within one business day of recording to avoid withholding of further permit issuance.

<input type="checkbox"/>	City Code Covenant	<input checked="" type="checkbox"/>	Slope Easement
<input checked="" type="checkbox"/>	Stormwater Maintenance Covenant	<input checked="" type="checkbox"/>	Transit Easement
<input checked="" type="checkbox"/>	Utility Placement Easement	<input type="checkbox"/>	Cross Access Easement
<input type="checkbox"/>	Sidewalk Easement	<input type="checkbox"/>	Public Access Easement
		<input type="checkbox"/>	Other: <i>insert name here</i>

RECORDED MAP(S) - Submit plat to record new property lines, easements, tree conservation areas, etc.). Plats may be submitted for review when the Concurrent Site Review plans, if required, have been deemed ready for mylar signature.

The following items must be approved prior to recording the plat:

General

1. The City Code Covenant is no longer required based on TC-19-20.
2. A demolition permit shall be issued and this building permit number shown on all maps for recording.
3. The greenway easement as shown on the preliminary plan shall be dedicated prior to, or in conjunction with the recording of a map in any phase affected by the greenway.
4. Street names for this development shall be approved by the Raleigh GIS Division and by Wake County.



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5. A Type C2 Street Protective Yard (136') is required between the proposed tree conservation area along Poole Road and the street and a note and location shall be placed on the final plat stating this requirement.
6. A transit deed of easement shall be approved by City staff and the location of the easement shall be shown on a plat approved for recordation. The deed of easement shall be recorded at Wake County Register of Deeds within one day of recordation of the recorded plat. A recorded copy of these documents must be provided to the Development Services Department within one day from authorization of lot recording. If a recorded copy of the document is not provided, further recordings and building permit issuance will be withheld.

Engineering

7. The required right of way and slope easements for proposed and/or existing streets shall be dedicated to the City of Raleigh and be shown on the map approved for recordation.
8. A 5' general utility easement and associated deed of easement shall be approved by the City and the location of the easement shall be shown on the map approved for recordation. The deed of easement shall be recorded at Wake County Register of Deeds within one day of recordation of the recorded plat. A recorded copy of these documents must be provided to the Development Services Department within one day from authorization of lot recording. If recorded copies of the documents are not provided, further recordings and building permit issuance will be withheld.
9. A fee-in-lieu for the Extension of Road A and Road E to the property lines as shown on the preliminary plans shall be paid to the City of Raleigh (UDO 8.1.10).
10. A public infrastructure surety is provided to the City of Raleigh Development Services – Development Engineering program (UDO 8.1.3).

Public Utilities

11. Infrastructure Construction Plans (concurrent submittal) must be approved by the City of Raleigh Public Utilities Department for all public water, public sewer and/or private sewer extensions.

Stormwater

12. A payment equal to twenty-four percent (24%) of the estimated cost of constructing all stormwater control facilities shown on the development plans shall be paid by the developer to the City stormwater facility replacement fund (UDO 9.2.2.G.3).
13. The City form document entitled Declaration of Maintenance Covenant and Grant of Protection Easement for Stormwater Control Facilities shall be approved by the City and recorded with the county register of deeds office (UDO 9.2.2.G).
14. All stormwater control measures and means of transporting stormwater runoff to and from any nitrogen and stormwater runoff control measures shall be shown on all plats for recording as private drainage easements (UDO 9.2).



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- 15. The riparian buffers, in accordance with the preliminary plan and the State of North Carolina regulations, shall be shown on plats for recording along with required buffer statement (Recorded Map Checklist).
- 16. A surety equal to 125% of the cost of the construction of a stormwater device shall be paid to the Engineering Services Department (UDO 9.2.2.D.1.d).

Urban Forestry

- 17. A tree conservation plat shall be recorded with metes and bounds showing the designated tree conservation areas (UDO 9.1). This development proposes 3.27 acres of tree conservation area.

The following items must be approved prior to issuance of any building permits:

- 1. Transit easement infrastructure shall be constructed including a bench, 15' wide foundation, and a 6' post with mounted trash container built to city standards. (Z-2-17, # 2) at the location of the approved transit easement.

EXPIRATION DATES: If significant construction has not taken place on a project after preliminary subdivision approval, that approval may "sunset" and be declared void, requiring re-approval before permits may be issued. To avoid allowing this preliminary approval to "sunset", the following must take place by the following dates:

3-Year Sunset Date: 5-24-2022
Record at least 1/2 of the land area approved.

5-Year Sunset Date: 5-24-2024
Record entire subdivision.

I hereby certify this administrative decision.

Signed:(Development Service Dir./Designee) *Alysia Bailey Taylor* Date: 10/13/2021

Staff Coordinator: Michael Walters

Preliminary Subdivision Plan Application

Development Services Customer Service Center | Exchange Plaza, Suite 400 | Raleigh, NC 27601 | 919-996-2400 | tdd: 919-996-1831
Litchford Satellite Office | 8329 - 130 Litchford Road | Raleigh, NC 27601 | 919-996-4200

When submitting plans, please check the appropriate review type and include the Plan Checklist document.

Office Use Only: Transaction #	Project Coordinator	Team Leader
PRELIMINARY APPROVALS		
<input checked="" type="checkbox"/> Subdivision * <input type="checkbox"/> Conventional Subdivision <input type="checkbox"/> Compact Development <input type="checkbox"/> Conservative Subdivision *May require City Council approval if in a Metro Park Overlay or Historic Overlay District		
If your project has been through the Due Diligence process, provide the transaction #: 560132		
GENERAL INFORMATION		
Development Name: Pooler Road Subdivision		
Proposed Use: Single family homes and townhouses		
Property Address(es): 601 Rawls Drive, 635 Rawls Drive, 639 Rawls Drive, 3117 Pooler Road, 3123 Pooler Road, and 3209 Pooler Road		
Wake County Property Identification Number(s) for each parcel to which these guidelines will apply:		
PN Recorded Deed 17202656	PN Recorded Deed 17202656	PN Recorded Deed 17202656, 17202657, 4 17202658
What is your project type?		
<input checked="" type="checkbox"/> Single Family <input checked="" type="checkbox"/> Townhouse <input type="checkbox"/> Subdivision in a non-residential zoning district <input type="checkbox"/> Other (describe):		
OWNER/DEVELOPER INFORMATION		
Company Name: Becker Interest Group, Inc. Owner/Developer Name: Nathan Becker		
Address: 2452 Oxford Road Raleigh, NC 27608		
Phone (919) 438-3329	Email: nathan@bigrealityco.com	Fax:
CONSULTANT/CONTACT PERSON FOR PLANS		
Company Name: Pabst Design Group, PA Contact Name: Jim Clark		
Address: 404-B Glenwood Avenue		
Phone (919) 848-4399	Email: jclark@pabstdesign.com	Fax:

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DEVELOPMENT TYPE AND SITE DATE TABLE (Applicable to all developments)	
ZONING INFORMATION	
Zoning District(s): R-10-CU, R-6	
If more than one district, provide the acreage of each: R-10-CU = 19.74 ACRES, R-6 = 7.41	
Overlay District?	<input type="checkbox"/> Yes <input checked="" type="checkbox"/> No
Inside City Limits?	<input checked="" type="checkbox"/> Yes <input type="checkbox"/> No
CUO (Conditional Use District) Case #:	Z-2-2017
CDA (Certificate of Appropriateness) Case #:	N/A
BOA (Board of Adjustment) Case #:	N/A
STORMWATER INFORMATION	
Existing Impervious Surface: 0.276 Ac. acres/10,000 sq ft	Flood Hazard Area: <input type="checkbox"/> Yes <input checked="" type="checkbox"/> No
Proposed Impervious Surface: +8.87 acres/10,000 sq ft	Neuse River Buffer: <input type="checkbox"/> Yes <input checked="" type="checkbox"/> No
ON/OFFSITE: <input checked="" type="checkbox"/> Wetlands <input type="checkbox"/> No	
If in a Flood Hazard Area, provide the following:	
Alluvial Soils (Mantachie soil) Flood Study	FEMA Map Panel #: 3720172300J
NUMBER OF LOTS AND DENSITY	
Total # of Townhouse Lots: Detached: 0 Attached: 32	Total # of All Lots: 32
Total # of Single Family Lots: 66	Total # of All Lots: 98
Overall Units/Acre Densities Per Zoning Districts: R-6 (Area 1) = 4.58 du/acre; R-6 (Area 2) = 1.36 du/acre; R-10-CU = 5.91 du/acre	
Total # of Open Space and/or Common Area Lots: N/A	
SIGNATURE BLOCK (Applicable to all developments)	

In filing this plan as the property owner(s), I/we do hereby agree and firmly bind ourselves, my/our heirs, executors, administrators, successors and assigns jointly and severally to construct all improvements and make all dedications as shown on this proposed subdivision plan as approved by the City.

I hereby designate **Pabst Design Group, PA** to serve as my agent regarding this application, to receive and respond to administrative comments, to resubmit plans on my behalf, and to represent me in any public meeting regarding this application.

I/we have read, acknowledge, and affirm that this project is conforming to all application requirements applicable with the proposed development use.

Signature: _____ Date: _____

Signature: _____ Date: _____

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DocuSign Envelope ID: A862799C-F1CB-480A-8C81-C2431DE90339 applicable to all developments

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I/we have read, acknowledge, and affirm that this project is conforming to all application requirements applicable with the proposed development use.

Signature: **Nathan Becker** Date: **10/30/2018 2:28:27 PM PDT**

Signature: _____ Date: _____

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Signature: **Simon P. Roberts** Date: **11/5/18**

Signature: _____ Date: _____

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SIGNATURE BLOCK (Applicable to all developments)

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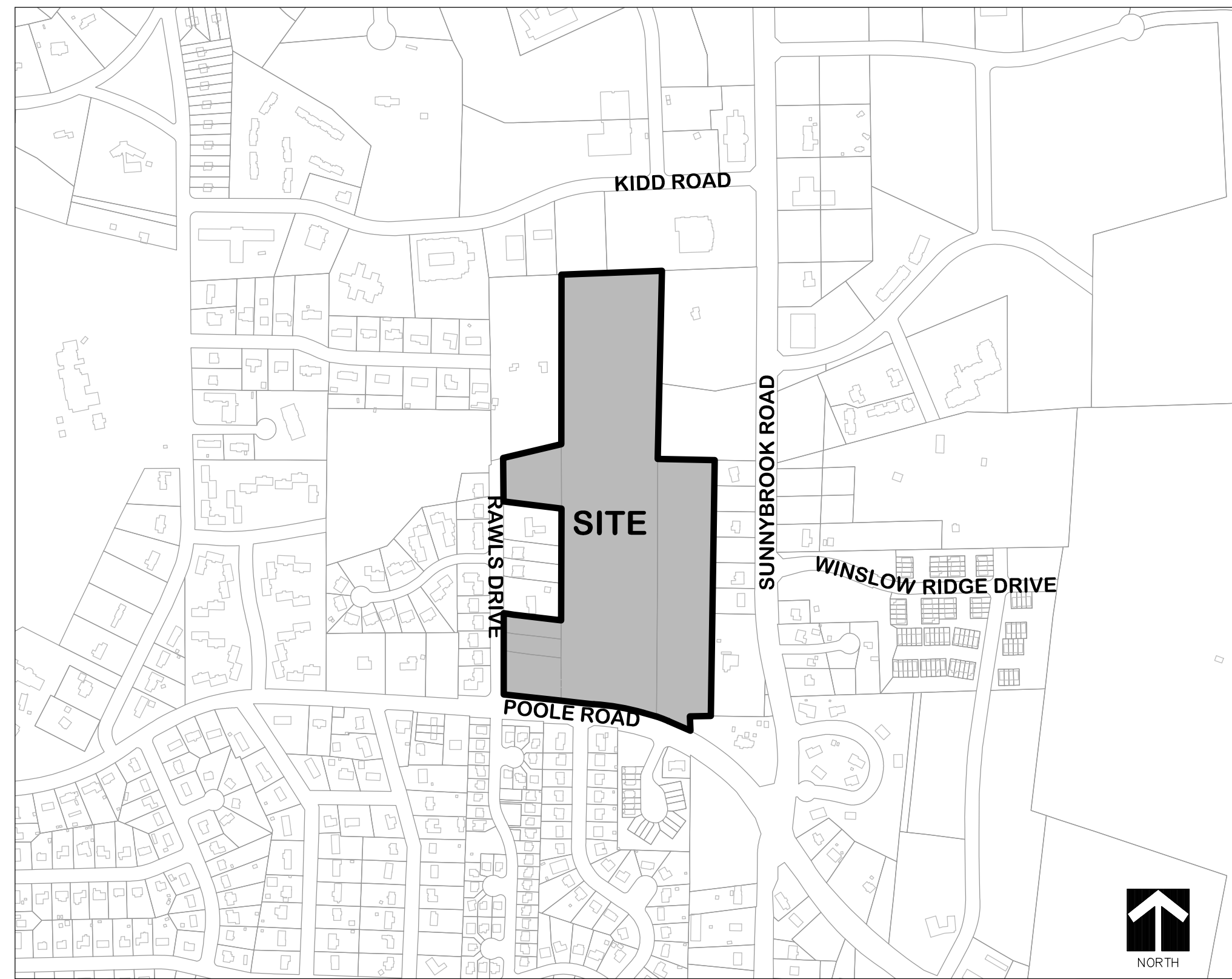
I/we have read, acknowledge, and affirm that this project is conforming to all application requirements applicable with the proposed development use.

Signature: **Simon P. Roberts** Date: **11/5/18**

Signature: _____ Date: _____

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PRELIMINARY SUBDIVISION PLAN FOR: POOLE SUBDIVISION RALEIGH, NORTH CAROLINA



VICINITY MAP
1" = 500'

INDEX TO PLANS

- C-0.0 COVER SHEET
- C-1.0 EXISTING CONDITIONS AND DEMOLITION PLAN
- C-2.0 SUBDIVISION LAYOUT PLAN
- C-2.1 SITE LAYOUT PLAN
- C-2.2 SITE LAYOUT PLAN
- C-2.3 SITE LAYOUT PLAN
- C-2.4 PHASE 1 COMPLIANCE PLAN
- C-2.5 SITE LAYOUT PLATTING PLAN
- C-2.6 BLOCK PERIMETER COMPLIANCE PLAN
- C-3.0 PRELIMINARY UTILITY PLAN
- C-4.0 PRELIMINARY GRADING AND STORM DRAINAGE PLAN
- C-4.1 PRELIMINARY GRADING AND STORM DRAINAGE PLAN
- C-4.2 PRELIMINARY GRADING AND STORM DRAINAGE PLAN
- C-4.3 PRELIMINARY GRADING AND STORM DRAINAGE PLAN
- D-1.0 TRANSPORTATION DETAIL SHEET
- T-1.0 TREE CONSERVATION PLAN
- T-1.1 TREE CONSERVATION PLAN
- T-1.2 TREE CONSERVATION PLAN
- L-1.0 PRELIMINARY LANDSCAPE PLAN
- 1-3 ARCHITECTURE PLANS, ELEVATIONS, & RENDERINGS

- CONDITIONS (Z-2-2017, APPLIES TO SUBJECT PARCELS ZONED R-10-CU):**
- APARTMENT BUILDING TYPE PROHIBITED.
 - PRIOR TO BUILDING PERMIT FOR ANY SUBJECT PARCEL, IF REQUIRED BY CITY TRANSIT DIVISION, DEVELOPER SHALL CONSTRUCT TRANSIT SHELTER IN 15X20 EASEMENT AT LOCATION DECIDED BY TRANSIT AND PAID FOR BY DEVELOPER. MUST INCLUDE A BENCH, 15' WIDE FOUNDATION AND 6' POST WITH MOUNTED TRASH CONTAINER. BULD TO CITY STANDARDS/SPECS.
 - DENSITY LIMITED TO 8 DU/AC.
 - 50' WIDE COR GREENWAY EASEMENT ON THE NORTH SIDE OF THE EXISTING STREAM, ADJACENT TO COR SANITARY SEWER OUTFALL, FROM TOP OF BANK FOR THE ENTIRE DISTANCE THROUGH PROPERTY.

- NOTE(S):**
- ALL CONSTRUCTION SHALL BE DONE IN ACCORDANCE WITH ALL CITY OF RALEIGH, NCDOT AND MUTCD STANDARDS AND SPECIFICATIONS.
 - PROPOSED TREE CONSERVATION PLAN REQUIRED BECAUSE THE TRACT IS GREATER THAN 2 ACRES, PER CITY OF RALEIGH LAND DEVELOPMENT ORDINANCE SECTION 9.1.2.

- SOLID WASTE INSPECTIONS STATEMENT:**
- THE OWNER/DEVELOPER ACKNOWLEDGES THAT THEY HAVE REVIEWED AND ARE IN COMPLIANCE WITH THE REQUIREMENTS SET FORTH IN THE SOLID WASTE DESIGN MANUAL. AN ALTERNATIVE SOLID WASTE COLLECTION PLAN HAS BEEN APPROVED BY THE CITY OF RALEIGH SOLID WASTE DEPARTMENT AS DETAILED BELOW:
 - A. THE OWNER/TENANT OF EACH NEW SINGLE FAMILY DETACHED LOT WILL USE THE CITY'S WEEKLY SCHEDULED ROLL-OUT CURBSIDE GARBAGE AND RECYCLING COLLECTION SYSTEM. EACH HOME SHALL STORE GARBAGE/RECYCLE BINS WITHIN THE GARAGE AND/OR IN THE SIDE/REAR YARD OUT OF SIGHT FROM THE STREET.
 - B. TRASH COLLECTION FOR TOWNHOMES WILL BE VIA INDIVIDUAL ROLL OUT UNITS IN THE ALLEY WAY. CONTAINERS WILL BE STORED IN GARAGE OF EACH UNIT OR WITHIN THE YARD, SCREENED FROM VIEW FROM ANY PUBLIC SPACE.
 - C. THE STORAGE AND SERVICE DETAILS IN PART A & B ABOVE SHALL BE SPECIFIED WITHIN THE HOA BYLAWS.

OWNERS:
LEON C. WEAVER FAMILY TRUST
306 LAKE BOONE TRAIL
RALEIGH, NC 27608
SURRY P. ROBERTS
120 WOODBURN ROAD
RALEIGH, NC 27605
BETSY L. HOUSE
3200 S. SMITHFIELD ROAD
KNIGHTDALE, NC 27545

DEVELOPER:
BECKER INTEREST GROUP, INC.
2452 OXFORD ROAD
RALEIGH, NC 27608
TEL: 919.438.3329

CIVIL ENGINEER:
PABST DESIGN GROUP, PA
404-B GLENWOOD AVENUE
RALEIGH, NC 27603
TEL: 919.848.4399
FAX: 919.848.4395
E-MAIL: dpabst@pabstdesign.com

ARCHITECT:
ORA ARCHITECTURE
19 W HARGETT STREET
RALEIGH, NC 27601
TEL: 919.754.9924
E-MAIL: andrewi@oraarchitecture.net

SURVEYOR:
CDK GEOMATICS, P.C.
1340 SE MAYNARD RD, SUITE 204
CARY, NC 27511
TEL: 919.535.3225
E-MAIL: info@cdk-geo.com

**FOR REVIEW ONLY
NOT FOR CONSTRUCTION**

PABST DESIGN GROUP, PA
ENGINEERING & CONSULTING
404-B Glenwood Avenue, Raleigh, North Carolina 27603
Phone: 919.848.4399 | Fax: 919.848.4395 | NC LICENSE NUMBER: C-3211

POOLE SUBDIVISION
RALEIGH, WAKE COUNTY, NORTH CAROLINA
PRELIMINARY SUBDIVISION PLAN
COVER SHEET

PREPARED FOR:	BECKER INTEREST GROUP, INC.
DATE:	11/05/2018
PROJECT ENGINEER:	JRC
PROJECT CADD DESIGNER:	SAB
PROJECT SURVEYOR:	CDK GEOMATICS, P.C.

NO.	DATE	REVISION
1	03/01/18	REVISED PER COR COMMENTS
2		

DRAWING SHEET
C-0.0
PROJECT NUMBER
406-18

- SURVEY LEGEND:**
- IPF ○ - IRON PIPE FOUND
 - RS ○ - #5 REBAR SET
 - MNF ○ - MAGNAIL FOUND
 - EX ○ - EXISTING
 - CP ○ - COMPUTED POINT
 - ELP □ - ELECTRICAL PEDESTAL
 - TRF □ - TRANSFORMER
 - FOV □ - FIBER OPTIC VAULT
 - FOP □ - FIBER OPTIC PEDESTAL
 - TP □ - TELECOM PEDESTAL
 - WM □ - WATER METER
 - WV □ - WATER VALVE
 - FH ○ - FIRE HYDRANT
 - ICV ○ - IRRIGATION CONTROL VALVE
 - GV ○ - GAS VALVE
 - CONC. ○ - CONCRETE
 - CB ○ - STORM CATCH BASIN
 - RCP ○ - REINFORCED CONC. PIPE
 - PVC ○ - POLYVINYL CHLORIDE PIPE
 - C&G ○ - CURB & GUTTER
 - R/W ○ - RIGHT-OF-WAY
 - CO ○ - SEWER CLEANOUT
 - LP ○ - LIGHT POLE
 - PP ○ - POWER/UTILITY POLE
 - A/C ○ - AIR CONDITIONING UNIT

- LEGEND:**
- STREAM TOP OF BANK
 - STREAM BUFFER
 - OHE - EXISTING OVERHEAD UTILITY LINES
 - EXISTING TREE LINE
 - EXISTING EASEMENT
 - EXISTING FENCE
 - EXISTING WATER LINE
 - EXISTING SANITARY SEWER
 - EXISTING STORM DRAIN
 - EXISTING WETLANDS

- SURVEY NOTES**
- ALL DISTANCES ARE US SURVEY FOOT HORIZONTAL GROUND DISTANCES.
 - ALL AREAS AND DISTANCES ARE COMPUTED BY COORDINATE COMPUTATION METHOD UNLESS OTHERWISE NOTED.
 - THE SUBJECT PARCEL IS NOT LOCATED IN A SPECIAL FLOOD HAZARD AREA ACCORDING TO FEMA PANEL 3720172300J, HAVING AN EFFECTIVE DATE OF MAY 2, 2006.
 - THIS SURVEY WAS PERFORMED USING CONVENTIONAL AND GPS SURVEY METHODS. THE CONTROL TRAVERSE, PROPERTY LOCATION AND ALL PLANIMETRIC LOCATION WAS PERFORMED USING CONVENTIONAL SURVEYING EQUIPMENT. THE SITE WAS TIED TO THE NC STATE PLANE COORDINATE SYSTEM UTILIZING GPS EQUIPMENT.
 - THE FOLLOWING INFORMATION WAS USED TO PERFORM THE GPS SURVEY:
 CLASS OF SURVEY: CLASS A
 POSITIONAL ACCURACY: 0.05'
 TYPE OF GPS FIELD PROCEDURE: NC REAL TIME KINEMATIC NETWORK
 DATE OF SURVEY: JULY 9, 2018
 DATUM/EPOCH: NAD 83 (2011) 2010.00 EPOCH
 GEOID MODEL: GEOID12A
 COMBINED GRID FACTOR: 0.9999
 UNITS: US SURVEY FEET

- DEMOLITION NOTES**
- THE CONTRACTOR IS RESPONSIBLE FOR OBTAINING ALL LOCAL AND STATE PERMITS REQUIRED FOR DEMOLITION WORK.
 - THE CONTRACTOR SHALL INDEMNIFY AND HOLD HARMLESS THE OWNER AND/OR ENGINEER FOR ANY AND ALL INJURIES AND/OR DAMAGES TO PERSONNEL, EQUIPMENT AND/OR EXISTING FACILITIES IN THE DEMOLITION AND CONSTRUCTION DESCRIBED IN THE PLANS AND SPECIFICATIONS.
 - EXISTING CONDITIONS AS DEPICTED ON THESE PLANS ARE GENERAL AND ILLUSTRATIVE IN NATURE AND DO NOT INCLUDE MECHANICAL, ELECTRICAL AND MISCELLANEOUS STRUCTURES. IT IS THE RESPONSIBILITY OF THE CONTRACTOR TO EXAMINE THE SITE AND BE FAMILIAR WITH EXISTING CONDITIONS PRIOR TO BIDDING ON THE DEMOLITION WORK FOR THIS PROJECT. IF CONDITIONS ENCOUNTERED DURING EXAMINATION ARE SIGNIFICANTLY DIFFERENT THAN THOSE SHOWN, THE CONTRACTOR SHALL NOTIFY THE ENGINEER IMMEDIATELY.
 - ALL EXISTING ABOVE AND BELOW GROUND STRUCTURES WITHIN THE LIMITS OF NEW CONSTRUCTION SHALL BE RAZED UNLESS NOTED OTHERWISE WITHIN THIS CONSTRUCTION SET, ARCHITECTURAL PLANS AND/OR PROJECT SPECIFICATIONS. THIS INCLUDES FOUNDATION SLABS, WALLS, AND FOOTINGS.
 - ALL DEMOLITION WASTE AND CONSTRUCTION DEBRIS SHALL BE REMOVED BY THE CONTRACTOR AND DISPOSED OF IN A STATE APPROVED WASTE SITE AND IN ACCORDANCE WITH ALL LOCAL AND STATE CODES AND PERMIT REQUIREMENTS.
 - ALL UTILITY REMOVAL, RELOCATION, CUTTING, CAPPING AND/OR ABANDONMENT SHALL BE COORDINATED WITH THE APPROPRIATE UTILITY COMPANY.
 - THE BURNING OF CLEARED MATERIAL AND DEBRIS SHALL NOT BE ALLOWED UNLESS CONTRACTOR GETS WRITTEN AUTHORIZATION FROM THE LOCAL AUTHORITIES.
 - MUNICIPAL AND UTILITY CONTACTS ARE LISTED ON COVER SHEET C-0.0.
 - EROSION AND SEDIMENTATION CONTROL MEASURES AROUND AREAS OF DEMOLITION SHALL BE INSTALLED PRIOR TO INITIATION OF DEMOLITION ACTIVITIES.
 - ASBESTOS OR HAZARDOUS MATERIALS, IF FOUND ON SITE, SHALL BE REMOVED BY A LICENSED HAZARDOUS MATERIALS CONTRACTOR. CONTRACTOR SHALL NOTIFY OWNER IMMEDIATELY IF HAZARDOUS MATERIALS ARE ENCOUNTERED.
 - CONTRACTOR SHALL PROTECT ALL CORNER PINS, MONUMENTS, PROPERTY CORNERS, AND BENCHMARKS DURING DEMOLITION ACTIVITIES. IF DISTURBED, CONTRACTOR SHALL HAVE DISTURBED ITEMS RESET BY A LICENSED SURVEYOR AT NO ADDITIONAL COST TO THE OWNER.
 - CONTRACTOR SHALL ADHERE TO ALL LOCAL, STATE, FEDERAL, AND OSHA REGULATIONS WHEN OPERATING DEMOLITION EQUIPMENT AROUND UTILITIES.
 - CONTRACTOR SHALL PROTECT AT ALL TIMES ADJACENT STRUCTURES AND ITEMS FROM DAMAGE DUE TO DEMOLITION ACTIVITIES.
 - ALL DEMOLITION WORK SHALL BE PERFORMED WITH "DUE CARE AND DILIGENCE" SO AS TO PREVENT THE ARBITRARY DESTRUCTION OR INTERRUPTION OF CONCEALED UTILITIES WHICH ARE INTENDED TO REMAIN IN USE AND THE ROUTING OF WHICH COULD NOT BE DETERMINED UNTIL DEMOLITION WAS STARTED. ALL SUCH DISCOVERIES OF UTILITIES DURING THE DEMOLITION PROCESS WHICH ARE IN A LOCATION DIFFERENT FROM THAT INDICATED OR ARE UNIDENTIFIED, SHALL BE REPORTED TO THE OWNER, ENGINEER AND ARCHITECT BEFORE REMOVAL FOR FINAL DISPOSITION.
 - ALL UTILITIES OR STRUCTURES NOT DESIGNATED FOR REMOVAL OR MODIFICATION ARE TO REMAIN AND BE PROTECTED FROM DAMAGE.
 - EXISTING PAVEMENT, CURB AND GUTTER, SIDEWALK, ETC. NOT INDICATED FOR REMOVAL, WHICH IS DAMAGED DURING DEMOLITION/CONSTRUCTION, SHALL BE REPAIRED OR REPLACED TO MATCH ORIGINAL CONDITION.
 - SALVAGEABLE FILL MATERIALS FROM SITE DEMOLITION DETERMINED TO BE ACCEPTABLE BY AN INDEPENDENT SOILS TESTING LABORATORY SHALL BE UTILIZED FOR FILL MATERIAL WHERE APPROPRIATE.
 - ANY NOTE, OR REFERENCE TO ANY ELEMENT, WHICH DOES NOT SPECIFY ACTION BY THE CONTRACTOR SHALL BE CONSTRUED AS INFORMATION ONLY.
 - ALL PIPE INSTALLATION, WHEN REQUIRED BY PIPE DEPTHS AND EXCAVATION, SHALL BE PERFORMED WITH THE USE OF TRENCH BOXES. ALL EXCAVATIONS, UTILITY AND GRADING WORK, SHALL BE IN ACCORDANCE WITH ALL LOCAL, STATE AND FEDERAL RULES AND REGULATIONS.
 - THE GENERAL CONTRACTOR SHALL PROVIDE ALL SAFETY AND SECURITY FENCING, BARRIERS, PROTECTION MATERIAL AND METHODS AS REQUIRED TO COMPLETE ANY OFF SITE WORK IN A SAFE AND TIMELY MANNER.
 - CONTRACTOR SHALL REFER TO OTHER PLANS WITHIN THIS CONSTRUCTION SET FOR OTHER PERTINENT INFORMATION.
 - UNLESS OTHERWISE NOTED, ALL EXISTING VEGETATION TO REMAIN AND TO BE UNDISTURBED FOR THE DURATION OF CONSTRUCTION. IF DAMAGES OCCUR TO EXISTING VEGETATION, PLANTS SHALL BE REPLACED IN KIND.
 - ANY EXISTING PRIVATE SERVICE NOT TO BE USED (LABELED TO BE REMOVED) SHALL BE ABANDONED PER CORPUD STANDARDS (PU HANDBOOK, PAGE 67 AND 125).
 - ANY EXISTING WELLS AND/OR SEPTIC SYSTEMS SHALL BE ABANDONED IN ACCORDANCE WITH WAKE COUNTY HEALTH DEPARTMENT STANDARDS.

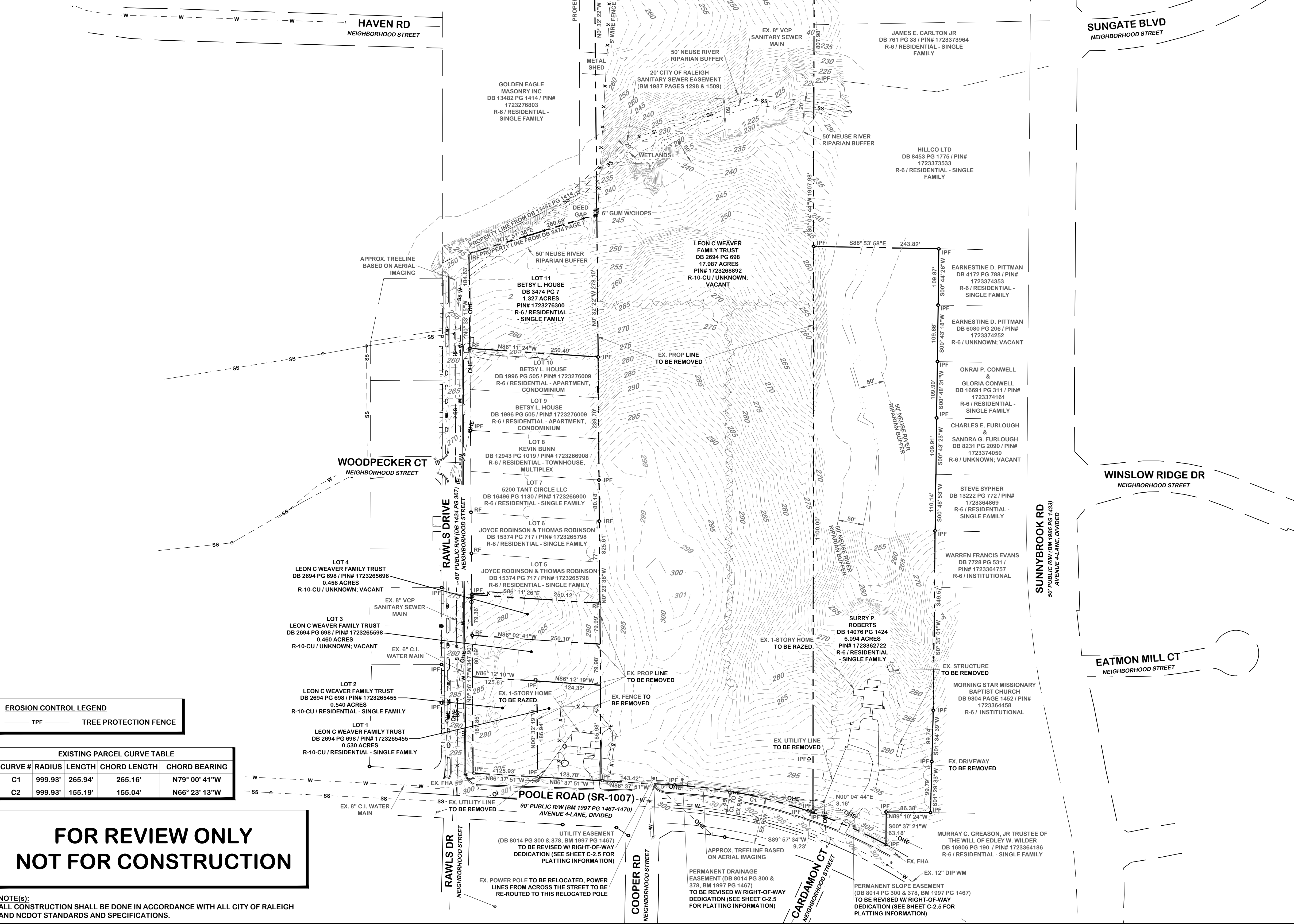
PABST DESIGN GROUP, PA
 ENGINEERING & CONSULTING
 404-B Glenwood Avenue, Raleigh, North Carolina 27603
 Phone: 919.848.4399 | Fax: 919.848.4395 | NC LICENSE NUMBER: C-3211

POOLE SUBDIVISION
 RALEIGH, WAKE COUNTY, NORTH CAROLINA
PRELIMINARY SUBDIVISION PLAN
EXISTING CONDITIONS AND DEMOLITION PLAN

PREPARED FOR:
 BECKER INTEREST GROUP, INC.
 2432 OXFORD ROAD
 RALEIGH, NC 27608
 DATE: 11/09/2018
 PROJECT ENGINEER:
 JPC
 PROJECT CADD DESIGNER:
 SJB
 PROJECT SURVEYOR:
 CHA, GEORGIAS, P.C.

NO.	DATE	REVISION
1	03/01/19	REVISED PER CORP COMMENTS
2		REVISED PER CORP COMMENTS

DRAWING SHEET
C-1.0
 PROJECT NUMBER
406-18



- EROSION CONTROL LEGEND**
- TPF — TREE PROTECTION FENCE

EXISTING PARCEL CURVE TABLE

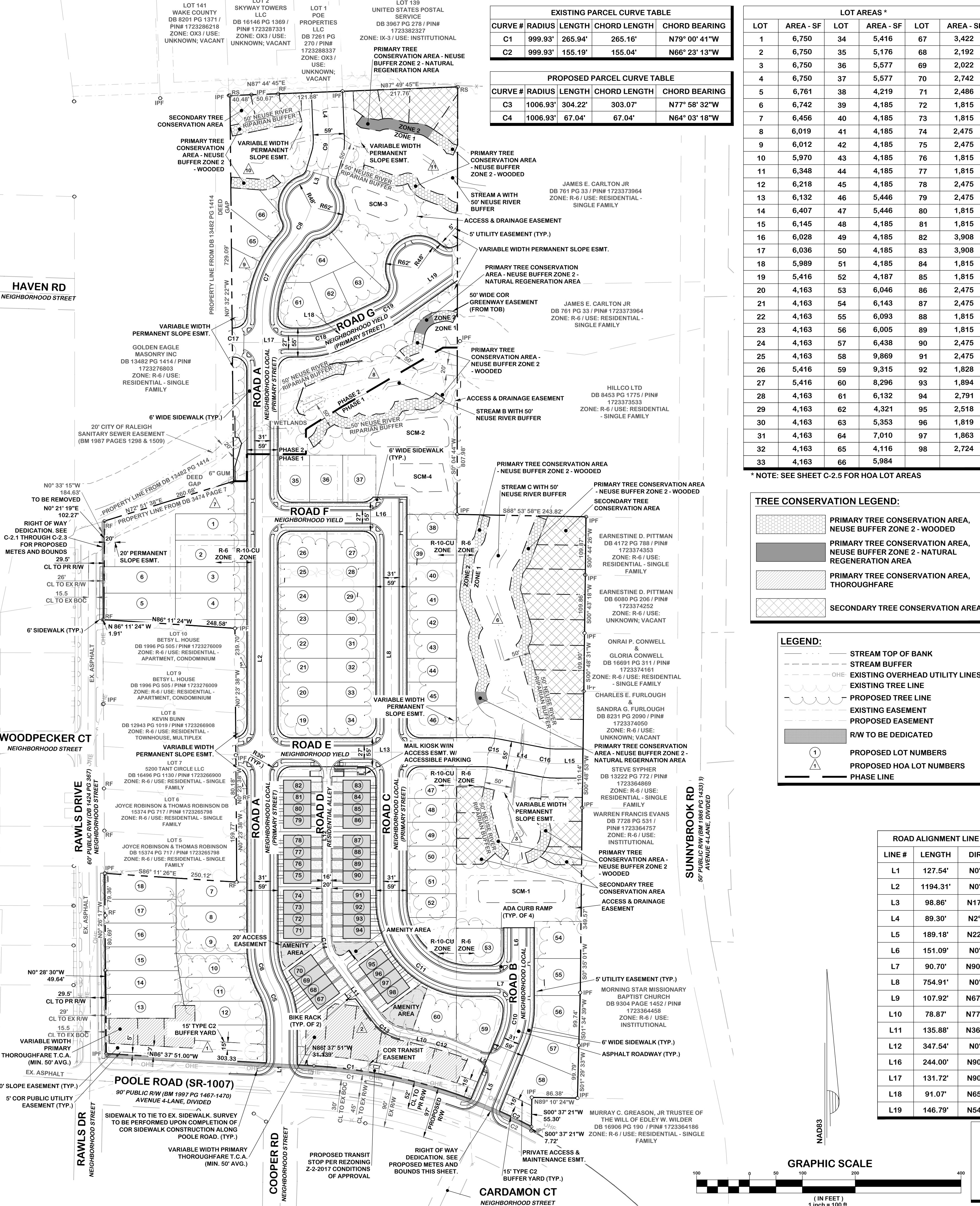
CURVE #	RADIUS	LENGTH	CHORD LENGTH	CHORD BEARING
C1	999.93'	265.94'	265.16'	N79° 00' 41" W
C2	999.93'	155.19'	155.04'	N66° 23' 13" W

FOR REVIEW ONLY
NOT FOR CONSTRUCTION

NOTE(S):
 ALL CONSTRUCTION SHALL BE DONE IN ACCORDANCE WITH ALL CITY OF RALEIGH AND NCDOT STANDARDS AND SPECIFICATIONS.

F:\Public\10-Projects\400-499\406-18_Poole_Road_Subdivision\Becker_Interest_Group\150-Drawings\4-Design\C-1.0.dwg Apr 05, 2019 - 10:01am By: kark

SITE DATA TABLE	
DEVELOPER:	BECKER INTEREST GROUP, INC. 2452 OXFORD ROAD RALEIGH, NC 27608
OWNER(S):	LEON C. WEAVER FAMILY TRUST 306 LAKE BOONE TRAIL RALEIGH, NC 27608 SURREY P. ROBERTS 120 WOODBURN ROAD RALEIGH, NC 27605 BETSY L. HOUSE 3200 S. SMITHFIELD ROAD KNIGHTDALE, NC 27545
CONTROLLED PIN(S):	1723265696; 1723265598; 1723268892; 1723362722 & 1723276300
EXISTING ZONING:	R-10-CU (REZONED Z-2-2017) & R-6 (REFER TO ZONING & USE KEY, THIS SHEET)
EXISTING USE:	RESIDENTIAL - SINGLE FAMILY; RESIDENTIAL - OTHER & UNKNOWN; VACANT
PROPOSED USE:	MODERATE DENSITY RESIDENTIAL
PROJECT AREA:	27.391 ACRES
PROPOSED SINGLE FAMILY UNITS:	PHASE 1: 60 / PHASE 2: 6 TOTAL: 66
PROPOSED TOWNHOUSES:	32 (ALL IN PHASE 1)
PROPOSED HOA LOTS:	11
WATERSHED:	CRABTREE CREEK
ADDITIONAL OVERLAY:	NONE
RIVERBASIN:	NEUSE
FLOODPLAIN DATA:	NO PORTION OF THE PROPERTY IS LOCATED WITHIN SPECIAL FLOOD HAZARD ZONE PER FLOOD INSURANCE RATE MAP 3720172300J DATED MAY 2, 2006.
TREE CONSERVATION:	REQUIRED: 2.74 ACRES (10% OF GROSS LOT AREA) PROPOSED: PRIMARY - 1.68 ACRES SECONDARY - 1.59 ACRES TOTAL: 3.27 ACRES (11.93% OF GROSS LOT AREA)
R-10-CU (Z-2-2017) ZONING CONDITIONS:	1. APARTMENT BUILDING TYPE PROHIBITED 2. PRIOR TO BUILDING PERMIT FOR ANY SUBJECT PARCEL, IF REQUIRED BY CITY TRANSIT DIVISION, DEVELOPER SHALL CONSTRUCT TRANSIT SHELTER IN 15X20 EASEMENT AT LOCATION DECIDED BY TRANSIT AND PAID FOR BY DEVELOPER. MUST INCLUDE A BENCH, 15' WIDE FOUNDATION AND 6' POST WITH MOUNTED TRASH CONTAINER. BUILT TO CITY STANDARDS/SPECS. 3. DENSITY LIMITED TO 8 DU/AC 4. 50' WIDE COR GREENWAY EASEMENT ON THE NORTH SIDE OF THE EXISTING, STREAM ADJACENT TO COR SANITARY SEWER OUTFALL, FROM TOP OF BANK FOR THE ENTIRE DISTANCE THROUGH PROPERTY.
PROJECT PHASES:	PHASE 1 SOUTH OF STREAM B PHASE 2 NORTH OF STREAM B
RIGHT-OF-WAY DEDICATION:	POOLE ROAD AREA: 5,753.4 SF (0.132 ACRES) LINEAR: 826.7 LF RAWLS DRIVE AREA: 644.6 SF (0.015 ACRES) LINEAR: 184.6 LF INTERNAL ROADWAYS APPROX. AREA: 285,797 SF (6.561 ACRES)
IMPERVIOUS AREA:	EXISTING IMPERVIOUS = 0.276 ACRES PROPOSED IMPERVIOUS = ±8.87 ACRES
TOWNHOUSES AMENITY SPACE:	REQUIRED: 10% OF SITE AREA SITE AREA = 74,069 SF (REFER TO ZONING & USE KEY, THIS SHEET) 74,069 SF X 10% = 7,406.9 SF REQUIRED PROVIDED: AREA 1 = 1,955 SF AREA 2 = 1,845 SF AREA 3 = 3,621 SF TOTAL PROVIDED = 7,421 SF (10.02%)
LOT DIMENSIONS:	R-6 ZONE AREA (MIN): 6,000 SF WIDEST-INTERIOR LOT (MIN): 50' WIDTH (MIN, CORNER): 65' WIDTH (MIN, TOWNHOME): N/A DEPTH (MIN, CORNER): 80' DENSITY (MAX): 6 DU/AC
PRINCIPAL BUILDING SETBACKS:	R-10-CU ZONE AREA (MIN): 4,000 SF WIDEST-INTERIOR LOT (MIN): 45' WIDTH (MIN, CORNER): 60' WIDTH (MIN, TOWNHOME): N/A DEPTH (MIN, CORNER): 16' DENSITY (MAX): 8 DU/AC (PER Z-2-2017)
TOWNHOME (ALL STRUCTURES):	REQUIRED: 2' PROPOSED: 2' (MINIMUM) (REFER TO TOWNHOME LOT ELEVATION TABLE ON SHEET C-2.1 FOR DETAILS)
DENSITY REQUIREMENTS:	DENSITY ALLOWED IN PHASE 1 AND PHASE 2 (MAX) R-6: 6 DU/AC R-10-CU: LIMITED TO 8 DU/AC BY Z-2-2017
PARKING:	DENSITY PROVIDED FOR PHASE 1 R-6 AREA 1: 1.31 AC, 6 DU = 4.58 DU/AC R-6 AREA 2: 5.14 AC, 7 DU = 1.36 DU/AC R-10-CU: 10.31 AC, 79 DU = 7.66 DU/AC DENSITY PROVIDED FOR PHASES 1&2 TOGETHER R-10-CU: 14.38 AC, 85 DU = 5.91 DU/AC NOTE: REFER TO ZONING & USE KEY, THIS SHEET FOR AREAS SINGLE FAMILY DETACHED (66 UNITS) REQUIRED: 2 SPACES PER UNIT (ALL PARKING ON LOT) PROVIDED: 4 SPACES / UNIT (2-CAR GARAGE, 2-CAR DRIVEWAY) TOWNHOUSES (32 UNITS W/ 2-CAR GARAGES AND 2-CAR DRIVEWAYS) 2-BEDROOM: 16 UNITS REQUIRED: 2 SPACE / UNIT + 1 SPACE / 10 UNITS FOR VISITORS = 34 SPACES PROVIDED: 4 SPACES / UNIT (EACH UNIT COVERS OWN + VISITOR) = 64 SPACES 4-BEDROOM: 16 UNITS REQUIRED: 4 SPACE / UNIT + 1 SPACE / 10 UNITS FOR VISITORS = 66 SPACES PROVIDED: 4 SPACES / UNIT (EACH UNIT COVERS OWN) + 2 VISITOR SPACES (ON HOA LOT NO. 2) = 66 SPACES BICYCLE PARKING REQUIRED: 1 SPACE / 20 UNITS = 32 UNITS / 20 = 2 SPACES BICYCLE PARKING PROVIDED: 4 SPACES (2 RACKS)



EXISTING PARCEL CURVE TABLE

CURVE #	RADIUS	LENGTH	CHORD LENGTH	CHORD BEARING
C1	999.93'	265.94'	265.16'	N79° 00' 41"W
C2	999.93'	155.19'	155.04'	N66° 23' 13"W

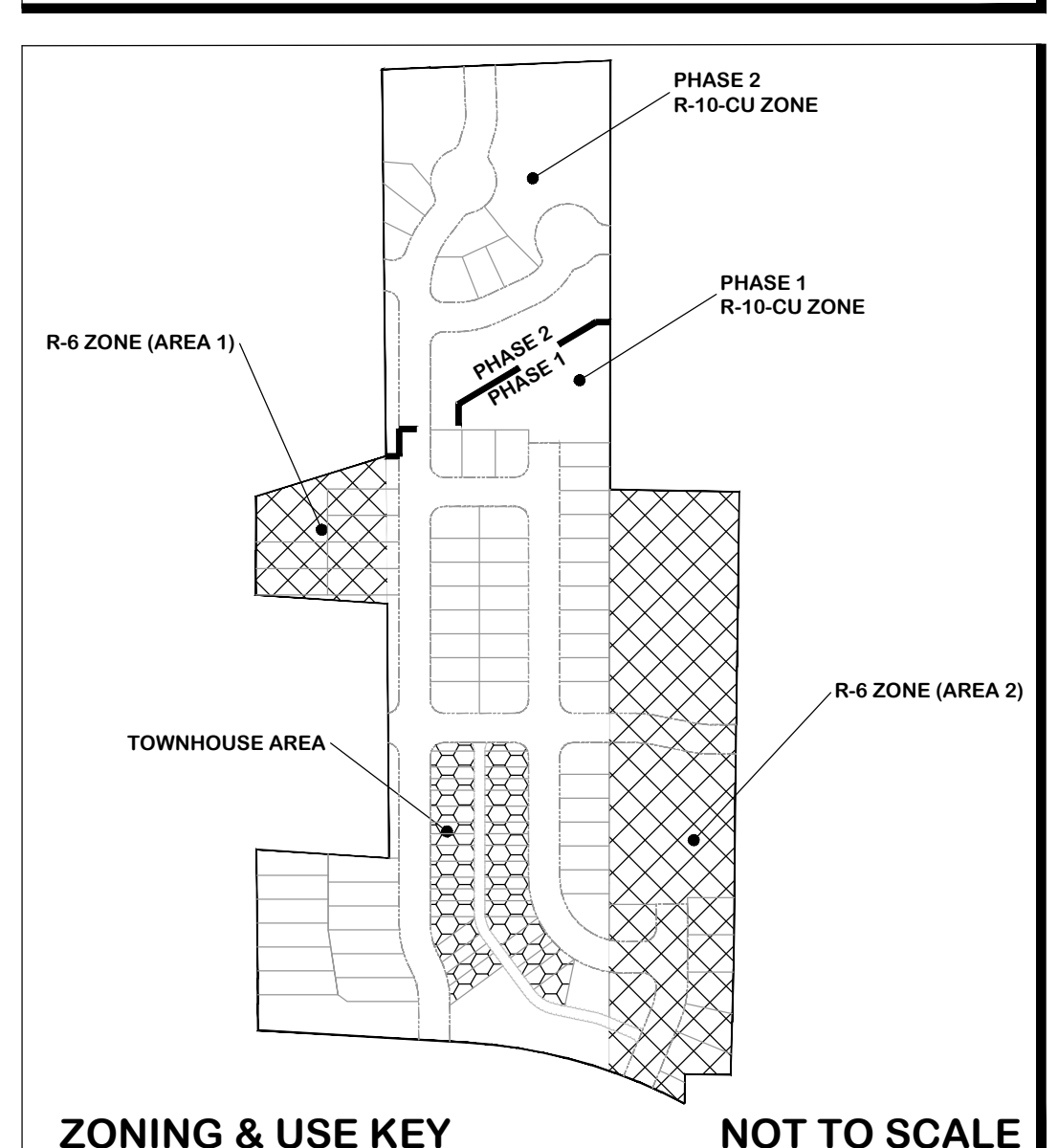
PROPOSED PARCEL CURVE TABLE

CURVE #	RADIUS	LENGTH	CHORD LENGTH	CHORD BEARING
C3	1006.93'	304.22'	303.07'	N77° 58' 32"W
C4	1006.93'	67.04'	67.04'	N64° 03' 18"W

LOT AREAS *

LOT	AREA - SF	LOT	AREA - SF	LOT	AREA - SF
1	6,750	34	5,416	67	3,422
2	6,750	35	5,176	68	2,192
3	6,750	36	5,577	69	2,022
4	6,750	37	5,577	70	2,742
5	6,761	38	4,219	71	2,486
6	6,742	39	4,185	72	1,815
7	6,456	40	4,185	73	1,815
8	6,019	41	4,185	74	2,475
9	6,012	42	4,185	75	2,475
10	5,970	43	4,185	76	1,815
11	6,348	44	4,185	77	1,815
12	6,218	45	4,185	78	2,475
13	6,132	46	5,446	79	2,475
14	6,407	47	5,446	80	1,815
15	6,145	48	4,185	81	1,815
16	6,028	49	4,185	82	3,908
17	6,036	50	4,185	83	3,908
18	5,989	51	4,185	84	1,815
19	5,416	52	4,187	85	1,815
20	4,163	53	6,046	86	2,475
21	4,163	54	6,143	87	2,475
22	4,163	55	6,093	88	1,815
23	4,163	56	6,005	89	1,815
24	4,163	57	6,438	90	2,475
25	4,163	58	9,869	91	2,475
26	5,416	59	9,315	92	1,828
27	5,416	60	8,296	93	1,894
28	4,163	61	6,132	94	2,791
29	4,163	62	4,321	95	2,518
30	4,163	63	5,353	96	1,819
31	4,163	64	7,010	97	1,863
32	4,163	65	4,116	98	2,724
33	4,163	66	5,984		

* NOTE: SEE SHEET C-2.5 FOR HOA LOT AREAS



ROAD ALIGNMENT LINE TABLE

LINE #	LENGTH	DIRECTION
L1	127.54'	N0°00'00"E
L2	1194.31'	N0°00'00"E
L3	98.86'	N17°08'53"E
L4	89.30'	N2°15'15"W
L5	189.18'	N22°21'32"E
L6	151.09'	N0°00'00"E
L7	90.70'	N90°00'00"W
L8	754.91'	N0°00'00"E
L9	107.92'	N67°38'28"W
L10	78.87'	N77°59'51"W
L11	135.88'	N36°35'17"W
L12	347.54'	N0°00'00"E
L16	244.00'	N90°00'00"E
L17	131.72'	N90°00'00"E
L18	91.07'	N65°11'15"E
L19	146.79'	N54°40'12"E

ROAD ALIGNMENT CURVE TABLE

CURVE #	DELTA	LENGTH	CHORD LENGTH	CHORD BEARING
C5	150.00	75.07'	74.29'	N14°20'13"W
C6	150.00	75.07'	74.29'	N14°20'13"W
C7	200.00	145.25'	142.08'	N20°48'19"W
C8	200.00	85.39'	84.74'	N29°22'45"E
C9	100.00	33.86'	33.70'	N7°26'49"E
C10	150.00	58.54'	58.16'	N11°10'46"E
C11	150.00	235.62'	212.13'	N45°00'00"W
C12	75.00	13.56'	13.54'	N72°49'10"W
C13	75.00	54.20'	53.03'	N57°17'34"W
C14	75.00	47.89'	47.08'	N18°17'39"W
C15	148.86	29.03'	28.98'	S84°24'50"E
C17	150.00	4.75'	4.75'	S89°05'35"E
C18	150.00	64.96'	64.45'	N77°35'38"E
C19	150.00	27.53'	27.50'	N59°55'44"E

FOR REVIEW ONLY
NOT FOR CONSTRUCTION

PABST DESIGN GROUP, PA
ENGINEERING & CONSULTING
404-B Glenwood Avenue, Raleigh, North Carolina 27603
Phone: 919.848.4399 | Fax: 919.848.4395 | NC LICENSE NUMBER: C-3211

POOLE SUBDIVISION
RALEIGH, WAKE COUNTY, NORTH CAROLINA
PRELIMINARY SUBDIVISION PLAN
SUBDIVISION LAYOUT PLAN

DATE: 04/01/18
REVISION: 04/01/18
REVISION PER COR COMMENTS: 04/01/18

PROJECT ENGINEER: JPC
PROJECT CAD DESIGNER: SJB
PROJECT SURVEYOR: CJK, GEMMATIS, P.C.

DRAWING SHEET
PROJECT NUMBER
406-18

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ROAD ALIGNMENT CURVE TABLE			
CURVE #	DELTA	LENGTH	CHORD BEARING
C5	150.00	75.07'	74.29'
C6	150.00	75.07'	74.29'
C7	200.00	145.25'	142.08'
C8	200.00	85.39'	84.74'
C9	100.00	33.86'	33.70'
C10	150.00	58.54'	58.16'
C11	150.00	235.62'	212.13'
C12	75.00	13.56'	13.54'
C13	75.00	54.20'	53.03'
C14	75.00	47.89'	47.08'
C15	148.86	29.03'	28.98'
C16	150.00	29.25'	29.20'
C17	150.00	4.75'	4.75'
C18	150.00	64.96'	64.45'
C19	150.00	27.53'	27.50'

ROAD ALIGNMENT LINE TABLE		
LINE #	LENGTH	DIRECTION
L1	127.54'	N0°00'00"E
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L17	131.72'	N90°00'00"E
L18	91.07'	N65°11'15"E
L19	146.79'	N54°40'12"E

TREE CONSERVATION LEGEND:

- PRIMARY TREE CONSERVATION AREA, NEUSE BUFFER ZONE 2 - WOODED
- PRIMARY TREE CONSERVATION AREA, NEUSE BUFFER ZONE 2 - NATURAL REGENERATION AREA
- PRIMARY TREE CONSERVATION AREA, THROUGHFARE
- SECONDARY TREE CONSERVATION AREA

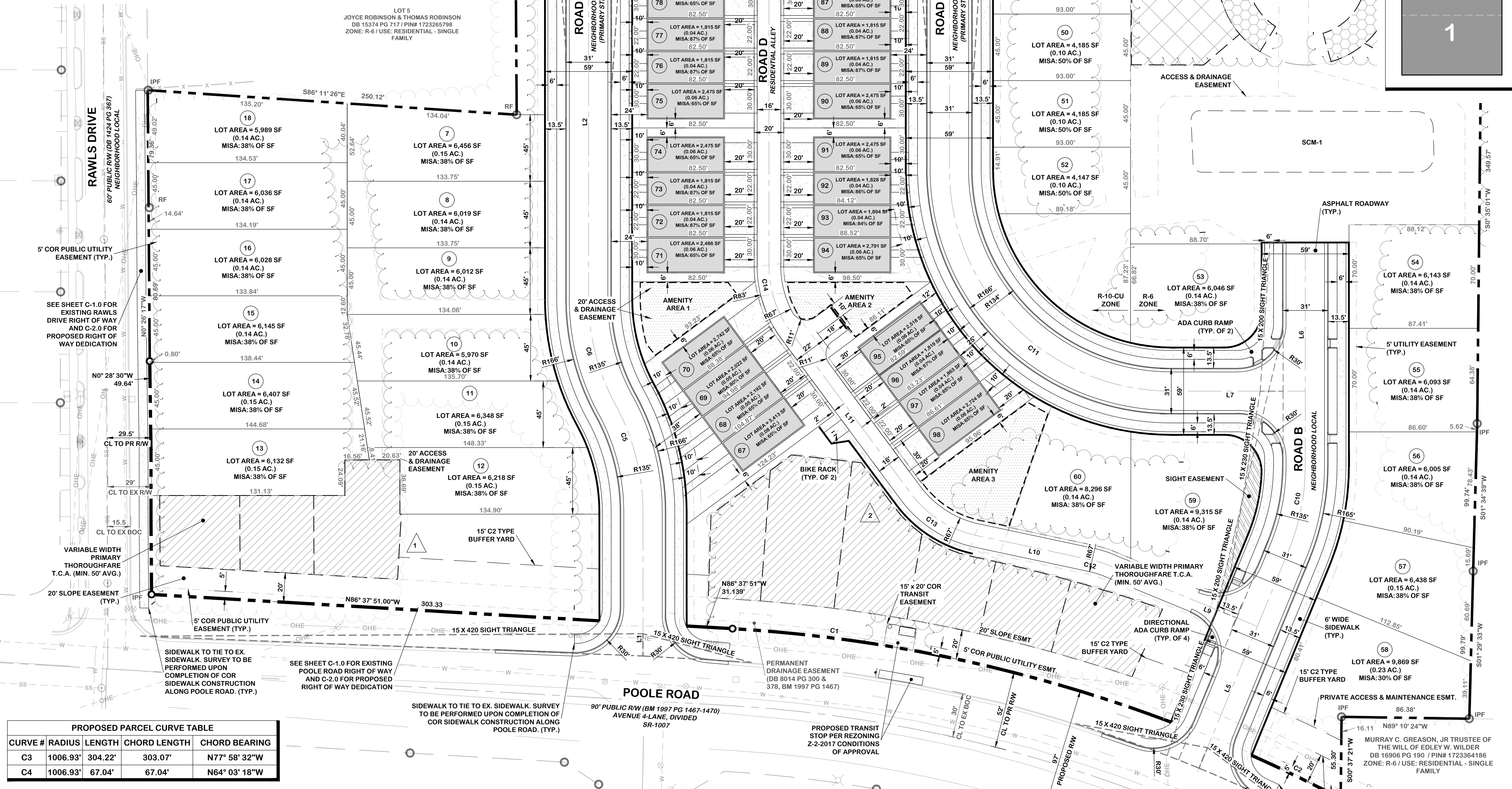
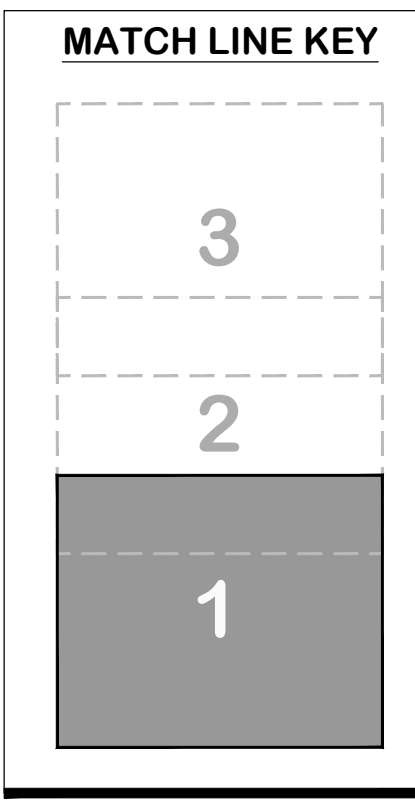
SEE SHEET C-2.2 FOR CONTINUATION

TOWNHOME LOT ELEVATION TABLE				
TOWNHOME BLDG	LOWEST PR BOC	HIGHEST PR BOC	AVERAGE PR BOC	FFE
LOTS 67 - 70	293.53	295.68	294.61	296.61
LOTS 71 - 74	293.39	294.27	293.83	295.83
LOTS 75 - 78	294.43	295.31	294.87	296.87
LOTS 79 - 82	295.47	296.35	295.91	297.91
LOTS 83 - 86	296.51	297.39	296.95	298.95
LOTS 87 - 90	297.55	298.43	297.99	299.99
LOTS 91 - 94	298.59	299.47	299.03	300.03
LOTS 95 - 98	299.63	300.51	300.07	301.07

NOTE: ALL TOWNHOMES WITHIN THE A SINGLE BUILDING TO BE SET AT THE SAME FFE. FFE OF LOTS 83-94 TO MATCH CORRESPONDING LOTS 71-82 FFE (DIRECTLY ACROSS ALLEY).

LEGEND:

- STREAM TOP OF BANK
- STREAM BUFFER
- EXISTING OVERHEAD UTILITY LINES
- EXISTING TREE LINE
- EXISTING EASEMENT
- PROPOSED EASEMENT
- EXISTING FENCE
- PROPOSED LOT NUMBERS
- PROPOSED HOA LOT NUMBERS



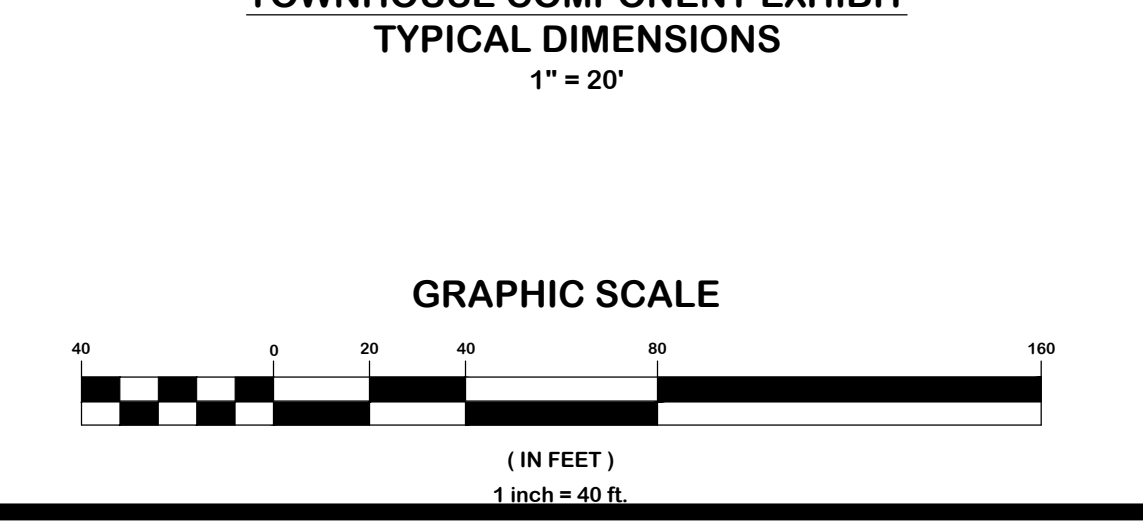
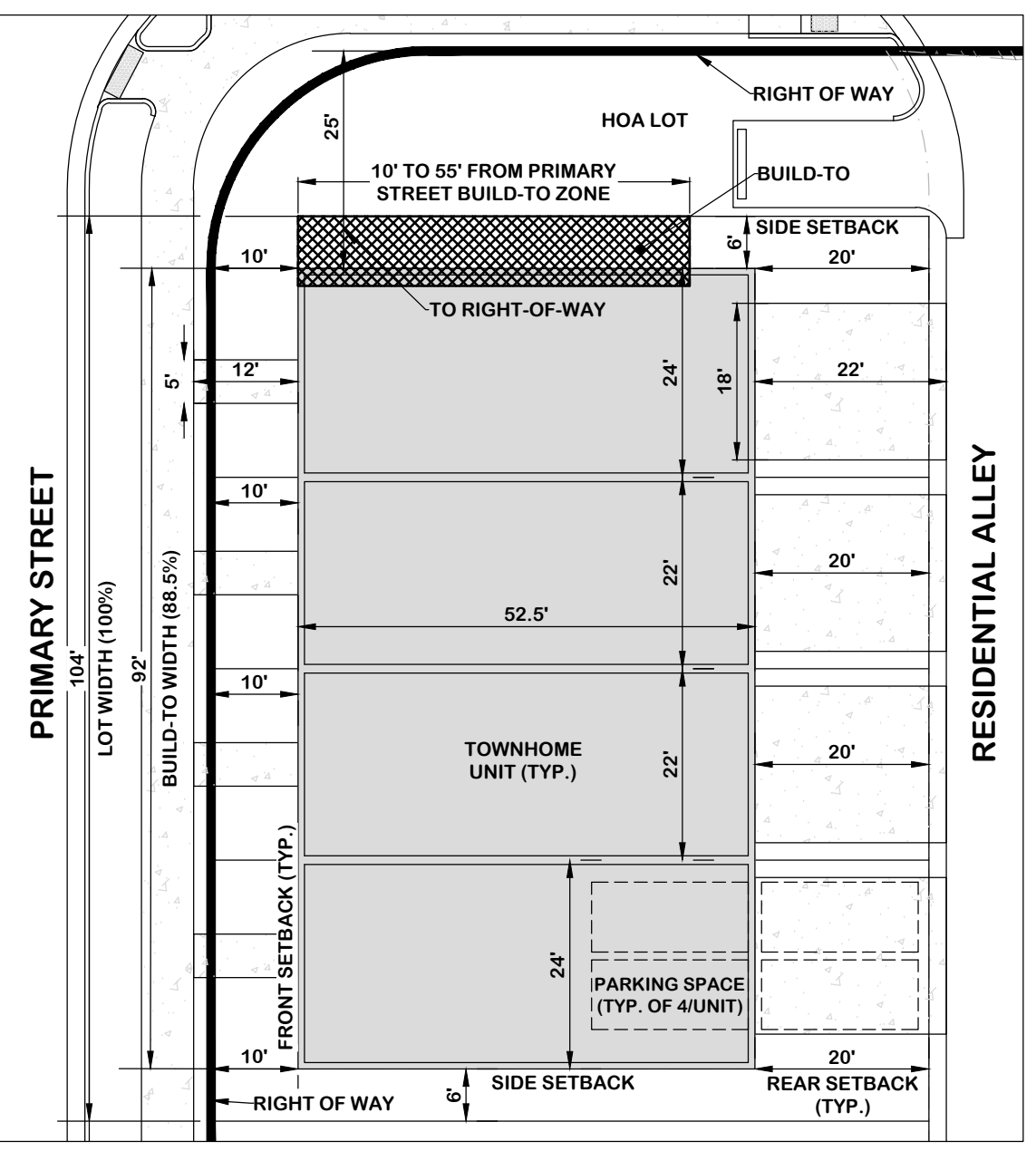
PROPOSED PARCEL CURVE TABLE			
CURVE #	RADIUS	LENGTH	CHORD BEARING
C3	1006.93'	304.22'	303.07'
C4	1006.93'	67.04'	67.04'

CONSTRUCTION NOTES:

- THE CONTRACTOR SHALL CONDUCT THE WORK IN A SAFE MANNER AND WITH A MINIMUM AMOUNT OF INCONVENIENCE TO TRAFFIC.
- THE CONTRACTOR SHALL BE RESPONSIBLE FOR ALL TRAFFIC CONTROL AND SHALL ADHERE TO THE PROVISIONS OF THE MUTCD (MOST CURRENT EDITION).
- NO WORK OR BLOCKAGE OF EXISTING THROUGH TRAFFIC LANES SHALL OCCUR DURING THE TRAFFIC HOURS OF 7AM - 9AM AND 4PM - 6PM, MONDAY THROUGH FRIDAY. THE CONTRACTOR MUST OBTAIN A LANE-CLOSURE PERMIT FOR ANY WORK WHICH REQUIRES THE CLOSURE OF A TRAVEL LANE. PLEASE CONTACT THE CITY PUBLIC WORKS DEPARTMENT - TRANSPORTATION OPERATIONS DIVISION AT (919) 996-3030 FOR LANE CLOSURES AT LEAST 48 HOURS IN ADVANCE AND FOR STREET CLOSURES, AT LEAST 2 WEEKS IN ADVANCE. PROVIDE EXACT LOCATION, CROSS STREET, DATES FOR LANE CLOSURE, CONTACT PERSON AND CROSS NUMBER.
- PRIOR TO CONSTRUCTION BEGINNING, ALL SIGNAGE AND TRAFFIC CONTROL SHALL BE IN PLACE.
- THE CONTRACTOR SHALL HAVE A COMPLETE SET OF CONTRACT DOCUMENTS AS WELL AS ALL APPROVALS AND EASEMENTS ON THE JOB SITE AT ALL TIMES.
- THE CONTRACTOR SHALL REPAIR ALL DRIVEWAYS, DRIVEWAY PIPES, CURB AND GUTTER, SIDEWALKS AND STREETS TO EXISTING CONDITION OR BETTER.
- ALL SIDEWALKS MUST BE ACCESSIBLE TO PERSONS WHO ARE BLIND, HAVE LOW VISION AND PEOPLE WITH MOBILITY DISABILITIES. PEDESTRIAN EXISTING ROUTES AND ALTERNATE PEDESTRIAN ROUTES DURING CONSTRUCTION WILL BE REQUIRED TO BE COMPLIANT WITH THE PUBLIC RIGHTS OF WAY ACCESSIBILITY GUIDELINES (PROWAG), 2010 ADA STANDARDS FOR ACCESSIBLE DESIGN AND THE MANUAL ON UNIFORM TRAFFIC CONTROL DEVICES (MUTCD).

LAYOUT NOTES

- ALL CONSTRUCTION SHALL BE DONE IN ACCORDANCE WITH ALL CITY OF RALEIGH AND NCDOT STANDARDS AND SPECIFICATIONS.
- ALL DIMENSIONS ARE TO EDGE OF PAVEMENT, EDGE OF SIDEWALK, FACE OF CURB, CENTERLINE OF COLUMN AND FACE OF BUILDING WALL, UNLESS OTHERWISE NOTED. ALL RADII DIMENSIONS TO BACK OF CURB.
- ALL PAINT STRIPING, PAVEMENT MARKINGS, AND SIGNAGE SHALL CONFORM TO THE "MANUAL ON UNIFORM TRAFFIC CONTROL DEVICES" OR AS REQUIRED IN SPECIFICATIONS.
- VERIFY ALL SETBACKS WITH LOCAL CODES.
- A SEPARATE PERMIT AND APPROVAL IS REQUIRED FOR SIGNS.
- WALLS GREATER THAN 4' IN HEIGHT WILL REQUIRE ENGINEERING DESIGN APPROVAL AT CONSTRUCTION DRAWING REVIEW AS WELL AS A BUILDING PERMIT.
- ALL CURB RAMPS SHALL HAVE A DETECTABLE WARNING COMPLYING WITH SECTIONS 4.7.7 AND 4.29.2 OF THE ADA ACCESSIBILITY GUIDELINES (ADAAG).
- CONTRACTOR SHALL PROVIDE ALL LABOR AND MATERIALS FOR THE INSTALLATION OF TRAFFIC SIGNAGE AND PAVEMENT MARKINGS AS SHOWN ON THE CONSTRUCTION PLANS.
- CONTRACTOR SHALL REFER TO OTHER PLANS WITHIN THIS CONSTRUCTION SET FOR OTHER PERTINENT INFORMATION.
- DETECTABLE WARNINGS ARE REQUIRED AT ANY CROSSWALK, OR ISLAND CUT THRU, WHERE THERE IS NO CHANGE IN ELEVATION (I.E. RAMP NOT PROVIDED).
- ALL HVAC UNITS MUST BE SCREENED FROM THE PUBLIC ROW.
- AS A CONDITION OF Z-2-2017 A SHELTER, BENCH, TRASH RECEPTACLE, AND CONCRETE PAD SHALL BE INSTALLED PER COR STANDARD DETAILS. SEE SHEET D-1.0 FOR TRANSIT DETAILS.



PABST DESIGN GROUP, PA
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POOLE SUBDIVISION
 RALEIGH, WAKE COUNTY, NORTH CAROLINA
 PRELIMINARY SUBDIVISION PLANS
 SITE LAYOUT PLAN

NO.	DATE	REVISION
1	04/01/18	ISSUED PER COR COR
2	04/01/18	REVISED PER COR COMMENTS
3	04/01/18	REVISED PER COR COMMENTS

PREPARED FOR: BECKER INTEREST GROUP, INC.
 2432 OXFORD ROAD
 RALEIGH, NC 27608
 PROJECT ENGINEER: JRC
 PROJECT CADD DESIGNER: SJB
 PROJECT SURVEYOR: CHC, GEOMETRICS, P.C.

DRAWING SHEET

C-2.1

PROJECT NUMBER
406-18

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**FOR REVIEW ONLY
NOT FOR CONSTRUCTION**

TREE CONSERVATION LEGEND:

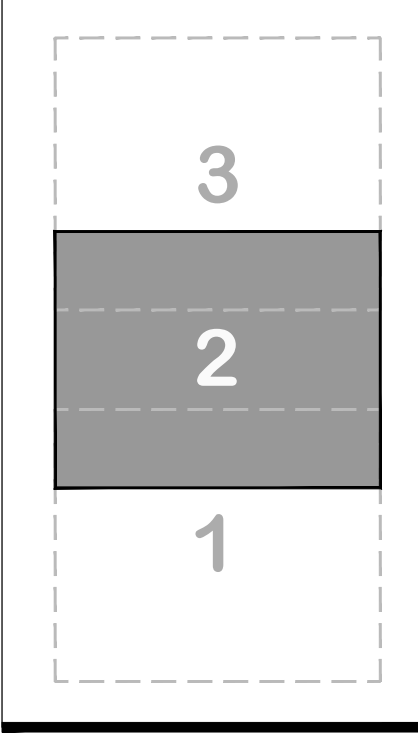
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- SECONDARY TREE CONSERVATION AREA

LEGEND:

- STREAM TOP OF BANK
- STREAM BUFFER
- EXISTING OVERHEAD UTILITY LINES
- EXISTING TREE LINE
- PROPOSED TREE LINE
- EXISTING EASEMENT
- PROPOSED EASEMENT
- EXISTING FENCE
- EXISTING WATER LINE
- EXISTING SANITARY SEWER
- EXISTING STORM DRAIN
- PHASE LINE
- PROPOSED LOT NUMBERS
- PROPOSED HOA LOT NUMBERS

SEE SHEET C-2.3 FOR CONTINUATION

MATCH LINE KEY



ROAD ALIGNMENT LINE TABLE

LINE #	LENGTH	DIRECTION
L1	127.54'	N0°00'00"E
L2	1194.31'	N0°00'00"E
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LAYOUT NOTES

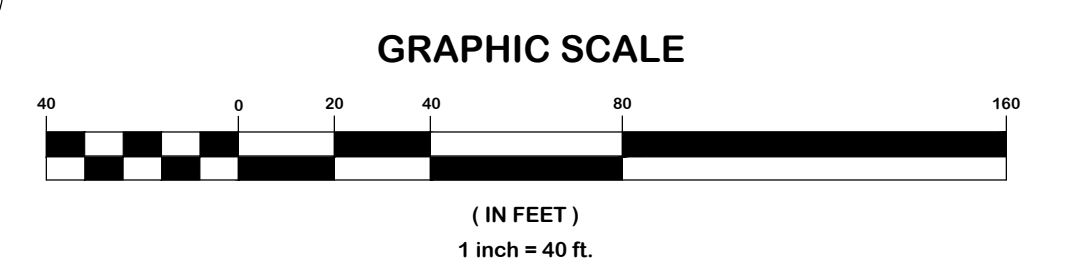
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- ALL CURB RAMPS SHALL HAVE A DETECTABLE WARNING COMPLYING WITH SECTIONS 4.7.7 AND 4.29.2 OF THE ADA ACCESSIBILITY GUIDELINES (ADAAG).
- CONTRACTOR SHALL PROVIDE ALL LABOR AND MATERIALS FOR THE INSTALLATION OF TRAFFIC SIGNAGE AND PAVEMENT MARKINGS AS SHOWN ON THE CONSTRUCTION PLANS.
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CONSTRUCTION NOTES:

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ROAD ALIGNMENT CURVE TABLE

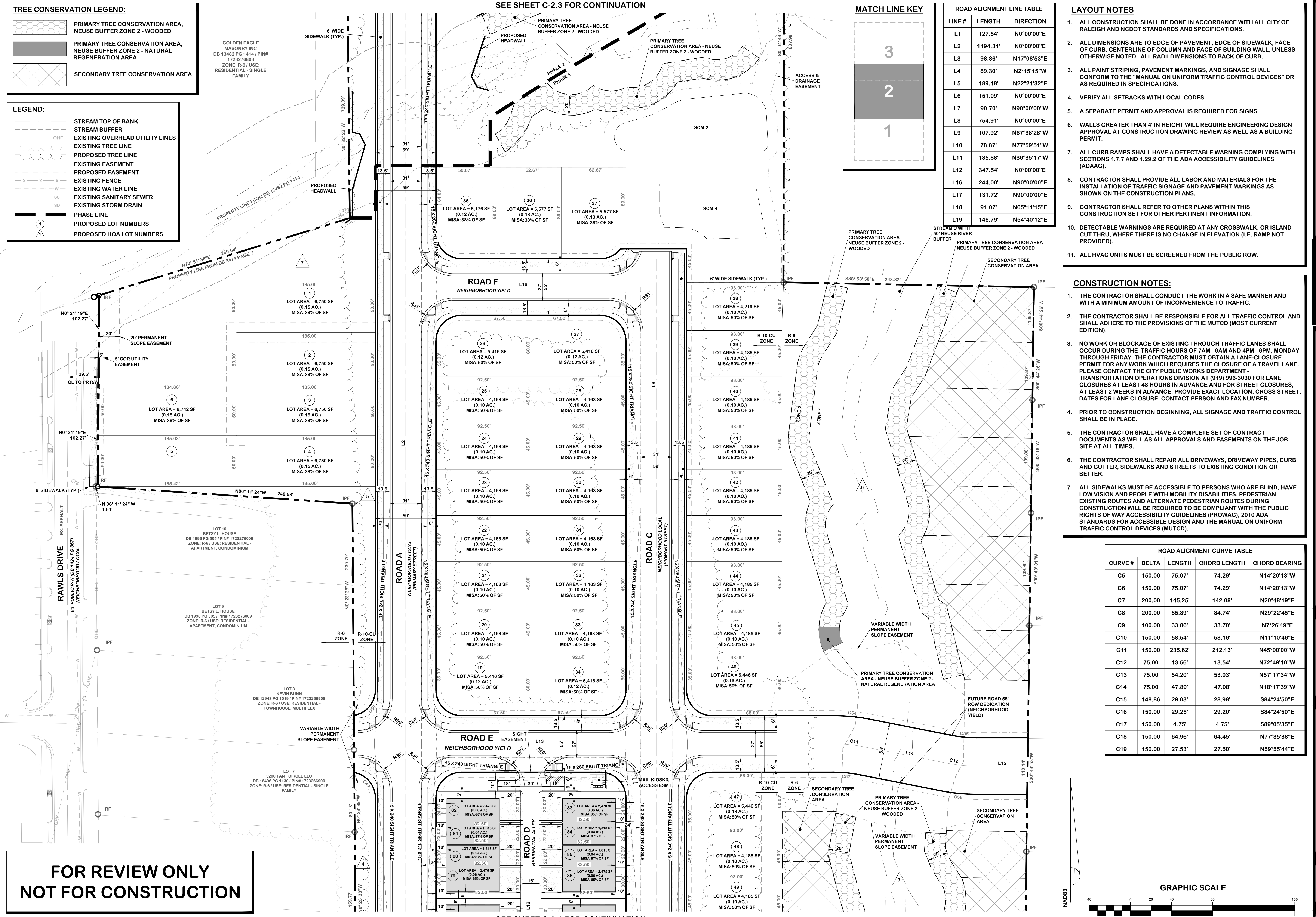
CURVE #	DELTA	LENGTH	CHORD LENGTH	CHORD BEARING
C5	150.00'	75.07'	74.29'	N14°20'13"W
C6	150.00'	75.07'	74.29'	N14°20'13"W
C7	200.00'	145.25'	142.08'	N20°48'19"E
C8	200.00'	85.39'	84.74'	N29°22'45"E
C9	100.00'	33.86'	33.70'	N7°26'49"E
C10	150.00'	58.54'	58.16'	N11°10'46"E
C11	150.00'	235.62'	212.13'	N45°00'00"W
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C13	75.00'	54.20'	53.03'	N57°17'34"W
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SEE SHEET C-2.1 FOR CONTINUATION

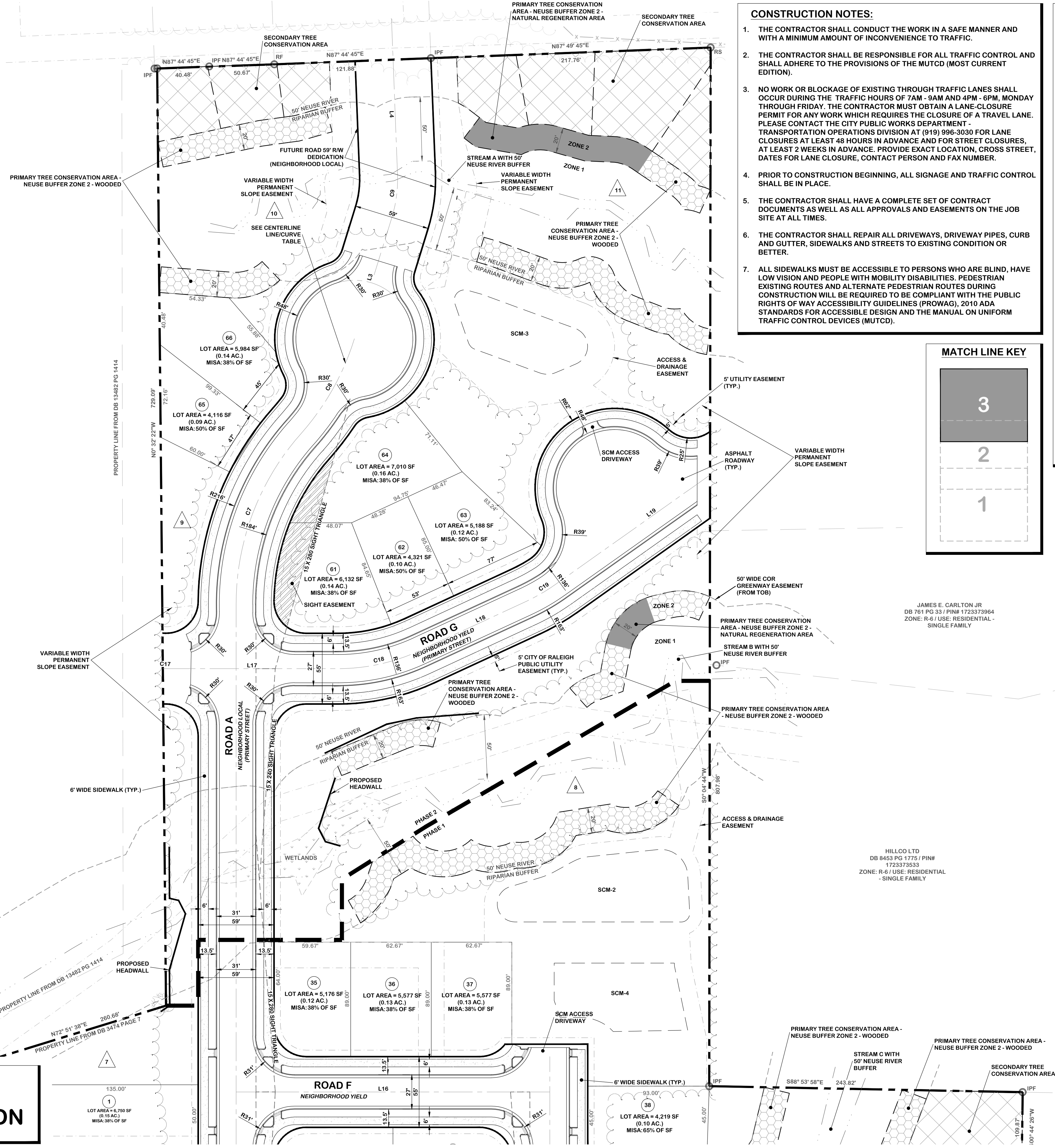


E:\Public\Projects\400-495\406-18_Poole Road Subdivision (Becker, Interest Group, Inc.)\CADD\Drawings\4-Design\C-2.2.dwg, Apr. 05, 2019 - 10:09am, BJT:rlbrk

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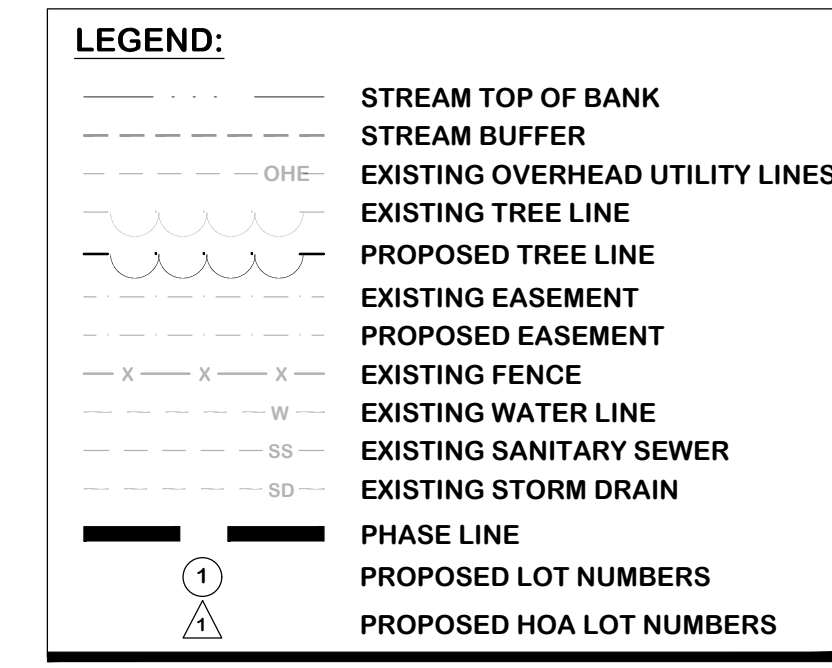
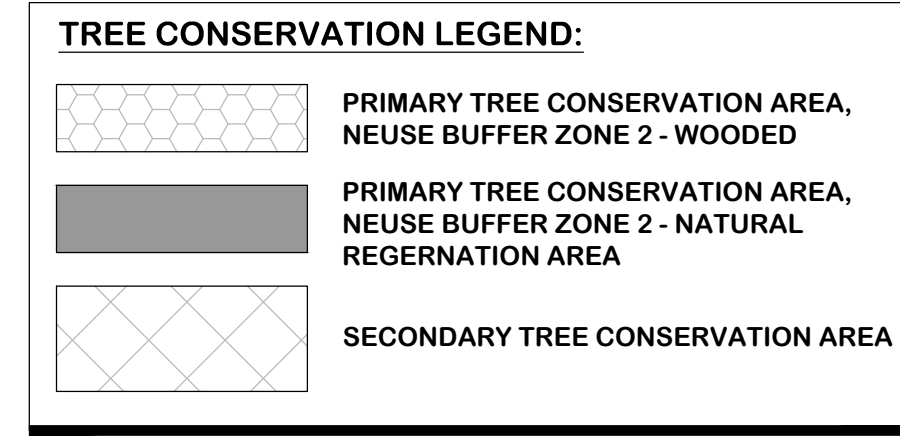
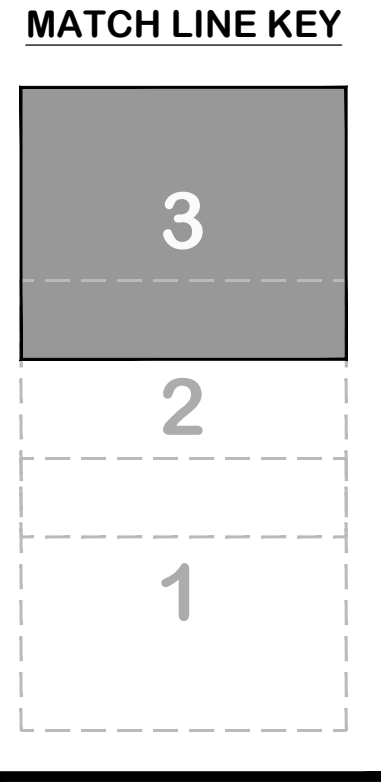
ROAD ALIGNMENT LINE TABLE		
LINE #	LENGTH	DIRECTION
L1	127.54'	N0°00'00"E
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L19	146.79'	N54°40'12"E

GOLDEN EAGLE MASONRY INC
DB 13482 PG 1414 / PIN# 1723276803
ZONE: R-6 / USE: RESIDENTIAL - SINGLE FAMILY



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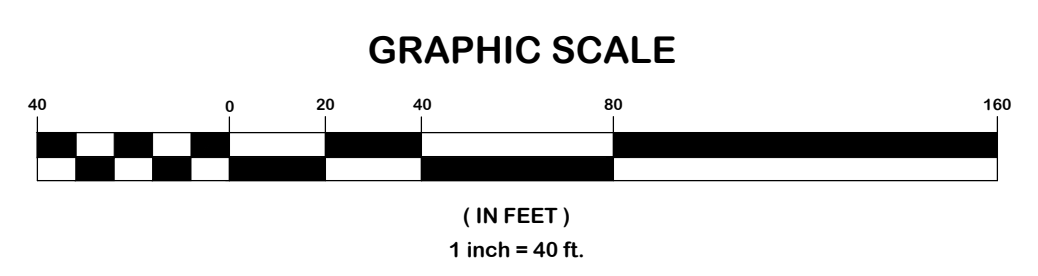
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 - ALL NEIGHBORHOOD YIELD STREETS TO BE 55' RW, 27' B-B WITH 6' WIDE SIDEWALK 6' OF BOC, PER COR STANDARD DETAIL T-10.11.
 - ALL RESIDENTIAL ALLEYS TO BE IN 20' EASEMENT WITH 16' TRAVEL LANE, PER COR STANDARD DETAIL T-10.22.
 - ALL SIDEWALKS TO BE LOCATED 6' OFF BOC AND 2' WITHIN ROW.
 - SEE PLAN SHEET C-2.4 FOR PHASING PLAN.
 - SEE PLAN SHEET C-2.5 FOR ALL EASEMENTS AND RW DEDICATION FOR PLATTING PURPOSES.



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SEE SHEET C-2.2 FOR CONTINUATION



REVISED FOR	DATE	REVISION
ADDED PER COR COMMENTS	03/07/18	1
REVISED PER COR COMMENTS	03/07/18	2
REVISED PER COR COMMENTS	04/09/18	3

DATE	REVISION
03/07/18	1
03/07/18	2
04/09/18	3

DRAWING SHEET
C-2.3
PROJECT NUMBER
406-18

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RESIDENTIAL LOT COMPLIANCE TABLE							
LOT	GOVERNING ZONE	MIN AREA (SF)	PR AREA (SF)	LOT	GOVERNING ZONE	MIN AREA (SF)	PR AREA (SF)
1	R-6	6,000	6,750	50	R-10	4,000	4,185
2	R-6	6,000	6,750	51	R-10	4,000	4,185
3	R-6	6,000	6,750	52	R-10	4,000	4,187
4	R-6	6,000	6,750	53	R-6	6,000	6,046
5	R-6	6,000	6,761	54	R-6	6,000	6,143
6	R-10	4,000	6,742	55	R-6	6,000	6,093
7	R-10	4,000	6,456	56	R-6	6,000	6,005
8	R-10	4,000	6,019	57	R-6	6,000	6,438
9	R-10	4,000	6,012	58	R-6	6,000	9,869
10	R-10	4,000	5,970	59	R-6	6,000	9,315
11	R-10	4,000	6,348	60	R-10	4,000	8,296
12	R-10	4,000	6,218	61	R-10	4,000	6,132
13	R-10	4,000	6,132	62	R-10	4,000	4,321
14	R-10	4,000	6,407	63	R-10	4,000	5,353
15	R-10	4,000	6,145	64	R-10	4,000	7,010
16	R-10	4,000	6,028	65	R-10	4,000	4,116
17	R-10	4,000	6,036	66	R-10	4,000	5,984
18	R-10	4,000	5,989	67	R-10	N/A*	3,422
19	R-10	4,000	5,416	68	R-10	N/A*	2,192
20	R-10	4,000	4,163	69	R-10	N/A*	2,022
21	R-10	4,000	4,163	70	R-10	N/A*	2,742
22	R-10	4,000	4,163	71	R-10	N/A*	2,486
23	R-10	4,000	4,163	72	R-10	N/A*	1,815
24	R-10	4,000	4,163	73	R-10	N/A*	1,815
25	R-10	4,000	4,163	74	R-10	N/A*	2,475
26	R-10	4,000	5,416	75	R-10	N/A*	2,475
27	R-10	4,000	5,416	76	R-10	N/A*	1,815
28	R-10	4,000	4,163	77	R-10	N/A*	1,815
29	R-10	4,000	4,163	78	R-10	N/A*	2,475
30	R-10	4,000	4,163	79	R-10	N/A*	2,475
31	R-10	4,000	4,163	80	R-10	N/A*	1,815
32	R-10	4,000	4,163	81	R-10	N/A*	1,815
33	R-10	4,000	4,163	82	R-10	N/A*	3,908
34	R-10	4,000	5,416	83	R-10	N/A*	3,908
35	R-10	4,000	5,176	84	R-10	N/A*	1,815
36	R-10	4,000	5,577	85	R-10	N/A*	1,815
37	R-10	4,000	5,577	86	R-10	N/A*	2,475
38	R-10	4,000	4,219	87	R-10	N/A*	2,475
39	R-10	4,000	4,185	88	R-10	N/A*	1,815
40	R-10	4,000	4,185	89	R-10	N/A*	1,815
41	R-10	4,000	4,185	90	R-10	N/A*	2,475
42	R-10	4,000	4,185	91	R-10	N/A*	2,475
43	R-10	4,000	4,185	92	R-10	N/A*	1,828
44	R-10	4,000	4,185	93	R-10	N/A*	1,894
45	R-10	4,000	4,185	94	R-10	N/A*	2,791
46	R-10	4,000	5,446	95	R-10	N/A*	2,518
47	R-10	4,000	5,446	96	R-10	N/A*	1,819
48	R-10	4,000	4,185	97	R-10	N/A*	1,863
49	R-10	4,000	4,185	98	R-10	N/A*	2,724

* NOTE: TOWNHOME LOTS WITHIN THE R-10 ZONE DO NOT HAVE A MINIMUM LOT AREA STANDARD. EACH TOWNHOME LOT (67-98) MEETS THE MINIMUM WIDTH REQUIREMENT OF 16' AS DEMONSTRATED ON SHEET C-2.1.

HOA LOT COMPLIANCE					
LOT	GOVERNING ZONE	MIN AREA (SF)	PR AREA (SF)	MIN WIDTH (FT)	PR WIDTH (FT)
1	R-10	4,000	22,154	45	68
2	R-6	6,000	57,320	50	50
3	R-6	6,000	74,044	50	117
4	R-10	4,000	4,192	45	193
5	R-6	6,000	6,761	50	198
6	R-6	6,000	104,305	50	240
7	R-6	6,000	26,798	50	87
8	R-10	4,000	94,200	45	64
9	R-10	4,000	4,961	45	110
10	R-10	4,000	27,262	45	225
11	R-10	4,000	66,583	45	158

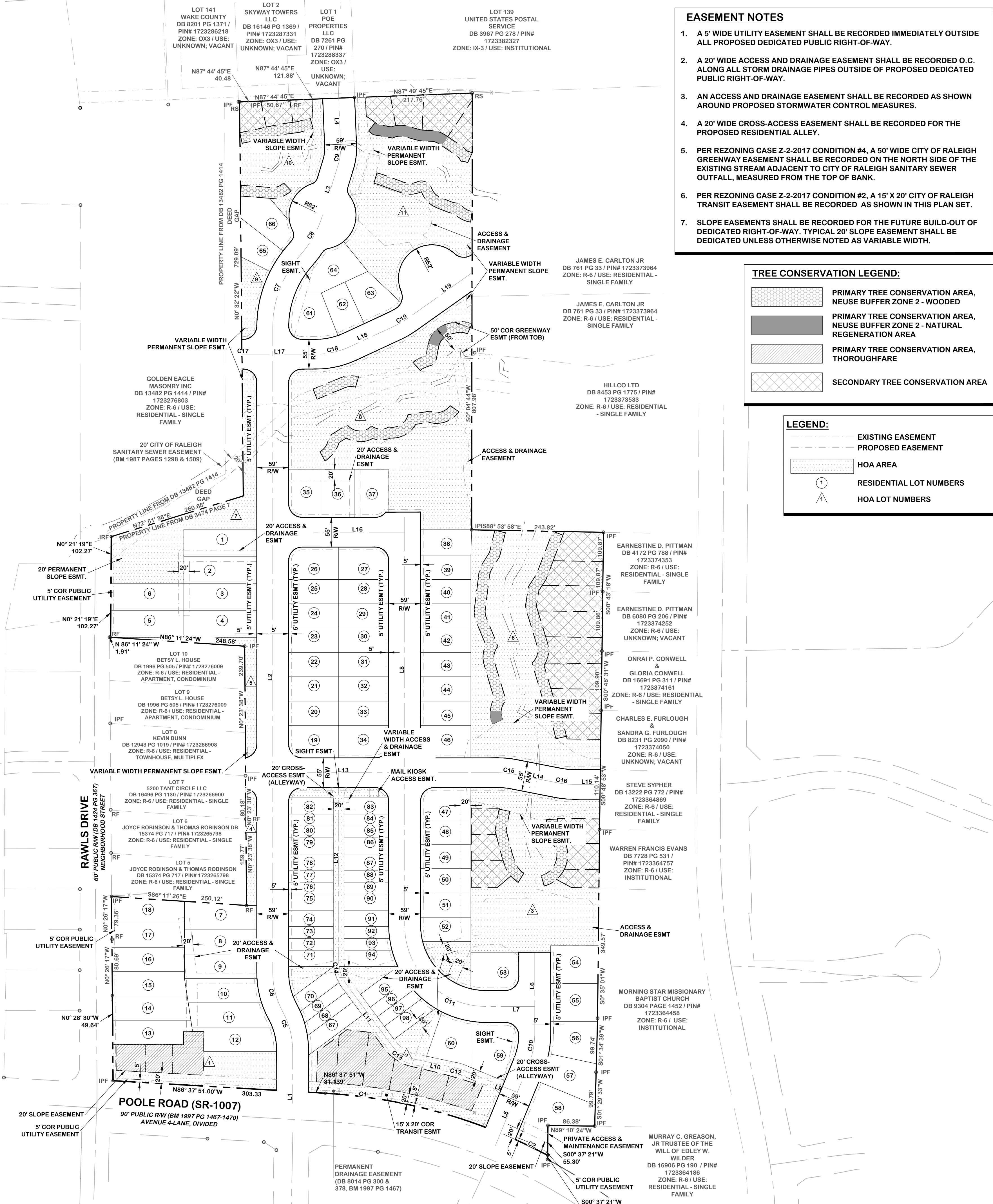
NOTE: DIMENSIONAL STANDARDS FOR HOA LOTS ARE THOSE FOR OPEN LOTS PER UDO 2.2.6, USING THE MOST RESTRICTIVE ZONING STANDARDS IF THE LOT IS SPLIT ZONED. SEE ZONING & USE KEY THIS SHEET FOR MORE INFORMATION.

PROPOSED PARCEL CURVE TABLE				
CURVE #	RADIUS	LENGTH	CHORD LENGTH	CHORD BEARING
C3	1006.93'	304.22'	303.07'	N77° 58' 32"W
C4	1006.93'	67.04'	67.04'	N64° 03' 18"W

LOT TOTALS		
TYPE	NUMBER OF LOTS	
SINGLE FAMILY DETACHED	66	
TOWNHOMES	32	
HOA	11	

**FOR REVIEW ONLY
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NOTE: THIS SHEET IS PROVIDED FOR EASE OF FUTURE PLANNING AND DEMONSTRATION OF LOT COMPLIANCE.



EASEMENT NOTES

- A 5' WIDE UTILITY EASEMENT SHALL BE RECORDED IMMEDIATELY OUTSIDE ALL PROPOSED DEDICATED PUBLIC RIGHT-OF-WAY.
- A 20' WIDE ACCESS AND DRAINAGE EASEMENT SHALL BE RECORDED O.C. ALONG ALL STORM DRAINAGE PIPES OUTSIDE OF PROPOSED DEDICATED PUBLIC RIGHT-OF-WAY.
- AN ACCESS AND DRAINAGE EASEMENT SHALL BE RECORDED AS SHOWN AROUND PROPOSED STORMWATER CONTROL MEASURES.
- A 20' WIDE CROSS-ACCESS EASEMENT SHALL BE RECORDED FOR THE PROPOSED RESIDENTIAL ALLEY.
- PER REZONING CASE Z-2-2017 CONDITION #4, A 50' WIDE CITY OF RALEIGH GREENWAY EASEMENT SHALL BE RECORDED ON THE NORTH SIDE OF THE EXISTING STREAM ADJACENT TO CITY OF RALEIGH SANITARY SEWER OUTFALL, MEASURED FROM THE TOP OF BANK.
- PER REZONING CASE Z-2-2017 CONDITION #2, A 15' X 20' CITY OF RALEIGH TRANSIT EASEMENT SHALL BE RECORDED AS SHOWN IN THIS PLAN SET.
- SLOPE EASEMENTS SHALL BE RECORDED FOR THE FUTURE BUILD-OUT OF DEDICATED RIGHT-OF-WAY. TYPICAL 20' SLOPE EASEMENT SHALL BE DEDICATED UNLESS OTHERWISE NOTED AS VARIABLE WIDTH.

TREE CONSERVATION LEGEND:

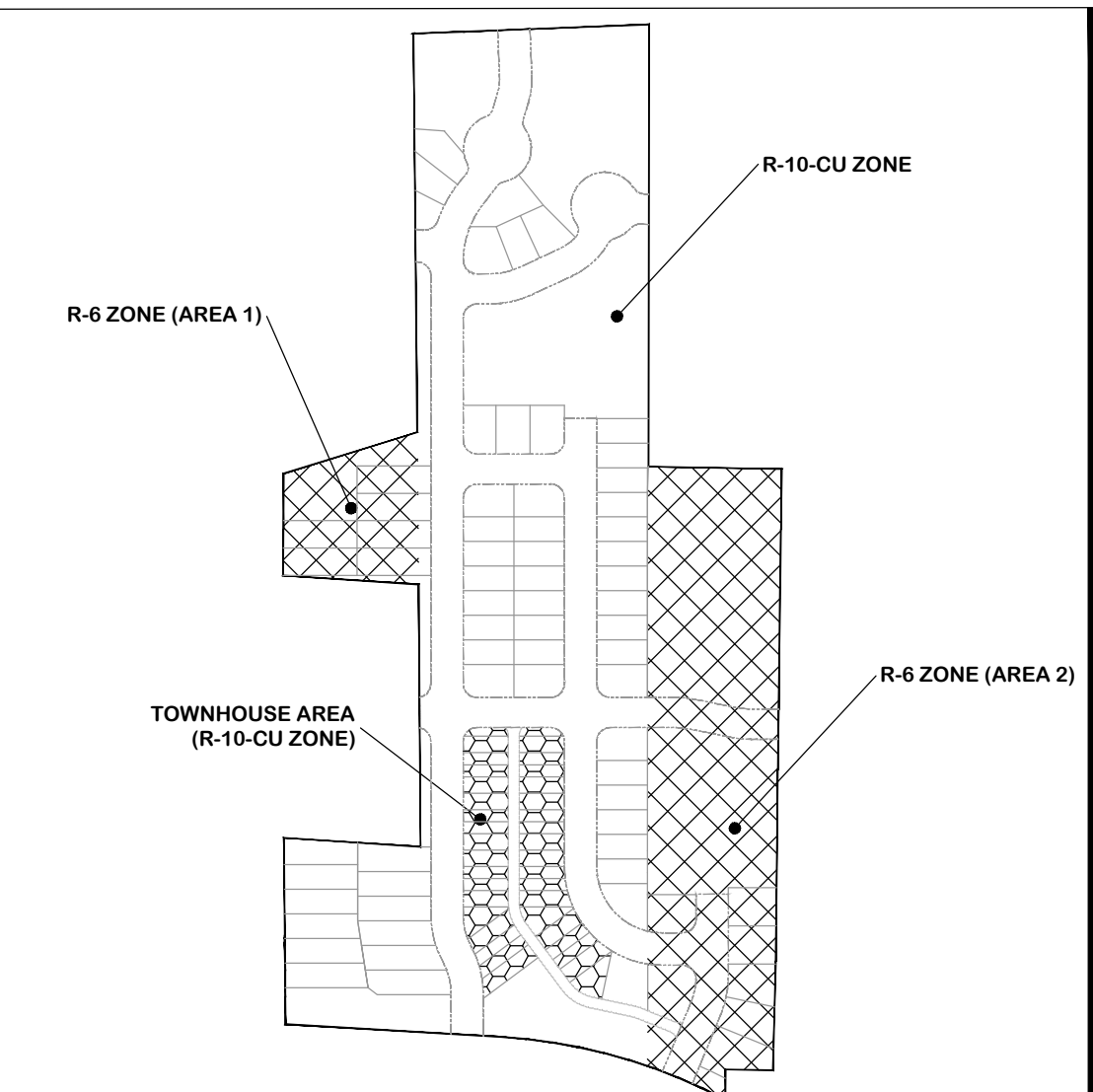
- PRIMARY TREE CONSERVATION AREA, NEUSE BUFFER ZONE 2 - WOODED
- PRIMARY TREE CONSERVATION AREA, NEUSE BUFFER ZONE 2 - NATURAL REGENERATION AREA
- PRIMARY TREE CONSERVATION AREA, THOROUGHFARE
- SECONDARY TREE CONSERVATION AREA

LEGEND:

- EXISTING EASEMENT
- PROPOSED EASEMENT
- HOA AREA
- RESIDENTIAL LOT NUMBERS
- HOA LOT NUMBERS

PUBLIC ROADWAY NOTES

- ALL NEIGHBORHOOD LOCAL STREETS TO BE 59' RW, 31' B-B WITH 6' WIDE SIDEWALK 6' OF BOC, PER COR STANDARD DETAIL T-10.11.
- ALL NEIGHBORHOOD YIELD STREETS TO BE 55' RW, 27' B-B WITH 6' WIDE SIDEWALK 6' OF BOC, PER COR STANDARD DETAIL T-10.11.
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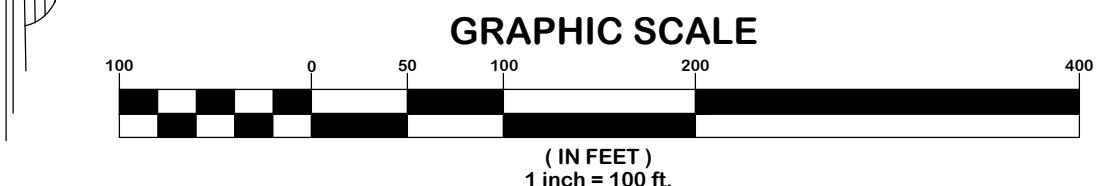
ZONING & USE KEY NOT TO SCALE

ROAD ALIGNMENT CURVE TABLE

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L16	244.00'	N90°00'00"E
L17	131.72'	N90°00'00"E
L18	91.07'	N65°11'15"E
L19	146.79'	N54°40'12"E



PABST DESIGN GROUP, PA
ENGINEERING & CONSULTING
404-B Glenwood Avenue, Raleigh, North Carolina 27603
Phone: 919.848.4399 | Fax: 919.848.4395 | NC LICENSE NUMBER: C-3211

POOLE SUBDIVISION
RALEIGH, WAKE COUNTY, NORTH CAROLINA
PRELIMINARY SUBDIVISION PLAN
SITE LAYOUT PLATTING PLAN

NO.	DATE	REVISION
1	03/07/19	ADDED PER COR COMMENTS
2	04/05/19	REVISED PER COR COMMENTS
3	04/05/19	REVISED PER COR COMMENTS

PREPARED FOR: BECKER INTEREST GROUP, INC.
DATE: 11/09/2018
PROJECT ENGINEER: JRC
PROJECT CADD DESIGNER: S4B
PROJECT SURVEYOR: CMC, GEOMATICS, P.C.

DRAWING SHEET
C-2.5
PROJECT NUMBER
406-18

F:\Public\10-Projects\400-499\406-18_Poole_Road_Subdivision\Becker_Interest_Group\10-Drawing\14-Design\C-2.5.dwg Apr 05, 2019 - 10:20am Bjt: elbrck

LEGEND:

- STREAM TOP OF BANK
- STREAM BUFFER
- OHE- EXISTING OVERHEAD UTILITY LINES
- EXISTING EASEMENT
- W- PROPOSED WATER LINE
- SS- EXISTING SANITARY SEWER
- SD- EXISTING STORM DRAIN
- W- PROPOSED WATER MAIN
- W- PROPOSED WATER SERVICE
- SS- PROPOSED SEWER MAIN
- SS- PROPOSED SEWER SERVICE
- SD- PROPOSED STORM DRAIN
- PHASE LINE
- PROPOSED FIRE HYDRANT
- PROPOSED TEE
- PROPOSED THRUST BLOCK
- PROPOSED WATER VALVE
- PROPOSED WATER METER
- PROPOSED SS MANHOLE
- PROPOSED SS CLEANOUT
- PROPOSED SS MANHOLE
- PROPOSED YARD INLET
- PROPOSED CATCH BASIN
- PROPOSED FLARED END SECTION

- GENERAL NOTES:**
- ALL UTILITY WORK SHALL BE DONE IN ACCORDANCE WITH THE PLANS PREPARED BY PABST DESIGN GROUP, PA, THE CURRENT REQUIREMENTS OF THE CITY OF RALEIGH, AND ALL OTHER PERTINENT FEDERAL AND STATE LAWS.
 - THE CONTRACTOR SHALL COMPLY AT ALL TIMES WITH APPLICABLE FEDERAL, STATE AND LOCAL LAWS, PROVISIONS, AND POLICIES GOVERNING SAFETY AND HEALTH, INCLUDING THE FEDERAL CONSTRUCTION SAFETY ACT (PUBLIC LAW 91-54), FEDERAL REGISTER, CHAPTER XVII, PART 1926 OF TITLE 29 REGULATIONS, OCCUPATIONAL SAFETY AND HEALTH REGULATIONS FOR CONSTRUCTION, AND SUBSEQUENT PUBLICATIONS UPDATING THESE REGULATIONS.
 - THE CONTRACTOR SHALL BE RESPONSIBLE FOR EXAMINING THE AREAS AND CONDITIONS UNDER WHICH THE PROJECT IS TO BE CONSTRUCTED PRIOR TO THE SUBMISSION OF A BID. SUBMISSION OF A BID SHALL BE CONSTRUED TO MEAN THE CONTRACTOR HAS REVIEWED THE SITE AND IS FAMILIAR WITH CONDITIONS AND CONSTRAINTS OF THE SITE.
 - BEFORE EXCAVATION, ALL UNDERGROUND UTILITIES SHALL BE LOCATED IN THE FIELD BY THE PROPER AUTHORITIES. THE CONTRACTOR SHALL NOTIFY N.C. "ONE CALL" AT 1-800-632-4949. THE LOCATION OF ALL UTILITIES AND UNDERGROUND STRUCTURES ARE APPROXIMATE AND MAY NOT ALL BE SHOWN. IT IS THE RESPONSIBILITY OF THE CONTRACTOR TO DETERMINE THE EXISTENCE AND EXACT LOCATION OF ALL UTILITIES AND UNDERGROUND STRUCTURES.
 - IT IS THE RESPONSIBILITY OF THE CONTRACTOR TO BID AND PERFORM ALL UTILITY WORK IN COMPLIANCE TO ALL APPLICABLE LOCAL AND STATE CODES AND REGULATIONS.
 - THE CONTRACTOR SHALL BE RESPONSIBLE FOR ALL FEES ASSOCIATED WITH THE INSTALLATION, INSPECTING, TESTING AND FINAL ACCEPTANCE OF ALL PROPOSED UTILITIES CONSTRUCTION.
 - CONTRACTOR SHALL COORDINATE WITH THE APPROPRIATE UTILITY COMPANY ON THE ADDITION, REMOVAL AND/OR RELOCATION OF UTILITIES AND UTILITY POLES AND THE EXTENSION OF ALL PROPOSED UTILITIES TO THE ASPHALT PLANT.
 - ALL UTILITIES SHALL BE INSTALLED IN ACCORDANCE WITH THE SPECIFICATIONS OF THE RESPECTIVE UTILITY COMPANY. IT IS THE RESPONSIBILITY OF THE CONTRACTOR TO ENSURE ALL UTILITIES ARE INSTALLED CORRECTLY TO MEET PROJECT REQUIREMENTS WHETHER PERFORMED BY THE CONTRACTOR OR NOT.
 - AN AS-BUILT DRAWING OF NEW UTILITY SERVICES SHALL BE PREPARED BY THE CONTRACTOR AND SUBMITTED TO THE OWNER BEFORE COMPLETION OF THE PROJECT FOR CITY APPROVAL.
 - ALL SANITARY SEWER MAINS SHALL BE PVC SDR 35 UNLESS OTHERWISE NOTED.
 - ALL SANITARY SEWER SERVICES SHALL BE PVC SCH 40 UNLESS OTHERWISE NOTED.
 - CONTRACTOR SHALL VERIFY EXISTING UTILITIES WITHIN PROPOSED ALIGNMENTS WATER / SEWER PRIOR TO CONSTRUCTION AND NOTIFY THE ENGINEER IF CONFLICTS ARE ENCOUNTERED.

- STANDARD CITY OF RALEIGH UTILITY NOTES:**
- ALL MATERIALS & CONSTRUCTION METHODS SHALL BE IN ACCORDANCE WITH CITY OF RALEIGH DESIGN STANDARDS, DETAILS & SPECIFICATIONS (REFERENCE: CORPUD HANDBOOK, CURRENT EDITION)
 - UTILITY SEPARATION REQUIREMENTS:
 - A DISTANCE OF 100" SHALL BE MAINTAINED BETWEEN SANITARY SEWER & ANY PRIVATE OR PUBLIC WATER SUPPLY SOURCE SUCH AS AN IMPOUNDED RESERVOIR USED AS A SOURCE OF DRINKING WATER. IF ADEQUATE LATERAL SEPARATION CANNOT BE ACHIEVED, FERROUS SANITARY SEWER PIPE SHALL BE SPECIFIED & INSTALLED TO WATERLINE SPECIFICATIONS. HOWEVER, THE MINIMUM SEPARATION SHALL NOT BE LESS THAN 25' FROM A PRIVATE WELL OR 50' FROM A PUBLIC WELL.
 - WHEN INSTALLING WATER &/OR SEWER MAINS, THE HORIZONTAL SEPARATION BETWEEN UTILITIES SHALL BE 10". IF THIS SEPARATION CANNOT BE MAINTAINED DUE TO EXISTING CONDITIONS, THE VARIATION ALLOWED IS THE WATER MAIN IN A SEPARATE TRENCH WITH THE ELEVATION OF THE WATER MAIN AT LEAST 18" ABOVE THE TOP OF THE SEWER & MUST BE APPROVED BY THE PUBLIC UTILITIES DIRECTOR. ALL DISTANCES ARE MEASURED FROM OUTSIDE DIAMETER TO OUTSIDE DIAMETER.
 - WHERE IT IS IMPOSSIBLE TO OBTAIN PROPER SEPARATION, OR ANYTIME A SANITARY SEWER PASSES OVER A WATERMAIN, DIP MATERIALS OR STEEL ENCASEMENT CANNOT BE ACHIEVED, SPECIFY DIP CROSSING SHALL BE SPECIFIED & INSTALLED TO WATERLINE SPECIFICATIONS.
 - 5.0' MINIMUM HORIZONTAL SEPARATION IS REQUIRED BETWEEN ALL SANITARY SEWER & STORM SEWER FACILITIES, UNLESS DIP MATERIAL IS SPECIFIED FOR SANITARY SEWER.
 - MAINTAIN 18" MIN. VERTICAL SEPARATION AT ALL WATERMAIN & RCP STORM DRAIN CROSSINGS; MAINTAIN 24" MIN. VERTICAL SEPARATION AT ALL SANITARY SEWER & RCP STORM DRAIN CROSSINGS. WHERE ADEQUATE SEPARATIONS CANNOT BE ACHIEVED, SPECIFY DIP MATERIALS & A CONCRETE CRADLE HAVING 6" MIN. CLEARANCE (PER CORPUD DETAILS W-41 & S-49).
 - ALL OTHER UNDERGROUND UTILITIES SHALL CROSS WATER & SEWER FACILITIES WITH 18" MIN. VERTICAL SEPARATION REQUIRED.
 - ANY NECESSARY FIELD REVISIONS ARE SUBJECT TO REVIEW & APPROVAL OF AN AMENDED PLAN &/OR PROFILE BY THE CITY OF RALEIGH PUBLIC UTILITIES DEPARTMENT PRIOR TO CONSTRUCTION.
 - CONTRACTOR SHALL MAINTAIN CONTINUOUS WATER & SEWER SERVICE TO EXISTING RESIDENCES & BUSINESSES THROUGHOUT CONSTRUCTION OF PROJECT. ANY NECESSARY SERVICE INTERRUPTIONS SHALL BE PRECEDED BY A 24 HOUR ADVANCE NOTICE TO THE CITY OF RALEIGH PUBLIC UTILITIES DEPARTMENT.
 - 3.0' MINIMUM COVER IS REQUIRED ON ALL WATER MAINS & SEWER FORCEMAINS. 4.0' MINIMUM COVER IS REQUIRED ON ALL REUSE MAINS.
 - IT IS THE DEVELOPER'S RESPONSIBILITY TO ABANDON OR REMOVE EXISTING WATER & SEWER SERVICES NOT BEING USED IN REDEVELOPMENT OF A SITE UNLESS OTHERWISE DIRECTED BY THE CITY OF RALEIGH PUBLIC UTILITIES DEPARTMENT. THIS INCLUDES ABANDONING TAP AT MAIN & REMOVAL OF SERVICE FROM ROW OR EASEMENT PER CORPUD HANDBOOK PROCEDURE.
 - INSTALL 3/4" COPPER WATER SERVICES WITH METERS LOCATED AT ROW OR WITHIN A 2X2' WATERLINE EASEMENT IMMEDIATELY ADJACENT. NOTE: IT IS THE APPLICANT'S RESPONSIBILITY TO PROPERLY SIZE THE WATER SERVICE FOR EACH CONNECTION TO PROVIDE ADEQUATE FLOW & PRESSURE.
 - INSTALL 4" PVC SEWER SERVICES @ 1.0% MINIMUM GRADE WITH CLEANOUTS LOCATED AT ROW OR EASEMENT LINE & SPACED EVERY 75 LINEAR FEET MAXIMUM.
 - PRESSURE REDUCING VALVES ARE REQUIRED ON ALL WATER SERVICES EXCEEDING 80 PSI; BACKWATER VALVES ARE REQUIRED ON ALL SANITARY SEWER SERVICES HAVING BUILDING DRAINS LOWER THAN 1.0' ABOVE THE NEXT UPSTREAM MANHOLE.
 - ALL ENVIRONMENTAL PERMITS APPLICABLE TO THE PROJECT MUST BE OBTAINED FROM NCDWQ, USACE &/OR FEMA FOR ANY RIPARIAN BUFFER, WETLAND &/OR FLOODPLAIN IMPACTS (RESPECTIVELY) PRIOR TO CONSTRUCTION.
 - NCDOT / RAILROAD ENCROACHMENT AGREEMENTS ARE REQUIRED FOR ANY UTILITY WORK (INCLUDING MAIN EXTENSIONS & SERVICE TAPS) WITHIN STATE OR RAILROAD ROW PRIOR TO CONSTRUCTION.
 - CROSS-CONNECTION CONTROL PROTECTION DEVICES ARE REQUIRED BASED ON DEGREE OF HEALTH HAZARD INVOLVED AS LISTED IN APPENDIX-B OF THE RULES GOVERNING PUBLIC WATER SYSTEMS IN NORTH CAROLINA. THESE GUIDELINES ARE THE MINIMUM REQUIREMENTS. THE DEVICES SHALL MEET AMERICAN SOCIETY OF SANITARY ENGINEERING (ASSE) STANDARDS OR BE ON THE UNIVERSITY OF SOUTHERN CALIFORNIA APPROVAL LIST. THE DEVICES SHALL BE INSTALLED AND TESTED (BOTH INITIAL AND PERIODIC TESTING THEREAFTER) IN ACCORDANCE WITH THE MANUFACTURER'S RECOMMENDATIONS OR THE LOCAL CROSS-CONNECTION CONTROL PROGRAM, WHICHEVER IS MORE STRINGENT. CONTACT JOANIE HARTLEY AT (919) 996-5923 OR JOANIE.HARTLEY@RALEIGHNC.GOV FOR MORE INFORMATION.

PABST DESIGN GROUP, PA
ENGINEERING & CONSULTING
404-B Glenwood Avenue, Raleigh, North Carolina 27603
Phone: 919.848.4399 | Fax: 919.848.4395 | NC LICENSE NUMBER: C-3211

POOLE SUBDIVISION
RALEIGH, WAKE COUNTY, NORTH CAROLINA
PRELIMINARY SUBDIVISION PLAN
PRELIMINARY UTILITY PLAN

PREPARED FOR:
BECKER INTEREST GROUP, INC.
2432 OXFORD ROAD
RALEIGH, NC 27608
DATE: 11/09/2018
PROJECT ENGINEER:
JPC
PROJECT CADD DESIGNER:
SAB
PROJECT SURVEYOR:
CIC, GEOMETRICS, P.C.

NO.	DATE	REVISION
1	04/09/18	REVISED PER COR COMMENTS
2	04/09/18	REVISED PER COR COMMENTS
3	04/09/18	REVISED PER COR COMMENTS

DRAWING SHEET
C-3.0
PROJECT NUMBER
406-18

TREE CONSERVATION LEGEND:

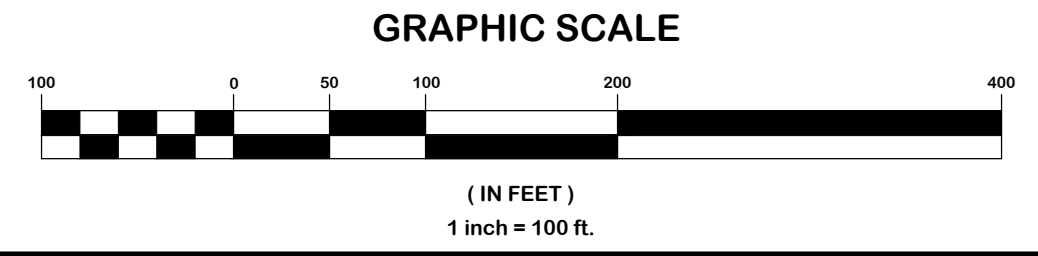
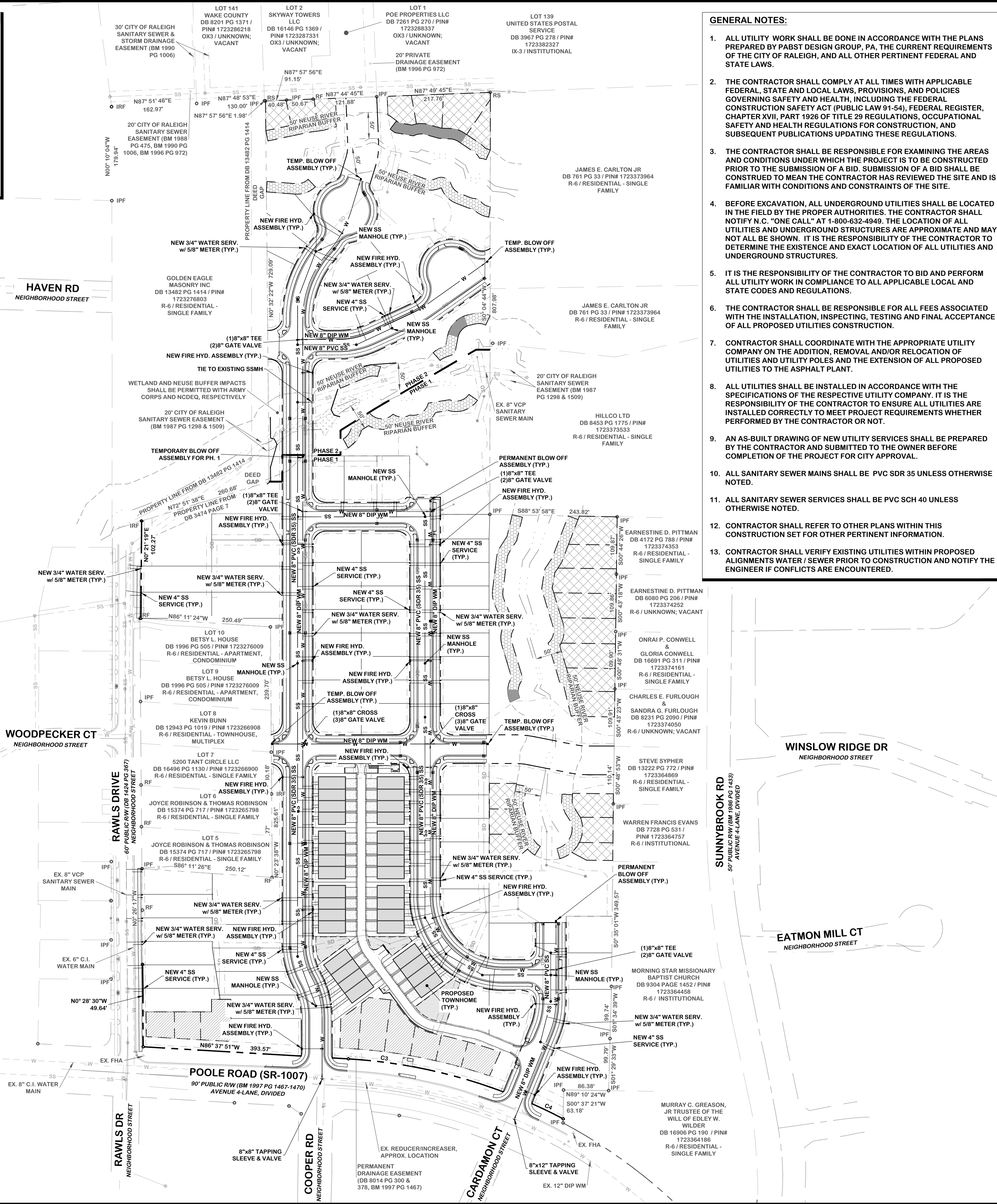
- PRIMARY TREE CONSERVATION AREA, NEUSE BUFFER ZONE 2 - WOODED
- PRIMARY TREE CONSERVATION AREA, NEUSE BUFFER ZONE 2 - NATURAL REGENERATION AREA
- PRIMARY TREE CONSERVATION AREA, THOROUGHFARE
- SECONDARY TREE CONSERVATION AREA

PROPOSED PARCEL CURVE TABLE

CURVE #	RADIUS	LENGTH	CHORD LENGTH	CHORD BEARING
C3	1006.93'	304.22'	303.07'	N77° 58' 32"W
C4	1006.93'	67.04'	67.04'	N64° 03' 18"W

FOR REVIEW ONLY
NOT FOR CONSTRUCTION

NOTE(S):
ALL CONSTRUCTION SHALL BE DONE IN ACCORDANCE WITH ALL CITY OF RALEIGH AND NCDOT STANDARDS AND SPECIFICATIONS.



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TREE CONSERVATION LEGEND:

- PRIMARY TREE CONSERVATION AREA, NEUSE BUFFER ZONE 2 - WOODED
- PRIMARY TREE CONSERVATION AREA, NEUSE BUFFER ZONE 2 - NATURAL REGENERATION AREA
- PRIMARY TREE CONSERVATION AREA, THOROUGHFARE
- SECONDARY TREE CONSERVATION AREA

SURVEY LEGEND:

- IPF - IRON PIPE FOUND
- RS - #5 REBAR SET
- MNF - MAGNAN FOUND
- EX - EXISTING
- CP - COMPUTED POINT
- ELP - ELECTRICAL PEDESTAL
- TRF - TRANSFORMER
- FOV - FIBER OPTIC VAULT
- FOP - FIBER OPTIC PEDESTAL
- TP - TELECOM PEDESTAL
- WM - WATER METER
- WV - WATER VALVE
- FH - FIRE HYDRANT
- ICV - IRRIGATION CONTROL VALVE
- GV - GAS VALVE
- CONC. - CONCRETE
- CB - STORM CATCH BASIN
- RCP - REINFORCED CONC. PIPE
- PVC - POLYVINYL CHLORIDE PIPE
- C&G - CURB & GUTTER
- RW - RIGHT-OF-WAY
- CO - SEWER CLEANOUT
- LP - LIGHT POLE
- PP - POWER/UTILITY POLE
- A/C - AIR CONDITIONING UNIT

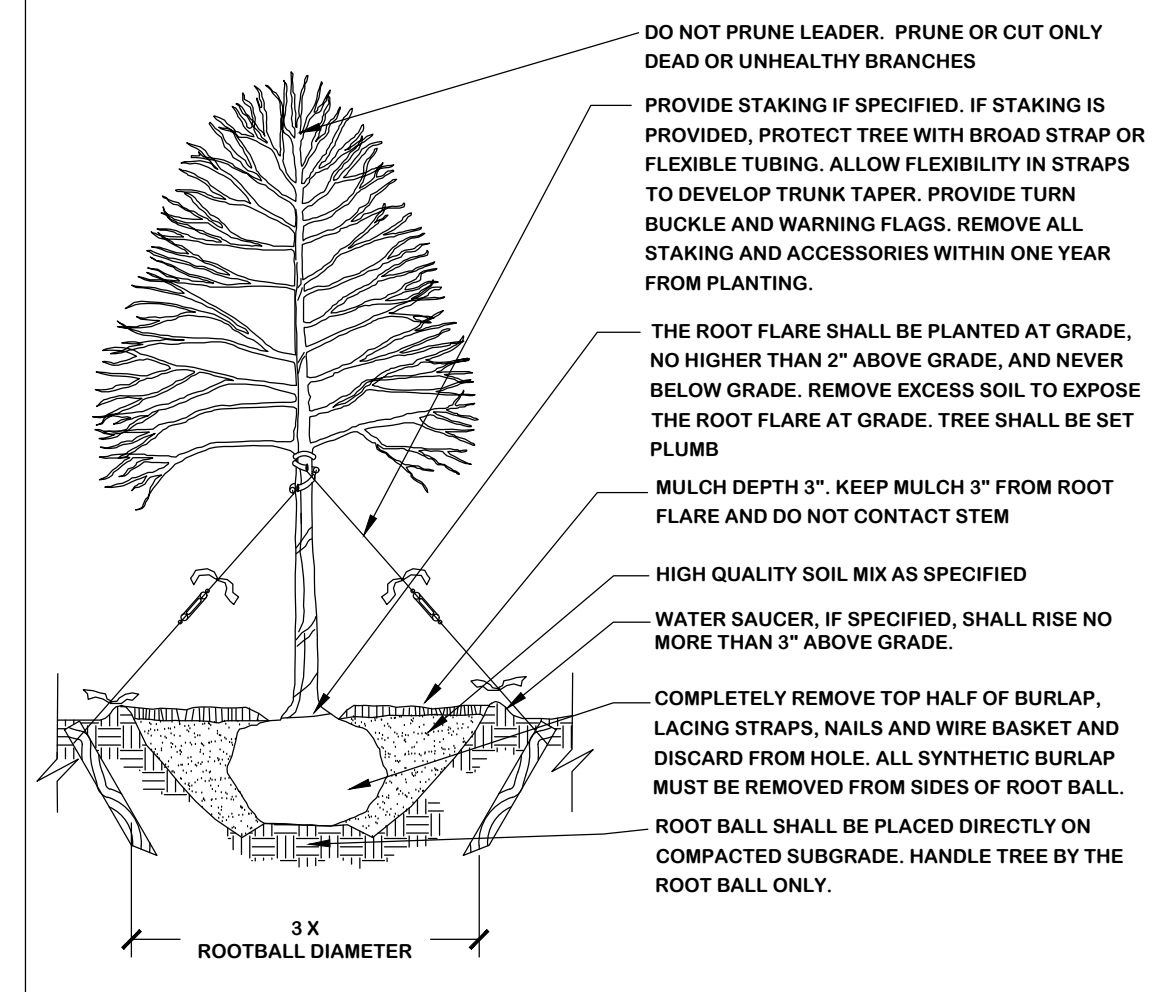
LEGEND:

- STREAM TOP OF BANK
- STREAM BUFFER
- OHE - EXISTING OVERHEAD UTILITY LINES
- EXISTING TREE LINE
- EXISTING EASEMENT
- PROPOSED EASEMENT
- EXISTING FENCE
- EXISTING WATER LINE
- EXISTING SANITARY SEWER
- EXISTING STORM DRAIN
- EXISTING WETLANDS
- PROPOSED AMENITY AREA

PLANT KEY:

- QP - Japanese Zelkova
- CB - Willow Oak
- JZ - Chinese Elm
- BB - European Hornbeam
- SJ - Japanese Snowbell
- IN - Nellie Stevens Holly
- CV - Fragrant Olive
- OF - Chindo Viburnum

- GENERAL PLANTING NOTES:**
- ALL LANDSCAPING SHALL BE INSTALLED ACCORDING TO SOUND NURSERY PRACTICES AND SHALL MEET ALL STANDARDS AS STATED IN THE LATEST EDITION OF 'AMERICAN STANDARD FOR NURSERY STOCK'.
 - PLANT LIST QUANTITIES ARE PROVIDED FOR CONVENIENCE ONLY. IN THE EVENT OF QUANTITY DISCREPANCIES, THE DRAWINGS SHALL TAKE PRECEDENCE.
 - NO SUBSTITUTIONS SHALL BE MADE WITHOUT WRITTEN AUTHORIZATION FROM THE OWNER OR LANDSCAPE DESIGNER.
 - CONTRACTOR SHALL HAVE UTILITY COMPANY LOCATE ALL UTILITIES PRIOR TO DIGGING. CONTRACTOR SHALL BE RESPONSIBLE FOR ALL DAMAGES INCURRED BY HIS/HER WORK.
 - METHODS OF TREE STAKING INDICATED ON THE DRAWINGS ARE SUGGESTIONS ONLY. THE LANDSCAPE CONTRACTOR SHALL USE WHATEVER METHOD HE DEEMS FIT, HOWEVER HE WILL BE HELD LIABLE FOR ANY DAMAGES CAUSED TO TREES BY IMPROPER STAKING METHODS (OR ABSENCE OF STAKING) AND IS RESPONSIBLE FOR UPRIGHTING AND REPLANTING TREES WHICH ARE BLOWN OVER.
 - ALL AREAS NOT SHOWN AS HARD SURFACES, PLANT BED, MULCHED OR UNDISTURBED AREAS, SHALL BE SEEDED OR SODDED AS LAWN WITH "REBEL IV", CONFEDERATE PLUS OR LESCO TALL TURF TYPE FESCUE FOR IN ALL AREAS IN RIGHT OF WAY UP TO THE ROAD.
 - ALL LANDSCAPE BEDS CONTAIN TRIPLE SHREDED HARDWOOD MULCH AT A THICKNESS OF 3".
 - ALL LANDSCAPE BEDS SHALL HAVE POSITIVE DRAINAGE AWAY FROM ALL STRUCTURES.
 - ALL PLANT BEDS SHALL BE TREATED WITH PRE-EMERGENT WEED CONTROL (I.E. TREFLON GRANULES).
 - ALL PLANTS SHALL BE IN ACCORDANCE WITH THE LATEST EDITION OF THE AMERICAN ASSOCIATION OF NURSERMEN AND SHALL BE VIGOROUS, HEALTHY MATERIAL FREE OF PESTS AND DISEASE.
 - VERIFICATION OF TOTAL QUANTITIES AS SHOWN ON THE PLANT LIST SHALL BE THE RESPONSIBILITY OF THE PLANTING CONTRACTOR, AND THE TOTAL QUANTITIES SHALL BE REQUIRED ON THE PLANTING PLAN.
 - OWNERS SHALL MAINTAIN ALL PLANT BEDS AND PLANT MATERIAL IN GOOD HEALTH, AND ANY DEAD, UNHEALTHY OR MISSING PLANTS SHALL BE REPLACED WITH THE SAME PLANT MATERIAL ORIGINALLY SPECIFIED ON THIS PLAN.
 - PLANT MATERIAL ON THIS SITE MUST BE INSTALLED IN CONFORMANCE WITH THE GENERAL PLANTING NOTES AND DETAILS ON THIS PLAN OR TO THE STANDARDS OF THE CITY OF RALEIGH.
 - LANDSCAPE CONTRACTOR IS RESPONSIBLE FOR ALL REQUIRED PERMITS AND LICENSES TO PERFORM THE REQUIRED WORK.



NOTES:

- CONTRACTOR IS RESPONSIBLE FOR ADEQUATE DRAINAGE OF ALL PLANTING PITS. (POSITIVE DRAINAGE AWAY FROM PIT)
- ADHERE TO STANDARDS IN THE CITY TREE MANUAL.
- STREET TREES MUST BE 3" CALIPER AT INSTALLATION WITH A 5' MINIMUM FIRST BRANCH HEIGHT.
- PLANTING SEASON OCTOBER - APRIL.
- A TREE IMPACT PERMIT IS REQUIRED.
- ELECTRICAL OUTLETS AND OTHER UTILITIES ARE PROHIBITED IN THE PLANTING AREA IMMEDIATELY SURROUNDING THE TREE.

REVISIONS	DATE	BY	NO. TO SCALE

TREE PLANTING DETAIL

TPP-03

LANDSCAPE CALCULATIONS:

STREETSCAPE REQUIREMENT (UDO SEC. 8.5.2.A.):
1 TREE REQUIRED PER EVERY 40 LINEAR FEET (BOTH SIDES OF STREET ADDED TOGETHER)

ROAD	TOTAL LF	TOTAL LF STREETSCAPE DIVIDED BY 40'	# OF TREES PROVIDED
ROAD A - 3,044.4 LF	3,044.4 / 40 = 76.11 (ROUND UP TO 77)	77 TREES	
ROAD B - 734.03 LF	734.03 / 40 = 18.35 (ROUND UP TO 19)	19 TREES	
ROAD C - 2,009.36 LF	2,009.36 / 40 = 50.23 (ROUND UP TO 51)	51 TREES	
ROAD E - 481.64 LF	481.64 / 40 = 12.04 (ROUND UP TO 13)	13 TREES	
ROAD F - 306 LF	306 / 40 = 7.65 (ROUND UP TO 8)	8 TREES	
ROAD G - 622.26 LF	622.26 / 40 = 15.56 (ROUND UP TO 16)	16 TREES	
RAWLS ROAD - 528.46 LF	528.46 / 40 = 13.2 (ROUND UP TO 14)	14 TREES	

GRAPHIC SCALE

1 inch = 100 FT.

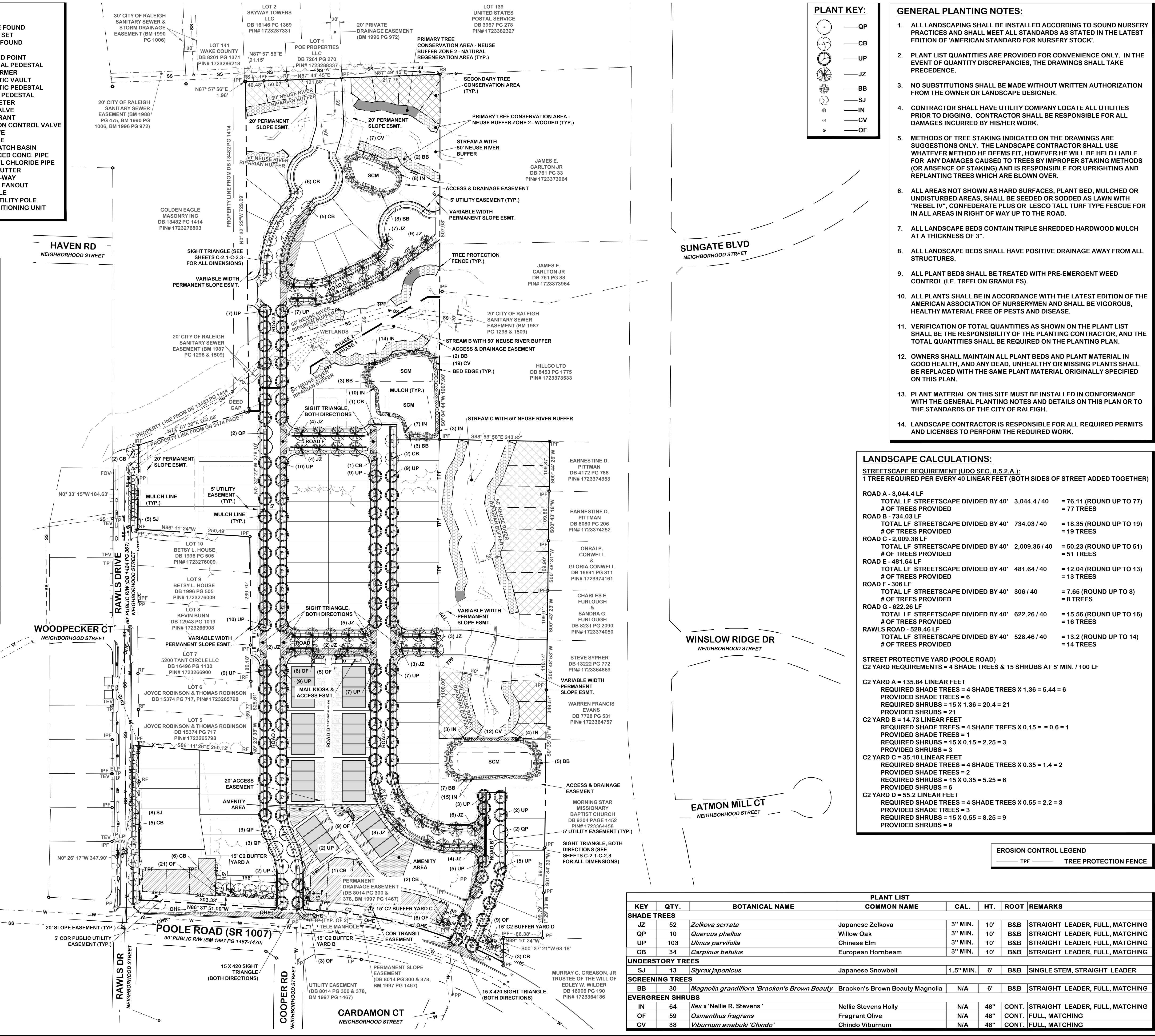
CURVE #	RADIUS	LENGTH	CHORD LENGTH	CHORD BEARING
C3	1006.93'	304.22'	303.07'	N77° 58' 32" W
C4	1006.93'	67.04'	67.04'	N64° 03' 18" W

SITE DISTANCE CALCULATIONS:

1. POOLE ROAD IS AN AVENUE-4 LANE DIVIDED WITH DESIGN SPEED OF 35 MPH. NCDOT SIGHT TRIANGLES ON POOL ROAD ARE BOTH 15' X 420'.

FOR REVIEW ONLY
NOT FOR CONSTRUCTION

NOTE(S): ALL CONSTRUCTION SHALL BE DONE IN ACCORDANCE WITH ALL CITY OF RALEIGH, NCDOT, AND MUTCD STANDARDS & SPECIFICATIONS.



EROSION CONTROL LEGEND

- TPF - TREE PROTECTION FENCE

KEY	QTY.	BOTANICAL NAME	COMMON NAME	CAL.	HT.	ROOT	REMARKS
SHADE TREES							
JZ	52	<i>Zelkova serrata</i>	Japanese Zelkova	3" MIN.	10'	B&B	STRAIGHT LEADER, FULL, MATCHING
QP	10	<i>Quercus phellos</i>	Willow Oak	3" MIN.	10'	B&B	STRAIGHT LEADER, FULL, MATCHING
UP	103	<i>Ulmus parvifolia</i>	Chinese Elm	3" MIN.	10'	B&B	STRAIGHT LEADER, FULL, MATCHING
CB	34	<i>Carpinus betulus</i>	European Hornbeam	3" MIN.	10'	B&B	STRAIGHT LEADER, FULL, MATCHING
UNDERSTORY TREES							
SJ	13	<i>Styrax japonicus</i>	Japanese Snowbell	1.5" MIN.	6'	B&B	SINGLE STEM, STRAIGHT LEADER
SCREENING TREES							
BB	30	<i>Magnolia grandiflora</i> 'Bracken's Brown Beauty'	Bracken's Brown Beauty Magnolia	N/A	6'	B&B	STRAIGHT LEADER, FULL, MATCHING
EVERGREEN SHRUBS							
IN	64	<i>Ilex x 'Nellie R. Stevens'</i>	Nellie Stevens Holly	N/A	48"	CONT.	STRAIGHT LEADER, FULL, MATCHING
OF	59	<i>Osmanthus fragrans</i>	Fragrant Olive	N/A	48"	CONT.	FULL, MATCHING
CV	38	<i>Viburnum awabuki</i> 'Chindo'	Chindo Viburnum	N/A	48"	CONT.	FULL, MATCHING

REVISIONS

DATE	REVISION	BY	CHKD.
02/28/19	REVISED PER COR COMMENTS	JRC	JRC
04/09/19	REVISED PER COR COMMENTS	JRC	JRC

PROJECT ENGINEER: JRC
PROJECT CAD DESIGNER: SJB
PROJECT SURVEYOR: CHC, GWAMATIS, F.C.

DATE: 02/28/19
PROJECT: POOLE SUBDIVISION
PROJECT NO: 406-18

DRAWING SHEET

L-1.0

PROJECT NUMBER
406-18

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UNIT TYPE A - 3 STORY FLOOR PLAN

TOTAL HEATED SF = 2,579 SF



OPTION 1 ELEVATION

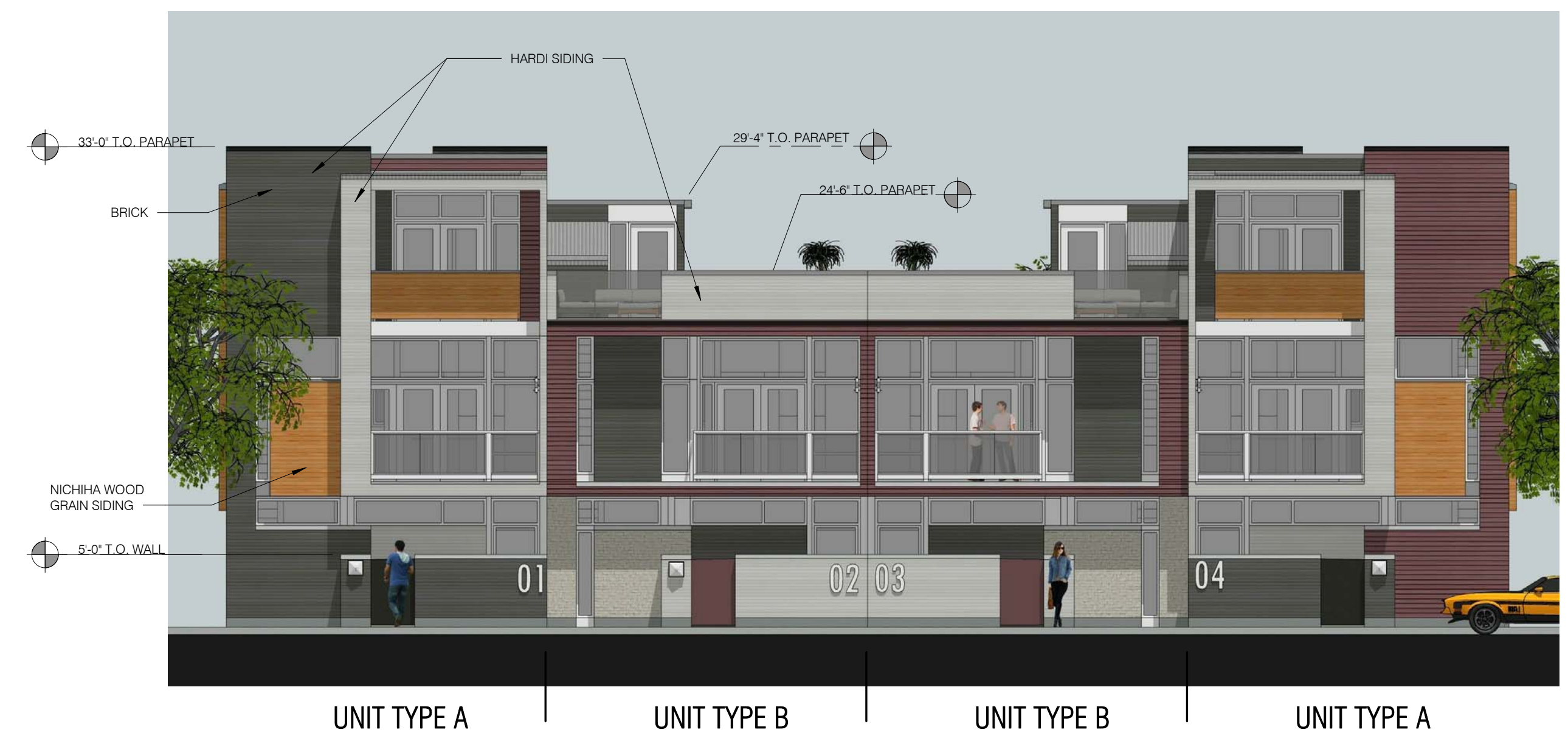
1/8" = 1'-0"

2



UNIT TYPE B - 2 STORY FLOOR PLAN

TOTAL HEATED SF = 1,497 SF



OPTION 2 ELEVATION

1/8" = 1'-0"

1



UNIT TYPE A UNIT TYPE B UNIT TYPE B UNIT TYPE A
 REAR ELEVATION OPTION 1 4



UNIT TYPE A UNIT TYPE B UNIT TYPE B UNIT TYPE A
 REAR ELEVATION OPTION 2 3



UNIT TYPE A WITH ROOF PATIO UNIT TYPE B UNIT TYPE B UNIT TYPE A
 OPTION 3 WITH 4 STORY 2



UNIT TYPE A UNIT TYPE B UNIT TYPE B UNIT TYPE A
 OPTION 3 REAR ELEVATION 1



OPTION 1 4



OPTION 1 3



OPTION 2 2



OPTION 3 1