



Administrative Approval Action Revision

**S-50-18 / Pine Hollow Estates Subdivision
Transaction# 570625 AA#3967**

City of Raleigh
Development Services Department
One Exchange Plaza
Raleigh, NC 27602
(919) 996-2495
DS.help@raleighnc.gov
www.raleighnc.gov

LOCATION: This site is comprised of three lots and located on the east side of Leesville Road, south of Strickland Road at 13001 Strickland Road. The site is outside the city limits.

The purpose of this revised document is to amend the administrative actions/conditions to be met for approval prior to building permits issuance.

REQUEST: Development of an 11.36 acres tract zoned R-4 into a proposed 22 lot subdivision to include 19 residential and 3 open lots with .64 acres of right-of-way dedication along Strickland Road.

DESIGN ADJUSTMENT(S)/ALTERNATES, ETC: A Design Adjustment has been submitted to the block perimeter requirements of UDO Article 8.3.

FINDINGS: City Administration finds that this request, with the below conditions of approval being met, conforms to the Unified Development Ordinance. This approval is based on a preliminary plan dated 3/4/2019 by Bohler Engineering NC, PLLC

CONDITIONS OF APPROVAL and NEXT STEPS:

This document must be applied to the second sheet of all future submittals except for final plats. This is a preliminary plan and as such no permits have been issued with this approval. To obtain permits and/or completion of the project, the following steps are required:

CONCURRENT SITE REVIEW NOT REQUIRED AT THIS TIME – However, plan revisions or further development that includes land disturbance of 12,000 square feet or greater, public or private infrastructure, shared stormwater devices, etc. will require concurrent site review.

CONCURRENT SITE REVIEW - For land disturbance of 12,000 square feet or greater, public or private infrastructure, shared stormwater devices, etc. Concurrent Site Review may be submitted upon receipt of this signed approval document.

The following items are required prior to approval of Concurrent Site Review plans:

Engineering

1. Required NCDOT encroachment and/or driveway permits must be approved and copies provided to Development Services – Development Engineering prior to concurrent review approval.
2. Approval for the mail kiosk location must be provided from the USPS.
3. A right-of-way obstruction permit must be obtained from Right-of-way Services prior to the commencement of any construction activities within the right-of-way.



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Stormwater

4. A 100-year floodplain analysis shall be submitted and approved by the Engineering Services Department prior to the issuance of any grading or site permit (UDO 9.3).
5. The State of North Carolina shall approve any proposed disturbance within the riparian buffer prior to the issuance of any grading or site permit (UDO 9.2.3.E).
6. A stormwater control plan with a stormwater operations and maintenance manual and budget shall be approved (UDO 9.2).
7. A surety equal to the cost of clearing, grubbing and reseeded a site, shall be paid to the City (UDO 9.4.4).

Urban Forestry

8. Submit a final tree conservation plan that includes metes and bounds descriptions of all tree conservation areas and tree protection fencing as required (UDO 9.1.5).
9. Tree protection fence must be inspected by Urban Forestry staff prior to the issuance of a grading permit.

LEGAL DOCUMENTS - Email to legaldocumentreview@raleighnc.gov. Legal documents must be approved, executed, and recorded prior to or in conjunction with the recorded plat on which the associated easements are shown. Copies of recorded documents must be returned to the City within one business day of recording to avoid withholding of further permit issuance.

<input type="checkbox"/>	City Code Covenant	<input checked="" type="checkbox"/>	Slope Easement
<input checked="" type="checkbox"/>	Stormwater Maintenance Covenant	<input type="checkbox"/>	Transit Easement
<input checked="" type="checkbox"/>	Utility Placement Easement	<input type="checkbox"/>	Cross Access Easement
<input type="checkbox"/>	Sidewalk Easement	<input type="checkbox"/>	Public Access Easement
		<input type="checkbox"/>	Other:

RECORDED MAP(S) - Submit plat to record new property lines, easements, tree conservation areas, etc.). Plats may be submitted for review when the Concurrent Site Review plans, if required, have been deemed ready for mylar signature.

The following items must be approved prior to recording the plat:

General

1. The City Code Covenant is no longer required based on TC-19-20.
2. A recombination map shall be recorded recombining the existing 3 lots into a single tract prior to any review and recordation for the subdivision plan.



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3. A demolition permit shall be issued and this building permit number shown on all maps for recording.
4. The greenway easement as shown on the preliminary plan shall be dedicated prior to, or in conjunction with the recording of a map in any phase affected by the greenway.
5. Street names for this development shall be approved by the Raleigh GIS Division and by Wake County.
6. As shown on the approved preliminary subdivision plan set dated 3/4/19, a note shall be placed on all plat recordings stating the Primary Street determination for Lots 10 & 19, approved by the Planning Director, shall be Field Maple Court (Lot 10) & Grey Willow Drive (Lot 19) respectively.

Engineering

7. The required right of way for proposed and/or existing streets shall be dedicated to the City of Raleigh and shown on the map approved for recordation.
8. A 5' general utility easement and associated deed of easement shall be approved by the City and the location of the easement shall be shown on the map approved for recordation. The deed of easement shall be recorded at Wake County Register of Deeds within one day of recordation of the recorded plat. A recorded copy of these documents must be provided to the Development Services Department within one day from authorization of lot recordation. If recorded copies of the documents are not provided, further recordings and building permit issuance will be withheld.
9. Slope easements and associated deed of easement shall be approved by the City and the location of the easement shall be shown on the map approved for recordation. The deed of easement shall be recorded at Wake County Register of Deeds within one day of recordation of the recorded plat. A recorded copy of these documents must be provided to the Development Services Department within one day from authorization of lot recordation. If recorded copies of the documents are not provided, further recordings and building permit issuance will be withheld.
10. A fee-in-lieu for the Field Maple Court extension and streetscape to the center of the creek crossing is to be paid to the City of Raleigh (UDO 8.1.10).
11. A public infrastructure surety is provided to the City of Raleigh Development Services – Development Engineering program (UDO 8.1.3).

Public Utilities

12. Infrastructure Construction Plans (concurrent submittal) must be approved by the City of Raleigh Public Utilities Department for all public water, public sewer and/or private sewer extensions.
13. A Petition for Annexation into the City limits shall be submitted in accordance with City Council policy for extension of utility service to properties currently outside of the City limits. This voluntary annexation in no way obligates the City to extend utility services to the property.

Stormwater



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14. A payment equal to twenty-four percent (24%) of the estimated cost of constructing all stormwater control facilities shown on the development plans shall be paid by the developer to the City stormwater facility replacement fund (UDO 9.2.2.G.3).
15. The City form document entitled Declaration of Maintenance Covenant and Grant of Protection Easement for Stormwater Control Facilities shall be approved by the City and recorded with the county register of deeds office (UDO 9.2.2.G).
16. All stormwater control measures and means of transporting stormwater runoff to and from any nitrogen and stormwater runoff control measures shall be shown on all plats for recording as private drainage easements (UDO 9.2).
17. The riparian buffers, in accordance with the preliminary plan and the State of North Carolina regulations, shall be shown on plats for recording along with required buffer statement (Recorded Map Checklist).
18. A surety equal to 125% of the cost of the construction of a stormwater device shall be paid to the Engineering Services Department (UDO 9.2.2.D.1.d).

Urban Forestry

19. A tree conservation plat shall be recorded with metes and bounds showing the designated tree conservation areas (UDO 9.1). This development proposes 1.06 acres of tree conservation area.

BUILDING PERMITS – For buildings and structures shown on the approved plans. Commercial building permit plans must include the signed, approved Concurrent Site Review plans attached, if applicable. Permit sets may be reviewed prior to the recordation of required plats, but cannot be approved.

The following items must be approved prior to the issuance of building permits:

General

1. A recombination map shall be recorded prior to or in conjunction with the recording of lots, recombining the existing lot into a single tract.
2. A demolition permit shall be obtained for existing structures and shown on all plats of recording.
3. A copy of the final plat for the recordation of lots shall be approved and signed by the Development Services Director & recorded at the Wake County Register of Deeds.

Engineering

4. A right-of-way obstruction permit shall be obtained from Right-of-way Services for any construction activity within the right-of-way.

Urban Forestry



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5. A tree impact permit must be obtained for the approved streetscape tree installation in the right of way. This development proposes 77 street trees along three streets.

The following are required prior to issuance of building occupancy permit:

1. All Water, Sanitary Sewer and Reuse facilities shall be installed, inspected, tested and accepted by the City of Raleigh Public Utilities Department for operations and maintenance.
2. Required public right-of-way infrastructure improvements shall be, at a minimum, sufficiently completed to provide the necessary, safe emergency and vehicular access.
3. Required underground storm drainage improvements shall be completed and as-built plan(s) and certification(s) reviewed and accepted by the City of Raleigh Development Services – Development Engineering program.
4. All street lights and street signs required as part of the development approval are installed.
5. Copies of certified inspection reports for alleys and internal access ways are submitted to the City of Raleigh Development Services – Development Engineering program.
6. As-built drawings and associated forms for all Stormwater devices are accepted by the Engineering Services Department (UDO 9.2.2.D.3).
7. Final inspection of all tree conservation areas and right of way street trees by Urban Forestry Staff.

EXPIRATION DATES: If significant construction has not taken place on a project after preliminary subdivision approval, that approval may "sunset" and be declared void, requiring re-approval before permits may be issued. To avoid allowing this preliminary approval to "sunset", the following must take place by the following dates:

3-Year Sunset Date: 5-23-2022
Record at least ½ of the land area approved.

5-Year Sunset Date: 5-23-2024
Record entire subdivision.

I hereby certify this administrative decision.

Signed:(Development Services Dir./Designee) *Alysia Bailey Taylor* Date: 10/26/2021

Staff Coordinator: Jermont Purifoy

Design Adjustment Staff Response



**DEVELOPMENT
SERVICES
DEPARTMENT**

Per Section 10.2.18.C of the Unified Development Ordinance, the Development Services Director, or designee, shall consult with the heads of other City Departments regarding the review of the request. The Development Services Director, or designee, shall approve, approve with conditions or deny the request, but must do so within 60 days of the receipt of a completed application. Additional time may be necessary if a municipal or state entity is incorporated in the review process or if a detailed engineering study is submitted in conjunction with the request.

PROJECT	Project Name	Pine Hollow Estates	
	Development Case Number	S-50-18	
	Transaction Number	570625	
	Design Adjustment Number	DA - 134 - - 2018	
STAFF RESPONSE	Staff recommendation based upon the findings in the applicable code(s):		
	<input type="checkbox"/> UDO Art. 8.3 Blocks, Lots, Access	<input type="checkbox"/> UDO Art. 8.5 Existing Streets	
	<input type="checkbox"/> UDO Art. 8.4 New Streets	<input type="checkbox"/> Raleigh Street Design Manual	
	Staff SUPPORTS <input checked="" type="checkbox"/> DOES NOT SUPPORT <input type="checkbox"/> the design adjustment request.		
	DEPARTMENTS		
	<input type="checkbox"/> Dev. Services Planner	<input type="checkbox"/> City Planning	
	<input checked="" type="checkbox"/> Development Engineering <i>L. Kulla 4-15-19</i>	<input type="checkbox"/> Transportation	
	<input type="checkbox"/> Engineering Services	<input type="checkbox"/> Parks & Recreation and Cult. Res.	
	<input type="checkbox"/> Public Utilities		
	CONDITIONS:		
Development Services Director or Designee Action: <input checked="" type="checkbox"/> APPROVE <input type="checkbox"/> APPROVE WITH CONDITIONS <input type="checkbox"/> DENY			

[Signature]
Authorized Signature DANIEL G. KULLA, PE 4/16/19
ENGINEERING REVISION MANAGER DATE

*The Development Services Director may authorize a designee to sign in his/her stead. Please print name and title next to signature.
 Appeal of the decision from the Development Services Director, or his or her designee, shall be made in writing within 30 days to the Board of Adjustment (see Section 10.2.18.C3b).

Staff Response

Article 8.3 Blocks Lots, Access



**DEVELOPMENT
SERVICES
DEPARTMENT**

The Development Services Director may in accordance with *Sec. 10.2.18*, approve a design adjustment, subject to all of the following findings.

- A. The requested design adjustment meets the intent of this Article;
YES NO
- B. The requested design adjustment conforms with the Comprehensive Plan and adopted City plans;
YES NO
- C. The requested design adjustment does not increase congestion or compromise Safety;
YES NO
- D. The requested design adjustment does not create any lots without direct street Frontage;
YES NO
- E. The requested design adjustment is deemed reasonable due to one or more of the following:
1. Topographic changes are too steep;
 2. The presence of existing buildings, stream and other natural features;
 3. Site layout of developed properties;
 4. Adjoining uses or their vehicles are incompatible;
 5. Strict compliance would pose a safety hazard; or
 6. Does not conflict with an approved or built roadway construction project
 7. adjacent to or in the vicinity of the site.
- YES NO

STAFF FINDINGS

The proposed development has three blocks which two of the three are compliant with the block perimeter requirements of UDO Article 8.3. The third lot encompasses lots 1 through 6. The extension of a public street is not feasible to bring the lots into full compliance due to the site layout of developed properties along Owl's Nest Drive. Additionally, the adjacent parcel includes two well sites.

The developer has set up for a connected block to the east and south including adding public right of way frontage a street stub to a parcel previously without public frontage.

Therefore, the requested design adjustment is deemed reasonable due to the following code sections: Section 8.3.6 (E) (2) and (3).

Design Adjustment Application



DEVELOPMENT SERVICES DEPARTMENT

The purpose of this request is to seek a Design Adjustment from the Development Services Director, or designee, for a specific project only and, if granted, may be approved with special conditions and provisions. This application and all further action shall be consistent with Section 10.2.18 in the Unified Development Ordinance (UDO). The consideration and decision of this request shall be based solely on the conformance of the findings, as outlined in Sec. 8.3.6, Sec. 8.4.1.E and Sec. 8.5.1.G of the UDO or the Raleigh Street Design Manual.

PROJECT	Project Name Pine Hollow Estates		
	Case Number S-50-2018		
	Transaction Number 570625		
OWNER	Name Terrebon Estates LLC / John O & Carolyn B Henderson		
	Address 3025 Westbury Dr / 12909 Strickland Rd		City Raleigh
	State North Carolina	Zip Code 27607 / 27613	Phone
CONTACT	Name Mike Roselli, P.E.		Firm Bohler Engineering NC, PLLC
	Address 4130 Parklake Ave., Suite 130		City Raleigh
	State North Carolina	Zip Code 27612	Phone (919) 578-9000
REQUEST	I am seeking a Design Adjustment from the requirements set forth in the following:		
	<input checked="" type="checkbox"/> UDO Art. 8.3 Blocks, Lots, Access	- See page 2 for findings	
	<input type="checkbox"/> UDO Art. 8.4 New Streets	- See page 3 for findings	
	<input type="checkbox"/> UDO Art. 8.5 Existing Streets	- See page 4 for findings	
	<input type="checkbox"/> Raleigh Street Design Manual	- See page 5 for findings	
	Provide details about the request; (please attach a memorandum if additional space is needed):		
A design adjustment is requested for lots 1-6 that do not conform to block perimeter requirements due to the following hardships in accordance with COR UDO section 8.3.6 and as shown on attached block perimeter exhibit. -Field Maple Courts extension to Woodyhill Rd would form block in excess of 5,000 ft for lots 1-6, regardless of extension of Owls Nest Dr, which would provide no practical future development potential. See next sheet for full justification.			

It is the responsibility of the applicant to provide all pertinent information needed for the consideration of this request. Applicant must be the Property Owner.

By signing this document, I hereby acknowledge the information on this application is, to my knowledge, accurate.
Carolyn B. Henderson 12-20-2018
 Owner/Owner's Representative Signature Date

CHECKLIST	
Signed Design Adjustment Application	<input type="checkbox"/> Included
Page(s) addressing required findings	<input type="checkbox"/> Included
Plan(s) and support documentation	<input type="checkbox"/> Included
Notary page (page 6) filled out; Must be signed by property owner	<input type="checkbox"/> Included
First Class stamped and addressed envelopes with completed notification letter	<input type="checkbox"/> Included

Submit all documentation, with the exception of the required addressed envelopes and letters to designadjustments@raleighnc.gov.

Deliver the addressed envelopes and letters to:
 Development Services, Development Engineering
 One Exchange Plaza, Suite 500
 Raleigh NC, 27601

For Office Use Only	RECEIVED DATE:	DA -
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Article 8.3, Blocks, Lots, Access

Administrative Design Adjustment Findings



DEVELOPMENT
SERVICES
DEPARTMENT

The Development Services Director may in accordance with *Sec. 10.2.18*, approve a design adjustment, subject to all of the following findings. Describe how each item is met:

- A. The requested design adjustment meets the intent of this Article;
The design adjustment is herein submitted in accordance with the article, including pertinent material necessary for review.
- B. The requested design adjustment conforms with the Comprehensive Plan and adopted City plans;
The comprehensive plan and other adopted City plans do not reference future roadways which will make compliant blocks in this vicinity.
- C. The requested design adjustment does not increase congestion or compromise Safety;
This design adjustment does impact congestion or safety.
- D. The requested design adjustment does not create any lots without direct street Frontage;
All lots have direct street frontage.
- E. The requested design adjustment is deemed reasonable due to one or more of the following:
1. Topographic changes are too steep;
 2. The presence of existing buildings, stream and other natural features;
 3. Site layout of developed properties;
 4. Adjoining uses or their vehicles are incompatible;
 5. Strict compliance would pose a safety hazard; or
 6. Does not conflict with an approved or built roadway construction project
 7. adjacent to or in the vicinity of the site.

Previous development & constructed home sites along Owls Nest Dr prevent a road connection to the west. One remaining parcel (0788-24-9896) between the proposed development & the previous development along Owls Nest Dr already has direct street frontage along Strickland Road.

Per attached iMaps exhibit, if Field Maple Court were to be extended to Woodyhill Road, block formed would be in excess of 5,000 ft, regardless of an extension of Owls Nest Dr.

The presence of a 100' CP&L Transmission Line Easement, tower, & well on adjacent parcel (0788-24-9896) add additional complications, with no practical future development potential.

Individual Acknowledgement



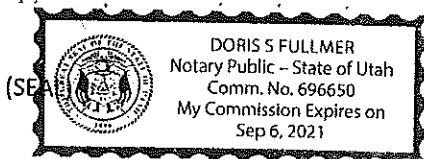
DEVELOPMENT
SERVICES
DEPARTMENT

Utah
STATE OF NORTH CAROLINA
COUNTY OF Utah

INDIVIDUAL

I, DORIS S FULLMER, a Notary Public do hereby certify that ~~John Henderson & Carolyn B Henderson~~ personally appeared before me this day and acknowledged the due execution of the forgoing instrument.

This the 20 day of December, 2018.



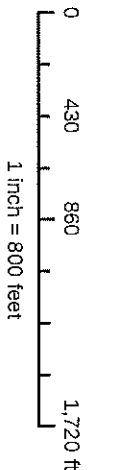
Notary Public

Doris S Fullmer

My Commission Expires: 09 / 06 / 2021



Lots 1-6 Block Perimeter
 Length = ±9,500 ft

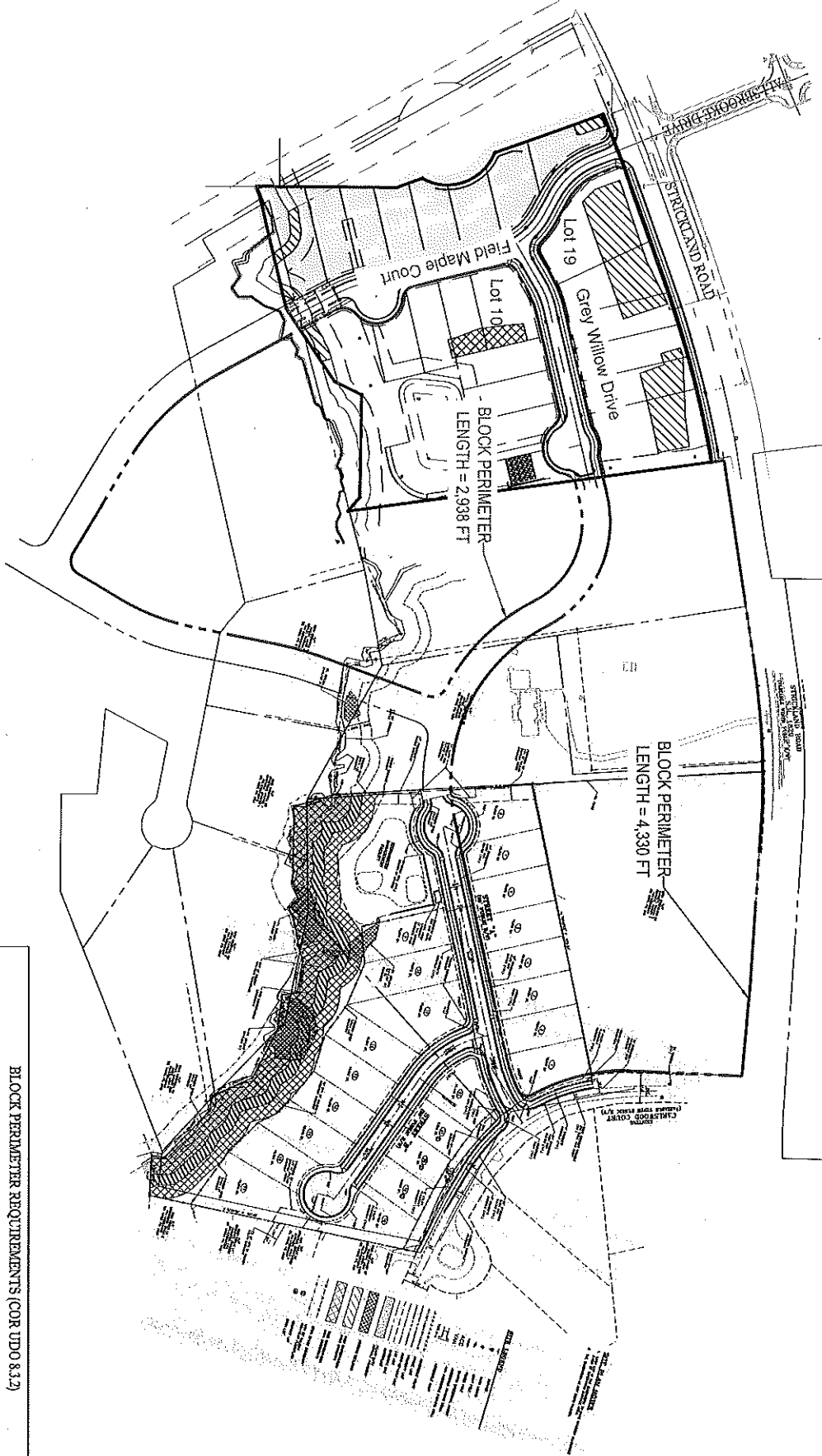


Disclaimer
 Maps makes every effort to produce and publish the most current and accurate information possible. However, the maps are produced for information purposes, and are NOT surveys. No warranties, expressed or implied, are provided for the data therein, its use, or its interpretation.



BOHLER
ENGINEERING, INC., PLLC
400 BIRCHWOOD DRIVE, SUITE 100
RALEIGH, NC 27603
PHONE: 919.998.1400 FAX: 919.998.1401
WWW.BOHLENERG.COM

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PINE HOLLOW ESTATES

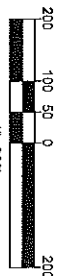
BLOCK PERIMETER EXHIBIT

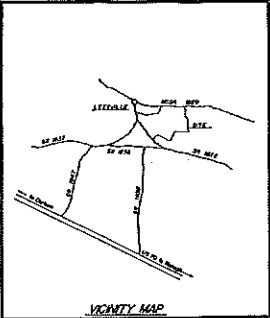
13001 STRICKLAND RD RALEIGH, NC

BLOCK PERIMETER REQUIREMENTS (COR UIDO 8.1.2)		
AVERAGE LOT SIZE ON BLOCK	MAX. BLOCK PERIMETER	PROVIDED**
10,000-19,999 SF	5,000 FT	2,938 & 4,330'

** MEASURED ALONG PROP. ROW AND EXISTING ROW AS PER SURVEY AND GIS

11/16/18 | PMA | NCR180249





REFERENCES

- 1- 2550, 243
- 2- plat map property of E.M. Roberts surveyed by Robert T. Newcomb, R.L.S.
- 3- Synthetic Control Stationing, Section 2, part 1 as recorded in 89 600, page 107

ZONING CLASSIFICATION

R-20

NOTE

See page 201 of all corners

PLAT CERTIFICATION

This plat was prepared in accordance with the North Carolina Statutes relating to the Surveying Profession.

10 days of 1982

John H. Hurlburt
Surveyor

I, Robert T. Newcomb, III certify that under my direction and supervision this map was prepared from an actual field survey; that the error of closure as calculated by Balducci and reported is greater than 1/10000; that the boundaries not surveyed by me are shown as broken lines plotted from deed information as noted; that this map was prepared in accordance with N.C.G.S. 47-50 as amended.

Witness my hand and seal this 14th day of October, 1982.

Robert T. Newcomb, III
Registered Land Surveyor No. 1-0144

I, Thomas B. Smith, Attorney Public of Wake County do hereby certify that Robert T. Newcomb, III personally appeared before me this 14th day of October and acknowledged the execution of the foregoing map.

Witness my hand and seal this 14th day of October, 1982.

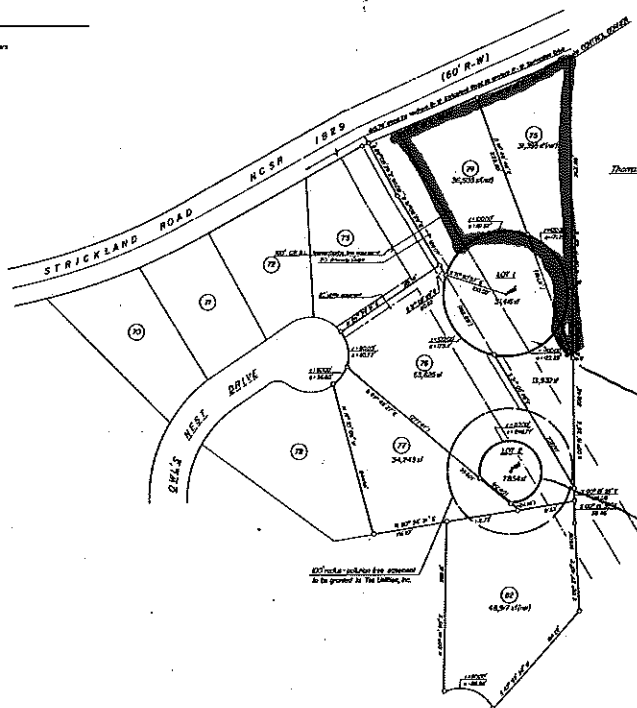
Thomas B. Smith
Attorney Public
My commission expires 8-4-1985

NORTH CAROLINA WAKE COUNTY

The foregoing certificate of Thomas B. Smith, Attorney, is certified to be correct. This instrument was presented for registration and recorded in this office this 10th day of October, 1982 at 2:15 o'clock P.M.

S. B. MENDRETT, Register of Deeds

ROBERT T. NEWCOMB, III
REGISTERED LAND SURVEYOR
Raleigh, NC



Well Site
Well Site

PROPERTY OF
- TEE UTILITIES, INC -

LEESVILLE TOWNSHIP WAKE COUNTY NORTH CAROLINA

SCALE - 1" = 100'

OCTOBER, 1982

1981
RECORDED Book of Maps 1981, page 204

5-08278

PRELIMINARY SUBDIVISION SUBMITTAL FOR PINE HOLLOW ESTATES

LOCATION OF SITE

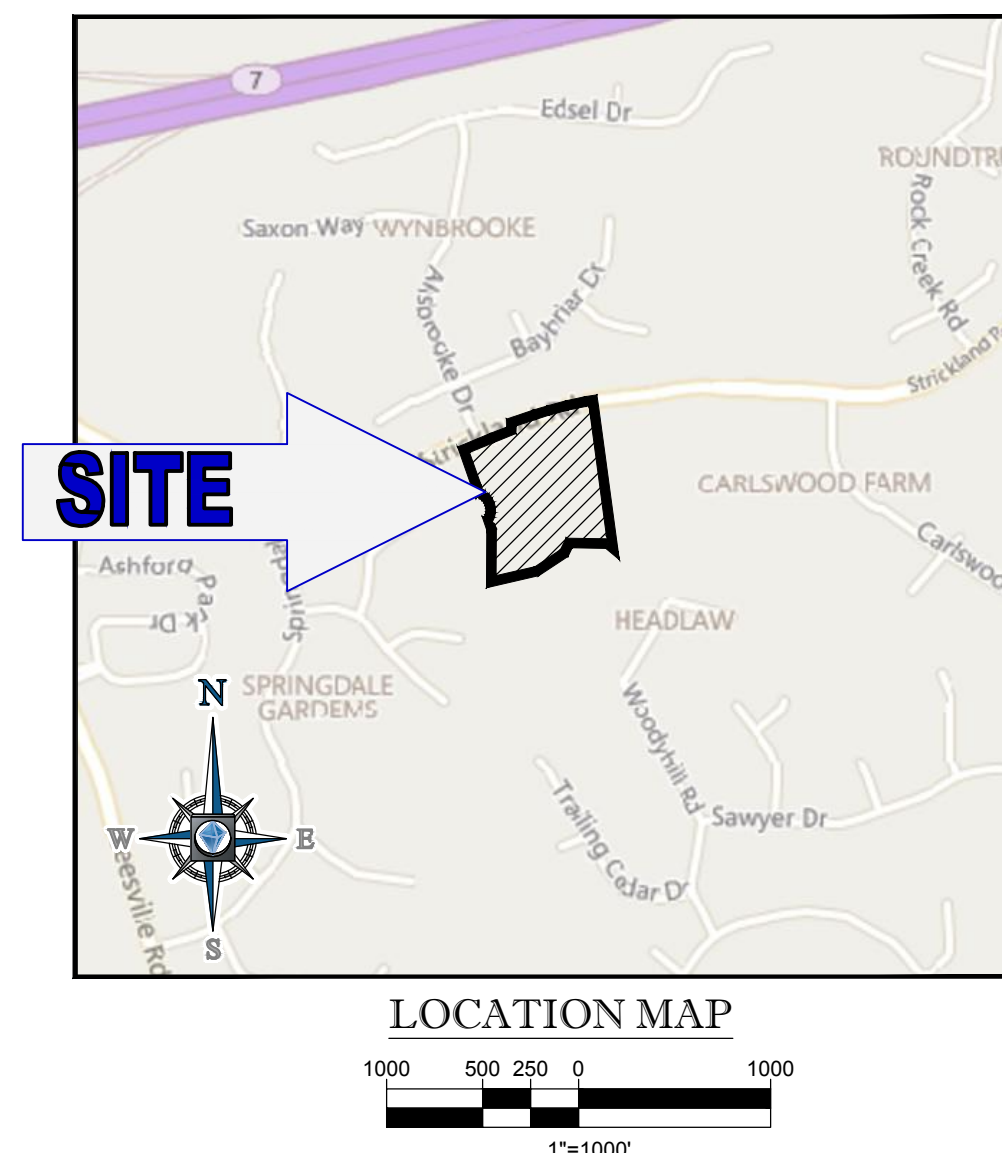
13001 STRICKLAND ROAD
RALEIGH, NC 27612
WAKE COUNTY

PIN #: 0788-34-0985, 0788-34-2765, 0788-35-5113

SKETCH REVIEW TRANSACTION #551122

TRANSACTION #570625

CASE NUMBER S-50-18



SITE DATA

ADDRESS:	13001 STRICKLAND ROAD RALEIGH, NC 27612	INFRASTRUCTURE QUANTITIES	
PIN #:	0788-34-0985 0788-34-2765 0788-35-5113	STREETS (LF)	1,286
SITE AREA (AC.)	0.72; 5.59; 5.05	DOMESTIC WATERLINE (LF)	1,286
PROJECT AREA (AC.)	11.36	SANITARY SEWER (LF)	1,326
EXISTING ZONING:	R-4	SANITARY FORCEMAIN (LF)	1,193
WATERSHED:	CRABTREE CREEK	PROPOSED # OF DOMESTIC WATER TAPS:	19 PROPOSED
PROPOSED # OF UNITS:	19	# OF SEWER TAPS:	19
ALLOWABLE DENSITY (DU/AC.)	4	SITE AREA PRE ROW DEDICATION (AC.)	11.36
PROPOSED DENSITY (DU/AC.)	1.67	SITE AREA POST ROW DEDICATION (AC.)	10.72
MINIMUM LOT SIZE (SF)	10,000	LAND COVER CALCULATIONS (METHOD 3-1)	
MINIMUM LOT WIDTH (FT)	65 (80 CORNER LOT)	UNDISTURBED PERVIOUS (AC)	0.25
MINIMUM LOT DEPTH (FT)	100	MANAGED PERVIOUS (AC)	2.43
MAX BUILDING HEIGHT (FT)	40	CALCULATED IMPERVIOUS (AC)	0.23
REQUIRED # OF PARKING SPACES:	2/UNIT	RIGHT-OF-WAY (AC)	2.43
REQUIRED OPEN SPACE:	N/A	LOTS (AC)	6.02
CONTIGUOUS	N/A	RESIDENTIAL LOTS: (#/AC/SF)	19 / 6.02 / 262,666
MINIMUM LOTS ABUTTING OPEN SPACE (%)	N/A	OPEN LOTS: (#/AC/SF)	3 / 2.90 / 126,405
MINIMUM WIDTH OF OPEN SPACE (FT)	N/A	IMPERVIOUS CALCULATIONS	
REQUIRED TREE CONSERVATION AREA:	10% * 10.31 = 1.03 AC.	% OF ROW THAT IS PAVEMENT:	71% * 2.43 = 1.73 AC
PROPOSED TREE CONSERVATION AREA:	1.06 AC.	% OF RESIDENTIAL LOTS IMPERVIOUS:	40% * 6.02 = 2.41 AC
		OPEN LOT IMPERVIOUS:	0.23 AC
		TOTAL IMPERVIOUS:	4.37 AC
		PERCENT IMPERVIOUS: (%)	4.37/11.36 = 38%
		SUBDIVISION DISTURBED AREA (AC.)	8.40 AC

CONTACT INFORMATION

REFERENCES

SURVEY
"BOUNDARY & TOPOGRAPHIC SURVEY"
PREPARED BY BOHLER ENGINEERING NC, PLLC
BOHLER JOB NO. NSR182049
DATED: JULY 18, 2018

GEOTECHNICAL REPORT
"REPORT OF SUBSURFACE EXPLORATION AND PRELIMINARY
GEOTECHNICAL ENGINEERING EVALUATION"
PREPARED BY FROEHLING & ROBERTSON, INC.
310 HUBERT STREET
RALEIGH, NC 27603
FAR PROJECT # 68W-0022
DATE: JUNE 1, 2018

GOVERNING AGENCIES

CITY OF RALEIGH PLANNING DIVISION
ONE EXCHANGE PLAZA, SUITE 400
RALEIGH, NC 27601
CONTACT: KEN BOWERS
PHONE: (919) 996-2633

CITY OF RALEIGH PUBLIC UTILITIES
222 FAYETTEVILLE STREET
RALEIGH, NC 27601
PHONE: (919) 996-4540

CITY OF RALEIGH FIRE DEPARTMENT
FIRE DEPARTMENT SERVICES DIVISION
4120 NEW BERN AVENUE, RALEIGH NC 27610
CONTACT: JOHN MCGRATH, FIRE CHIEF
PHONE: (919) 996-6115

UTILITY CONTACTS

CITY OF RALEIGH PUBLIC UTILITIES
222 FAYETTEVILLE STREET
RALEIGH, NC 27601
PHONE: (919) 996-4540

GAS
PSNC
901 E. CHATHAM STREET, RALEIGH, NC 27511
PHONE: 1-(877) 776-2427

STREAM AND WETLAND DELINEATION

PREPARED BY CAROLINA ECOSYSTEMS, INC.
3040 NC 42 WEST
CLAYTON, NC 27520
DATED: AUGUST 2, 2018

SEASONAL HIGH WATER TABLE DETERMINATION
"REPORT OF SEASONAL HIGH WATER TABLE PINE HOLLOW
SUBDIVISION"
PREPARED BY FROEHLING & ROBERTSON, INC.
310 HUBERT STREET
RALEIGH, NC 27603-2302
DATED: DECEMBER 21, 2018

CITY OF RALEIGH TRANSPORTATION
TRANSPORTATION DEPARTMENT
222 W HARGETT STREET, SUITE 400, RALEIGH, NC 27601
CONTACT: MICHAEL MOORE, DIRECTOR OF TRANSPORTATION
PHONE: (919) 996-3030

CITY OF RALEIGH STORMWATER MANAGEMENT
ONE EXCHANGE PLAZA
RALEIGH, NC 27601
CONTACT: BEN BROWN, PE
EMAIL: BEN.BROWN@RALEIGHNC.GOV
PHONE: (919) 996-3515

ELECTRIC
DUKE ENERGY
411 FAYETTEVILLE STREET, RALEIGH, NC 27601
PHONE: 1-(800) 419-6356

PHONE/INTERNET
AT&T
PHONE: 1-(888) 757-6500

GENERAL NOTES:

- FLOOD NOTE: THIS PROPERTY IS NOT LOCATED IN A SPECIAL FLOOD HAZARD ZONE. BASED ON FEMA FIRM MAP #372008800J DATED 5/2/2006.
- THERE ARE TWO WETLANDS SOUTH OF THE SITE BEYOND PROPOSED DISTURBANCE LIMITS AND ONE BUFFERED STREAM ON THE SOUTHERN PART OF THE SITE PER DELINEATION OF STREAMS AND WETLANDS BY CAROLINA ECOSYSTEMS PERFORMED ON 8/2/2018.
- THIS SITE IS LOCATED WITHIN THE CITY OF RALEIGH ETJ AND WILL BE ANNEXED PRIOR TO CONSTRUCTION.
- ALL CONSTRUCTION SHOULD BE DONE IN ACCORDANCE WITH ALL CITY OF RALEIGH AND NCDOT STANDARDS AND SPECIFICATIONS.
- SOLID WASTE PICK UP WILL BE HANDLED BY CITY OF RALEIGH SOLID WASTE SERVICES AND SHALL BE IN COMPLIANCE WITH THE REQUIREMENTS SET FORTH IN THE CITY OF RALEIGH SOLID WASTE DESIGN MANUAL. STANDARD 96 GALLON RESIDENTIAL ROLL OUT CARTS SHALL SERVE THE LOTS ON SITE.
- IN-CELL RESIDENTIAL RULES MAY APPLY PER CITY OF RALEIGH UNIFIED DEVELOPMENT ORDINANCE SECTION 2.2.7.
- STREET TREES PLANTED ALONG STRICKLAND ROAD PER NCDOT PLANTING PERMIT DATED 3/1/19 INCLUDED WITH THIS SUBMITTAL.
- THE PRIMARY STREET FOR LOT 10 IS FIELD MAPLE. THE PRIMARY STREET FOR LOT 19 IS GREY WILLOW PER THE COR DEPT.

SHEET INDEX

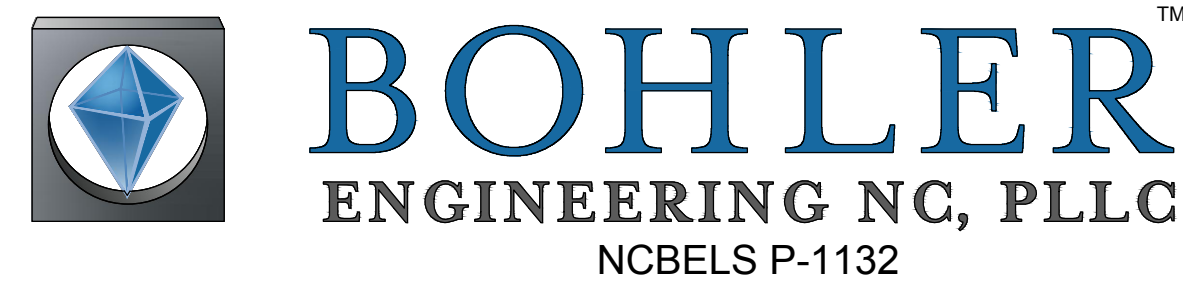
Sheet Number	Sheet Title
C-101	COVER SHEET
C-102	GENERAL NOTES
C-201	EXISTING CONDITIONS & DEMOLITION PLAN
C-301	SUBDIVISION PLAN
C-401	GRADING PLAN
C-402	SCM PLAN
C-501	UTILITY PLAN
C-701	LANDSCAPE PLAN
C-702	TREE CONSERVATION AREA PLAN
C-703	LANDSCAPE NOTES & DETAILS

OWNER

PIN #0788340985 & 0788342765
TERREBON ESTATES LLC
3025 WESTBURY DRIVE
RALEIGH, NC 27607-3057

PIN #0788355113
JOHN O & CAROLYN B
HENDERSON
12909 STRICKLAND RD
RALEIGH, NC 27613-5333

PREPARED BY



4130 PARKLAKE AVE., SUITE 130

RALEIGH, NC 27612

Phone: (919) 578-9000

NC@BohlerEng.com

DEVELOPER

SHENANDOAH HOMES
2840 PLAZA PLACE, SUITE 200
RALEIGH, NC 27612

Preliminary Subdivision Plan Application



Development Services Customer Service Center | 1 Exchange Plaza, Suite 400 | Raleigh, NC 27601 | 919-996-2405 (ext 919-996-1831)
Litchford Satellite Office | 8320 - 130 Litchford Road | Raleigh, NC 27601 | 919-996-4300

When submitting plans, please check the appropriate review type and include the Plan Checklist document.

Office Use Only: Transaction # _____ Project Coordinator _____ Team Leader _____

PRELIMINARY APPROVALS

Subdivision * Conventional Subdivision Compact Development Conservative Subdivision

*May require City Council approval if in a Metro Park Overlay or Historic Overlay District

If your project has been through the Due Diligence process, provide the transaction #: 551122

GENERAL INFORMATION

Development Name: PINE HOLLOW ESTATES

Proposed Use: Single-Family Subdivision

Property Address(es): 13001 Strickland Road, Raleigh, NC 27613

Wake County Property Identification Number(s) for each parcel to which these guidelines will apply:

PIN Recorded Deed 0788340985 PIN Recorded Deed 0788342765 PIN Recorded Deed 0788355113 PIN Recorded Deed

What is your project type?

Single family Townhouse Subdivision in a non-residential zoning district

Other (describe): _____

OWNER/DEVELOPER INFORMATION

Company Name: Shenandoah Homes Owner/Developer Name: Shenandoah Homes

Address: 2840 Plaza Place Suite 200, Raleigh, NC 27612

Phone _____ Email _____ Fax _____

CONSULTANT/CONTACT PERSON FOR PLANS

Company Name: Bohler Engineering NC PLLC Contact Name: Mike Roselli, PE

Address: 4130 Parklake Ave Suite 130, Raleigh, NC 27612

Phone (919) 578-9000 Email: mroselli@bohlereng.com Fax _____

PAGE 1 OF 3 WWW.RALEIGHNC.GOV REVISION 03.11.16

DEVELOPMENT TYPE AND SITE DATA TABLE (Applicable to all developments)

ZONING INFORMATION

Zoning District(s) R-4 (Residential)

If more than one district, provide the acreage of each:

Overlay District? Yes No

Inside City Limits? Yes No

CUO (Conditional Use District) Case # 2-

CDA (Certificate of Appropriateness) Case #

BDA (Board of Adjustment) Case # A-

STORMWATER INFORMATION

Existing Impervious Surface: 0.98 AC acres/sf Flood Hazard Area Yes No

Proposed Impervious Surface: 4.37 AC acres/sf Neuse River Buffer Yes No

Wetlands Yes No

If in a Flood Hazard Area, provide the following:

Alluvial Soils _____ Flood Study _____ FEMA Map Panel #: 3720078800J

NUMBER OF LOTS AND DENSITY

Total # of Townhouse Lots: Detached _____ Attached _____

Total # of Single Family Lots: 19 Total # of All Lots: 19

Overall Units/Acre Densities Per Zoning Districts: 1.67 Units/AC

Total # of Open Space and/or Common Area Lots: 3

SIGNATURE BLOCK (Applicable to all developments)

In filing this plan as the property owner(s), I/we do hereby agree and firmly bind ourselves, my/our heirs, executors, administrators, successors and assigns jointly and severally to construct all improvements and make all dedications as shown on this proposed subdivision plan as approved by the City.

I hereby designate Mike Roselli to serve as my agent regarding this application, to receive and respond to administrative comments, to resubmit plans on my behalf, and to represent me in any public meeting regarding this application.

I/we have read, acknowledge, and affirm that this project is conforming to all application requirements applicable with the proposed development use.

Signature: Mike Roselli Date: 9/19/18

Signature: [Signature] Date: 9/19/18

Signature: [Signature] Date: 9/19/18

Signature: [Signature] Date: 9/19/18

PAGE 2 OF 3 WWW.RALEIGHNC.GOV REVISION 03.11.16



REVISIONS

REV	DATE	COMMENT	BY
1	11/16/18	REVISION PER CITY COMMENTS	CEM
2	2/1/19	REVISIONS PER CITY COMMENTS	PMA
3	3/4/19	REVISIONS PER CITY COMMENTS	PMA



NOT APPROVED FOR CONSTRUCTION

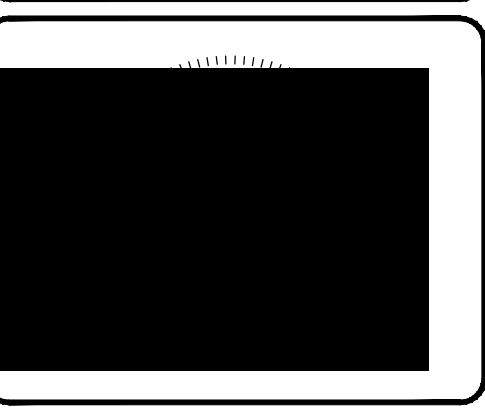
PROJECT No.:	NCR182049
DRAWN BY:	CEM
CHECKED BY:	PMA
DATE:	03/04/19
SCALE:	N/A
CAD I.D.:	SD0

PROJECT: **PRELIMINARY SUBDIVISION PLAN**

FOR: **SHENANDOAH HOMES**

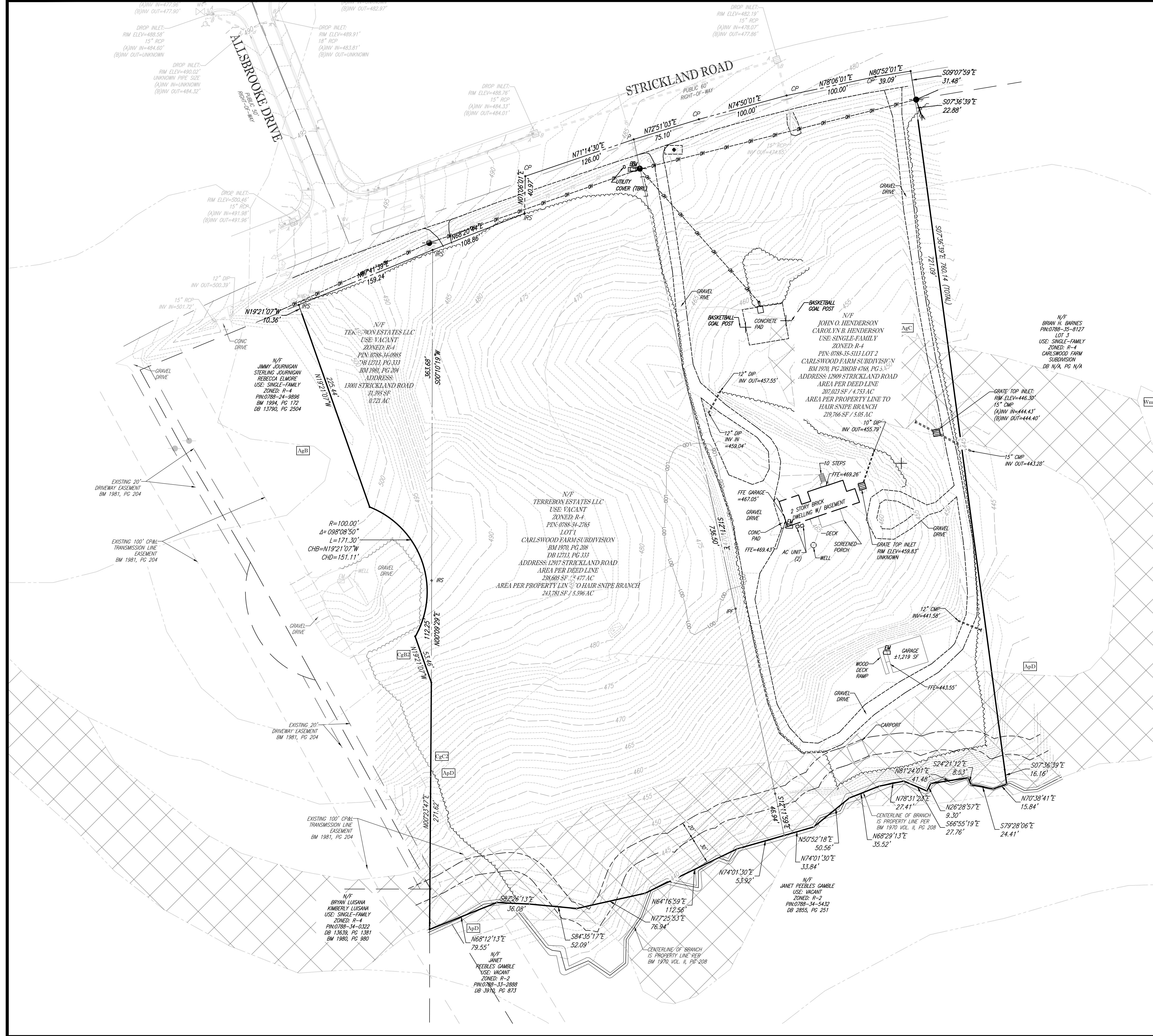
LOCATION OF SITE
13001 STRICKLAND ROAD
RALEIGH, NC
WAKE COUNTY
CASE #: S-50-2018
TRANSACTION #: 570625

BOHLER ENGINEERING NC, PLLC
NCBELS P-1132
4130 PARKLAKE AVENUE, SUITE 130
RALEIGH, NC 27612
Phone: (919) 578-9000
NC@BohlerEng.com



SHEET TITLE:
COVER SHEET

SHEET NUMBER:
C-101



EXISTING CONDITIONS NOTES

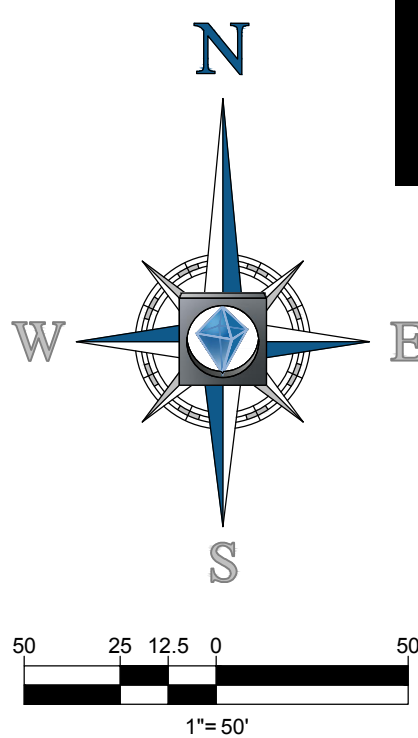
- REFER TO GENERAL NOTES SHEET C-102
- THIS PLAN REFERENCES DOCUMENTS & INFORMATION BY:
 PRELIMINARY BOUNDARY & TOPOGRAPHIC SURVEY
 BOHLER ENGINEERING NC, PLLC
 4130 PARKLAKE AVENUE, SUITE 130
 RALEIGH, NC 27612
 DATED: 7/18/18
- THERE ARE TWO WETLANDS SOUTH OF THE SITE BEYOND PROPOSED DISTURBANCE LIMITS AND ONE BUFFERED STREAM ON THE SOUTHERN PART OF THE SITE PER DELINEATION OF STREAMS AND WETLANDS BY CAROLINA ECOSYSTEMS PERFORMED ON 8/2/2018.
- FLOOD NOTE: THIS SITE IS NOT LOCATED IN A FLOOD HAZARD ZONE BASED ON FEMA FIRM MAP NUMBER 37208880J DATED 05/02/08.

DEMOLITION NOTES

- REFER TO GENERAL NOTES ON SHEET C-102.
- ALL EXISTING SITE FEATURES, INCLUDING BUT NOT LIMITED TO FENCING, UTILITIES, BUILDINGS, SEPTIC TANKS, WELLS, SIGNS, PAVING, SHALL BE REMOVED EVEN IF NOT SHOWN ON THIS PLAN.
- ANY MATERIALS REMOVED AS PART OF DEMOLITION FOR THIS PROJECT SHALL BE PROPERLY DISPOSED OF OFF-SITE IN ACCORDANCE WITH ALL FEDERAL, STATE, AND LOCAL LAWS.
- ANY MATERIALS REMOVED AS PART OF DEMOLITION FOR THIS PROJECT SHALL BE REMOVED COMPLETELY. THE EXCAVATED AREA SHALL BE BACKFILLED WITH CLEAN FILL MATERIAL AND COMPACTED IN ACCORDANCE WITH THE RECOMMENDATIONS OF THE PROJECT GEOTECHNICAL ENGINEER.
- THE CONTRACTOR SHALL BE RESPONSIBLE FOR THE REMOVAL OF EXISTING TREES AND OTHER VEGETATION. ONLY AS NECESSARY FOR CONSTRUCTION OF THE PROPOSED IMPROVEMENTS.
- WITH ANY CONCRETE SHOWN TO BE REMOVED, THE CONTRACTOR SHALL REMOVE THE CONCRETE TO THE NEAREST JOINT OR SAW CUT TO PROVIDE CLEAN EDGE.
- WITH ANY ASPHALT SHOWN TO BE REMOVED, THE CONTRACTOR SHALL SAW CUT TO PROVIDE A CLEAN EDGE.
- ALL UTILITIES TO BE REMOVED OR RELOCATED SHALL BE COORDINATED WITH THE APPROPRIATE UTILITY PROVIDER PRIOR TO CONSTRUCTION. IT IS THE SOLE RESPONSIBILITY OF THE CONTRACTOR TO ENSURE THAT ALL NECESSARY MEASURES ARE TAKEN, WHETHER TEMPORARY OR PERMANENT, TO ALLOW FOR PROPER FUNCTIONING OF EXISTING UTILITIES.
- ANY EXISTING WELL HEADS SHALL BE REMOVED TO A MINIMUM OF FIVE (5) FEET BELOW PROPOSED FINAL GRADE AND ABANDONED IN ACCORDANCE WITH ALL APPLICABLE LOCAL, STATE, AND FEDERAL LAWS. CONTRACTOR SHALL VERIFY THAT WELL HEADS ARE REMOVED TO A DEPTH SUITABLE FOR THE INSTALLATION OF INFRASTRUCTURE AND UTILITIES IN GRADE ABOVE, INCLUDING BUT NOT LIMITED TO STORM DRAINAGE, SANITARY SEWER, WATER, AND ASSOCIATED SERVICES. ALL SERVICE LINES FROM THE WELL SHALL BE COMPLETELY REMOVED. ANY WORK PERFORMED ON THE WELL MUST BE DONE BY A LICENSED UTILITY CONTRACTOR.
- THE CONTRACTOR IS SOLELY RESPONSIBLE FOR DETERMINING THE LOCATION & EXTENTS OF ANY SEPTIC SYSTEM AND REMOVING COMPLETELY. ANY REMOVAL MUST BE IN ACCORDANCE WITH ALL APPLICABLE FEDERAL, STATE, AND LOCAL LAWS.
- ALL EXISTING DRAINAGE PIPES AND FENCES WITHIN DEVELOPED AREA SHALL BE REMOVED COMPLETELY.

DEMOLITION LEGEND

EXISTING NOTE	TYPICAL NOTE TEXT	DEMOLITION NOTE
---	PROPERTY LINE	---
---	ADJACENT LOT LINE	---
---	CONCRETE CURB & GUTTER	=====
---	SOIL ROAD	-----
---	WIRE FENCE	-X-X-X-X-
---	NEUSE RIVER STREAM BUFFER	---
---	100-YR FLOODPLAIN	---
---	FLOODWAY	---
---	UNDERGROUND WATER LINE	---
---	OVERHEAD WIRE	---
---	FIBER OPTIC	---
---	STORM SEWER	-----
---	CURB INLET	---
---	SANITARY SEWER MAIN	---
---	HYDRANT	⊙
---	UTILITY POLE/LIGHT	●
---	SANITARY MANHOLE	⊙
---	WATER MANHOLE	⊙
---	GUY WIRE	---
---	TREELINE	---
---	WETLANDS	---
---	LIGHT	⊞
---	FLOOD PRONE SOILS	---
---	WATER VALVE/METER	⊙
---	MAILBOX	⊙



BOHLER ENGINEERING NC, PLLC
 SITE CIVIL AND CONSULTING ENGINEERING
 LAND SURVEYING
 PROGRAM MANAGEMENT
 LANDSCAPE ARCHITECTURE
 SUSTAINABLE DESIGN
 PERMITTING SERVICES
 TESTING
 PHOTOGRAPHY
 FROM BOHLER ENGINEERING NC, PLLC. ALL RIGHTS RESERVED. PHOTOGRAPHY BY BOHLER ENGINEERING NC, PLLC.

REVISIONS

REV	DATE	COMMENT	BY
1	11/16/18	REVISION PER CITY COMMENTS	CEM
2	2/1/19	REVISIONS PER CITY COMMENTS	PMA
3	3/4/19	REVISIONS PER CITY COMMENTS	PMA

811
 KNOW WHAT'S BELOW
 ALWAYS CALL 811
 BEFORE YOU DIG
 It's fast. It's free. It's the law.

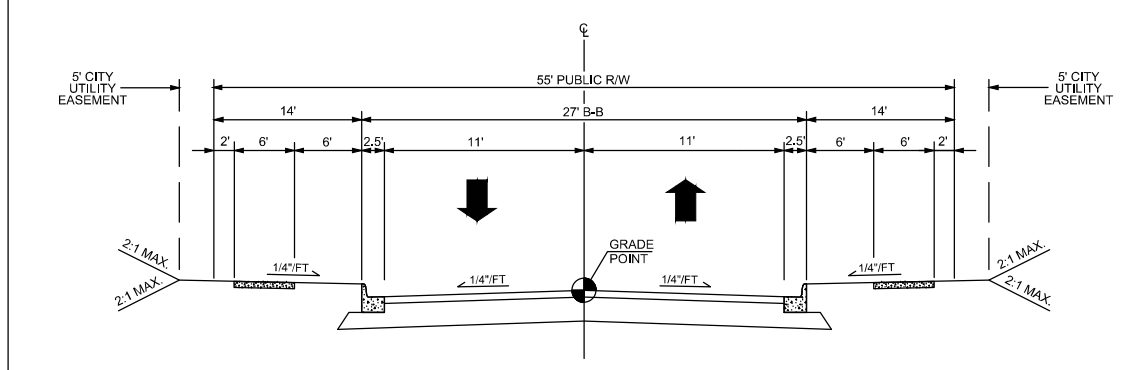
NOT APPROVED FOR CONSTRUCTION

PROJECT No.: NCR182049
 DRAWN BY: CEM
 CHECKED BY: PMA
 DATE: 03/04/19
 SCALE: 1" = 50'
 CAD I.D.: DPO

PROJECT:
PRELIMINARY SUBDIVISION PLAN
 FOR
SHENANDOAH HOMES
 LOCATION OF SITE
 13001 STRICKLAND ROAD
 RALEIGH, NC
 WAKE COUNTY
 CASE #: S-50-2018
 TRANSACTION #: 570625

BOHLER ENGINEERING NC, PLLC
 NCELS P-112
 4130 PARKLAKE AVENUE, SUITE 130
 RALEIGH, NC 27612
 Phone: (919) 578-9000
 NC@BohlerEng.com

SHEET TITLE:
EXISTING CONDITIONS & DEMOLITION PLAN
 SHEET NUMBER:
C-201



GENERAL		PAVEMENT DESIGN	
WALKWAY TYPE	SIDEWALK	PAVEMENT TYPE	3" SPSA 8" ABC
PLANTING TYPE	FREE-LAN		
TREE SPACING	REG. 4" X 6"		
PARKING TYPE	PARALLEL STAGGERED		

REV	DATE	BY
1	11/16/18	CEM
2	2/1/19	PMA
3	3/4/19	PMA

1-T-10

UTILITY POLE AND OVERHEAD LINE RELOCATION TO BE COORDINATED WITH DUKE ENERGY. FINAL LOCATION TO BE DETERMINED IN FIELD.

PROP. UTILITY POLE & OVERHEAD LINE RELOCATION TO BE COORDINATED WITH DUKE ENERGY. FINAL LOCATION TO BE DETERMINED IN FIELD.

N/F JIMMY JOURNIGAN STERLING JOURNIGAN REBECCA ELMORE USE: SINGLE-FAMILY ZONED: R-4 PIN/0788-24-8896 BM 1994, PG 172 DB 13790, PG 2504

EXISTING 20' DRIVEWAY EASEMENT BM 1981, PG 204

EXISTING 100' CP&L TRANSMISSION LINE

PROP. 18' RETAINING WALL (BY OTHERS)

PROP. 5' COR UTILITY EASEMENT (TYP.)

PROP. 5' COR UTILITY EASEMENT (TYP.)

PROP. 5' COR UTILITY EASEMENT (TYP.)

PROP. 5' COR UTILITY EASEMENT (TYP.)

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PROP. 5' COR UTILITY EASEMENT (TYP.)

PROP. 5' COR UTILITY EASEMENT (TYP.)



GRAPHIC LEGEND		
EXISTING NOTE	TYPICAL NOTE TEXT	PROPOSED NOTE
---	RIGHT-OF-WAY	---
---	ADJACENT LOT LINE	---
---	UTILITY EASEMENT	---
---	PRIVATE STORM DRAINAGE EASEMENT	---
---	SANITARY SEWER EASEMENT	---
---	TREE PROTECTION FENCE	---
---	LIMITS OF DISTURBANCE	---
---	CURB & GUTTER	---
---	FLUSH CURB	---
---	PAVEMENT STRIPING - 4" SSYL	---
---	STOP SIGN	---
---	100 YEAR FLOOD LINE	---
---	PAINTED STOP BAR	---
---	TREE	---
---	STORM INLET	---
---	STORM FLORED END SECTION	---
---	TREE CONSERVATION AREA	---
---	UTILITY POLE	---
---	OVERHEAD WIRE	---

- ### SUBDIVISION NOTES
- REFER TO GENERAL NOTES ON SHEET C-102.
 - THE SITE DOES NOT CONTAIN ANY FLOODPLAINS PER FEMA FLOOD MAP #9720078500 DATED: 5/2/06.
 - ALL CONSTRUCTION SHALL BE IN ACCORDANCE WITH CITY OF RALEIGH STANDARDS AND SPECIFICATIONS.
 - ALL CONSTRUCTION SHALL CONFORM TO ALL STATE AND LOCAL STANDARDS AND SPECIFICATIONS AND CODE REQUIREMENTS. NOTIFY DESIGNER OF ANY DISCREPANCIES. IF DISCREPANCIES ARE FOUND THE MORE STRINGENT REQUIREMENTS WILL PREVAIL.
 - ALL UTILITIES SHALL BE LOCATED UNDERGROUND.
 - SETBACKS ARE SHOWN IN ACCORDANCE WITH THE APPROVED CITY OF RALEIGH STANDARDS. REFER TO CITY OF RALEIGH LAND DEVELOPMENT ORDINANCE FOR PORCHES, DECKS, GARAGES, ETC.
 - UTILITY AND PIPELINE EASEMENTS SHALL BE RECORDED AS PART OF THE SUBDIVISION PLAT AFTER CONSTRUCTION IS COMPLETED.
 - ALL HANDICAP RAMP SHALL BE CONSTRUCTED IN ACCORDANCE WITH CURRENT CITY OF RALEIGH STANDARD DETAILS.
 - COMMON OPEN SPACE SHALL BE MAINTAINED BY THE NEIGHBORHOOD HOMEOWNERS ASSOCIATION.
 - STORMWATER DETENTION DEVICES VISIBLE FROM THE REAR YARD OF AN ADJOINING DWELLING SHALL BE SCREENED FROM OFF-SITE VIEWS, EXCEPT WHERE DEVICE PLANTINGS ALSO SERVE AS BUFFER PLANTING MATERIALS.
 - TREES SHALL NOT BE PLANTED IN ANY CITY OF RALEIGH SANITARY SEWER EASEMENTS.
 - ALL PROPOSED PAVEMENT SECTIONS ARE MINIMUM STANDARDS. FINAL PROPOSED PAVEMENT SECTION DESIGNS WILL NEED TO BE PROVIDED TO THE CITY FOR REVIEW AND APPROVAL PRIOR TO PLACEMENT OF ANY BASE MATERIAL.
 - A SIGHT DISTANCE TRIANGLE SHALL BE RECORDED ON ANY LOT WHERE THE SIGHT DISTANCE TRIANGLE EXTENDS OUTSIDE OF THE RIGHT OF WAY AS DEPICTED ON THESE PLANS. A MINIMUM OF 18' OF DRIVEWAY SHALL BE PROVIDED OUTSIDE OF THE EASEMENT ON THESE LOTS.
 - THE DEVELOPER WILL BE RESPONSIBLE FOR ALL INSTALLATION COSTS ASSOCIATED WITH STREET LIGHTING ALONG PROPOSED STREETS, ADJACENT STREETS AND THOROUGHFARES AS REQUIRED PER CITY OF RALEIGH POLICY STATEMENT. THE DEVELOPER SHALL CONTACT DUKE ENERGY AFTER PLAN APPROVAL AND PRIOR TO CONSTRUCTION IN ORDER TO DEVELOP A STREET LIGHTING PLAN FOR THE SITE/SUBDIVISION PLAN.
 - ALL INTERSECTION RADI ARE 20 FOOT RADIUS, MEETING CITY STANDARDS (MIN. 20'), UNLESS OTHERWISE NOTED.
 - EROSION CONTROL PLANS SHALL BE APPROVED PRIOR TO ANY GRADING OF THIS SITE.
 - BOUNDARY INFORMATION SHALL BE FIELD VERIFIED BY PROFESSIONAL SURVEYOR BEFORE CONSTRUCTION STAKING BEGINS.
 - SOLID WASTE: STANDARD 96 GALLON RESIDENTIAL ROLL OUT CARTS SHALL SERVE THE 27 LOTS ON SITE.
 - FINAL LOCATION OF CURBS, HANDICAP RAMP, AND 15 MINUTE PARKING SIGNS MAY BE FIELD ADJUSTED AS ALLOWABLE BY THE SITE ZONING INSPECTOR.
 - REFER TO DETAIL #10 ON THIS SHEET FOR PAVEMENT DESIGN.
 - PROPOSED STREETS WILL HAVE A 25 MPH SPEED LIMIT POSTED.
 - NO TEMPORARY OR PERMANENT ENCROACHMENTS (INCLUDING BUT NOT LIMITED TO CLEARING, GRADING, STRUCTURES, AND RETAINING WALLS) ARE PERMITTED WITHIN THE GREENWAY EASEMENT AREA WITHOUT PRIOR APPROVAL BY THE CITY OF RALEIGH.
 - THE PRIMARY STREET FOR LOT 10 IS FIELD MAPLE. THE PRIMARY STREET FOR LOT 19 IS GREY WILLOW PER THE COR DEPT.

- ### PAVEMENT MARKING & SIGNAGE NOTES
- ALL PAVEMENT MARKINGS AND STREET SIGNAGE SHALL BE IN ACCORDANCE WITH THE MUTCD.
 - PAVEMENT MARKINGS SHALL BE THERMOPLASTIC AND SHALL COMPLY WITH NCDOT STANDARDS AND SPECIFICATIONS.
 - SIGNS MUST USE PRISMATIC SHEETING AND MEET THE MINIMUM RETROREFLECTIVITY LEVELS SHOWN IN THE LATEST EDITION OF THE MUTCD. SIGNS PROVIDED FOR PEDESTRIAN CROSSINGS SHALL USE THE STRONG YELLOW-GREEN COLORING.
 - ALL SPECIALTY TRAFFIC CONTROL AND STREET NAME SIGNS AND POSTS MUST COMPLY WITH CITY OF RALEIGH POLICY STATEMENT NUMBER 85 INCLUDING ALL AMENDMENTS AS APPROVED BY THE CITY COUNCIL. REQUESTS FOR SPECIALTY SIGNS SHALL BE SUBMITTED TO AND APPROVED BY THE ENGINEERING DEPARTMENT.
 - ALL STREET NAME SIGNS SHALL ADHERE TO THE 2009 MUTCD REQUIREMENTS RELATED TO COLOR, LETTER CASE AND LETTER HEIGHTS. SIGN DESIGNS SHALL BE SUBMITTED TO CITY STAFF APPROVAL PRIOR TO ACCEPTANCE OF STREETS FOR MAINTENANCE.

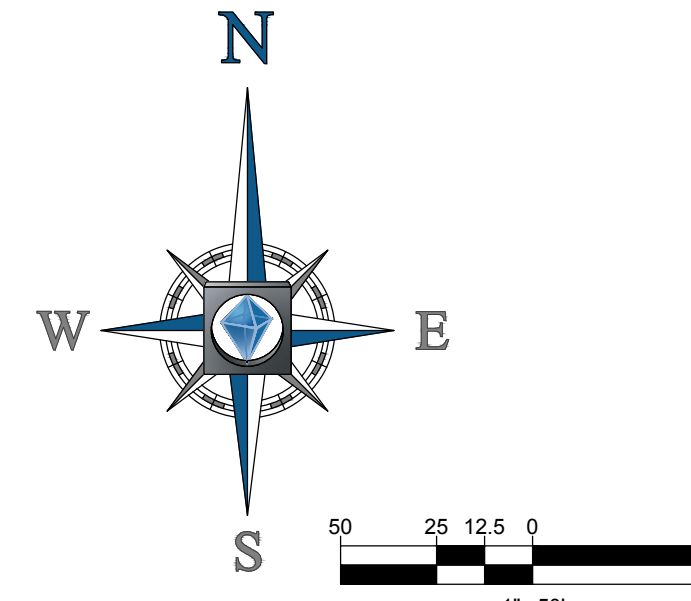
- ### STREET LIGHTING NOTES
- IN ACCORDANCE WITH THE CITY OF RALEIGH'S STREET LIGHT POLICY, THE OWNER, DEVELOPER, OR SUBDIVIDER OF A SITE PLAN OR SUBDIVISION IS REQUIRED TO INSTALL STREET LIGHTING VIA UNDERGROUND CONTRIBUTION ALONG ALL PROPOSED STREETS AND ALONG ALL EXISTING STREETS WHICH ADJOIN THE PROPERTY.
 - THE DEVELOPER WILL BE RESPONSIBLE FOR ALL INSTALLATION COSTS ASSOCIATED WITH STREET LIGHTING ALONG PROPOSED STREETS, ADJACENT STREETS, AND THOROUGHFARES AS REQUIRED PER CITY OF RALEIGH POLICY STATEMENT NO. 13. THE DEVELOPER SHALL CONTACT DUKE ENERGY OF CAROLINAS AFTER PLAN APPROVAL AND PRIOR TO CONSTRUCTION IN ORDER TO DEVELOP A STREET LIGHTING PLAN FOR THE SITE/SUBDIVISION PLANS.

- ### REQUIRED GENERAL NOTES
- SIGN PERMITTING IS A SEPARATE APPROVAL PROCESS AND HAS NOT BEEN REVIEWED OR APPROVED WITH THIS SITE PLAN. AS MASTER SIGN PLAN SHALL BE APPROVED BY THE PLANNING DEPARTMENT PRIOR TO RECORDED ON LOTS WITHIN THE DEVELOPMENT.
 - NO FENCING SHALL BE PLACED WITHIN A BUFFER UNLESS INSTALLED AT ONE TIME FOR THE ENTIRE LENGTH OF BUFFER OR STREETScape. NEITHER INDIVIDUAL LOT OWNERS NOR THE HOME OWNER'S ASSOCIATION SHALL INSTALL FENCES IN A PIECEMEAL FASHION. PRIOR TO PLACING A FENCE IN A BUFFER OR STREETScape, THE FENCE SHALL BE SUBMITTED TO AND APPROVED BY THE CITY OF RALEIGH.
 - DECORATIVE FENCING, PRIVACY FENCING, AND ENTRANCE WALLS PROPOSED TO BE LOCATED WITHIN BUFFERS AND ALONG STREET RIGHTS OF WAY MUST BE APPROVED. PROPOSED LANDSCAPING ASSOCIATED WITH THE FENCE INSTALLATION, AS REQUIRED BY THE ZONING ORDINANCE, MUST ALSO BE SHOWN ON THE ENTRANCE FEATURE PLAN.

- ### BLOCK PERIMETER NOTES
- LOTS 1-6 BLOCK PERIMETER LENGTH EXCEEDS 5,000 FT. DESIGN ADJUSTMENT SUBMITTED UNDER SEPARATE COVER AND CURRENTLY AWAITING CITY OF RALEIGH STAFF APPROVAL.
 - LOTS 7-13 BLOCK PERIMETER LENGTH = 2,938 FT. - COMPLIES
 - LOTS 14-19 BLOCK PERIMETER LENGTH = 4,330 FT. - COMPLIES

ROAD CENTERLINE LINE TABLE		
LINE	BEARING	DISTANCE
L1	S21° 47' 15"E	103.78'
L2	S61° 08' 39"E	43.77'
L3	S13° 10' 59"E	266.26'
L4	S28° 32' 22"E	98.52'
L5	S59° 52' 35"W	87.62'
L6	S76° 49' 01"W	344.54'

ROAD CENTERLINE CURVE TABLE						
CURVE	RADIUS	LENGTH	CHORD BEARING	CHORD	DELTA	TANGENT
C1	150.00'	103.04'	S41°27'57"E	101.02'	039°21'24"	53.64'
C2	150.00'	125.56'	S37°09'49"E	121.93'	047°57'40"	66.72'
C3	200.00'	53.60'	S20°51'41"E	53.44'	015°21'23"	26.96'
C4	200.00'	59.13'	S68°20'48"W	58.92'	016°56'26"	29.78'



BOHLER ENGINEERING NC, PLLC

SITE CIVIL AND CONSULTING ENGINEERING

LAND SURVEYING
PROGRAM MANAGEMENT
LANDSCAPE ARCHITECTURE
SUSTAINABLE DESIGN
PERMITTING SERVICES
TRAIL DEVELOPMENT
FROM CONCEPT TO CONSTRUCTION

REVISIONS

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1	11/16/18	REVISION PER CITY COMMENTS	CEM
2	2/1/19	REVISIONS PER CITY COMMENTS	PMA
3	3/4/19	REVISIONS PER CITY COMMENTS	PMA

811

KNOW WHAT'S BELOW
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NOT APPROVED FOR CONSTRUCTION

PROJECT No.: NCR182049
DRAWN BY: CEM
CHECKED BY: PMA
DATE: 03/04/19
SCALE: 1" = 50'
CAD I.D.: SP0

PRELIMINARY SUBDIVISION PLAN

FOR

SHENANDOAH HOMES

LOCATION OF SITE
13001 STRICKLAND ROAD
RALEIGH, NC
WAKE COUNTY
CASE #: S-50-2018
TRANSACTION #: 570625

BOHLER ENGINEERING NC, PLLC

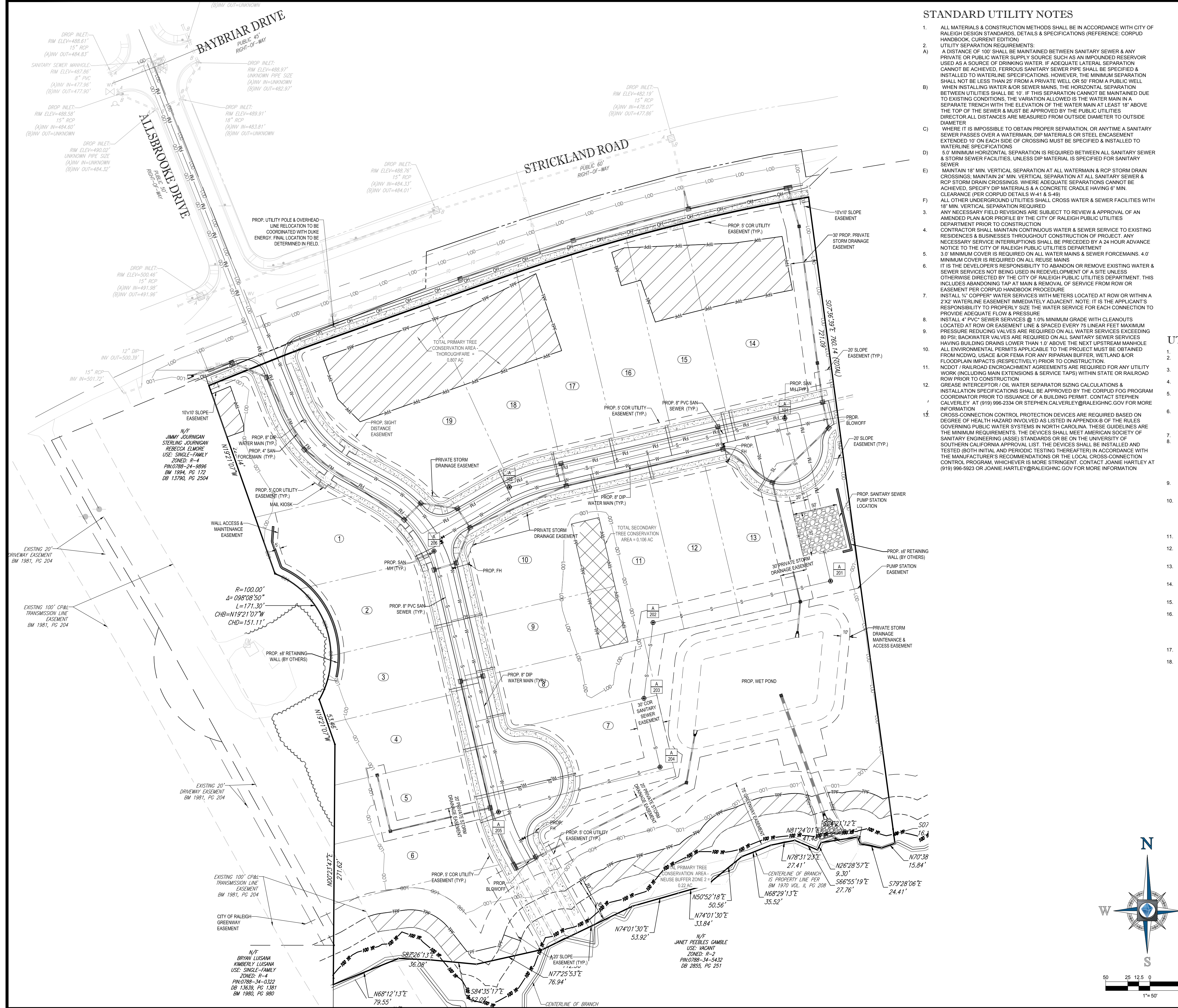
4130 PARKLAKE AVENUE, SUITE 130
RALEIGH, NC 27612
Phone: (919) 578-9000
NC@BohlerEng.com

SHEET TITLE:

SUBDIVISION PLAN

SHEET NUMBER:

C-301



STANDARD UTILITY NOTES

- ALL MATERIALS & CONSTRUCTION METHODS SHALL BE IN ACCORDANCE WITH CITY OF RALEIGH DESIGN STANDARDS, DETAILS & SPECIFICATIONS (REFERENCE: CORPUD HANDBOOK, CURRENT EDITION).
- UTILITY SEPARATION REQUIREMENTS:
A DISTANCE OF 10' SHALL BE MAINTAINED BETWEEN SANITARY SEWER & ANY PRIVATE OR PUBLIC WATER SUPPLY SOURCE SUCH AS AN IMPROVED RESERVOIR USED AS A SOURCE OF DRINKING WATER. IF ADEQUATE LATERAL SEPARATION CANNOT BE ACHIEVED, FERROUS SANITARY SEWER PIPE SHALL BE SPECIFIED & INSTALLED TO WATERLINE SPECIFICATIONS. HOWEVER, THE MINIMUM SEPARATION SHALL NOT BE LESS THAN 24" FROM A PRIVATE WELL OR 50' FROM A PUBLIC WELL. WHEN INSTALLING WATER & OR SEWER MAINS, THE HORIZONTAL SEPARATION BETWEEN UTILITIES SHALL BE 10'. IF THIS SEPARATION CANNOT BE MAINTAINED DUE TO EXISTING CONDITIONS, THE VARIATION ALLOWED IS THE WATER MAIN IN A SEPARATE TRENCH WITH THE ELEVATION OF THE WATER MAIN AT LEAST 18" ABOVE THE TOP OF THE SEWER & MUST BE APPROVED BY THE PUBLIC UTILITIES DIRECTOR. ALL DISTANCES ARE MEASURED FROM OUTSIDE DIAMETER TO OUTSIDE DIAMETER.
- WHERE IT IS IMPOSSIBLE TO OBTAIN PROPER SEPARATION, OR ANYTIME A SANITARY SEWER PASSES OVER A WATERMAIN, DIP MATERIALS OR STEEL ENCASEMENT EXTENDED 10' ON EACH SIDE OF CROSSING MUST BE SPECIFIED & INSTALLED TO WATERLINE SPECIFICATIONS.
- 5.0' MINIMUM HORIZONTAL SEPARATION IS REQUIRED BETWEEN ALL SANITARY SEWER & STORM SEWER FACILITIES, UNLESS DIP MATERIAL IS SPECIFIED FOR SANITARY SEWER.
- MAINTAIN 18" MIN. VERTICAL SEPARATION AT ALL WATERMAIN & RCP STORM DRAIN CROSSINGS; MAINTAIN 24" MIN. VERTICAL SEPARATION AT ALL SANITARY SEWER & RCP STORM DRAIN CROSSINGS. WHERE ADEQUATE SEPARATIONS CANNOT BE ACHIEVED, SPECIFY DIP MATERIALS & A CONCRETE CRADLE HAVING 6" MIN. CLEARANCE (PER CORPUD DETAILS W-41 & S-49).
- ALL OTHER UNDERGROUND UTILITIES SHALL CROSS WATER & SEWER FACILITIES WITH 18" MIN. VERTICAL SEPARATION REQUIRED.
- ANY NECESSARY FIELD REVISIONS ARE SUBJECT TO REVIEW & APPROVAL OF AN AMENDED PLAN &/OR PROFILE BY THE CITY OF RALEIGH PUBLIC UTILITIES DEPARTMENT PRIOR TO CONSTRUCTION.
- CONTRACTOR SHALL MAINTAIN CONTINUOUS WATER & SEWER SERVICE TO EXISTING RESIDENCES & BUSINESSES THROUGHOUT CONSTRUCTION OF PROJECT. ANY NECESSARY SERVICE INTERRUPTIONS SHALL BE PRECEDED BY A 24 HOUR ADVANCE NOTICE TO THE CITY OF RALEIGH PUBLIC UTILITIES DEPARTMENT.
- 3.0' MINIMUM COVER IS REQUIRED ON ALL WATER MAINS & SEWER FORCE MAINS. 4.0' MINIMUM COVER IS REQUIRED ON ALL REUSE MAINS.
- IT IS THE DEVELOPER'S RESPONSIBILITY TO ABANDON OR REMOVE EXISTING WATER & SEWER SERVICES NOT BEING USED IN REDEVELOPMENT OF A SITE UNLESS OTHERWISE DIRECTED BY THE CITY OF RALEIGH PUBLIC UTILITIES DEPARTMENT. THIS INCLUDES ABANDONING TAP AT MAIN & REMOVAL OF SERVICE FROM ROW OR EASEMENT PER CORPUD HANDBOOK PROCEDURE.
- INSTALL 1/2" COPPER WATER SERVICES WITH METERS LOCATED AT ROW OR WITHIN A 2' X 2' WATERLINE EASEMENT IMMEDIATELY ADJACENT. NOTE: IT IS THE APPLICANT'S RESPONSIBILITY TO PROPERLY SIZE THE WATER SERVICE FOR EACH CONNECTION TO PROVIDE ADEQUATE FLOW & PRESSURE.
- INSTALL 4" PVC SEWER SERVICES @ 1.0% MINIMUM GRADE WITH CLEANOUTS LOCATED AT ROW OR EASEMENT LINE & SPACED EVERY 75 LINEAR FEET MAXIMUM PRESSURE REDUCING VALVES ARE REQUIRED ON ALL WATER SERVICES EXCEEDING 80 PSI. BACKWATER VALVES ARE REQUIRED ON ALL SANITARY SEWER SERVICES HAVING BUILDING DRAINS LOWER THAN 1.0' ABOVE THE NEXT UPSTREAM MANHOLE. ALL ENVIRONMENTAL PERMITS APPLICABLE TO THE PROJECT MUST BE OBTAINED FROM NCDOW, USACE, OR FEMA FOR ANY RIPARIAN BUFFER, WETLAND &/OR FLOODPLAIN IMPACTS (RESPECTIVELY) PRIOR TO CONSTRUCTION.
- NCDOT / RAILROAD ENCROACHMENT AGREEMENTS ARE REQUIRED FOR ANY UTILITY WORK (INCLUDING MAIN EXTENSIONS & SERVICE TAPS) WITHIN STATE OR RAILROAD ROW PRIOR TO CONSTRUCTION.
- GREASE INTERCEPTOR / OIL WATER SEPARATOR SIZING CALCULATIONS & INSTALLATION SPECIFICATIONS SHALL BE APPROVED BY THE CORPUD FOG PROGRAM COORDINATOR PRIOR TO ISSUANCE OF A BUILDING PERMIT. CONTACT STEPHEN CALVERLEY AT (919) 996-2334 OR STEPHEN.CALVERLEY@RALEIGHNC.GOV FOR MORE INFORMATION.
- CROSS-CONNECTION CONTROL PROTECTION DEVICES ARE REQUIRED BASED ON DEGREE OF HEALTH HAZARD INVOLVED AS LISTED IN APPENDIX-B OF THE RULES GOVERNING PUBLIC WATER SYSTEMS IN NORTH CAROLINA. THESE GUIDELINES ARE THE MINIMUM REQUIREMENTS. THE DEVICES SHALL MEET AMERICAN SOCIETY OF SANITARY ENGINEERING (ASSE) STANDARDS OR BE ON THE UNIVERSITY OF SOUTHERN CALIFORNIA APPROVAL LIST. THE DEVICES SHALL BE INSTALLED AND TESTED (BOTH INITIAL AND PERIODIC TESTING THEREAFTER) IN ACCORDANCE WITH THE MANUFACTURER'S RECOMMENDATIONS OR THE LOCAL CROSS-CONNECTION CONTROL PROGRAM, WHICHEVER IS MORE STRINGENT. CONTACT JOANIE HARTLEY AT (919) 996-5923 OR JOANIE.HARTLEY@RALEIGHNC.GOV FOR MORE INFORMATION.

GRAPHIC LEGEND

EXISTING NOTE	TYPICAL NOTE TEXT	PROPOSED NOTE
	UTILITY EASEMENT	---
	LIMITS OF DISTURBANCE	---LOD---
	SANITARY SEWER EASEMENT	---
	100 YEAR FLOOD LINE	---100 YR---
	STORM INLET	■
	STORM FLARED END SECTION	▽
	STORM SEWER	---
	SANITARY SEWER MAIN	S-S
	SANITARY SEWER FORCE MAIN	FM-FM
	WATERMAIN	W-W
	HYDRANT	⊕
	SANITARY MANHOLE	⊙
	TEST PIT	⊞
	TREE CONSERVATION AREA	▨
	WATER METER	⊙
	SANITARY SEWER METER	⊙
	OVERHEAD WIRE	OH
	UTILITY POLE	⊙

UTILITY NOTES

- REFER TO GENERAL NOTES SHEET C-102.
- ALL MATERIALS AND METHODS OF CONSTRUCTION SHALL BE IN ACCORDANCE WITH THE CITY OF RALEIGH STANDARD SPECIFICATIONS AND DETAILS.
- BOUNDARY, TOPOGRAPHIC AND EXISTING CONDITIONS INFORMATION WAS TAKEN FROM A DIGITAL FILE PROVIDED BY BOHLER ENGINEERING SURVEY GROUP.
- NO FEMA MAPPED FLOOD PLANS EXIST ON SITE PER FEMA MAP NO. 3720078500J DATED 5/26/06.
- THE SITE HAS BEEN REVIEWED FOR WETLANDS, NEUSE RIVER BUFFERS, AND CREEKS BY SAGE ECOLOGICAL SERVICES AND JURISDICTIONAL FEATURES ARE SHOWN HEREON.
- ALL MANHOLES LOCATED OUTSIDE OF PAVED AREAS SHALL HAVE A RIM ELEVATION ONE FOOT ABOVE FINISHED GRADE. ALL MANHOLES WITHIN THE 100-YEAR FLOODPLAIN SHALL HAVE A RIM ELEVATION A MINIMUM OF TWO FEET ABOVE FINISHED GRADE.
- WATERLINES SHALL BE 2' MINIMUM OFF EDGE OF CURB UNLESS SHOWN OTHERWISE. WATER MAINS SHALL BE LAID AT LEAST 10' LATERALLY MEASURED EDGE TO EDGE FROM EXISTING OR PROPOSED SANITARY OR STORM SEWER UNLESS ELEVATIONS OF THE BOTTOM OF THE WATER MAIN IS AT LEAST 18" ABOVE THE TOP OF THE SEWER WITH A HORIZONTAL SEPARATION OF AT LEAST 3'. WHERE A WATER MAIN AND SANITARY SEWER CROSS, AND THE VERTICAL SEPARATION IS LESS THAN 18" OR THE WATERLINE PASSES UNDER THE SANITARY SEWER, THE SEWER MAIN SHALL BE DUCTILE IRON PIPE. ALL WATERLINES SHALL BE DUCTILE IRON PIPE.
- CONTRACTOR SHALL VERIFY LOCATION OF ALL EXISTING UTILITIES PRIOR TO CONSTRUCTION. LOCATION OF EXISTING UTILITIES SHOWN ON PLANS IS BASED ON BEST AVAILABLE INFORMATION BUT CAN BE CONSIDERED ONLY AS APPROXIMATE. CLEANOUT REQUIREMENT METHOD AS SPECIFIED IN RALEIGH STANDARD 7.01. CLEANOUTS LOCATED IN PAVED AREAS MUST HAVE CAST IRON RISERS, FITTINGS, AND BRASS CAPS.
- NO DRY UTILITIES (SUCH AS CABLE, PHONE, POWER) SHALL BE ALLOWED TO RUN LONGITUDINALLY UNDER PAVEMENT AND SHOULD BE INSTALLED BEHIND THE CURB. THIS DESIGN MEETS ALL CURRENT CITY OF RALEIGH STANDARDS SPECIFICATIONS AND DETAILS EXCEPT WHERE SPECIFICALLY NOTED BELOW.
- WATER LINES ARE SHOWN GRAPHICALLY. IT IS THE SOLE RESPONSIBILITY OF THE CONTRACTOR TO CONSTRUCT THE LINES PER CORPUD STANDARDS, USING PIPE DEFLECTION AND BENDS AS REQUIRED.
- GATE VALVES AND TEES ARE SHOWN GRAPHICALLY. IT IS THE SOLE RESPONSIBILITY OF THE CONTRACTOR TO FIELD LOCATE VALVES SO THEY DO NOT CONFLICT WITH CURB AND GUTTER OR OTHER UTILITIES.
- NO WALL STRUCTURE, INCLUDING TIEBACKS, SHALL BE IN ANY SANITARY SEWER EASEMENT.
- ALL UTILITY OR OTHER PIPES, WIRING, CONDUITS, CABLES, AND FIXTURES, INCLUDING BUT NOT LIMITED TO ELECTRICAL, GAS, TELEPHONE, AND TELECOMMUNICATIONS LINES, FIBER OPTIC CABLES AND THE LIKE, SHALL BE INSTALLED UNDERGROUND, EXCEPT FOR TRANSMISSION LINES WITH A VOLTAGE OF 15KV OR GREATER. OR IN SITUATIONS WHERE SUCH PLACEMENT IS PROHIBITED OR DETERMINED TO BE PRACTICAL BY THE CITY COUNCIL IN A QUASI-JUDICIAL HEARING. CONTRACTOR SHALL NOTIFY NORTH CAROLINA ONE-CALL (1-800-632-4949) TO LOCATE ALL EXISTING UTILITIES PRIOR TO BEGINNING CONSTRUCTION.
- THE PRIMARY STREET FOR LOT 19 IS FIELD MAPLE. THE PRIMARY STREET FOR LOT 19 IS GREY WILLOW PER THE COR DEPT.

BOHLER ENGINEERING NC, PLLC
 SITE CIVIL AND CONSULTING ENGINEERING
 LAND SURVEYING
 PROGRAM MANAGEMENT
 LANDSCAPE ARCHITECTURE
 SUSTAINABLE DESIGN
 PERMITTING SERVICES
 TRAFFIC PLANNING
 UTILITY DESIGN
 FROM A PROFESSIONAL ENGINEER'S OFFICE AS REQUIRED BY THE STATE OF NORTH CAROLINA

REVISIONS

REV	DATE	COMMENT	BY
1	11/16/18	REVISION PER CITY COMMENTS	CEM
2	2/1/19	REVISIONS PER CITY COMMENTS	PMA
3	3/4/19	REVISIONS PER CITY COMMENTS	PMA

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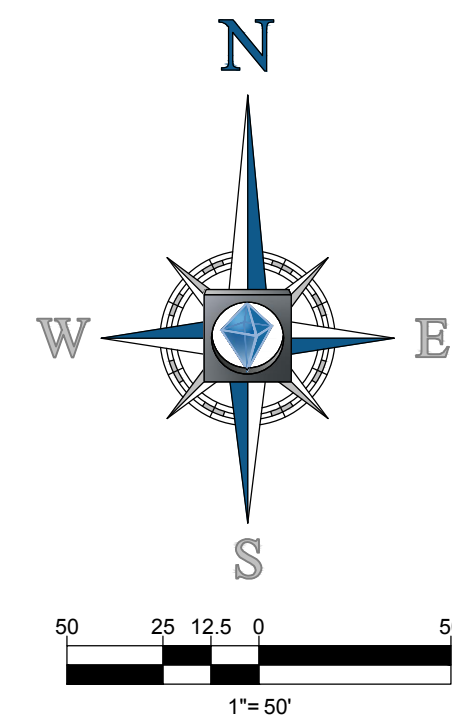
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SHEET TITLE:
UTILITY PLAN

SHEET NUMBER:
C-501





CITY OF RALEIGH, NORTH CAROLINA
COMPLIANCE CHARTS

SECTION	REQUIREMENTS
	SCREENING TYPE: STORM WATER RETENTION POND (SECTION 7.2.6.G)
	REQUIRED:
	1. ALL VEGETATIVE SCREENING SHALL BE 75% LOCALLY-ADAPTED EVERGREEN SPECIES.
	2. ALL VEGETATIVE MATERIAL SHALL BE PLANTED SO AS TO ATTAIN A SCREEN OCCUPYING AT LEAST 75% OF A VERTICAL PLANE AROUND THE PERIMETER OF THE FACILITY TO AN AVERAGE MATURE HEIGHT OF 6 FEET ABOVE GRADE.
	3. SCREENING SHALL BE REQUIRED AROUND THE BASE OF THE DAM STRUCTURE (AS APPLICABLE), BUT NOT ON THE DAM STRUCTURE, WITH THOSE PLANT MATERIALS IN IMMEDIATE PROXIMITY TO THE DAM CHARACTERIZED BY SHALLOW, NON-INVASIVE ROOT SYSTEMS.
	4. SCREENING SHALL NOT BE REQUIRED WITHIN REQUIRED FACILITY INLETS OR FACILITY OUTLETS OR WITHIN A MAINTENANCE ACCESS PATH PROVIDED THAT SUCH PATH DOES NOT EXCEED 12 FEET IN WIDTH. IN ALL OTHER INSTANCES, AT AN AVERAGE MATURE HEIGHT OF PLANTING, THE MAXIMUM OPEN HORIZONTAL SPACE BETWEEN VEGETATIVE SCREENING MATERIALS SHALL NOT BE MORE THAN 2 FEET IN WIDTH.
	5. VEGETATIVE MATERIAL COMPOSING THE SCREEN SHALL BE SELECTED AND INSTALLED SO AS TO EXHIBIT VARIETY IN TEXTURE, COLOR, SPREAD AND HEIGHT BY USING ORNAMENTAL OR DECIDUOUS SHADE TREES IN COMBINATION WITH EVERGREEN MATERIALS.
	6. IN SOME CASES, VEGETATIVE MATERIAL MAY BE PLACED IN CLUSTERS OR GROUPS TO ADD ADDITIONAL VISUAL INTEREST AS WELL AS TO ACHIEVE INTERMITTENT LEVELS OF VERTICAL HEIGHT. AND
	7. IN SITUATIONS WHERE THE STORMWATER CONTROL FACILITY UTILIZES A FENCE, ALL VEGETATIVE MATERIAL ASSOCIATED WITH SCREENING THE FACILITY SHALL BE LOCATED OUTSIDE THE FENCE.
	8. IN SITUATIONS WHERE A FENCE AND GATE ARE PROPOSED, THE FENCE AND GATE SHALL BE COLORED BLACK, FOREST GREEN, DARK BROWN OR SIMILAR DARK COLOR, UNLESS THE FENCE IS CONSTRUCTED OF MASONRY, WOOD OR SIMILAR NATURAL MATERIAL, IN WHICH
	PROVIDED:
	1. REQUIREMENT SATISFIED
	2. REQUIREMENT SATISFIED
	3. REQUIREMENT SATISFIED
	4. REQUIREMENT SATISFIED
	5. REQUIREMENT SATISFIED
	6. REQUIREMENT SATISFIED
	7. N/A
	8. N/A
	THE SYMBOL "*" IS USED TO IDENTIFY PLANT MATERIAL USED TO SATISFY THIS PLANTING REQUIREMENT

U.D.O ARTICLE 7.2: LANDSCAPE & SCREENING
STORM WATER RETENTION PONDS
& DETENTION BASINS

CITY OF RALEIGH, NORTH CAROLINA
COMPLIANCE CHARTS

SECTION	REQUIREMENTS
	STREET TYPE: EXISTING STREET (UDO SECTION 8.5.1.D.2) STRICKLAND ROAD - 717 LF REFER TO MCDOT PLANTING PERMIT APPROVED 3/1/19.
	REQUIRED:
	WIDTH: 6 LF (STRIP BETWEEN BACK OF CURB TO SIDEWALK) UNDER STORY TREES (1 TREE EVERY 20 LF O.C.): 32 TREES REQUIRED
	PROVIDED:
	WIDTH: 6 LF (STRIP BETWEEN BACK OF CURB TO SIDEWALK) UNDER STORY TREES: 32
	THE SYMBOL "*" IS USED TO IDENTIFY PLANT MATERIAL USED TO SATISFY THIS PLANTING REQUIREMENT
	STREET TYPE: NEIGHBORHOOD YIELD (SECTION 3.2.2.A) FIELD MAPLE CT. = 652 LF - 156 LF (CUL DE SAC BULB) = 506 LF
	REQUIRED:
	SHADE TREES (AVERAGE): 1 TREE PLANTED, 40 LF O.C. 506 LF / 40 = 12.65 x 2 (EITHER SIDE OF RIGHT OF WAY) = (24) SHADE TREES REQUIRED
	PROVIDED:
	SHADE TREES: 28
	THE SYMBOL "@" IS USED TO IDENTIFY PLANT MATERIAL USED TO SATISFY THIS PLANTING REQUIREMENT
	STREET TYPE: NEIGHBORHOOD YIELD (SECTION 3.2.2.A) GREY WILLOW DRIVE = 467 LF - 138 LF (CUL DE SAC BULB) = 329 LF
	REQUIRED:
	SHADE TREES (AVERAGE): 1 TREE PLANTED, 40 LF O.C. 329 LF / 40 = 8.2 x 2 (EITHER SIDE OF RIGHT OF WAY) = (16) SHADE TREES REQUIRED
	PROVIDED:
	SHADE TREES: 19
	THE SYMBOL "*" IS USED TO IDENTIFY PLANT MATERIAL USED TO SATISFY THIS PLANTING REQUIREMENT

LANDSCAPE SCHEDULE

KEY	QTY.	BOTANICAL NAME	COMMON NAME	INSTALL SIZE	CONT.	MATURE SIZE
BIO RETENTION SCREENING PLANT SCHEDULE: "*" *						
SHADE TREES						
AR	9	ACER RUBRUM	RED MAPLE	2 1/2" CAL./10-14" HT.	B+B	40'-60" HT.
BN	6	BETULA NIGRA	MULTI-STEM BIRCH	10-14" HT.	B+B	50'-70" HT.
SUBTOTAL	15					
ORNAMENTAL TREES						
CC	9	CERCIS CANADENSIS	EASTERN REDBUD	2 1/2" CAL./8-10" HT.	B+B	20'-40" HT.
SUBTOTAL	9					
EVERGREEN TREES						
PF	6	PRUNUS FLEXILIS	LIMBER PINE	6-7" HT.	B+B	20'-25" HT.
PT	3	PRUNUS THUNBERGIANA	JAPANESE BLACK PINE	7-8" HT.	B+B	20'-30" HT.
TD	7	TAXODIUM DISTICHUM	BALD CYPRESS	8-10" HT.	B+B	25'-30" HT.
SUBTOTAL	16					
EVERGREEN SHRUBS						
ICBUR	47	ILEX CORNUTA 'BURFORD'	BURFORD HOLLY	34-37" HT.	#5 CAN	10'-15" HT.
IGC	82	ILEX GLABRA 'COMPACT'	DWARF HOLLIBERRY HOLLY	24-30" HT.	#5 CAN	2'-4' HT.
MYC	89	MYRICA CERIFERA	WAX MYRTLE	4-5" HT.	B+B	20" HT.
VR	83	VEURNUA X RHYTIDOPHYLLUM	LEATHERLEAF VIBURNUM	3-4" HT.	B+B	6'-10" HT.
SUBTOTAL	301					
STRICKLAND ROAD PLANT SCHEDULE: "*" *						
ORNAMENTAL TREES						
LF2	32	LAGERSTROEMIA INDOCA 'FREDERAZOER'	SINGLE STEM ORNAMENTAL FREDERAZOER	1-1 1/2" CAL./8-10" HT.	B+B	25'-35" HT.
SUBTOTAL	32					
FIELD MAPLE COURT PLANT SCHEDULE: "*" @						
SHADE TREES						
OPH	28	QUERCUS PHELLOS	WILLOW OAK	2 1/2" CAL./10-14" HT.	B+B	40'-60" HT.
SUBTOTAL	28					
GREY WILLOW DRIVE PLANT SCHEDULE: "*" @						
SHADE TREES						
QBC	19	QUERCUS BICOLOR	SWAMP WHITE OAK	2 1/2" CAL./10-14" HT.	B+B	45" HT.
SUBTOTAL	19					

TREE CONSERVATION AREA

LEGEND

SANITARY SEWER LATERAL	—S—
UNDERGROUND WATER LINE	—W—
OVERHEAD WIRE	—O—
STORM SEWER	—SS—
SANITARY SEWER FORCE MAIN	—FM—
SANITARY SEWER MAIN	—SM—
HYDRANT	⊙
SANITARY MANHOLE	⊙

NOTE: STREET TREES SHALL BE INSTALLED AND MAINTAINED IN ACCORDANCE WITH THE REQUIREMENTS OF CHAPTER 2 OF THE CITY TREE MANUAL

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SHEET TITLE:
LANDSCAPE PLAN

SHEET NUMBER:
C-701