



Administrative Approval Action

5613 Winthrop Drive Subdivision: S-45-18,
Transaction# 568746, DA-113-2018, AA#3883

City of Raleigh
Development Services Department
One Exchange Plaza
Raleigh, NC 27602
(919) 996-2495
DS.help@raleighnc.gov
www.raleighnc.gov

LOCATION: This site is located immediately west of the intersection of Winthrop Drive and Sleepy Hollow Drive. The site address is 5613 Winthrop Drive and the PIN is 0796168444.

REQUEST: Subdivision of a 5.49 acre tract zoned Residential-4 (R-4) in the Brookhaven Neighborhood Conservation Overlay District (NCOD). The applicant is requesting to subdivide the site into 4 single family lots and 1 open lot. Each lot is a minimum 20,000 square feet.

**DESIGN
ADJUSTMENT(S)/
ALTERNATES, ETC:**

One Design Adjustment has been approved by the Development Services Designee for this project, noted below.

1. A Design Adjustment waiving the block perimeter requirement in the UDO Section 8.3, has been approved. Reference DA-113-2018 for details.

FINDINGS: City Administration finds that this request, with the below conditions of approval being met, conforms to the Unified Development Ordinance. This approval is based on a preliminary plan dated 10/1/2018 by Johnny A. Edwards of John a. Edwards & Company.

CONDITIONS OF APPROVAL and NEXT STEPS:

This document must be applied to the second sheet of all future submittals except for final plats. This is a preliminary plan and as such no permits have been issued with this approval. To obtain permits and/or completion of the project, the following steps are required:

CONCURRENT SITE REVIEW - For land disturbance of 12,000 square feet or greater, public or private infrastructure, shared stormwater devices, etc. Concurrent Site Review may be submitted upon receipt of this signed approval document.

The following items are required prior to approval of Concurrent Site Review plans:

Engineering

1. A right-of-way obstruction permit must be obtained from Right-of-way Services prior to the commencement of any construction activities within the right-of-way.

Stormwater

2. A 100-year floodplain analysis shall be submitted and approved by the Engineering Services Department prior to the issuance of any grading or site permit (UDO 9.3).
3. The State of North Carolina shall approve any proposed disturbance within the riparian buffer prior to the issuance of any grading or site permit (UDO 9.2.3.E).



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- 4. A surety equal to of the cost of clearing, grubbing and reseeding a site, shall be paid to the City (UDO 9.4.4).

Urban Forestry

- 5. Submit a final tree conservation plan that includes metes and bounds descriptions of all tree conservation areas and tree protection fencing as required (UDO 9.1.5).
- 6. Tree protection fence must be inspected by Urban Forestry staff prior to the issuance of a grading permit.

LEGAL DOCUMENTS - Email to legaldocumentreview@raleighnc.gov. Legal documents must be approved, executed, and recorded prior to or in conjunction with the recorded plat on which the associated easements are shown. Copies of recorded documents must be returned to the City within one business day of recording to avoid withholding of further permit issuance.

<input checked="" type="checkbox"/>	City Code Covenant	<input type="checkbox"/>	Slope Easement
<input type="checkbox"/>	Stormwater Maintenance Covenant	<input type="checkbox"/>	Transit Easement
<input checked="" type="checkbox"/>	Utility Placement Easement	<input type="checkbox"/>	Cross Access Easement
<input type="checkbox"/>	Sidewalk Easement	<input type="checkbox"/>	Public Access Easement
		<input checked="" type="checkbox"/>	Other: 10' Greenway Easement within sanitary sewer easement & 75' Greenway Easement on both sides of Hare Snipe Creek water body

RECORDED MAP(S) - Submit plat to record new property lines, easements, tree conservation areas, etc.). Plats may be submitted for review when the Concurrent Site Review plans, if required, have been deemed ready for mylar signature.

The following items must be approved prior to recording the plat:

General

- 1. The City Code Covenant shall be approved by the City and recorded with the county register of deeds office where the property is located and a copy of the recorded document shall be provided to the City by the end of the next business day following the recordation of the final plat. Further recordings and building permits will be withheld if the recorded document is not provided to the City.
- 2. A demolition permit shall be issued and this building permit number shown on all maps for recording.
- 3. The greenway easement as shown on the preliminary plan shall be dedicated prior to, or in conjunction with the recording of a map in any phase affected by the greenway.



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Engineering

4. The required right of way for proposed and/or existing streets shall be dedicated to the City of Raleigh and shown on the map approved for recordation.
5. A 5' general utility easement and associated deed of easement shall be approved by the City and the location of the easement shall be shown on the map approved for recordation. The deed of easement shall be recorded at Wake County Register of Deeds within one day of recordation of the recorded plat. A recorded copy of these documents must be provided to the Development Services Department within one day from authorization of lot recordation. If recorded copies of the documents are not provided, further recordings and building permit issuance will be withheld.
6. A public infrastructure surety is provided to the City of Raleigh Development Services – Development Engineering program (UDO 8.1.3).

Stormwater

7. The flood prone areas, as approved by the City Stormwater Engineer and shown on the preliminary plan, shall be shown on the recorded map (UDO 9.3.3.G).
8. The riparian buffers, in accordance with the preliminary plan and the State of North Carolina regulations, shall be shown on plats for recording along with required buffer statement (Recorded Map Checklist).

Urban Forestry

9. A tree conservation plat shall be recorded with metes and bounds showing the designated tree conservation areas (UDO 9.1). This development proposes .57 acres of tree conservation area.

EXPIRATION DATES: If significant construction has not taken place on a project after preliminary subdivision approval, that approval may "sunset" and be declared void, requiring re-approval before permits may be issued. To avoid allowing this preliminary approval to "sunset", the following must take place by the following dates:

3-Year Sunset Date: 11/9/2021
Record at least ½ of the land area approved.

5-Year Sunset Date: 11/9/2023
Record entire subdivision.

I hereby certify this administrative decision.

Signed:(Planning Dir./Designee)

Date: 11/9/18

Staff Coordinator: Daniel L. Stegall


Design Adjustment Staff Response



**DEVELOPMENT
SERVICES
DEPARTMENT**

Per Section 10.2.18.C of the Unified Development Ordinance, the Development Services Director, or designee, shall consult with the heads of other City Departments regarding the review of the request. The Development Services Director, or designee, shall approve, approve with conditions or deny the request, but must do so within 60 days of the receipt of a completed application. Additional time may be necessary if a municipal or state entity is incorporated in the review process or if a detailed engineering study is submitted in conjunction with the request.

PROJECT	Project Name	5613 Winthrop	
	Development Case Number	S-45-2018	
	Transaction Number	568746	
	Design Adjustment Number	DA - 113 - 2018	
Staff recommendation based upon the findings in the applicable code(s):			
<input checked="" type="checkbox"/> <u>UDO Art. 8.3 Blocks, Lots, Access</u>		<input type="checkbox"/> <u>UDO Art. 8.5 Existing Streets</u>	
<input type="checkbox"/> <u>UDO Art. 8.4 New Streets</u>		<input type="checkbox"/> <u>Raleigh Street Design Manual</u>	
Staff SUPPORTS <input checked="" type="checkbox"/> DOES NOT SUPPORT <input type="checkbox"/> the design adjustment request.			
DEPARTMENTS			
<input type="checkbox"/> Dev. Services Planner		<input type="checkbox"/> City Planning	
<input checked="" type="checkbox"/> Development Engineering <i>KC Beard</i>		<input type="checkbox"/> Transportation	
<input type="checkbox"/> Engineering Services		<input type="checkbox"/> Parks & Recreation and Cult. Res.	
<input type="checkbox"/> Public Utilities			
STAFF RESPONSE	CONDITIONS:		
Development Services Director or Designee Action: <input checked="" type="checkbox"/> APPROVE <input type="checkbox"/> APPROVE WITH CONDITIONS <input type="checkbox"/> DENY			


KENNETH A. RITCHIE, PE, MPP
11/9/2018
 Authorized Signature *ENGINEERING AND INFRASTRUCTURE MANAGER* Date

*The Development Services Director may authorize a designee to sign in his/her stead. Please print name and title next to signature. Appeal of the decision from the Development Services Director, or his or her designee, shall be made in writing within 30 days to the Board of Adjustment (see Section 10.2.18.C3b).

Staff Response

Article 8.3 Blocks Lots, Access



DEVELOPMENT
SERVICES
DEPARTMENT

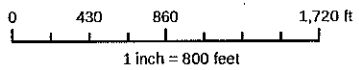
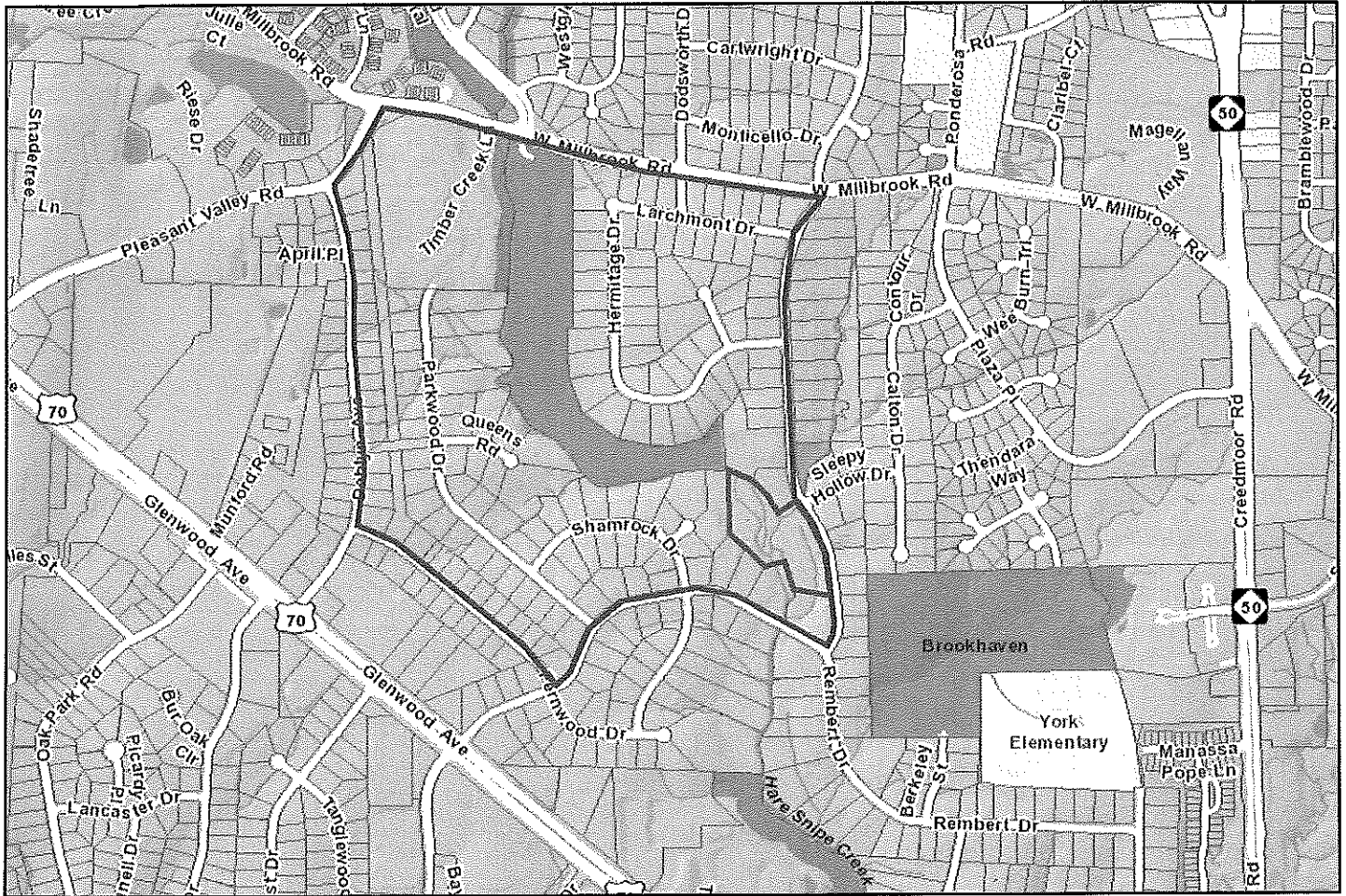
The Development Services Director may in accordance with *Sec. 10.2.18*. approve a design adjustment, subject to all of the following findings.

- A. The requested design adjustment meets the intent of this Article;
YES NO
- B. The requested design adjustment conforms with the Comprehensive Plan and adopted City plans;
YES NO
- C. The requested design adjustment does not increase congestion or compromise Safety;
YES NO
- D. The requested design adjustment does not create any lots without direct street Frontage;
YES NO
- E. The requested design adjustment is deemed reasonable due to one or more of the following:
1. Topographic changes are too steep;
 2. The presence of existing buildings, stream and other natural features;
 3. Site layout of developed properties;
 4. Adjoining uses or their vehicles are incompatible;
 5. Strict compliance would pose a safety hazard; or
 6. Does not conflict with an approved or built roadway construction project
 7. adjacent to or in the vicinity of the site.
- YES NO

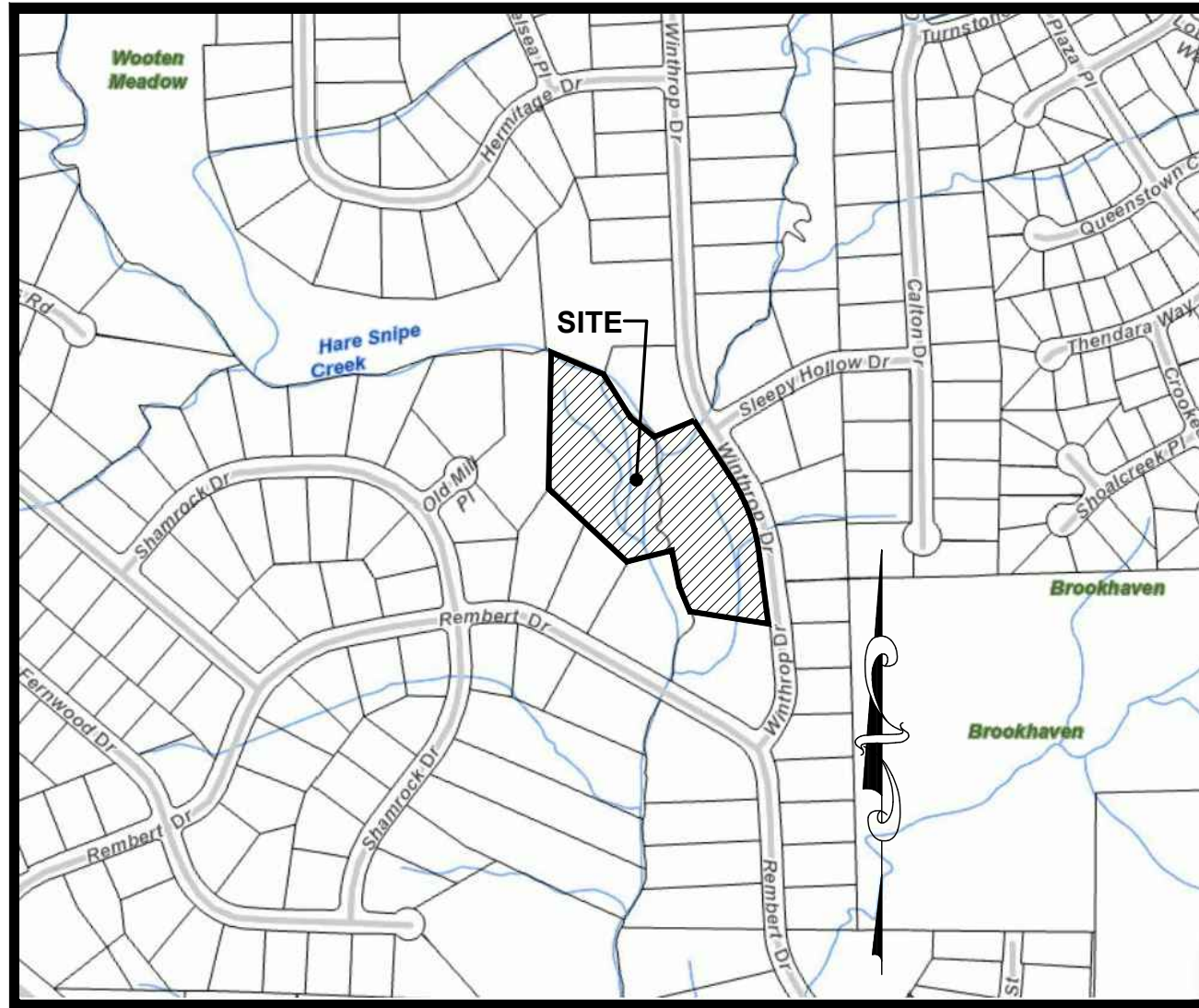
STAFF FINDINGS

This design adjustment is to request a waiver from the block perimeter requirement to provide a public street access within this site based on the topography, the floodplain of a Neuse Riparian Buffer along Hare Snipe Creek and developed properties to the west and south of this site. The specific block perimeter analysis is within the development application and see the attached plan sheet for limitations of this site.

A petition sidewalk project on the east side of Winthrop Drive is being designed by the City and will provide a more convenient sidewalk access to the sidewalk being constructed along these west side subdivision lots. A new 10' greenway easement is being dedicated to the City within Lot 1 to connect to the existing City of Raleigh 75' greenway easement.



Disclaimer
 Maps makes every effort to produce and publish the most current and accurate information possible. However, the maps are produced for information purposes, and are NOT surveys. No warranties, expressed or implied, are provided for the data therein, its use, or its interpretation.



VICINITY MAP
1" = 500'

5613 WINTHROP DRIVE SUBDIVISION

PRELIMINARY SUBDIVISION PLAN

S-45-18

TRANS. #568746

RALEIGH, NORTH CAROLINA

SEPTEMBER 4, 2018

REVISED OCTOBER 1, 2018

SOLID WASTE INSPECTIONS STATEMENT
DEVELOPER IS IN COMPLIANCE WITH
THE REQUIREMENTS SET FORTH IN
THE SOLID WASTE DESIGN MANUAL.
PRIVATE SERVICE TO BE PROVIDED.

ALL CONSTRUCTION SHALL BE IN
ACCORDANCE WITH CITY OF RALEIGH
AND / OR NCDOT STANDARDS AND
SPECIFICATIONS.

HORIZONTAL DATUM: NAD83
VERTICAL DATUM: NAVD88



Preliminary Subdivision Plan Application

Development Services Customer Service Center | 1 Exchange Plaza, Suite 400 | Raleigh, NC 27601 | (919) 996-2005 | fax (919) 996-1831
Litchford Satellite Office | 8320 - 130 Litchford Road | Raleigh, NC 27601 | (919) 996-4200

When submitting plans, please check the appropriate review type and include the Plan Checklist document.

Office Use Only: Transaction #	Project Coordinator	Team Leader
PRELIMINARY APPROVALS		
<input checked="" type="checkbox"/> Subdivision *	<input type="checkbox"/> Conventional Subdivision	<input type="checkbox"/> Compact Development
*May require City Council approval if in a Metro Park Overlay or Historic Overlay District		
If your project has been through the Due Diligence process, provide the transaction #:		
GENERAL INFORMATION		
Development Name: 5613 Winthrop Drive Subdivision		
Proposed Use: Single Family		
Property Address(es): 5613 Winthrop Drive		
Wake County Property Identification Number(s) for each parcel to which these guidelines will apply:		
PIN Recorded Deed 0798-16-8444	PIN Recorded Deed	PIN Recorded Deed
What is your project type?		
<input checked="" type="checkbox"/> Single family	<input type="checkbox"/> Townhouse	<input type="checkbox"/> Subdivision in a non-residential zoning district
<input type="checkbox"/> Other (describe):		
OWNER/DEVELOPER INFORMATION		
Company Name: Hare Snipe Land Company, LLC Owner/Developer Name: Hare Snipe Land Company, LLC		
Address: 3216 Millstream Place - Raleigh NC 27609		
Phone: (919) 573-6118	Email: louis@newootenlawfirm.com	Fax: swooten@rabondailey.com
CONSULTANT/CONTACT PERSON FOR PLANS		
Company Name: John A. Edwards & Company Contact Name: Johnny A. Edwards		
Address: 333 Wade Ave. - Raleigh NC 27605		
Phone: (919) 828-4428	Email: johnny@jaeco.com	Fax: (919) 828-4711

PAGE 1 OF 3 WWW.RALEIGHNC.GOV REVISION 03.11.16

DEVELOPMENT TYPE AND SITE DATA TABLE (Applicable to all developments)	
ZONING INFORMATION	
Zoning District(s): R-4 & Brookhaven NCOD South	
If more than one district, provide the acreage of each:	
Overlay District?	<input checked="" type="checkbox"/> Yes <input type="checkbox"/> No: Brookhaven NCOD South
Inside City Limits?	<input checked="" type="checkbox"/> Yes <input type="checkbox"/> No
CUD (Conditional Use District) Case #:	
COA (Certificate of Appropriateness) Case #:	
BDA (Board of Adjustment) Case #:	
STORMWATER INFORMATION	
Existing Impervious Surface	0 AC, acres/sf
Proposed Impervious Surface	0.64 AC, acres/sf
Flood Hazard Area	<input type="checkbox"/> Yes <input checked="" type="checkbox"/> No
Wetlands	<input type="checkbox"/> Yes <input checked="" type="checkbox"/> No
If in a Flood Hazard Area, provide the following:	
Alluvial Soils:	Flood Study: FEMA Map Panel #:
NUMBER OF LOTS AND DENSITY	
Total # of Townhouse Lots:	Detached: Attached:
Total # of Single Family Lots:	4 Total # of All Lots: 5
Overall Units/Acre Densities Per Zoning Districts: 0.7 DU / AC.	
Total # of Open Space and/or Common Area Lots:	
SIGNATURE BLOCK (Applicable to all developments)	
In filing this plan as the property owner(s), I/we do hereby agree and bind ourselves, my/our heirs, executors, administrators, successors and assigns jointly and severally to construct all improvements and make all dedications as shown on this proposed subdivision plan as approved by the City.	
I hereby designate John A. Edwards to serve as my agent regarding this application, to receive and respond to administrative comments; to resubmit plans on my behalf, and to represent me in any public meeting regarding this application.	
I/we have read, acknowledge, and affirm that this project is conforming to all application requirements applicable with the proposed development use.	
Signature: <i>L. S. Wooten, III, Manager</i>	Date: 9/15/2018
Signature:	Date:

PAGE 2 OF 3 WWW.RALEIGHNC.GOV REVISION 03.11.16

SITE DATA

OWNER: HARE SNIPE LAND COMPANY, LLC
STEPHEN E. WOOTEN
LOUIS E. WOOTEN III
3216 MILLSTREAM PLACE
RALEIGH, NC 27609-7057

ADDRESS: 5613 WINTHROP DRIVE
RALEIGH, NC 27609-7057

PIN#: 0796-16-8444

ZONING: R-4 BROOKHAVEN NCOD SOUTH

AREA: 237,952 S.F. (5.4626 AC.)

CURRENT LAND USE: VACANT

PROPOSED DENSITY: 0.7 DU / AC.

REFERENCE: DB 10556, PG 1035
MB 2018, PG 1708
WAKE COUNTY REGISTRY

BROOKHAVEN NCOD

- SOUTH DISTRICT (SOUTH OF MILLBROOK ROAD)
 - MINIMUM LOT SIZE: 20,000 SQUARE FEET.
 - LOT WIDTH AT THE BUILDING SETBACK LINE: MINIMUM OF 100 FEET.
 - FRONT YARD SETBACK: MINIMUM OF 50 FEET.
 - MAXIMUM BUILDING HEIGHT: 2 1/2 STORIES.

S-21-18 TRANSACTION# 555503
WITHDRAWN JUNE 12, 2018

INDEX

- | | |
|------|----------------------------|
| CE-1 | EXISTING CONDITIONS |
| CE-2 | SUBDIVISION PLAN |
| CE-3 | UTILITY PLAN |
| CE-4 | STORMWATER MANAGEMENT PLAN |
| CE-5 | TREE CONSERVATION PLAN |
| LA-1 | PLANTING PLAN |
| GW | GREENWAY PLAN |

OWNER/DEVELOPER:

HARE SNIPE LAND COMPANY, LLC

Stephen E. Wooten
Louis E. Wooten III
3216 Millstream Place
Raleigh, N.C. 27609-7057
swooten@rabondailey.com
louis@thewootenlawfirm.com

CIVIL ENGINEER:

JOHN A. EDWARDS & COMPANY

Consulting Engineers
NC License F-0289
333 Wade Ave., Raleigh, N.C. 27605
Phone: (919) 828-4428
Fax: (919) 828-4711
E-mail: info@jaeco.com





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Project
**5613 WINTHROP DRIVE
SUBDIVISION**

Client
**HARE SNIPE
LAND COMPANY, LLC**

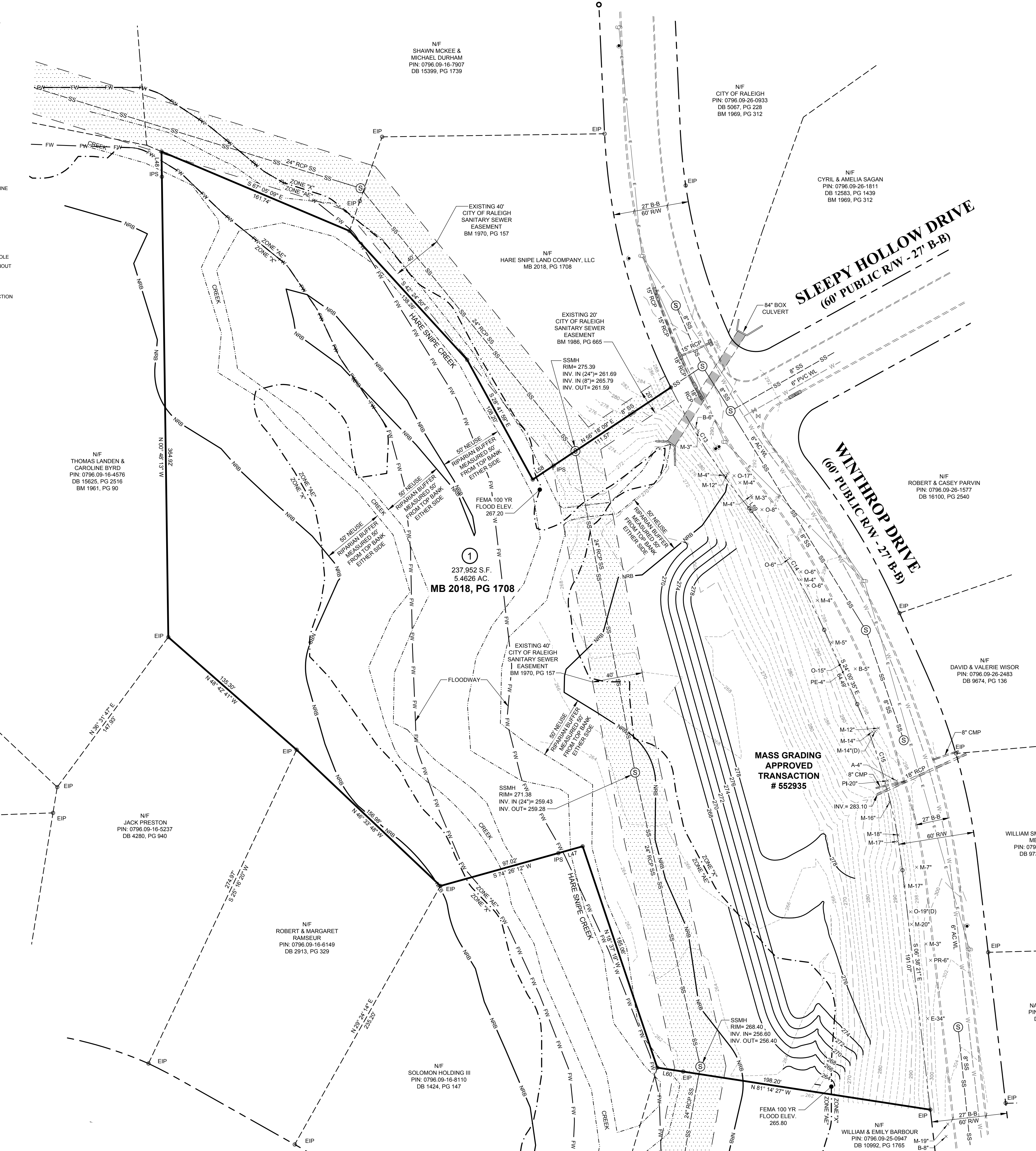
Drawing Title
**EXISTING
CONDITIONS**

Revisions		
Number	Description	Date
1	CITY REVIEW COMMENTS	10-01-18

Drawing Scale 1" = 40'
Drawn By BF
Checked By JAE, JR
Date Issued 10/01/18

LEGEND

- | | |
|---|---------------------------------|
| BM BOOK OF MAPS | MH MANHOLE |
| DB DEED BOOK | WL WATER LINE |
| PG PAGE | WM WATER METER |
| RW RIGHT-OF-WAY | WV WATER VALVE |
| AC ACREAGE | WS WATER SERVICE |
| S.F. SQUARE FEET | FH FIRE HYDRANT |
| EIP EXISTING IRON PIPE | FL FIRE LINE |
| IPS IRON PIPE SET | BO BLOWOFF |
| NF NOW OR FORMERLY | HC HANDICAP |
| ELEV. ELEVATION | TC TOP OF CURB |
| EX. EXISTING | TW TOP OF WALL |
| EDP EDGE OF PAVEMENT | BW BOTTOM OF WALL |
| CB CATCH BASIN | HB HANDICAP BOTTOM |
| DI DROP INLET | HT HANDICAP TOP |
| D.I. DUCTILE IRON | MIN. MINIMUM |
| CMP CORRUGATED METAL PIPE | TYP. TYPICAL |
| JB JUNCTION BOX | INV. INVERT |
| HW HEADWALL | SW SIDEWALK |
| SS SANITARY SEWER | SP SPACES |
| FES FLARED END SECTION | C.O. CLEANOUT |
| FFE FINISHED FLOOR ELEVATION | C&G CURB AND GUTTER |
| PVC POLYVINYL CHLORIDE PIPE | ESMT EASEMENT |
| FDC FIRE DEPARTMENT CONNECTION | CONC. CONCRETE |
| RCP REINFORCED CONCRETE PIPE | ESMT EASEMENT |
| RPP REDUCED PRESSURE ZONE | TSP TRAFFIC SIGNAL POLE |
| DCVA DOUBLE CHECK VALVE ASSEMBLY | AC WL ASBESTOS CEMENT WATERLINE |
| RPDA REDUCED PRESSURE DETECTOR ASSEMBLY | |
-
- | | |
|------------------------------|------------------------------|
| CONCRETE | EX. POWER POLE |
| EX. WATER VALVE | NEW WATER VALVE |
| EX. FIRE HYDRANT | NEW WATER REDUCER |
| EX. WATER METER | NEW FIRE HYDRANT |
| EX. SANITARY SEWER MANHOLE | NEW WATER METER |
| EX. SANITARY SEWER CLEANOUT | NEW SANITARY SEWER MANHOLE |
| EX. STORM CATCH BASIN | NEW SANITARY SEWER CLEANOUT |
| EX. STORM DROP INLET | NEW STORM CATCH BASIN |
| EX. STORM FLARED END SECTION | NEW STORM DROP INLET |
| EX. LIGHT POLE | NEW STORM FLARED END SECTION |
-
- | | |
|--------------------------|-------------------------|
| PROPERTY LINE | RIGHT-OF-WAY LINE |
| LOT LINE | EASEMENT LINE |
| EXISTING WATER LINE | EXISTING SANITARY SEWER |
| EXISTING STORM DRAINAGE | NEW WATER LINE |
| NEW SANITARY SEWER | NEW STORM DRAINAGE |
| EXISTING CONTOUR LINE | NEW CONTOUR LINE |
| FEMA 100 YR. FLOOD PLAIN | FLOODWAY |
| NEUSE RIVER BUFFER | CENTERLINE OF CREEK |
-
- | | |
|----------------------------------|-----------------|
| EXISTING SANITARY SEWER EASEMENT | BM 1970, PG 157 |
|----------------------------------|-----------------|



BOUNDARY LINE TABLE

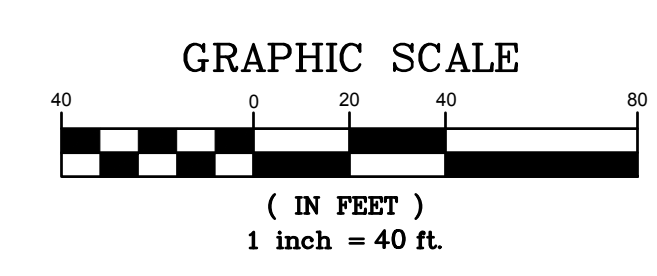
LINE #	LENGTH	DIRECTION
L1	20.00'	N 56°18'09" E
L2	2.87'	S 38°56'04" E
L3	20.73'	N 81°14'27" W
L4	20.00'	S 74°26'12" W
L5	20.00'	N 00°48'13" W

BOUNDARY CURVE TABLE

CURVE	LENGTH	RADIUS	DELTA	CHORD	CHORD BEARING
C1	114.29'	507.46'	012°54'14"	114.05'	S 32°54'55" E
C2	110.71'	452.07'	014°01'55"	110.44'	S 31°30'29" E
C3	136.92'	452.90'	017°19'16"	136.39'	S 15°12'26" E

EXISTING TREE LEGEND

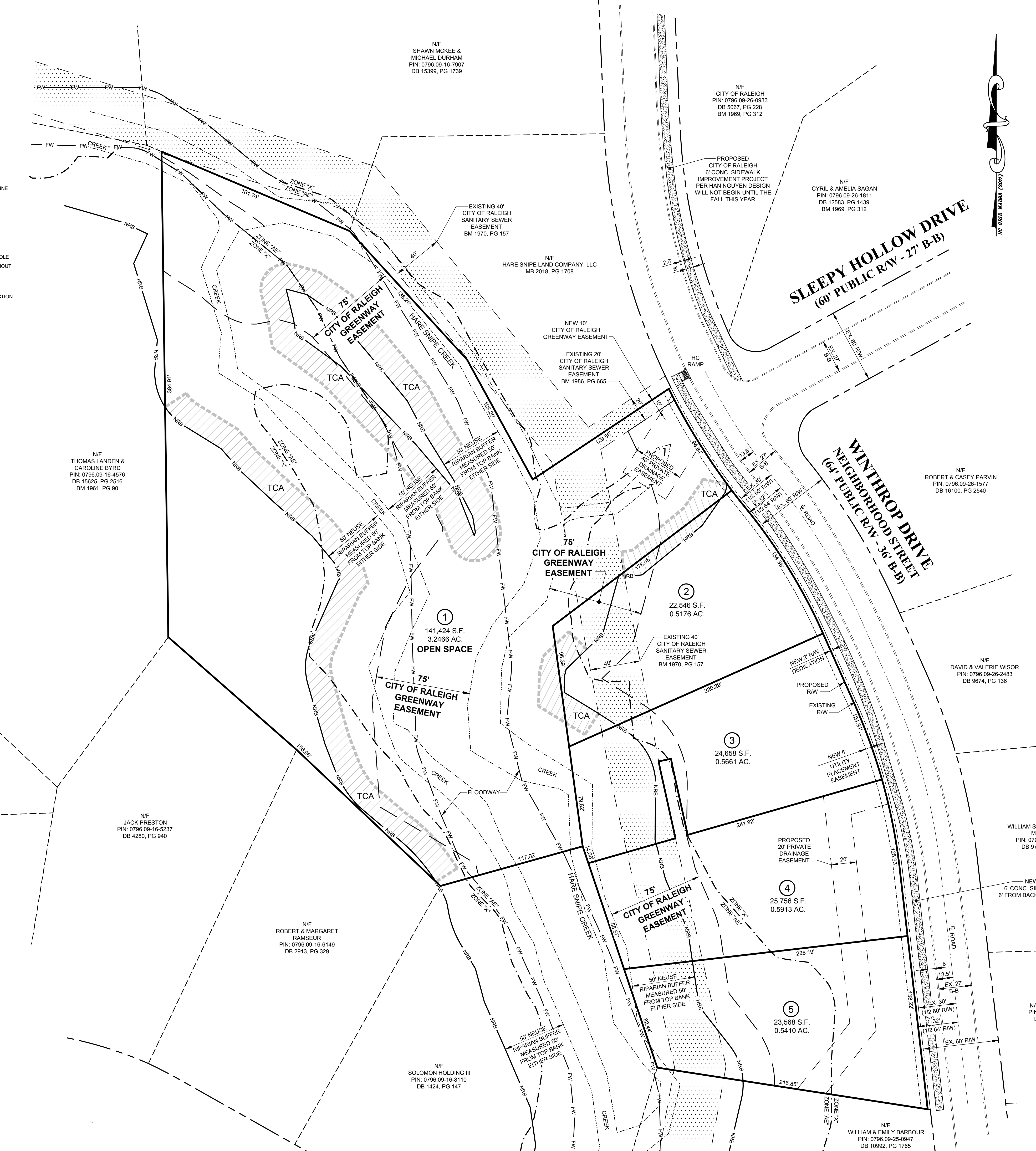
A	= ASH
B	= BIRCH
(D)	= DEAD
E	= ELM
M	= MAPLE
O	= OAK
PE	= PECAN
PI	= PINE
PR	= PRIVET



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LEGEND

- | | |
|---|---------------------------------|
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| EASEMENT LINE | EASEMENT LINE |
| EXISTING WATER LINE | EXISTING WATER LINE |
| EXISTING SANITARY SEWER | EXISTING SANITARY SEWER |
| EXISTING STORM DRAINAGE | EXISTING STORM DRAINAGE |
| W | NEW WATER LINE |
| SS | NEW SANITARY SEWER |
| W | NEW STORM DRAINAGE |
| -270 | EXISTING CONTOUR LINE |
| 270 | NEW CONTOUR LINE |
| FW | FLOODWAY |
| NRB | NEUSE RIVER BUFFER |
| FW | CENTERLINE OF CREEK |
| FW | GREENWAY EASEMENT |
| FW | DIVERSION DITCH |
-
- | |
|---|
| EXISTING SANITARY SEWER EASEMENT
BM 1970, PG 157 |
| PRIMARY TREE CONSERVATION AREA
NEUSE BUFFER ZONE 2 |



SITE DATA

OWNER: HARE SNIPE LAND COMPANY, LLC
STEPHEN E. WOOTEN
LOUIS E. WOOTEN III
3216 MILLSTREAM PLACE
RALEIGH, NC 27609-7057

ADDRESS: 5613 WINTHROP DRIVE
RALEIGH, NC 27609-7057

PIN#: 0796-16-8444

ZONING: R-4 BROOKHAVEN NCDOT SOUTH

AREA: 237,952 S.F. (5.4626 AC.)

CURRENT LAND USE: VACANT

PROPOSED DENSITY: 0.7 DU / AC.

REFERENCE: DB 10556, PG 1035
MB 2018, PG 1708
WAKE COUNTY REGISTRY

JOHN A. EDWARDS & COMPANY
 Consulting Engineers
 and Land Surveyors

NC License F-0289
 333 Wade Ave., Raleigh, N.C. 27605
 Phone: (919) 828-4428
 Fax: (919) 828-4711
 E-mail: info@jaeco.com

www.jaeco.com

5613 WINTHROP DRIVE
 SUBDIVISION

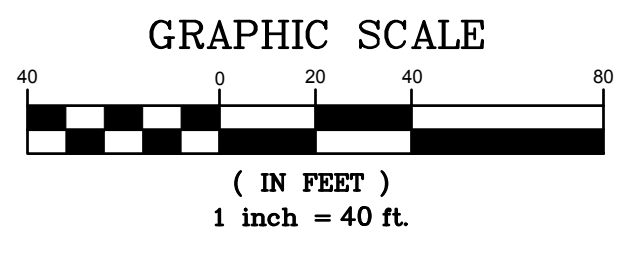
HARE SNIPE
 LAND COMPANY, LLC

ALL CONSTRUCTION SHALL BE IN ACCORDANCE WITH CITY OF RALEIGH AND / OR NCDOT STANDARDS AND SPECIFICATIONS.

SUBDIVISION PLAN

Number	Description	Date
1	CITY REVIEW COMMENTS	10-01-18

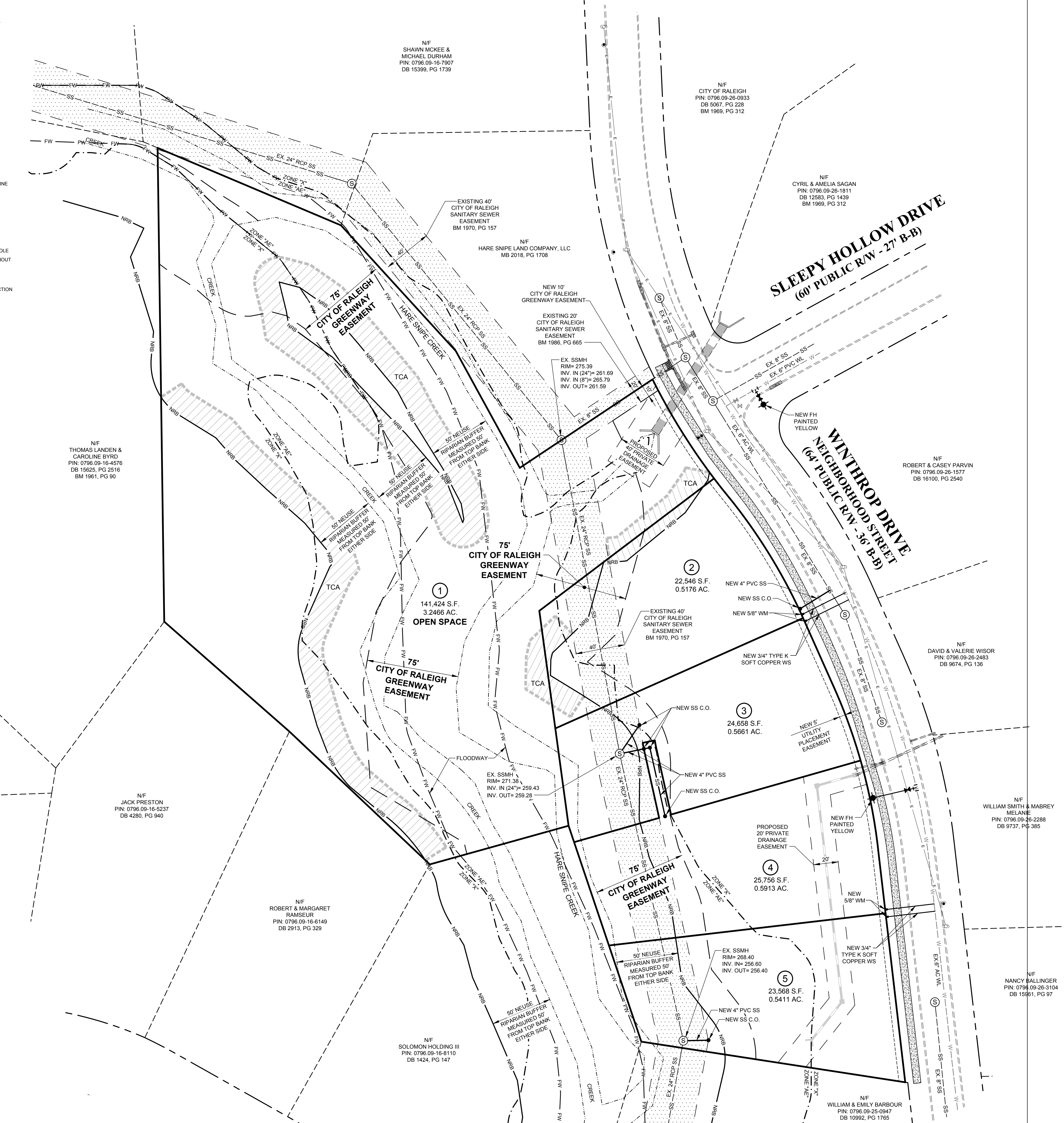
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LEGEND

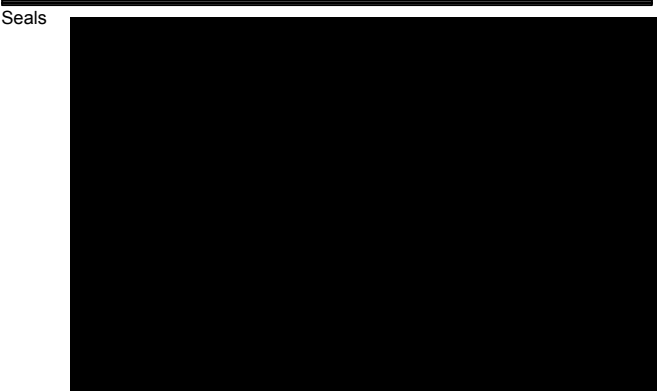
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|---|---------------------------------|
| BM BOOK OF MAPS | MH MANHOLE |
| DB DEED BOOK | WL WATER LINE |
| PG PAGE | WM WATER METER |
| RW RIGHT-OF-WAY | WV WATER VALVE |
| AC ACREAGE | WS WATER SERVICE |
| S.F. SQUARE FEET | FH FIRE HYDRANT |
| EP EXISTING IRON PIPE | FL FIRE LINE |
| IPS IRON PIPE SET | BO BLOWOFF |
| NIF NOW OR FORMERLY | HC HANDICAP |
| ELEV. ELEVATION | TC TOP OF CURB |
| EX. EXISTING | TW TOP OF WALL |
| EDP EDGE OF PAVEMENT | BW BOTTOM OF WALL |
| CB CATCH BASIN | HB HANDICAP BOTTOM |
| DI DROP INLET | HT HANDICAP TOP |
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| CMP CORRUGATED METAL PIPE | TYP. TYPICAL |
| JB JUNCTION BOX | INV. INVERT |
| HW HEADWALL | SW SIDEWALK |
| SS SANITARY SEWER | SP SPACES |
| FES FLARED END SECTION | C.O. CLEANOUT |
| FFE FINISHED FLOOR ELEVATION | C&G CURB AND GUTTER |
| PVC POLYVINYL CHLORIDE PIPE | ESMT. EASEMENT |
| FDC FIRE DEPARTMENT CONNECTION | CONC. CONCRETE |
| RCP REINFORCED CONCRETE PIPE | CS&G CURB AND GUTTER |
| RPP REDUCED PRESSURE ZONE | TSP TRAFFIC SIGNAL POLE |
| DCVA DOUBLE CHECK VALVE ASSEMBLY | AC.WL ASBESTOS CEMENT WATERLINE |
| RPDA REDUCED PRESSURE DETECTOR ASSEMBLY | |
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|------------------------------|------------------------------|
| CONCRETE | EX. POWER POLE |
| EX. WATER VALVE | NEW WATER REDUCER |
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|--------------------------|
| PROPERTY LINE |
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| LOT LINE |
| EASEMENT LINE |
| EXISTING WATER LINE |
| EXISTING SANITARY SEWER |
| EXISTING STORM DRAINAGE |
| NEW WATER LINE |
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| FEMA 100 YR. FLOOD PLAIN |
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| GREENWAY EASEMENT |
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-
- | |
|---|
| EXISTING SANITARY SEWER EASEMENT
BM 1970, PG 157 |
| PRIMARY TREE CONSERVATION AREA
NEUSE BUFFER ZONE 2 |



JOHN A. EDWARDS & COMPANY
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Project
**5613 WINTHROP DRIVE
 SUBDIVISION**

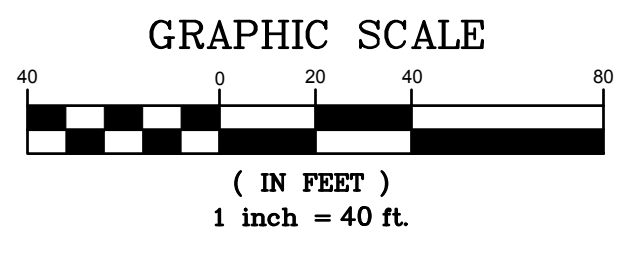
Client
**HARE SNIPE
 LAND COMPANY, LLC**

- GENERAL NOTES**
- CONTRACTOR TO FIELD VERIFY LOCATION & ELEVATION OF ALL EXISTING UTILITIES PRIOR TO CONSTRUCTION.
 - UTILITY CONSTRUCTION SHALL BE IN ACCORDANCE WITH CITY OF RALEIGH AND / OR NCDOT STANDARDS AND SPECIFICATIONS UNLESS OTHERWISE NOTED.
- ALL CONSTRUCTION SHALL BE IN ACCORDANCE WITH CITY OF RALEIGH AND / OR NCDOT STANDARDS AND SPECIFICATIONS.

UTILITY PLAN

Revisions		
Number	Description	Date
1	CITY REVIEW COMMENTS	10-01-18

Drawing Scale 1" = 40'
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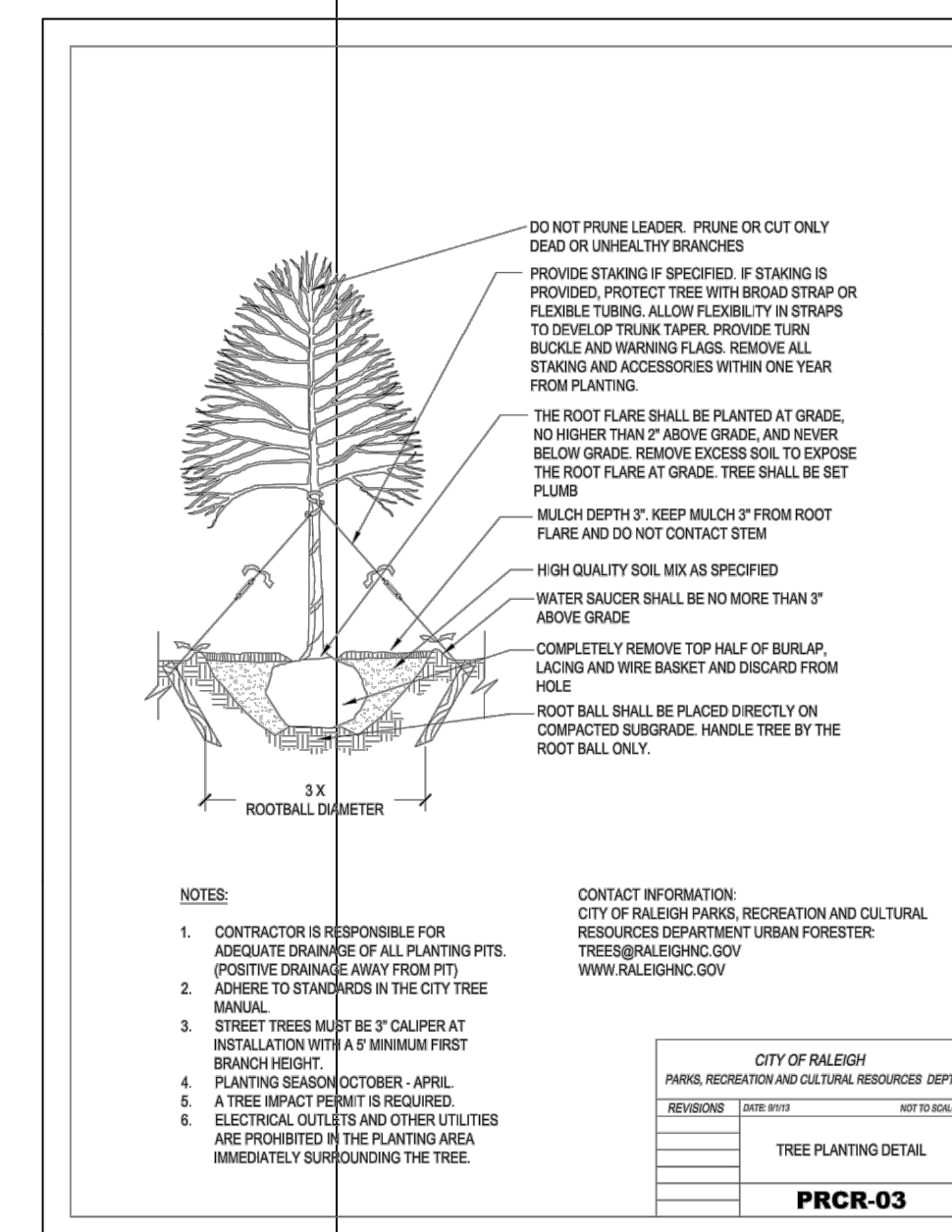
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Project
**5613 WINTHROP DRIVE
SUBDIVISION**

Client
**HARE SNIPE
LAND COMPANY, LLC**

PLANT SCHEDULE

KEY QUAN.	BOTANICAL NAME	COMMON NAME	MIN. CAL.	MIN. HT.	MIN. ROOT
Qp 13	Quercus phellos	Willow Oak	3"	10'	BB
Cc 5	Cercis canadensis	Eastern Redbud	1.5"	6'	BB



TREE PLANTING DETAIL

PLANTING NOTES:

- All plant materials to comply with American Standard for Nursery Stock ANSI.Z60.
- Plant locations to be approved in field prior to installation.
- Substitutions of plant materials specified can only occur with prior approval by Landscape Architect.
- Establish plant bed configurations. Landscape Architect to approve bed layout in field.
- Install plants and mulch beds with 4" of pinestraw.
- Lawn areas to be seeded and strawed.
- Landscape Contractor to maintain plant materials for a one year period following substantial completion.
- Areas damaged from plant relocation or other activities of Landscape Contractor to be reseeded and established at no additional cost to the owner.
- A Tree Impact Permit will be submitted with the construction documents.

City of Raleigh Planting Requirements:

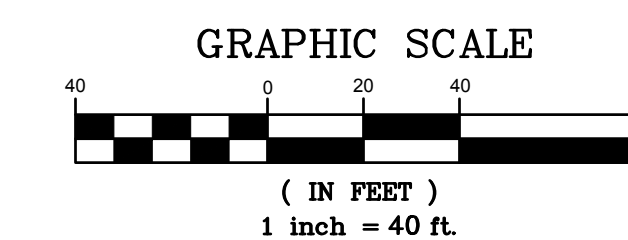
1) STREET YARD:

WINTHROP DRIVE:
Provided: (1) 3" Caliper tree per 40 lf.
Provided: (1) 1.5" Caliper tree per 20 lf under power lines.
Trees placed between curb & sidewalk.
(628 lf.) = 18 trees.

A tree impact permit will be applied for with construction document submittal.

TREE LEGEND

- = Qp (Quercus phellos/Willow Oak)
- = Cc (Cercis canadensis/Redbud)



PLANTING PLAN

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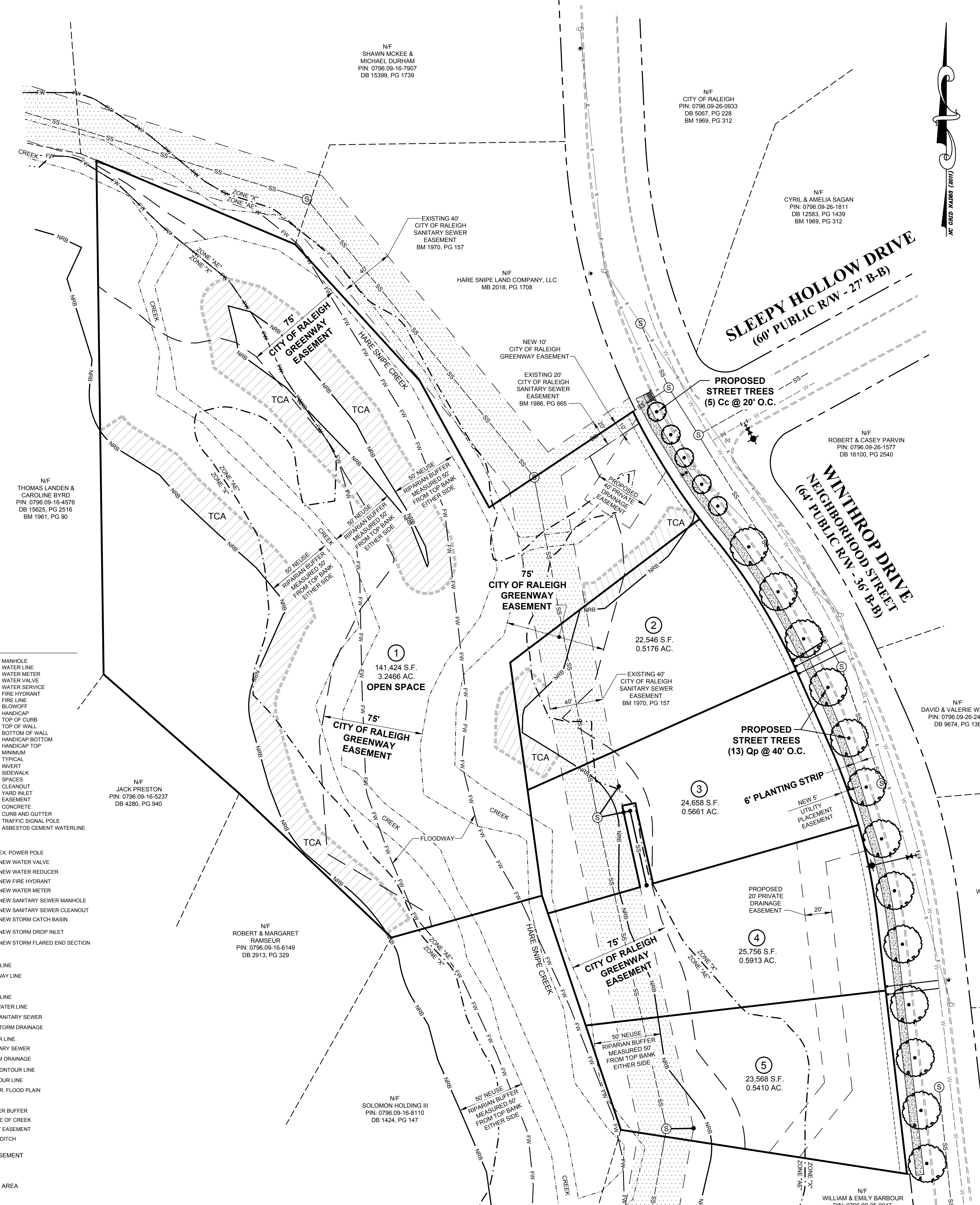
LEGEND

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FRE FINISHED FLOOR ELEVATION	YI YARD INLET
PVC POLYVINYL CHLORIDE PIPE	ESMT. EASEMENT
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RPC REINFORCED CONCRETE PIPE	C&G CURB AND GUTTER
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EX. STORM FLARED END SECTION	NEW STORM DROP INLET
EX. LIGHT POLE	NEW STORM FLARED END SECTION

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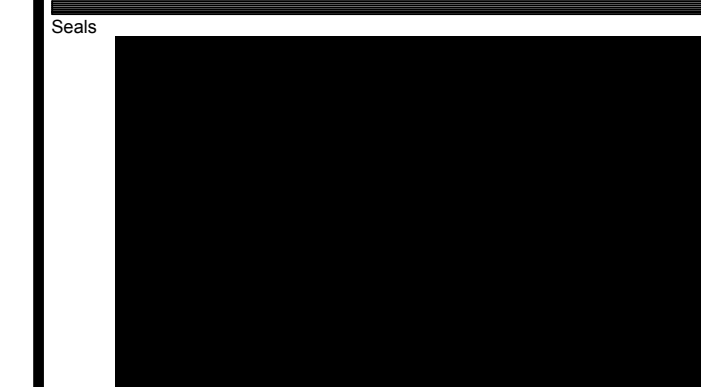
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Drawing Title
GREENWAY PLAN

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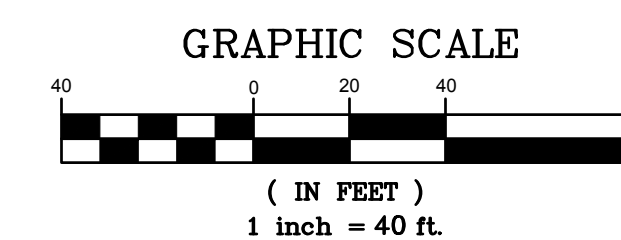
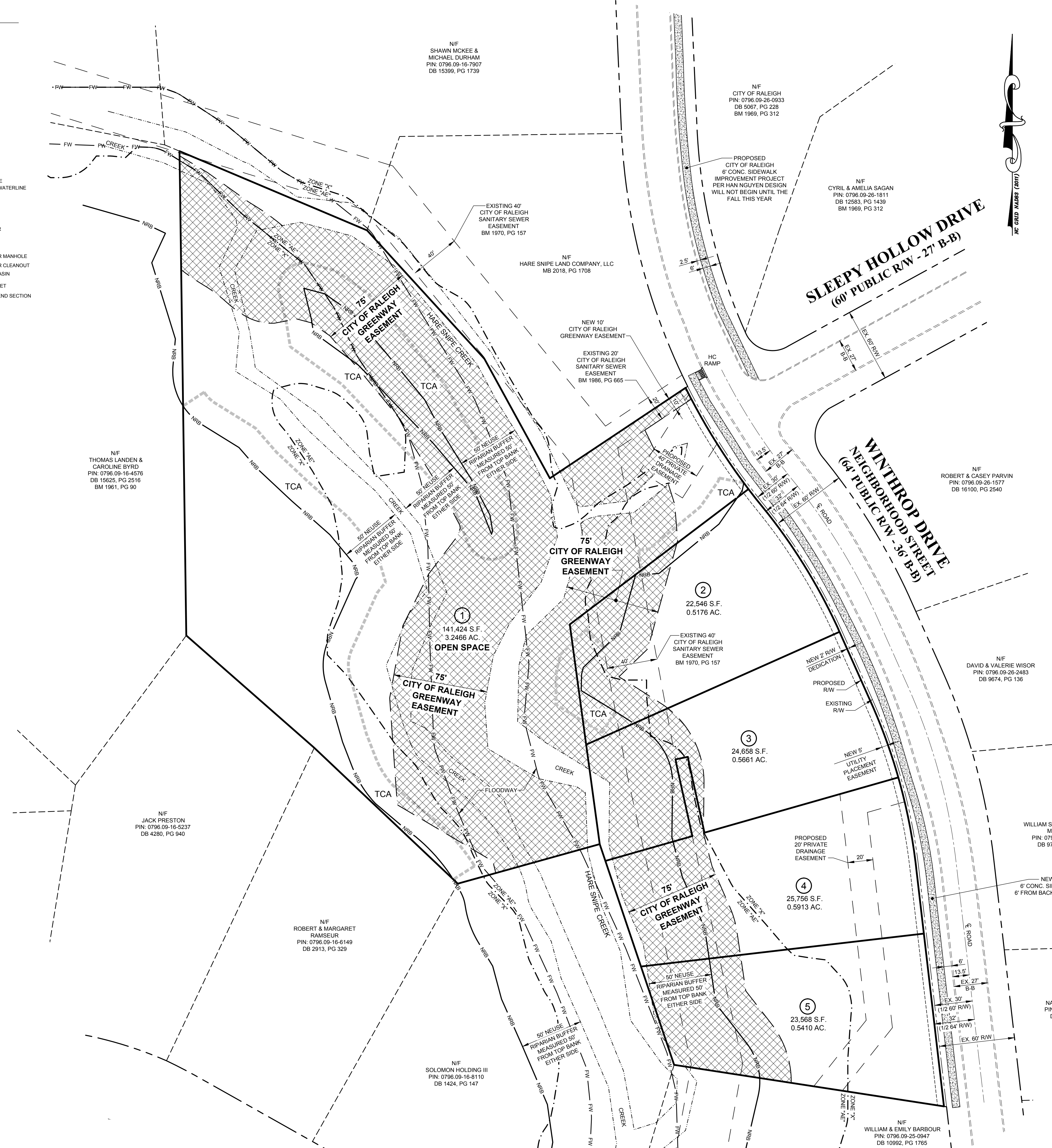
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GW

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