



# Administrative Approval Action

SR-114-18 / 2413 Blue Ridge Road – North State Bank  
Transaction# 578800 AA#3955

City of Raleigh  
Development Services Department  
One Exchange Plaza  
Raleigh, NC 27602  
(919) 996-2495  
DS.help@raleighnc.gov  
www.raleighnc.gov

**LOCATION:** This site is located on the west side of Blue Ridge Rd, south of Fairmeadow Lane (corner site at 2413 Blue Ridge Road).

**REQUEST:** Development of a 1.6 acre (69,903 total gross sf) tract zoned OX-5-UL into a 31,554 square foot office use structure. The existing 9,556 structure will be demolished and replaced with a proposed 2 story office bank, 31,554 gross sf size with 7,397sf of amenity area and 1,793 sf of right-of-way dedication.

**DESIGN  
ADJUSTMENT(S)/  
ALTERNATES, ETC:**

A design adjustment to the Mixed Use Streetscape requirements of UDO Section 8.5.2 B has been approved.

An Administrative Alternate for the Build-to requirements per AAD-3-19 has been approved.

**FINDINGS:** City Administration finds that this request, with the below conditions of approval being met, conforms to the Unified Development Ordinance. This approval is based on a preliminary plan dated 1/25/2019 by *John A. Edwards & Company*.

## CONDITIONS OF APPROVAL and NEXT STEPS:

*This document must be applied to the second sheet of all future submittals except for final plats. This is a preliminary plan and as such no permits have been issued with this approval. To obtain permits and/or completion of the project, the following steps are required:*

**CONCURRENT SITE REVIEW NOT REQUIRED AT THIS TIME** – However, plan revisions or further development that includes land disturbance of 12,000 square feet or greater, public or private infrastructure, shared stormwater devices, etc. will require concurrent site review.

**CONCURRENT SITE REVIEW** - For land disturbance of 12,000 square feet or greater, public or private infrastructure, shared stormwater devices, etc. Concurrent Site Review may be submitted upon receipt of this signed approval document.

**The following items are required prior to approval of Concurrent Site Review plans:**

### Engineering

1. Required NCDOT encroachment and/or driveway permits must be approved and copies provided to Development Services – Development Engineering prior to concurrent review approval.
2. A right-of-way obstruction permit must be obtained from Right-of-way Services prior to the commencement of any construction activities within the right-of-way.

### Stormwater



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3. A stormwater control plan with a stormwater operations and maintenance manual and budget shall be approved (UDO 9.2).
4. A surety equal to of the cost of clearing, grubbing and reseeding a site, shall be paid to the City (UDO 9.4.4).

**LEGAL DOCUMENTS** - Email to [legaldocumentreview@raleighnc.gov](mailto:legaldocumentreview@raleighnc.gov). Legal documents must be approved, executed, and recorded prior to or in conjunction with the recorded plat on which the associated easements are shown. Copies of recorded documents must be returned to the City within one business day of recording to avoid withholding of further permit issuance.

<input type="checkbox"/>	City Code Covenant	<input type="checkbox"/>	Slope Easement
<input type="checkbox"/>	Stormwater Maintenance Covenant	<input type="checkbox"/>	Transit Easement
<input checked="" type="checkbox"/>	Utility Placement Easement	<input checked="" type="checkbox"/>	Cross Access Easement
<input checked="" type="checkbox"/>	Sidewalk Easement	<input type="checkbox"/>	Public Access Easement
		<input type="checkbox"/>	Other:

**RECORDED MAP(S)** - Submit plat to record new property lines, easements, tree conservation areas, etc.). Plats may be submitted for review when the Concurrent Site Review plans, if required, have been deemed ready for mylar signature.

**The following items must be approved prior to recording the plat:**

### General

1. A demolition permit shall be issued and this building permit number shown on all maps for recording.

### Engineering

2. The required right of way for proposed and/or existing streets shall be dedicated to the City of Raleigh and shown on the map approved for recordation.
3. A 5' general utility easement and associated deed of easement shall be approved by the City and the location of the easement shall be shown on the map approved for recordation. The deed of easement shall be recorded at Wake County Register of Deeds within one day of recordation of the recorded plat. A recorded copy of these documents must be provided to the Development Services Department within one day from authorization of lot recordation. If recorded copies of the documents are not provided, further recordings and building permit issuance will be withheld.
4. A cross access agreement among the lots identified as PINs 0785711321 and 0785619131 shall be approved by the Development Services Department for recording in the Wake County Registry, and a copy of the recorded cross access easement shall be returned to the Development Services Department within one day of plat recordation. If a recorded copy of the





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document is not provided within this time, further recordings and building permit issuance will be withheld.

5. A sidewalk deed of easement for any public sidewalk on private property shall be approved by City staff, and the location of the easement shall be shown on the map approved for recordation. The deed of easement shall be recorded at Wake County Register of Deeds within one day of recordation of the plat. A recorded copy of this document shall be provided to the Development Services Department within one day from authorization of lot recordation. If a recorded copy of this document is not provided, further recordings and building permit issuance will be withheld.

## Stormwater

6. All stormwater control measures and means of transporting stormwater runoff to and from any nitrogen and stormwater runoff control measures shall be shown on all plats for recording as private drainage easements (UDO 9.2).

**BUILDING PERMITS** – For buildings and structures shown on the approved plans. Commercial building permit plans must include the signed, approved Concurrent Site Review plans attached, if applicable. Permit sets may be reviewed prior to the recordation of required plats, but cannot be approved.

*The following items must be approved prior to the issuance of building permits:*

## General

1. A demolition permit shall be obtained.

## Engineering

2. A public infrastructure surety shall be provided to the City of Raleigh Development Services – Development Engineering (UDO 8.1.3).
3. A right-of-way obstruction permit shall be obtained from Right-of-way Services for any construction activity within the right-of-way.

## Public Utilities

4. A plat must be recorded at the Wake County Register of Deeds office for all utility easement dedications.

## Stormwater



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5. A payment equal to twenty-four percent (24%) of the estimated cost of constructing all stormwater control facilities shown on the development plans shall be paid by the developer to the City stormwater facility replacement fund (UDO 9.2.2.G.3).
6. All stormwater control measures and means of transporting stormwater runoff to and from any nitrogen and stormwater runoff control measures shall be shown on all plats for recording as private drainage easements (UDO 9.2).
7. A surety equal to 125% of the cost of the construction of a stormwater device shall be paid to the Engineering Services Department (UDO 9.2.2.D.1.d).

## Urban Forestry

8. A tree impact permit must be obtained for the approved streetscape tree installation in the right of way. This development proposes seven street trees along Fairmeadow Lane and six street trees along Blue Ridge Rd.

### ***The following are required prior to issuance of building occupancy permit:***

1. All Water, Sanitary Sewer and Reuse facilities shall be installed, inspected, tested and accepted by the City of Raleigh Public Utilities Department for operations and maintenance.
2. Required public right-of-way infrastructure improvements shall be, at a minimum, sufficiently completed to provide the necessary, safe emergency and vehicular access.
3. Required underground storm drainage improvements shall be completed and as-built plan(s) and certification(s) reviewed and accepted by the City of Raleigh Development Services – Development Engineering program.
4. All street lights and street signs required as part of the development approval are installed.
5. Copies of certified inspection reports for alleys and internal access ways are submitted to the City of Raleigh Development Services – Development Engineering program.
6. As-built drawings and associated forms for all Stormwater devices are accepted by the Engineering Services Department (UDO 9.2.2.D.3).
7. Final inspection of all right of way street trees by Urban Forestry Staff.



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**EXPIRATION DATES:** The expiration provisions of UDO Section 10.2.8 E, including the ability to request extensions in the expiration date, apply to this site plan. If significant construction has not taken place on a project after administrative site review approval, that approval may expire and be declared void, requiring re-approval before permits may be issued. To avoid allowing this plan approval to expire the following must take place by the following dates:

**3-Year Expiration Date:** 4-24-2022

Obtain a valid building permit for the total area of the project, or a phase of the project.

**4-Year Completion Date:**

Within four years after issuance of the first building permit for the site plan, the construction of the entire site plan must be completed unless an applicant has been granted vested rights. Failure to complete construction within this specified time frame shall automatically void the approved site plan for which no building permits have been issued.

I hereby certify this administrative decision.

Signed:(Planning Dir./Designee)

Date: 4/24/19

Staff Coordinator: Jermont Purifoy

# Design Adjustment Staff Response



**DEVELOPMENT  
SERVICES  
DEPARTMENT**

Per Section 10.2.18.C of the Unified Development Ordinance, the Development Services Director, or designee, shall consult with the heads of other City Departments regarding the review of the request. The Development Services Director, or designee, shall approve, approve with conditions or deny the request, but must do so within 60 days of the receipt of a completed application. Additional time may be necessary if a municipal or state entity is incorporated in the review process or if a detailed engineering study is submitted in conjunction with the request.

<b>PROJECT</b>	<b>Project Name</b>	North State Bank
	<b>Development Case Number</b>	SR-114-18
	<b>Transaction Number</b>	578800
	<b>Design Adjustment Number</b>	DA - 13 - 2019
<b>Staff recommendation based upon the findings in the applicable code(s):</b>		
<input type="checkbox"/> UDO Art. 8.3 Blocks, Lots, Access		<input checked="" type="checkbox"/> UDO Art. 8.5 Existing Streets
<input type="checkbox"/> UDO Art. 8.4 New Streets		<input type="checkbox"/> Raleigh Street Design Manual
Staff <b>SUPPORTS</b> <input checked="" type="checkbox"/> <b>DOES NOT SUPPORT</b> <input type="checkbox"/> the design adjustment request.		
<b>DEPARTMENTS</b>		
<b>STAFF RESPONSE</b>	<input type="checkbox"/> Dev. Services Planner	<input type="checkbox"/> City Planning
	<input checked="" type="checkbox"/> Development Engineering <i>Ken Knudsen</i> 7-2-19	<input type="checkbox"/> Transportation
	<input type="checkbox"/> Engineering Services	<input type="checkbox"/> Parks & Recreation and Cult. Res.
	<input type="checkbox"/> Public Utilities	
	<b>CONDITIONS:</b>	
Development Services Director or Designee Action: <input checked="" type="checkbox"/> APPROVE <input type="checkbox"/> APPROVE WITH CONDITIONS <input type="checkbox"/> DENY		

*D*  
 Authorized Signature DANIEL G. KNUDSEN, PE 4/29/19  
 ENGINEER REVIEW MANAGER Date

\*The Development Services Director may authorize a designee to sign in his/her stead. Please print name and title next to signature.  
 Appeal of the decision from the Development Services Director, or his or her designee, shall be made in writing within 30 days to the Board of Adjustment (see Section 10.2.18.C3b).

# Staff Response

## Article 8.5 Existing Streets



DEVELOPMENT  
SERVICES  
DEPARTMENT

- A. The requested design adjustment meets the intent of this Article;  
YES  NO
- B. The requested design adjustment conforms with the Comprehensive Plan and adopted City plans;  
YES  NO
- C. The requested design adjustment does not increase congestion or compromise safety;  
YES  NO
- D. The requested design adjustment does not create additional maintenance responsibilities for the City; and  
YES  NO
- E. The requested design adjustment has been designed and certified by a Professional Engineer.  
YES  NO

### STAFF FINDINGS

The developer has proposed a planting strip of 7.5' between the existing back of curb and sidewalk face. The City has identified a need for a bike lane on Blue Ridge Road that would approach 7.5' in length consistent with the Blue Ridge Corridor Plan. A 6' sidewalk is proposed thereby leaving a 4' planting strip for street trees within the right of way. NCDOT has indicated that street trees cannot be placed in the planting strip behind the back of curb. The 5' utility placement easement is proposed to be removed and is also supported by staff.

The proposed streetscape sets the frontage for both pedestrian and bike mobility while keeping street trees in the public right of way. Without the proposed design adjustment, the sidewalk would be impacted with construction of a new bike lane resulting in additional construction of the relocated sidewalk.

# Design Adjustment Application



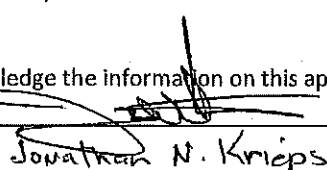
**DEVELOPMENT SERVICES DEPARTMENT**

The purpose of this request is to seek a Design Adjustment from the Development Services Director, or designee, for a specific project only and, if granted, may be approved with special conditions and provisions. This application and all further action shall be consistent with Section 10.2.18 in the Unified Development Ordinance (UDO). The consideration and decision of this request shall be based solely on the conformance of the findings, as outlined in Sec. 8.3.6, Sec. 8.4.1.E and Sec. 8.5.1.G of the UDO or the Raleigh Street Design Manual.

<b>PROJECT</b>	Project Name 2413 Blue Ridge Road - North State Bank		
	Case Number SR-114-2018		
	Transaction Number 578800		
<b>OWNER</b>	Name North State Bank		
	Address 6200 Falls of Neuse Rd		City Raleigh
	State NC	Zip Code 27609	Phone
<b>CONTACT</b>	Name Jon Callahan		Firm JAECO
	Address 333 Wade Ave		City Raleigh
	State NC	Zip Code 27605	Phone 919-828-4428
<b>REQUEST</b>	I am seeking a Design Adjustment from the requirements set forth in the following:		
	<input type="checkbox"/> UDO Art. 8.3 Blocks, Lots, Access	- See page 2 for findings	
	<input type="checkbox"/> UDO Art. 8.4 New Streets	- See page 3 for findings	
	<input checked="" type="checkbox"/> UDO Art. 8.5 Existing Streets	- See page 4 for findings	
	<input type="checkbox"/> Raleigh Street Design Manual	- See page 5 for findings	
	Provide details about the request; (please attach a memorandum if additional space is needed):		
Applicant is requesting adjustment from the requirements of UDO 8.5.2.B. Mixed Use Streetscape on existing street. Blue Ridge Road is maintained under NCDOT and they have stated in attached email that street trees are not allowed in the planting strip between the sidewalk and curb as required by UDO 8.5.2.B. Applicant is requesting an alternate streetscape 7.5' grass strip, 6' sidewalk, and 4' plant strip for street trees so that the street trees are outside of the clear zone requirements of NCDOT but still located within the right-of-way. Additionally, this solution avoids the direct conflict with the UL frontage "build to" requirements. If the street trees are placed on the site a 15' C2 yard and 10' setback is required. UL frontage requires that the building be closer than 20' to the r/w. Additionally, the applicant requests that the 5' general utility placement easement NOT be required as dry utilities are already existing and can be maintained in the proposed 7.5' grass strip.			

It is the responsibility of the applicant to provide all pertinent information needed for the consideration of this request. Applicant must be the Property Owner.

By signing this document, I hereby acknowledge the information on this application is, to my knowledge, accurate.

NORTH STATE BANK BY:  3/8/2019  
 Owner/Owner's Representative Signature Date

CHECKLIST	
Signed Design Adjustment Application	<input checked="" type="checkbox"/> Included
Page(s) addressing required findings	<input checked="" type="checkbox"/> Included
Plan(s) and support documentation	<input checked="" type="checkbox"/> Included
Notary page (page 6) filled out; Must be signed by property owner	<input checked="" type="checkbox"/> Included
First Class stamped and addressed envelopes with completed notification letter	<input checked="" type="checkbox"/> Included

Submit all documentation, with the exception of the required addressed envelopes and letters to [designadjustments@raleighnc.gov](mailto:designadjustments@raleighnc.gov).

Deliver the addressed envelopes and letters to:  
 Development Services, Development Engineering  
 One Exchange Plaza, Suite 500  
 Raleigh NC, 27601

For Office Use Only	RECEIVED DATE:	DA - -
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# Article 8.5 Existing Streets

## Administrative Design Adjustment Findings



DEVELOPMENT  
SERVICES  
DEPARTMENT

The Development Services Director may in accordance with *Sec. 10.2.18*, approve a design adjustment, subject to all of the following findings. Describe how each item is met:

- A. The requested design adjustment meets the intent of this Article;

**Future planned bicycle facilities along Blue Ridge Road are in conflict with the UDO streetscape requirement and therefore the proposal is requesting an alternate section to allow room for future bicycle facilities as well as alternate placement of street trees. Blue Ridge Road is a NCDOT maintained facility and street trees are not allowed in the plant strip between the sidewalk and curb within NCDOT facilities. The proposal is to provide a 7.5' grass strip which allows for future bicycle facilities, a 6' sidewalk, and 4' plant strip for street trees.**

- B. The requested design adjustment conforms with the Comprehensive Plan and adopted City plans;

**The request is providing the ultimate r/w per the Raleigh Street Plan and conforms with the comprehensive plan as well as future planned bicycle facilities which are not currently adopted. We are not aware of any other adopted plans impacting this site.**

- C. The requested design adjustment does not increase congestion or compromise safety;

**The request does not generate any traffic, nor increase congestion. Moving the street trees out of the NCDOT clear zone is actually safer than what the UDO requires as the public is less likely to hit a tree.**

- D. The requested design adjustment does not create additional maintenance responsibilities for the City; and

**The request does not create any additional maintenance responsibilities for the City. Only the location is different and maintenance of the trees will be safer for City employees as they are located further from the travel lanes of Blue Ridge Road.**

- E. The requested design adjustment has been designed and certified by a Professional Engineer.

**The request has been designed and certified by Jonathan R. Callahan NC PE 22977**

# Individual Acknowledgement



DEVELOPMENT  
SERVICES  
DEPARTMENT

STATE OF NORTH CAROLINA

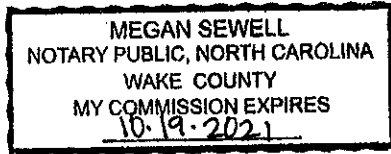
INDIVIDUAL

COUNTY OF Wake

I, Megan Sewell, a Notary Public do hereby certify that  
Jonathan Krieps personally appeared before me this day and  
acknowledged the due execution of the forgoing instrument.

This the 11 day of March, 2019.

(SEAL)



Notary Public

Megan Sewell

My Commission Expires: 10/19/2021







## City Planning Director Action

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### Administrative Alternate Findings:


#### UDO Section 1.5.6. Build-to

The Planning and Development Officer may in accordance with Sec. 10.2.17. reduce the build-to requirement, subject to all of the following findings:

1. The approved alternate meets the intent of the build-to regulations;  
*Staff response: The requested alternate strengthens the street edge through the inclusion of amenity areas, which provide public gathering space, seating, and planting that will enhance the street wall and sense of enclosure along Blue Ridge Road.*
  2. The approved alternate conforms with the Comprehensive Plan and adopted City plans;  
*Staff response: The proposed project is consistent with the Comprehensive Plan and conforms to several policies, including:*
    - LU 2.1 – Placemaking
    - LU 7.4 – Scale and Design of New Commercial Uses
    - UD 4.1 – Public Gathering Spaces
    - LU 5.1 – Reinforcing the Urban Pattern
  3. The approved alternate does not substantially negatively alter the character defining street wall or establish a build-to pattern that is not harmonious with the existing built context;  
*Staff response: The requested alternate conforms to the existing context along Blue Ridge Road. It allows the property to connect with neighboring development, keeping the established build-to pattern consistent.*
  4. The change in percentage of building that occupies the build-to area or increased setback does not negatively impact pedestrian access, comfort or safety; and  
*Staff response: The requested alternate does not negatively impact pedestrian access and comfort along either public street. The shaded outdoor plaza, benches, and plantings within the amenity areas will provide increased comfort for pedestrians.*
  5. Site area that would have otherwise been occupied by buildings is converted to an outdoor amenity area under Sec. 1.5.3.B.  
*Staff response: The requested alternate will result in an amenity area to satisfy the lot width build to requirements. The area will be accessible for the building occupants and the public, offering landscaping, benches, and plaza areas.*
-

**Decision**

The City Planning Director finds that the requested alternate generally meets the findings enumerated in the Unified Development Ordinance.

  
\_\_\_\_\_  
Signature

3/1/2019  
\_\_\_\_\_  
Date



## Staff Report

### Raleigh Appearance Commission Administrative Alternate Review

City of Raleigh  
Urban Design Center  
220 Fayetteville Street  
Suite 200  
Raleigh, NC 27601  
(919) 996-4640  
[www.raleighnc.gov](http://www.raleighnc.gov)

**Case File / Name:** AAD-3-19 – 2413 Blue Ridge Road

**General Location:** Northeast corner of Blue Ridge Road and Fairmeadow Lane

**Owner:** North State Bank

**Contact:** Jon Callahan, P.E., John A. Edwards & Company,  
[jkrieps@northstatebank.com](mailto:jkrieps@northstatebank.com)

**Cross-Reference:** SR-114-18, T #578800

**Request:** The applicant requests an administrative alternate for UDO Section 1.5.6. Build-to

**Nature of Request:** UDO Section 1.5.6. Build-to

**A. Defined:**

1. The build-to is the area on the lot where a certain percentage of the front principal building façade must be located, measured as a minimum and maximum setback range from the edge of the proposed or existing right-of-way, whichever is greater.
2. The required percentage specifies the amount of the front building façade that must be located in the build-to, measured based on the width of the building divided by the width of the site or lot.

**B. Intent:**

1. The build-to is intended to provide a range for building placement that strengthens the street edge along the right-of-way, establishing a sense of enclosure by providing spatial definition adjacent to the street.
2. The building edge can be supplemented by architectural elements and certain tree plantings aligned in a formal rhythm. The harmonious placement of buildings to establish the street edge is a principal means by which the character of an area or district is defined.
3. The build-to range is established to accommodate some flexibility in specific site design while maintaining the established street edge.

**C. General Requirements:**

1. On corner lots, a building façade must be placed within the build to for the first 30 feet along the street extending from the block corner.
2. With the exception of parking areas, all structures and uses customarily allowed on the lot are permitted in the build-to area.
3. Any common area is not required to meet the build-to requirements
4. Riparian Buffers, Floodways, areas of steep slope (defined as slopes in excess of 25%), pre-established and recorded Tree Conservation Areas and portions of property encumbered by overhead electric transmission lines rated to transmit 230 Kv, for any second driveway

required by this code that must cross the build-to area, the additional width of the driveway up to a maximum of 25', and City of Raleigh utility easements shall not be considered when calculating the build-to percentage or build-to range.

The applicant is proposing to develop a 1.6-acre site for a new North State Bank branch and office building. The property is zoned Office Mixed Use, 5 stories, Urban Limited Frontage, (OX-5-UL).

As the property is zoned with Urban Limited Frontage (-UL) any building(s) would be required to be placed in a 0'-20' build-to range along public streets, with a 50% building width standard for primary streets and 25% for side streets. In addition, the corner build-to requirement (within 30' of both streets) would apply for street corner conditions on the property.

The applicant seeks an alternate to the build-to requirement on the primary street, Blue Ridge Road. Currently, the building occupies 21% of the frontage along Blue Ridge Road. In lieu of meeting the build to, the applicant is proposing an amenity area in the build-to between the public right of way of Blue Ridge Road and the building façade to bring the combined total to 59%. Additionally, the applicant is proposing a second-floor footprint to further extend the building façade to occupy 73%. The proposed amenity area can be seen in the attached documents and features an exterior plaza, roof overhangs, sidewalk connections, and landscaping.

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**Administrative  
Alternate  
Findings:**

**Sec. 1.5.6. Build-to**

The Planning and Development Officer may in accordance with *Sec. 10.2.17.* reduce the build-to requirement, subject to all of the following findings:

1. The approved alternate meets the intent of the build-to regulations;
2. The approved alternate conforms with the Comprehensive Plan and adopted City plans;
3. The approved alternate does not substantially negatively alter the character-defining street wall or establish a build-to pattern that is not harmonious with the existing built context;
4. The change in percentage of building that occupies the build-to area or increased setback does not negatively impact pedestrian access, comfort or safety; and
5. Site area that would have otherwise been occupied by buildings is converted to an outdoor amenity area under *Sec. 1.5.3.B.*

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**Additional UDO  
Sections:**

**Sec. 1.5.3. Outdoor Amenity Area  
B. Intent**

1. Outdoor amenity areas are intended to provide usable on-site open space in both residential and non-residential developments for the healthy enjoyment of occupants, invitees and guests of the development.

2. In more intensely developed urban contexts, outdoor amenity areas are also intended to provide visual breaks.

#### **C. General Requirements**

1. Where outdoor amenity area is required, it must be provided on-site and must be available for use by or as an amenity for the occupants, invitees and guests of the development.
2. All required outdoor amenity areas must be ADA accessible.
3. Required outdoor amenity area may be met in 1 contiguous open area or in multiple open areas on the lot; however, to receive credit, each area must be at least 10 feet in width and length.
4. Required outdoor amenity area may be located at or above grade.
5. Required outdoor amenity area cannot be parked or driven upon, except for emergency access and permitted temporary events.
6. In all other districts except DX-, required outdoor amenity area may be covered but cannot be enclosed.
7. Above-ground stormwater detention facilities shall not be considered an outdoor amenity area.
8. Tree Conservation areas shall not be considered an outdoor amenity area.

#### **Sec. 3.4.7. Urban Limited (-UL)**

##### **C. Build-to**

C1. Primary street build-to (min/max)	0'/20'
C2. Building width in primary build-to (min)	50%
C3. Side street build-to (min/max)	0'/20'
C4. Building width in side build-to (min)	25%

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#### **Comprehensive Plan Guidance:**

##### **Policy LU 2.1 - Placemaking**

Development within Raleigh's jurisdiction should strive to create places, streets, and spaces that in aggregate meet the needs of people at all stages of life, are visually attractive, safe, accessible, functional, inclusive have their own identity, and maintain or improve local character.

##### **Policy LU 2.2 – Compact Development**

New development and redevelopment should use a more compact land use pattern to support the efficient provision of public services, improve the performance of transportation networks, preserve open space, and reduce the negative impacts of low intensity and non-contiguous development.

##### **Policy LU 4.5 – Connectivity**

New development and redevelopment should provide pedestrian and vehicular connectivity between individual development sites to provide alternative means of access along corridors.

##### **Policy LU 5.1 – Reinforcing the Urban Pattern**

New development should be visually integrated with adjacent buildings, and more generally with the surrounding area. Quality design and site planning is required so that new development opportunities within the existing urban fabric of Raleigh are implemented without adverse impacts on local character and appearance.

**Policy LU 7.4 – Scale and Design of New Commercial Uses**

New uses within commercial districts should be developed at a height, mass, scale, and design that is appropriate and compatible with surrounding areas.

**Policy T 2.9 – Curb Cuts**

The development of curb cuts along public streets—particularly on major streets—should be minimized to reduce vehicular conflicts, increase pedestrian safety, and improve roadway capacity.

**Policy UD 1.4 – Maintaining Facade Lines**

Maintain the established facade lines of neighborhood streets by aligning the front walls of new construction with the prevailing facades of adjacent buildings, unless doing so results in substandard sidewalks. Avoid violating this pattern by placing new construction in front of the historic facade line unless the streetscape is already characterized by such variations. Where existing facades are characterized by recurring placement of windows and doors, new construction should complement the established rhythm.

**Policy UD 4.1 – Public Gathering Spaces**

Encourage the development of public gathering spaces within all developments. Such spaces should be designed to attract people by using common and usable open space, an enhanced pedestrian realm, streetscape activation, and retail uses.

**Policy UD 5.1 – Contextual Design**

Proposed development within established neighborhoods should create or enhance a distinctive character that relates well to the surrounding area.

**Policy UD 5.4 – Neighborhood Character and Identity**

Strengthen the defining visual qualities of Raleigh's neighborhoods. This should be achieved in part by relating the scale of infill development, alterations, renovations, and additions to existing neighborhood context.

**Policy UD 7.3 – Design Guidelines**

The Design Guidelines in Table UD-1 shall be used to review rezoning petitions and development applications for mixed-use developments; or rezoning petitions and development applications along Main Street and Transit Emphasis Corridors or in City Growth, TOD, and Mixed-Use centers, including preliminary site plans and development plans, petitions for the application of the Pedestrian Business or Downtown Overlay Districts, Planned Development Districts and Conditional Use zoning petitions.

**UDG 6** – A primary task of all urban architecture and landscape design is the physical definition of streets and public spaces as places of shared use. Streets should be lined by buildings rather than parking lots and should provide interest especially for pedestrians. Garage entrances and/or loading areas should be located at the side or rear of a property.

**UDG 10** – New urban spaces should contain direct access from the adjacent streets. They should be open along the adjacent

sidewalks and allow for multiple points of entry. They should also be visually permeable from the sidewalk, allowing passersby to see directly into the space.

**UDG 13** – New public spaces should provide seating opportunities.





## Appearance Commission Recommendation

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**RECOMMENDED**

**ACTION:**

Regarding the alternate request for UDO Section 1.5.6 the Commission finds that:

- The proposed administrative alternate meets the intent of the build-to regulations;
- The proposed alternate is consistent with the Comprehensive Plan and conforms to several applicable policies;
- The proposed alternate does not substantially negatively alter the character defining street wall or establish a build-to pattern that is not harmonious with the existing built context;
- The change in percentage of building that occupies the build-to area or increased setback does not negatively impact pedestrian access, comfort or safety; and
- Site area that would have otherwise been occupied by buildings is converted to an outdoor amenity area.

The Commission recommends approval

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**CONDITIONS OF**

**APPROVAL:**

None

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**Staff Coordinator:** Lee Stevens

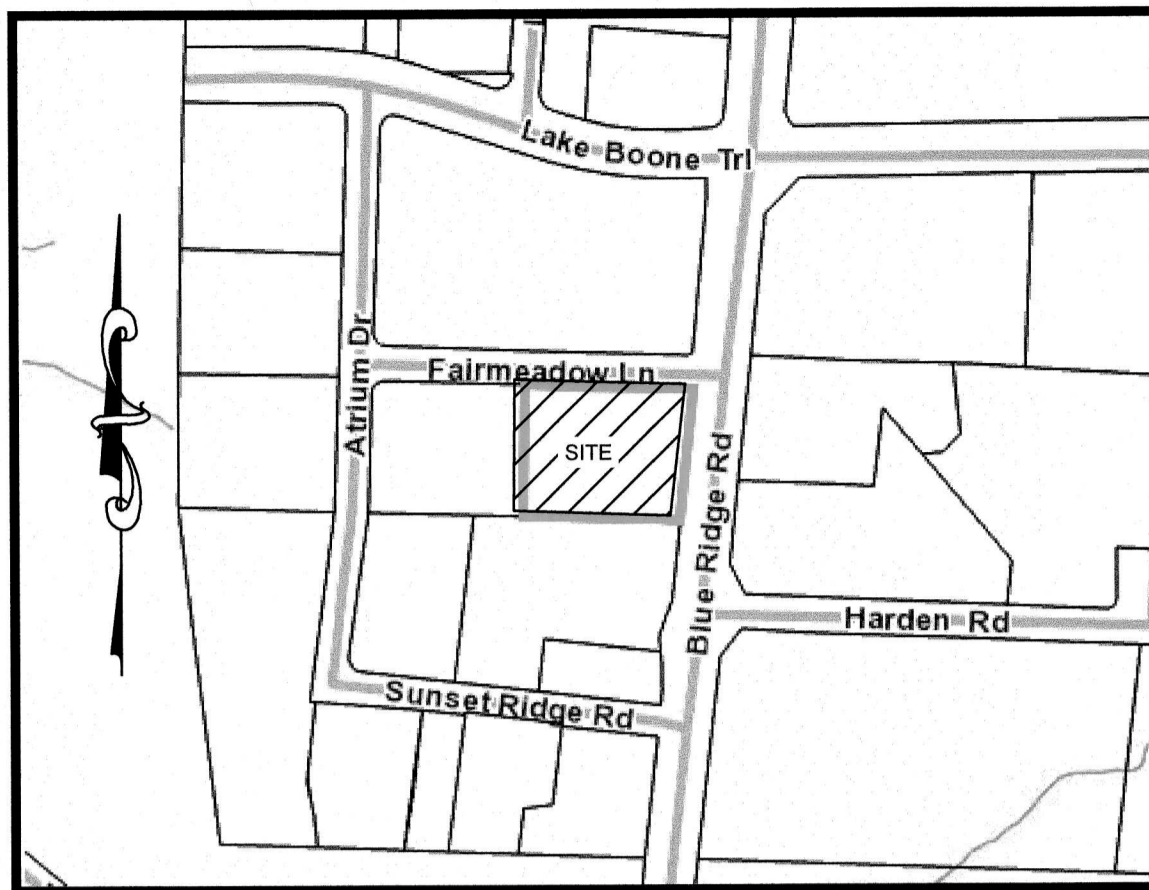
**In Favor:** Candice Andre, Rolf Blizzard, Todd Delk, Martha Eberle, Jamie Ferguson, Cari Jones, John Koonce, Jake Levitas, Chad Parker, Albert McDonald, Bernard Thaxton, and Brandy Thompson

**Opposed:** None

**Recused:** Corey Bates

**Excused:** Katherine Hogan and CJ Mann





VICINITY MAP  
NOT TO SCALE

# 2413 BLUE RIDGE ROAD

## ADMINISTRATIVE SITE REVIEW

### SR-114-18

### TRANS. #578800

## RALEIGH, NORTH CAROLINA

NOVEMBER 30, 2018  
JANUARY 25, 2019

SITE DATA	
PROPERTY OWNER:	NORTH STATE BANK 6200 FALLS OF NEUSE ROAD RALEIGH, NC 27609
SITE ADDRESS:	2413 BLUE RIDGE ROAD
WAKE COUNTY PIN #:	0785711321
ZONING DISTRICT:	OX-5-UL
OVERLAY DISTRICT:	N/A
GROSS SITE ACREAGE:	69,903 S.F. (1.6048 AC.)
AREA OF R.O.W. DEDICATION:	1,793 S.F. (0.0412 AC.)
NET SITE ACREAGE:	68,110 S.F. (1.5636 AC.)
EXISTING USE:	OFFICE
PROPOSED USE:	OFFICE
EXISTING BUILDING AREA:	9,566 SF
PROPOSED TOTAL BUILDING AREA:	31,554 SF
MAX BUILDING HEIGHT:	75' max
REQUIRED OUTDOOR AMENITY AREA:	6,811 SF (10%)
PROPOSED OUTDOOR AMENITY AREA:	7,397 SF (10.9%)
EXISTING ON SITE IMPERVIOUS AREA:	49,859 S.F. (1.145 AC.)
PROPOSED ON SITE IMPERVIOUS AREA:	49,601 S.F. (1.139 AC.)
REQUIRED SETBACKS:	FRONT: 5' BUILDING / 10' PARKING SIDE STREET: 5' BUILDING / 10' PARKING SIDE: 6' BUILDING / 3' PARKING REAR: 6' BUILDING / 3' PARKING
REQUIRED PARKING: PER UDO 7.1.3.C.3. NON-RESIDENTIAL USE IN UL FRONTAGE	31,554 S.F. OFFICE @ 11400 = 79. HOWEVER, UL FRONTAGE ALLOWS A FURTHER REDUCTION TO 1/500 AND THEREFORE REQUIRED PARKING = 63 ACCESSIBLE PARKING = 2 SPACES + 1 VAN  SHORT-TERM BICYCLE PARKING 1 SPACE PER 10,000 SF = 4 SPACES (MIN. 4)  LONG-TERM BICYCLE PARKING 1 SPACE PER 5,000 SF = 7 SPACES
PROPOSED PARKING:	64 PARKING SPACES (INCLUDES 2 ACCESSIBLE PARKING SPACES + 1 VAN ACCESSIBLE)  SHORT TERM BICYCLE PARKING = 4 SPACES LONG TERM BICYCLE PARKING = 8 SPACES
NOTES:	1. THE POST-DEVELOPMENT FLOW TO THE OFFSITE AREAS IS REDUCED FROM THE PRE-DEVELOPMENT CONDITION. THE POST-DEVELOPMENT FLOW REDUCTION SATISFIES THE REQUIREMENTS OF UDO 9.2.2.E.3.  2. POI #1 AND THE FLOW TO BLUE RIDGE ROAD ARE EXEMPT FROM STORMWATER RUNOFF CONTROL PER UDO SECTION 9.2.2.E.2.B.  3. BASED ON PRIMARY STREET DETERMINATION APPLICATION, BLUE RIDGE ROAD IS THE PRIMARY STREET.  4. A DESIGN ADJUSTMENT FOR THE PROPOSED STREET SECTION ON BLUE RIDGE ROAD IS REQUIRED WITH THIS PLAN.  5. AN ADMINISTRATIVE ALTERNATE IS APPROVED FOR THE BUILD-TO ON BLUE RIDGE ROAD. SEE SHEET C-2.0 FOR BUILD-TO CALCULATIONS AND AAD-3-19 FOR APPROVAL.  6. LONG TERM BICYCLE PARKING IS PROVIDED UNDER THE BUILDING OVERHANG WHICH PROVIDES COVERED WEATHER RESISTANT PARKING WELL WITHIN 300' TO THE ENTRANCE.

### SHEET INDEX

C-1.0	EXISTING CONDITIONS PLAN
C-2.0	SITE PLAN
C-3.0	UTILITY PLAN
C-4.0	GRADING & STORMWATER PLAN
L-1.0	PLANTING PLAN
L-1.1	PLANTING NOTES & DETAILS
A201	EXTERIOR ELEVATIONS
A202	EXTERIOR ELEVATIONS



#### City Planning Director Action



#### Administrative Alternate Findings:

UDO Section 1.5.6. Build-to  
The Planning and Development Officer may in accordance with Sec. 10.2.17' reduce the build-to requirement, subject to all of the following findings:

- The approved alternate meets the intent of the build-to regulations. Staff response: The requested alternate strengthens the street edge through the inclusion of amenity areas, which provide public gathering space, seating, and planting that will enhance the street wall and sense of enclosure along Blue Ridge Road.
- The approved alternate conforms with the Comprehensive Plan and adopted City plans. Staff response: The proposed project is consistent with the Comprehensive Plan and conforms to several policies, including:  
- LU 2.1 - Placemaking  
- LU 7.4 - Scale and Design of New Commercial Uses  
- UD 4.1 - Public Gathering Spaces  
- LU 5.1 - Reinforcing the Urban Pattern
- The approved alternate does not substantially negatively alter the character defining street wall or establish a build-to pattern that is not harmonious with the existing built context. Staff response: The requested alternate conforms to the existing context along Blue Ridge Road. It allows the property to connect with neighboring development, keeping the established build-to pattern consistent.
- The change in percentage of building that occupies the build-to area or increased setback does not negatively impact pedestrian access, comfort or safety, and Staff response: The requested alternate does not negatively impact pedestrian access and comfort along either public street. The shaded outdoor plaza, benches, and plantings within the amenity areas will provide increased comfort for pedestrians.
- Site area that would have otherwise been occupied by buildings is converted to an outdoor amenity area under Sec. 1.5.3.B. Staff response: The requested alternate will result in an amenity area to satisfy the lot width build-to requirements. The area will be accessible for the building occupants and the public, offering landscaping, benches, and plaza areas.

#### Decision

The City Planning Director finds that the requested alternate generally meets the findings enumerated in the Unified Development Ordinance.

Signature: Date: 3/1/2019



#### Appearance Commission Recommendation

#### RECOMMENDED ACTION:

- Regarding the alternate request for UDO Section 1.5.6 the Commission finds that:
- The proposed administrative alternate meets the intent of the build-to regulations;
  - The proposed alternate is consistent with the Comprehensive Plan and conforms to several applicable policies;
  - The proposed alternate does not substantially negatively alter the character defining street wall or establish a build-to pattern that is not harmonious with the existing built context;
  - The change in percentage of building that occupies the build-to area or increased setback does not negatively impact pedestrian access, comfort or safety; and
  - Site area that would have otherwise been occupied by buildings is converted to an outdoor amenity area.
- The Commission recommends approval

#### CONDITIONS OF APPROVAL:

None

Staff Coordinator: Lee Stevens  
In Favor: Candice Andre, Rolf Blizard, Todd Deik, Martha Eberle, Jamie Ferguson, Carl Jones, John Koonce, Jake Levitas, Chad Parker, Albert McDonald, Bernard Thaxton, and Brandy Thompson  
Opposed: None  
Recused: Corey Bates  
Excused: Katherine Hogan and CJ Mann

#### OWNER:

**NORTH STATE BANK**  
6200 FALLS OF NEUSE ROAD  
RALEIGH, NC 27609

#### ARCHITECT:

**NEW CITY DESIGN GROUP**  
1304 HILLSBOROUGH ST.  
RALEIGH, NC 27605  
919.831.1308  
FAX 919.831.9737

#### LANDSCAPE ARCHITECT:

**SITE COLLABORATIVE**  
727 WEST HARGETT ST. - SUITE 101  
RALEIGH, NC 27603  
919.805.3586

#### CIVIL ENGINEER:

**JOHN A. EDWARDS & COMPANY**  
CONSULTING ENGINEERS  
NC LICENSE F-0289  
333 WADE AVENUE, RALEIGH NC 27605  
PHONE: (919) 828-4428  
FAX: (919) 828-4711  
EMAIL: INFO@JAECO.COM

#### Administrative Site Review Application (for UDO Districts only)



#### DEVELOPMENT SERVICES DEPARTMENT

Development Services Customer Service Center | Exchange Plaza, Suite 400 | Raleigh, NC 27601 | 919-996-2495 | fax 919-996-1831  
Litchford Satellite Office | 8320 - 130 Litchford Road | Raleigh, NC 27601 | 919-996-4200

When submitting plans, please check the appropriate building type and include the Plan Checklist document.

BUILDING TYPE		FOR OFFICE USE ONLY	
<input type="checkbox"/> Detached	<input checked="" type="checkbox"/> General	Transaction Number	
<input type="checkbox"/> Attached	<input type="checkbox"/> Mixed Use	Assigned Project Coordinator	
<input type="checkbox"/> Apartment	<input type="checkbox"/> Open Lot	Assigned Team Leader	
<input type="checkbox"/> Townhouse			

Has your project previously been through the Due Diligence or Sketch Plan Review process? If yes, provide the transaction # 555184

GENERAL INFORMATION	
Development Name	2413 Blue Ridge Road
Zoning District	OX-5-UL Overlay District (if applicable) Inside City Limits? <input checked="" type="checkbox"/> Yes <input type="checkbox"/> No
Proposed Use	Office
Property Address(es)	2413 Blue Ridge Road Major Street Locator:
Wake County Property Identification Number(s) for each parcel to which these guidelines will apply:	
P.I.N. 0785711321	P.I.N. P.I.N. P.I.N.
What is your project type?	<input type="checkbox"/> Apartment <input type="checkbox"/> Elderly Facilities <input type="checkbox"/> Hospitals <input type="checkbox"/> Hotels/Motels <input type="checkbox"/> Office <input type="checkbox"/> Mixed Residential <input type="checkbox"/> Non-Residential Condo <input type="checkbox"/> School <input type="checkbox"/> Shopping Center <input checked="" type="checkbox"/> Banks <input type="checkbox"/> Industrial Building <input type="checkbox"/> Duplex <input type="checkbox"/> Telecommunication Tower <input type="checkbox"/> Religious Institutions <input type="checkbox"/> Residential Condo <input type="checkbox"/> Retail <input type="checkbox"/> Cottage Court <input type="checkbox"/> Other: if other, please describe:
WORK SCOPE	Per City Code Section 10.2.8.D.1, summarize the project work scope. For additions, changes of use, or occupancy (per Chapter 6 of the UDO), indicate impacts on parking requirements. Demolition and removal of existing structures and associated site improvements and construction of a new building with associated site improvements required for compliance with the UDO.
DESIGN ADJUSTMENT OR ADMIN ALTERNATE	Per City Code Chapter 8, summarize if your project requires either a design adjustment, or Section 10 - Alternate Administrative AE
CLIENT/DEVELOPER/OWNER	Company North State Bank Name(s) by: Jonathan N. Krieps, Executive Vice President Address 6204 Falls of Neuse Road, Raleigh, NC 27609 Phone 919-278-2088 Email jkrieps@northstatebank.com Fax 866-606-8420
CONSULTANT (Contact Person for Plans)	Company John A. Edwards & Company Name(s) Jon Callahan Address 333 Wade Ave Phone 919.828.4428 Email info@jaeco.com Fax 919.828.4711

PAGE 1 OF 3

WWW.RALEIGHNC.GOV

REVISION 05.13.16

DEVELOPMENT TYPE & SITE DATA TABLE (Applicable to all developments)	
Zoning District(s) OX-5-UL	Proposed building use(s) Office
If more than one district, provide the acreage of each:	Existing Building(s) sq. ft. gross 9,566
Overlay District	Proposed Building(s) sq. ft. gross 31,554
Total Site Acres Inside City Limits <input checked="" type="checkbox"/> Yes <input type="checkbox"/> No 1.6 ac.	Total sq. ft. gross (existing & proposed) 31,554
Off street parking: Required 63 Provided 72	Proposed height of building(s) 45'-0"
COA (Certificate of Appropriateness) case #	# of stories 2
BOA (Board of Adjustment) case # A-	Ceiling height of 1 <sup>st</sup> floor 13'-0"
CLUD (Conditional Use District) case # Z-	
Stormwater Information	
Existing Impervious Surface 49,859 (1.15) acres/square feet	Flood Hazard Area <input type="checkbox"/> Yes <input checked="" type="checkbox"/> No
Proposed Impervious Surface 49,601 (1.14) acres/square feet	If Yes, please provide: Alluvial Soils FEMA Map Panel # Flood Study
Neuse River Buffer <input type="checkbox"/> Yes <input checked="" type="checkbox"/> No Wetlands <input type="checkbox"/> Yes <input checked="" type="checkbox"/> No	
FOR RESIDENTIAL DEVELOPMENTS	
1. Total # of Apartment, Condominium or Residential Units	5. Bedroom Units: 1br 2br 3br 4br or more
2. Total # of Congregate Care Or Life Care Dwelling Units	6. Infill Development 2.2.7
3. Total Number of Hotel Units	7. Open Space (only) or Amenity
4. Overall Total # of Dwelling Units (1-6 Above)	8. Is your project a cottage court? <input type="checkbox"/> Yes <input checked="" type="checkbox"/> No
SIGNATURE BLOCK (Applicable to all developments)	
In filling this plan as the property owner(s), I/we do hereby agree and firmly bind ourselves, my/our heirs, executors, administrators, successors and assigns jointly and severally to construct all improvements and make all dedications as shown on this proposed development plan as approved by the City.	
I hereby designate: Jon Callahan, P.E. to serve as my agent regarding this application, to receive and respond to administrative comments, to resubmit plans on my behalf and to represent me in any public meeting regarding this application.	
I/we have read, acknowledge and affirm that this project is conforming to all application requirements applicable with the proposed development use.	
Signed:  Date: 11/21/2018	
Printed Name: Jonathan N. Krieps, Executive Vice President	
Signed: _____ Date: _____	
Printed Name: _____	

PAGE 2 OF 3

WWW.RALEIGHNC.GOV

REVISION 05.13.16

SOLID WASTE INSPECTIONS STATEMENT  
DEVELOPER TO CONTRACT WITH PRIVATE COLLECTION SERVICE FOR RECYCLING AND SOLID WASTE REMOVAL. DUMPSTER AND RECYCLING CONTAINER ARE PROVIDED ON-SITE.

ALL CONSTRUCTION SHALL BE IN ACCORDANCE WITH CITY OF RALEIGH STANDARDS AND SPECIFICATIONS.





N/F  
THE ATRIUM AT BLUE RIDGE LLC  
PIN: 0785.19-71-0619  
DB 7290, PG 914  
BM 1997, PG 748

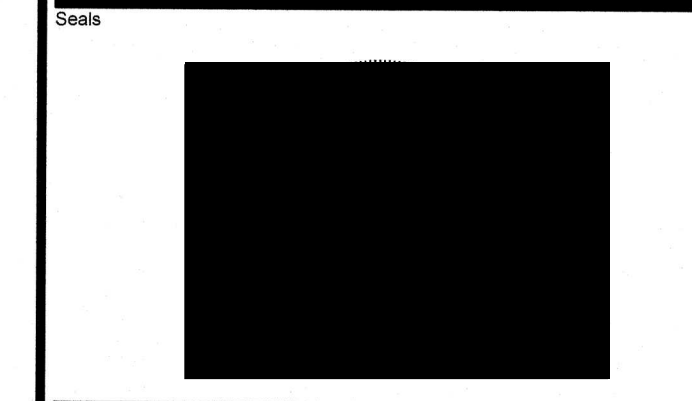
**SITE DATA**  
OWNER: NORTH STATE BANK  
PIN: 0785.19-71-1321  
REFERENCES: DB 10142, PG 2540, BM 1980, PG 87  
ZONING: OX-5-UL  
AREA: 69,903 S.F. (1.6048 AC.)



**JOHN A. EDWARDS & COMPANY**  
Consulting Engineers  
and Land Surveyors

NC License F-0289  
333 Wade Ave., Raleigh, N.C. 27605  
Phone: (919) 828-4428  
Fax: (919) 828-4711  
E-mail: info@jaeco.com

www.jaeco.com



Project

**NORTH STATE BANK**  
2413 BLUE RIDGE RD.  
RALEIGH, NC

Client

**NORTH STATE BANK**  
RALEIGH, NC

Approvals

**LEGEND**

BM	BOOK OF MAPS
DB	DEED BOOK
PG	PAGE
N/F	NOW OR FORMERLY
R/W	RIGHT OF WAY
EIP	EXISTING IRON PIPE
EMAG	EXISTING MAG NAIL
IP	IRON PIPE SET
MAGS	MAG NAIL SET
CS	COTTEN SPINDLE
SS	SANITARY SEWER
CO	SANITARY SEWER CLEAN OUT
HB	HOT BOX
ST	STORM
GW	GUY ANCHOR
CB	STORM CATCH BASIN
WM	WATER VAULT
DI	DROP INLET
CONC	CONCRETE
SSMH	SANITARY SEWER
WM	WATER METER
LP	LIGHT POLE
GM	GAS METER
TP	TELEPHONE PEDESTAL
FH	FIRE HYDRANT
PP	POWER POLE
ICV	IRRIGATION CONTROL VALVE
STMH	STORM MANHOLE
[Symbol]	Denotes CONCRETE
[Symbol]	Denotes ADDRESS

——— PROPERTY LINE  
 - - - RIGHT OF WAY LINE  
 - - - PROP. LINE NOT SURVEYED  
 - - - EASEMENT LINE

[Symbol] CB [Symbol] FH [Symbol] LP [Symbol] WV [Symbol] SSMH  
 [Symbol] GW [Symbol] MW [Symbol] PP [Symbol] TP [Symbol] GM

**EXISTING CONDITIONS**

Revisions

Number	Description	Date
1	PER COR COMMENTS	01/25/19

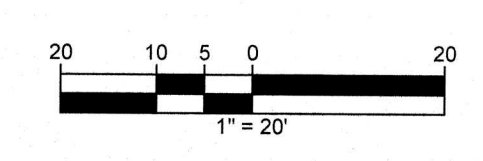
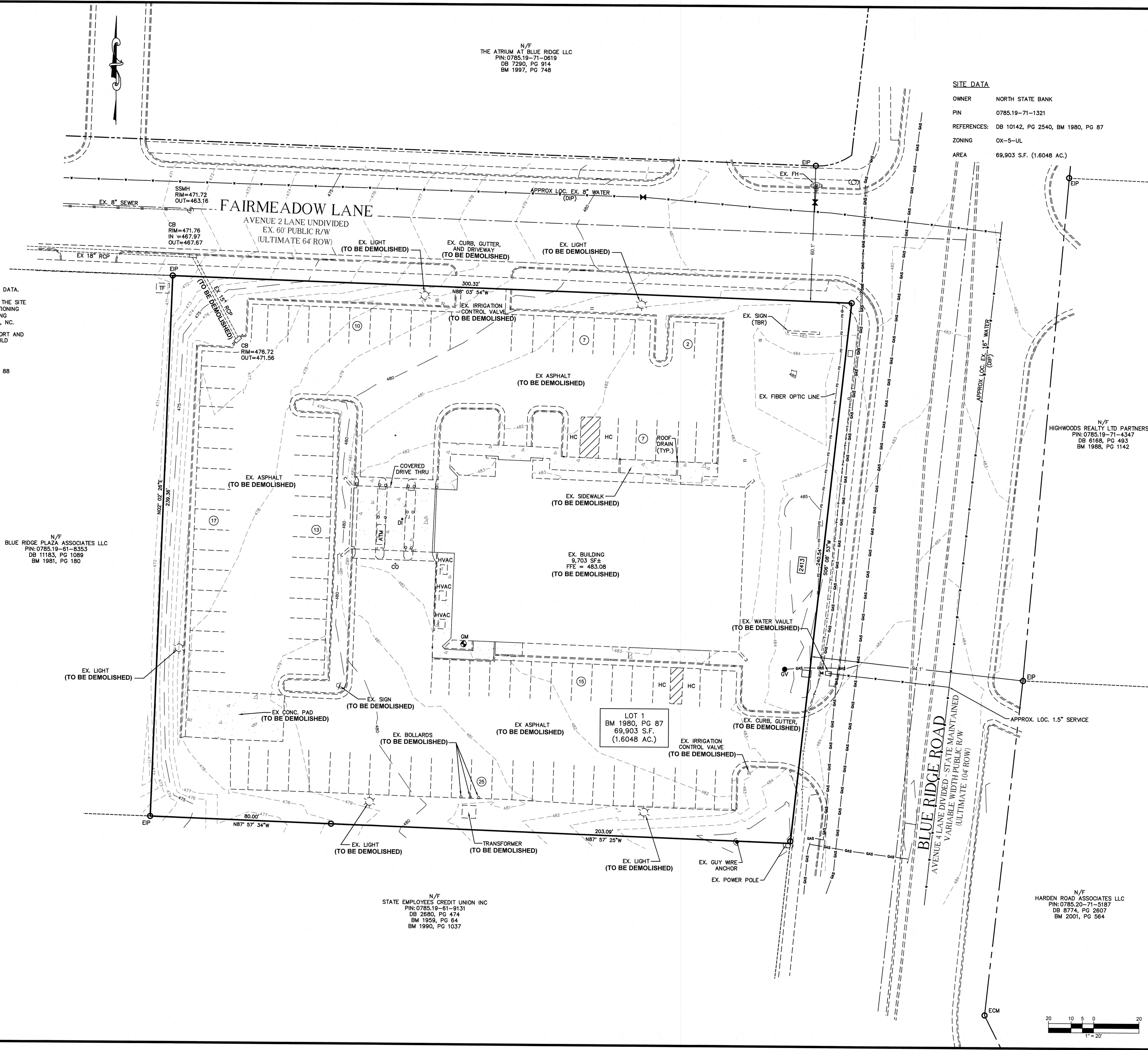
Drawing Scale 1" = 20'  
 Drawn By CS  
 Checked By JRC  
 Date Issued 11/30/18

- NOTES:**
1. ALL DISTANCES ARE HORIZONTAL GROUND.
  2. ALL DIMENSIONS ARE IN FEET.
  3. AREA COMPUTED USING COORDINATE METHOD FROM MEASURED FIELD DATA.
  4. BASIS OF BEARINGS IS NORTH CAROLINA GRID NORTH, NAD83(2011). THE SITE WAS LOCALIZED UTILIZING REAL-TIME KINEMATIC (RTK) GLOBAL POSITIONING SYSTEM (GPS) SOLUTIONS REFERENCING THE CONTINUOUSLY OPERATING REFERENCE STATION (CORS) NETWORK BASE STATION NCRO, RALEIGH, NC.
  5. THIS SURVEY WAS PREPARED WITHOUT THE BENEFIT OF A TITLE REPORT AND MAY BE SUBJECT TO ANY MATTERS THAT A FULL TITLE SEARCH WOULD DISCLOSE.
  6. ALL REFERENCE ARE MADE TO THE WAKE COUNTY REGISTRY.
  7. HORIZONTAL DATUM IS NAD 83(2011) AND VERTICAL DATUM IS NAVD 88

N/F  
BLUE RIDGE PLAZA ASSOCIATES LLC  
PIN: 0785.19-61-8353  
DB 11183, PG 1089  
BM 1981, PG 180

N/F  
STATE EMPLOYEES CREDIT UNION INC  
PIN: 0785.19-61-9131  
DB 2680, PG 474  
BM 1959, PG 64  
BM 1990, PG 1037

N/F  
HARDEN ROAD ASSOCIATES LLC  
PIN: 0785.20-71-5187  
DB 8774, PG 2607  
BM 2001, PG 564





**NOTES:**

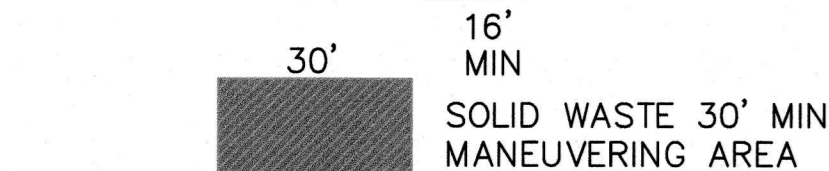
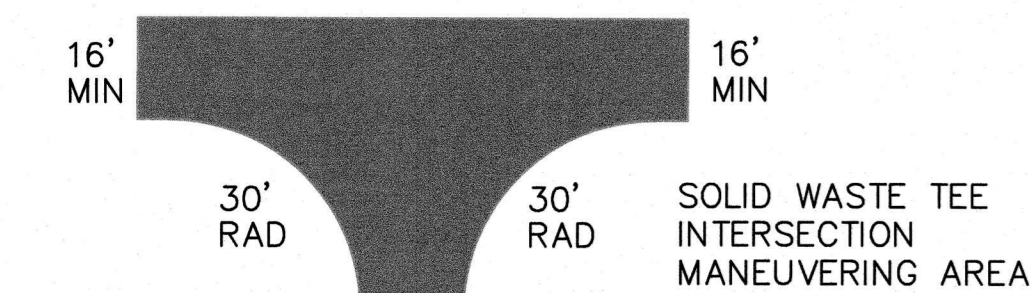
1. ALL DISTANCES ARE HORIZONTAL GROUND.
2. ALL DIMENSIONS ARE IN FEET.
3. AREA COMPUTED USING COORDINATE METHOD FROM MEASURED FIELD DATA.
4. BASIS OF BEARINGS IS NORTH CAROLINA GRID NORTH, NAD83(2011). THE SITE WAS LOCALIZED UTILIZING REAL-TIME KINEMATIC (RTK) GLOBAL POSITIONING SYSTEM (GPS) SOLUTIONS REFERENCING THE CONTINUOUSLY OPERATING REFERENCE STATION (CORS) NETWORK BASE STATION NCRD, RALEIGH, NC.
5. THIS SURVEY WAS PREPARED WITHOUT THE BENEFIT OF A TITLE REPORT AND MAY BE SUBJECT TO ANY MATTERS THAT A FULL TITLE SEARCH WOULD DISCLOSE.
6. ALL REFERENCE ARE MADE TO THE WAKE COUNTY REGISTRY.
7. HORIZONTAL DATUM IS NAD 83(2011) AND VERTICAL DATUM IS NAVD 88

PROPOSED BUILDING AREA = 31,554 S.F.

PROPOSED PARKING = 64 SPACES

**FRONTAGE NOTES:**

1. PROPERTY IS LOCATED IN -UL (URBAN LIMITED) FRONTAGE, THEREFORE NO PARKING IS TO BE LOCATED BETWEEN BUILDING AND ROW.
2. -UL FRONTAGE ALSO REQUIRES A MAIN STREET OR MIXED USE TYPE STREETSCAPE.
3. REQUIRED STREETScape EXTENDS BEYOND ULTIMATE ROW ON FAIRMEADOW LANE, THEREFORE SIDEWALK EASEMENT AND MAINTENANCE EASEMENT ARE REQUIRED.
4. A DESIGN ADJUSTMENT FOR THE STREETScape ON BLUE RIDGE ROAD IS PROPOSED WITH THIS PLAN TO ELIMINATE THE NEED FOR A 02 YARD AND ELIMINATE THE CONFLICT WITH UL FRONTAGE REQUIREMENTS.
5. AN ADMINISTRATIVE ALTERNATE IS REQUIRED FOR BUILD-TO ON BLUE RIDGE ROAD.



SOLID WASTE AND RECYCLING ENCLOSURE TO MEET CITY OF RALEIGH REQUIREMENTS INCLUDING HEIGHT FOR SCREENING

**SITE LIGHTING NOTES:**

1. SITE LIGHTING PLAN TO BE PROVIDED WITH CONCURRENT PLAN SUBMITTAL. ALL PROPOSED SITE LIGHTING SHALL ADHERE TO UDO 7.4.

**BUILD-TO CALCULATIONS:**

PRIMARY STREET: (BLUE RIDGE ROAD)	
FRONTAGE	238.53'
REQUIRED BUILD-TO (50%)	119.27'
PROVIDED BUILD-TO	49.17'
ADMINISTRATIVE ALTERNATE APPROVED AAD-3-19	
SIDE STREET: (FAIRMEADOW LANE)	
FRONTAGE	290.96'
REQUIRED BUILD-TO (25%)	72.74'
PROVIDED BUILD-TO	95.59'

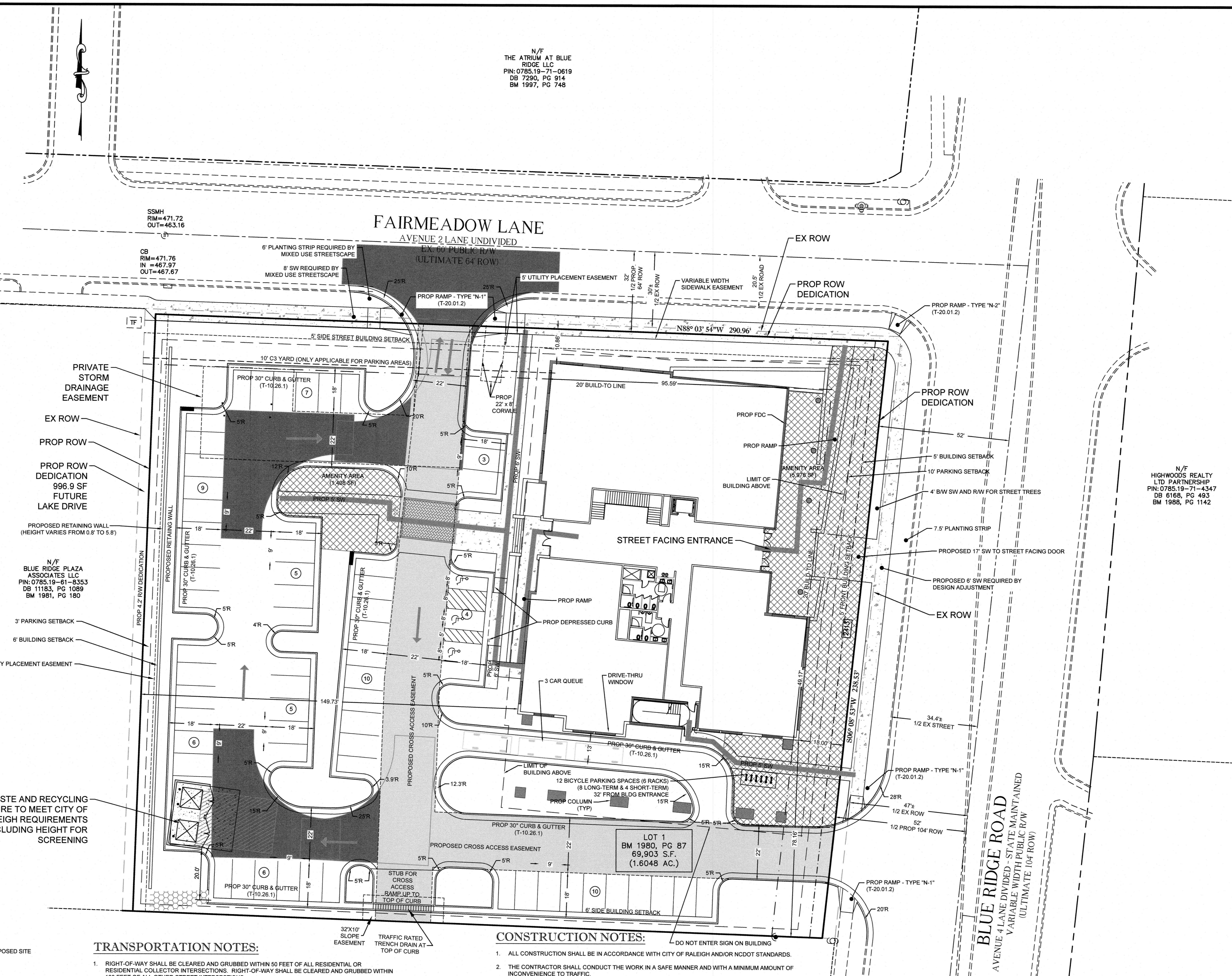
**TRANSPORTATION NOTES:**

1. RIGHT-OF-WAY SHALL BE CLEARED AND GRUBBED WITHIN 50 FEET OF ALL RESIDENTIAL OR RESIDENTIAL COLLECTOR INTERSECTIONS. RIGHT-OF-WAY SHALL BE CLEARED AND GRUBBED WITHIN 100 FEET OF ALL OTHER STREET INTERSECTIONS.
2. HANDICAPPED RAMP TO BE CONSTRUCTED AT ALL INTERSECTIONS IN ACCORDANCE WITH CITY OF RALEIGH ENGINEERING STANDARD DETAIL T-20.01.2.
3. SIGHT TRIANGLES TO BE LOCATED AT ALL INTERSECTIONS IN ACCORDANCE WITH CITY OF RALEIGH STANDARDS. AREAS WHERE SIGHT TRIANGLE ARE LOCATED OUTSIDE THE RIGHT-OF-WAY SHALL BE RECORDED AS SIGHT EASEMENTS. FINAL LAYOUT OF SIGHT TRIANGLES TO BE APPROVED WITH CONSTRUCTION DRAWINGS.
4. NO SIGHT OBSTRUCTING OR PARTIALLY OBSTRUCTING WALL, FENCE, FOLIAGE, BERM, PARKED VEHICLES, SIGN OR OTHER OBJECTS BETWEEN THE HEIGHTS OF 2 FEET AND 9 FEET ABOVE THE CURB LINE ELEVATION, OR NEAREST TRAVELED WAY IF NO CURBING EXISTS, SHALL BE PLACED WITHIN A SIGHT TRIANGLE.
5. ALL STREET SECTIONS SHALL MEET OR EXCEED SPECIFICATIONS DETAILED IN CITY OF RALEIGH ENGINEERING STANDARDS T-10.10, T-10.12, AND T-10.14 AS NOTED.
6. ALL STREETS AND RIGHT-OF-WAYS WITHIN AND ADJACENT TO THE PROJECT ARE CONSISTENT WITH THE RALEIGH COMPREHENSIVE PLAN WITH REGARD TO PROPOSED ROADWAY LOCATIONS AND RIGHT-OF-WAY REQUIREMENTS.
7. UNLESS OTHERWISE SHOWN, TURNOUT RADII TO BE MINIMUM OF 35' AT ALL PUBLIC STREET INTERSECTIONS AND DRIVEWAY TURNS TO BE A MINIMUM OF 28'.

**CONSTRUCTION NOTES:**

1. ALL CONSTRUCTION SHALL BE IN ACCORDANCE WITH CITY OF RALEIGH AND/OR NCDOT STANDARDS.
2. THE CONTRACTOR SHALL CONDUCT THE WORK IN A SAFE MANNER AND WITH A MINIMUM AMOUNT OF INCONVENIENCE TO TRAFFIC.
3. THE CONTRACTOR SHALL BE RESPONSIBLE FOR ALL TRAFFIC CONTROL AND SHALL ADHERE TO THE PROVISIONS OF THE MUTCD (MOST CURRENT EDITION).
4. PRIOR TO START OF WORK, A PRE-CONSTRUCTION MEETING MUST BE SET UP WITH THE CONTRACTOR AND CITY OF RALEIGH TRANSPORTATION FIELD SERVICES STAFF. CONTACT ENGINEERING INSPECTIONS AT (919) 996-2409 TO SET UP THE MEETING.
5. THE CONTRACTOR SHALL OBTAIN A RIGHT-OF-WAY OBSTRUCTION PERMIT FOR ANY WORK WHICH REQUIRES THE TEMPORARY CLOSURE OF A STREET, TRAVEL LANE, PARKING SPACE OR SIDEWALK FROM RIGHT-OF-WAY SERVICES AT LEAST 48 HOURS IN ADVANCE. ANY TEMPORARY STREET CLOSURE MUST BE SUBMITTED 2 WEEKS PRIOR. SEE "RIGHT-OF-WAY CLOSURES" ON WWW.RALEIGHNC.GOV AND SEND THE RIGHT-OF-WAY OBSTRUCTION PERMIT TO RIGHTOFWAYSERVICES@RALEIGHNC.GOV.
6. PRIOR TO CONSTRUCTION BEGINNING, ALL SIGNAGE AND TRAFFIC CONTROL SHALL BE IN PLACE.
7. THE CONTRACTOR SHALL REPAIR ANY DAMAGED INFRASTRUCTURE IN THE RIGHT-OF-WAY AND RESTORE IT TO PREVIOUS OR BETTER CONDITION.
8. THE CONTRACTOR SHALL REPAIR ANY DAMAGES TO ADJACENT PROPERTIES AND RESTORE IT TO PREVIOUS OR BETTER CONDITION.
9. ALL SIDEWALKS MUST BE ACCESSIBLE TO PERSONS WHO ARE VISUALLY IMPAIRED AND PEOPLE WITH MOBILITY DISABILITIES. PEDESTRIAN EXISTING ROUTES AND ALTERNATE PEDESTRIAN ROUTES DURING CONSTRUCTION WILL BE REQUIRED TO BE COMPLIANT WITH THE PUBLIC RIGHTS OF WAY ACCESSIBILITY GUIDELINES (PROWAG), 2010 ADA STANDARDS FOR ACCESSIBLE DESIGN AND THE MANUAL ON UNIFORM TRAFFIC CONTROL DEVICES (MUTCD).

N/F  
THE ATRIUM AT BLUE  
RIDGE LLC  
PIN: 0785.19-71-0619  
DB 7290, PG 914  
BM 1997, PG 749



**JOHN A. EDWARDS & COMPANY**  
Consulting Engineers  
and Land Surveyors

NC License F-0289  
333 Wade Ave., Raleigh, N.C. 27605  
Phone: (919) 828-4428  
Fax: (919) 828-4711  
E-mail: info@jaeco.com

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**NORTH STATE BANK**  
2413 BLUE RIDGE RD.  
RALEIGH, NC

**NORTH STATE BANK**  
RALEIGH, NC

**LEGEND**

BM	BOOK OF MAPS
DB	DEED BOOK
PG	PAGE
N/F	NOW OR FORMERLY
R/W	RIGHT OF WAY
EIP	EXISTING IRON PIPE
EMAG	EXISTING MAG NAIL
IPS	IRON PIPE SET
MAGS	MAG NAIL SET
CS	COTTEN SPINDLE
SS	SANITARY SEWER
CO	SANITARY SEWER CLEAN OUT
HB	HOT BOX
ST	STORM
GW	GUY ANCHOR
CB	STORM CATCH BASIN
WV	WATER VALVE
DI	DROP INLET
LC	CONCRETE
SSMH	SANITARY SEWER
WM	WATER METER
LP	LIGHT POLE
GM	GAS METER
TP	TELEPHONE PEDESTAL
FH	FIRE HYDRANT
PP	POWER POLE
ICV	IRRIGATION CONTROL VALVE
STMH	STORM MANHOLE
XXX	DENOTES CONCRETE
XXX	DENOTES ADDRESS

**SITE PLAN**

Number	Description	Date
1	PER COR COMMENTS	01/25/19

Revisions

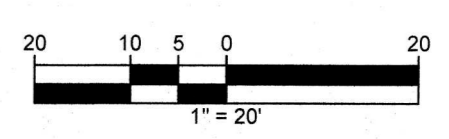
Drawing Scale 1" = 20'

Drawn By CS

Checked By JRC

Date Issued 11/30/18

C-2.0





**STANDARD UTILITY NOTES (as applicable):**

- All materials & construction methods shall be in accordance with City of Raleigh design standards, details & specifications (reference: CORPUD Handbook, current edition)
- Utility separation requirements:
  - A distance of 100' shall be maintained between sanitary sewer & any private or public water supply source such as an impounded reservoir used as a source of drinking water. If adequate lateral separation cannot be achieved, ferrous sanitary sewer pipe shall be specified & installed to watertight specifications. However, the minimum separation shall not be less than 25' from a private well or 50' from a public well
  - When installing water &/or sewer mains, the horizontal separation between utilities shall be 10'. If this separation cannot be maintained due to existing conditions, the variation allowed is the water main in a separate trench with the elevation of the water main at least 18" above the top of the sewer & must be approved by the Public Utilities Director. All distances are measured from outside diameter to outside diameter
  - Where it is impossible to obtain proper separation, or anytime a sanitary sewer passes over a watermain, DIP materials or steel encasement extended 10' on each side of crossing must be specified & installed to watertight specifications
  - 5.0' minimum horizontal separation is required between all sanitary sewer & storm sewer facilities, unless DIP material is specified for sanitary sewer
  - Maintain 18" min. vertical separation at all watermain & RCP storm drain crossings; maintain 24" min. vertical separation at all sanitary sewer & RCP storm drain crossings. Where adequate separations cannot be achieved, specify DIP materials & a concrete cradle having 6" min. clearance (per CORPUD details VI-41 & S-49)
  - All other underground utilities shall cross water & sewer facilities with 18" min. vertical separation required
- Any necessary field revisions are subject to review & approval of an amended plan &/or profile by the City of Raleigh Public Utilities Department prior to construction
- Contractor shall maintain continuous water & sewer service to existing residences & businesses throughout construction of project. Any necessary service interruptions shall be preceded by a 24 hour advance notice to the City of Raleigh Public Utilities Department
- 3.0' minimum cover is required on all water mains & sewer force mains. 4.0' minimum cover is required on all reuse mains
- It is the developer's responsibility to abandon or remove existing water & sewer services not being used in redevelopment of a site unless otherwise directed by the City of Raleigh Public Utilities Department. This includes abandoning tap at main & removal of service from ROW or easement per CORPUD Handbook procedure
- Install 1/2" copper water services with meters located at ROW or within a 2x2' Waterline Easement immediately adjacent. NOTE: it is the applicant's responsibility to properly size the water service for each connection to provide adequate flow & pressure
- Install 4" PVC sewer services @ 1.0% minimum grade with cleanouts located at ROW or easement line & spaced every 75 linear feet maximum
- Pressure reducing valves are required on all water services exceeding 80 psi; backwater valves are required on all sanitary sewer services having building drains lower than 1.0' above the next upstream manhole
- All environmental permits applicable to the project must be obtained from NCDWQ, USACE &/or FEMA for any riparian buffer, wetland &/or floodplain impacts (respectively) prior to construction.
- NCDOT Railroad Encroachment Agreements are required for any utility work (including main extensions & service taps) within state or railroad ROW prior to construction
- Grease Interceptor / Oil Water Separator sizing calculations & installation specifications shall be approved by the CORPUD FOG Program Coordinator prior to issuance of a Building Permit. Contact Steven Calverly at (919) 996-2334 or steven.calverly@raleighnc.gov for more information
- Cross-connection control protection devices are required based on degree of health hazard involved as listed in Appendix-B of the Rules Governing Public Water Systems in North Carolina. These guidelines are the minimum requirements. The devices shall meet American Society of Sanitary Engineering (ASSE) standards or be on the University of Southern California approval list. The devices shall be installed and tested (both initial and periodic testing thereafter) in accordance with the manufacturer's recommendations or the local cross-connection control program, whichever is more stringent. Contact Joanie Hartley at (919) 996-5923 or joanie.hartley@raleighnc.gov for more information

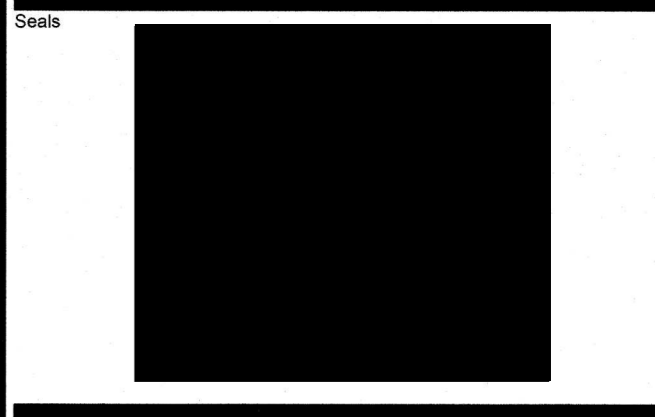
N/F  
THE ATRIUM AT BLUE  
RIDGE LLC  
PIN: 0785.19-71-0619  
DB 7290, PG 914  
BM 1997, PG 748



**JOHN A. EDWARDS & COMPANY**  
Consulting Engineers  
and Land Surveyors

NC License F-0289  
333 Wade Ave., Raleigh, N.C. 27605  
Phone: (919) 828-4428  
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E-mail: info@jaeco.com

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**NORTH STATE BANK**  
2413 BLUE RIDGE RD.  
RALEIGH, NC

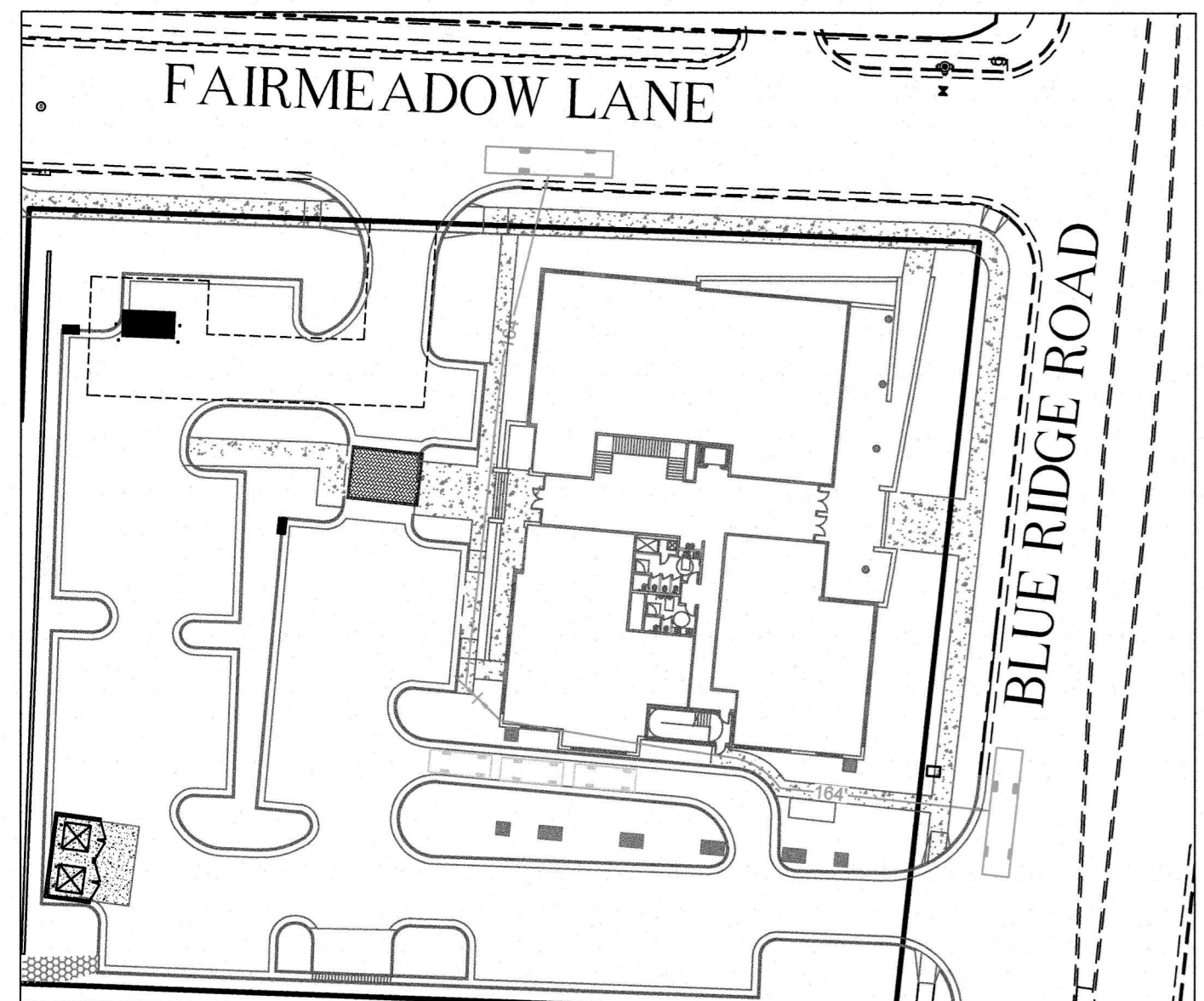
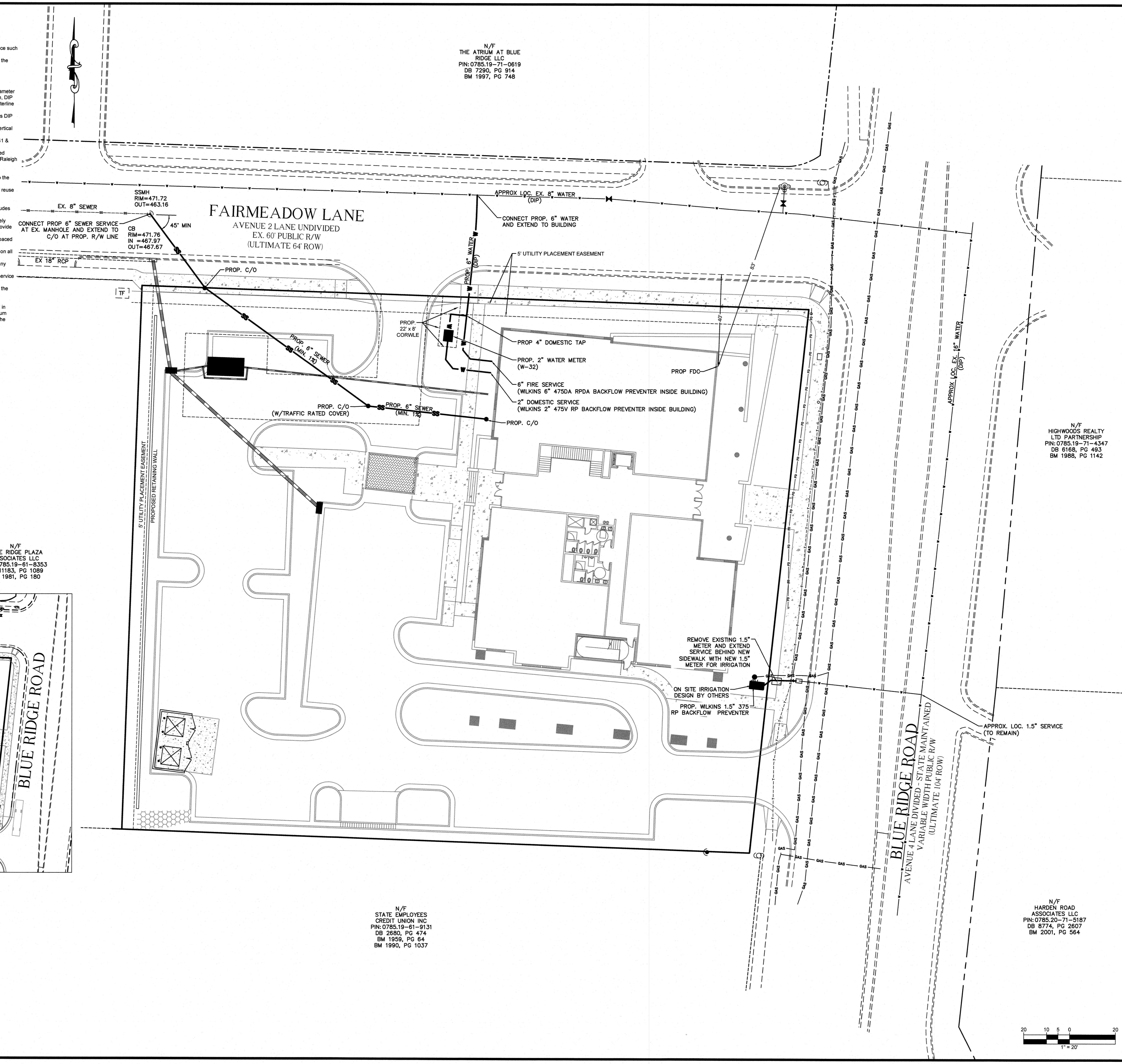
**NORTH STATE BANK**  
RALEIGH, NC

N/F  
HIGHWOODS REALTY  
LTD PARTNERSHIP  
PIN: 0785.19-71-4347  
DB 6168, PG 493  
BM 1985, PG 1142

N/F  
BLUE RIDGE PLAZA  
ASSOCIATES LLC  
PIN: 0785.19-61-8353  
DB 11183, PG 1089  
BM 1981, PG 150

N/F  
STATE EMPLOYEES  
CREDIT UNION INC  
PIN: 0785.19-61-9131  
DB 2680, PG 474  
BM 1959, PG 64  
BM 1990, PG 1037

N/F  
HARDEN ROAD  
ASSOCIATES LLC  
PIN: 0785.20-71-5187  
DB 8774, PG 2607  
BM 2001, PG 564



**LEGEND**

BM	BOOK OF MAPS
DB	DEED BOOK
PG	PAGE
N/F	NOW OR FORMERLY
R/W	RIGHT OF WAY
EIP	EXISTING IRON PIPE
EMAG	EXISTING MAG NAIL
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CONC	CONCRETE
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PH	FIRE HYDRANT
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ICV	IRRIGATION CONTROL VALVE
STMH	STORM MANHOLE

DENOTES CONCRETE  
 DENOTES ADDRESS

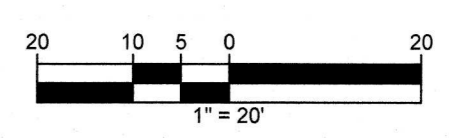
——— PROPERTY LINE  
 - - - - - RIGHT OF WAY LINE  
 - - - - - PROP. LINE NOT SURVEYED  
 - - - - - EASEMENT LINE

**UTILITY PLAN**

Revisions

Number	Description	Date
1	PER COR COMMENTS	01/25/19

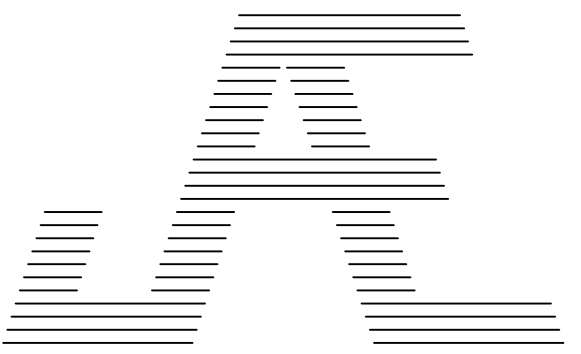
Drawing Scale 1" = 20'  
 Drawn By cs  
 Checked By JRC  
 Date Issued 11/30/18



C-3.0



N/F  
THE ATRIUM AT  
BLUE RIDGE LLC  
DB 007290, PG 00914  
BM 2001, PG 1613  
PIN: 0785710619



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**FOR REVIEW ONLY**

**NORTH STATE BANK**  
2413 BLUE RIDGE RD.  
RALEIGH, NC

**NORTH STATE BANK**  
RALEIGH, NC

N/F  
HIGHWOODS REALTY LTD  
PARTNERSHIP  
DB 006168, PG 00493  
BM 2001, PG 1613  
PIN: 0785714347

Approvals

LEGEND	DESCRIPTION
BM	BOOK OF MAPS
DE	DEED BOOK
PG	PAGE
N/F	NOW OR FORMERLY
R/W	RIGHT OF WAY
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STMH	STORM MANHOLE
CONC	DENOTES CONCRETE
XXX	DENOTES ADDRESS
---	PROPERTY LINE
---	RIGHT OF WAY LINE
---	PROP. LINE NOT SURVEYED
---	EASEMENT LINE



**PLANTING PLAN**

Revisions

Number	Description	Date
#1	ASR Resubmittal #1	01.25.19
#2	ASR Resubmittal #2	03.15.19
#3	ASR Resubmittal #3	04.02.19

Drawing Scale 1" = 20'  
Drawn By JEA  
Checked By GHS  
Date Issued 11/28/18

**L-1.0**

**LANDSCAPE REQUIREMENTS**

**PARKING LOT TREE COVERAGE:**  
Total Parking Area = 27,022 SF  
Required: 1 Tree / 2,000 SF = 14 Trees  
Provided: 14 Trees

**PARKING LOT SCREENING:**  
**West**  
Total Frontage = 148'-2"  
Required: 30 Shrubs / 100 LF = 45 Shrubs  
Provided: 49 Shrubs

**South**  
Total Frontage = 171'-0"  
Required: 30 Shrubs / 100 LF = 51 Shrubs  
Provided: 52 Shrubs

**STREET TREES:**  
**Fairmeadow Lane**  
Total Frontage = 290.96'  
Required: 1 shade tree per 40' on average = 7 Trees  
Provided: 7 Trees

**Blue Ridge Road**  
Total Frontage = 238.53'  
Required: 1 shade tree per 40' on average = 6 Trees  
Provided: 6 Trees

**STREET PROTECTIVE YARD:**  
**Fairmeadow Lane**  
Total Frontage = 55'-0" (C-3 Buffer for parking area only)  
Required: 30 shrubs per 100' on average = 17 Shrubs  
Provided: 17 Shrubs

**Blue Ridge Road**  
Total Frontage = 238'-7"  
Required: N/A  
Provided: None

Note: All proposed trees and shrubs must be planted outside of critical root zones of existing trees.

TREES	QTY	BOTANICAL NAME	COMMON NAME	HEIGHT	CALIPER AT DBH	B&B OR CONT.	MATURE HEIGHT	REMARKS
NW	7	Nyssa sylvatica 'Wildfire'	Black Gum	10'-12' MIN.	3" CAL.	B & B	35'+	Street Tree
PA	5	Prunus subhirtella 'Autumnalis'	Autumn Flowering Cherry	8' - 10' HT.	2" CAL.	B & B	20'-30'	Strong central leader
QL	6	Quercus lyrata	Overcup Oak	10'-12' MIN.	3" CAL.	B & B	35'+	Street Tree
TC	15	Tilia americana 'Caroliniana'	Carolina Basswood	10'-12' MIN.	3" CAL.	B & B	35'+	Central leader

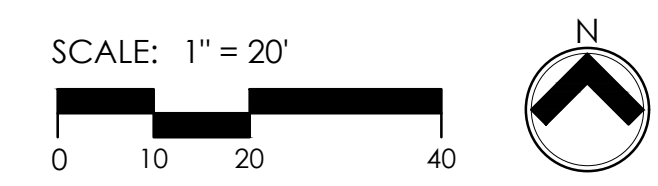
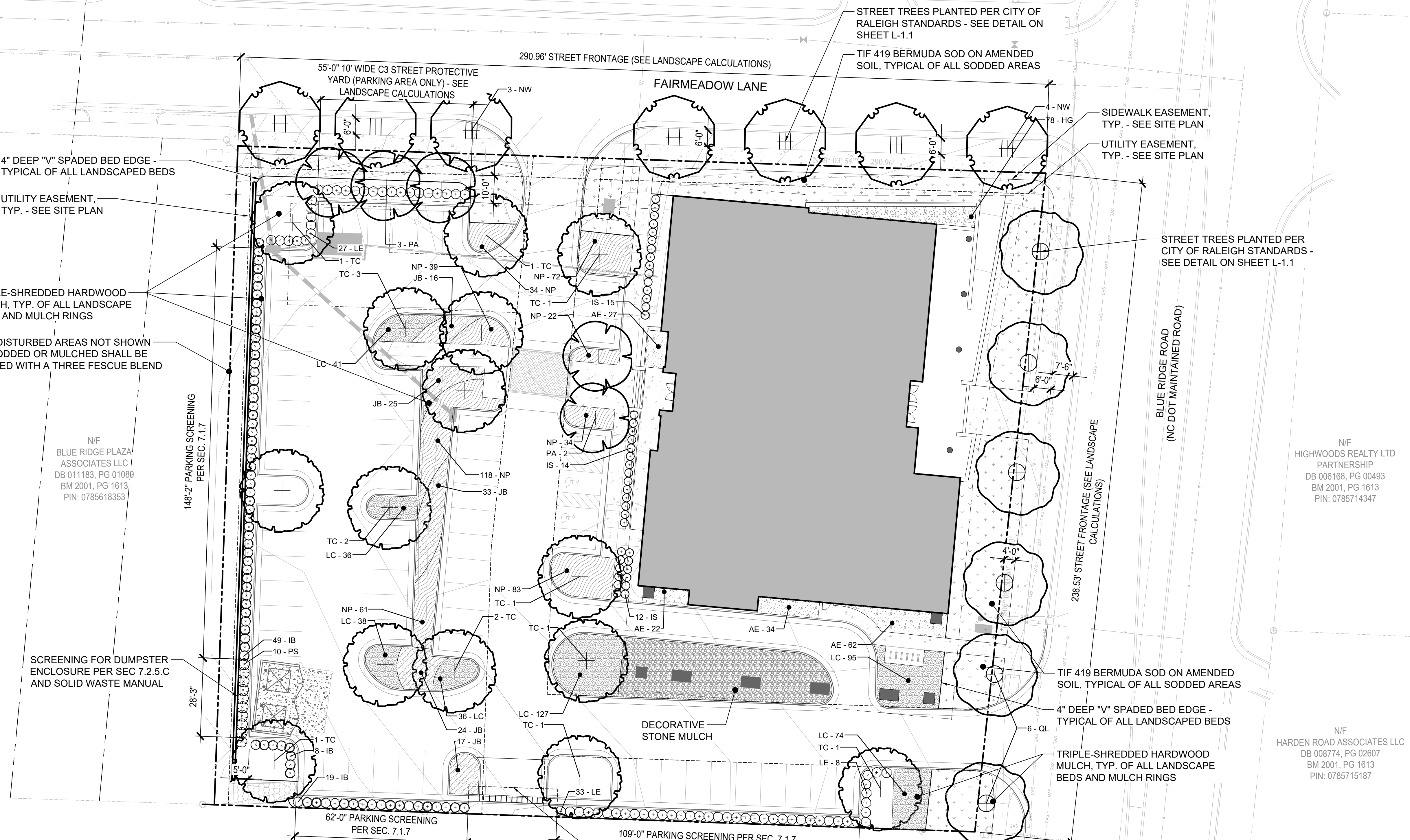
SHRUBS	QTY	BOTANICAL NAME	COMMON NAME	HEIGHT	SPREAD	B&B OR CONT.	MATURE HEIGHT	REMARKS
IB	76	Ilex cornuta 'Burfordii Nana'	Dwarf Burford Holly	18" MIN.	18" MIN.	CONTAINER	3'-4'	Full, Dense
IS	41	Ilex glabra 'Shamrock'	Inkberry	18" MIN.	18" MIN.	CONTAINER	3'-4'	Full, Dense
LE	68	Loropetalum chinense 'Emerald Snow'	Emerald Snow Loropetalum	18" MIN.	18" MIN.	CONTAINER	3'-4'	Full, Dense
PS	10	Prunus laurocerasus 'Schipkaensis'	Schipka Laurel	36" MIN.	36" MIN.	CONTAINER	6'-8'	Screening for dumpster

GROUND COVERS	QTY	BOTANICAL NAME	COMMON NAME	HEIGHT	SPREAD	CONT. SIZE	SPACING	REMARKS
AE	145	Aspidistra elatior	Cast Iron Plant	12" HT.	6"	1 GAL.	24" o.c.	Min. 3 stalks per pot
CT	6,563 sf	Cynodon dactylon 'Tif 419'	Bermuda Grass	---	---	SOD	---	Sod
HG	78	Heuchera x 'Georgia Peach'	Coral Bells	6" HT.	6"	1 GAL.	24" o.c.	Full, Dense
JB	115	Juniperus horizontalis 'Bar Harbor'	Bar Harbor Creeping Juniper	---	12"	1 GAL.	36" o.c.	Full, dense
LC	447	Liriope spicata	Creeping Lily Turf	4"	4"	FLAT	24" o.c.	Full, dense

GRASSES	QTY	BOTANICAL NAME	COMMON NAME	HEIGHT	SPREAD	CONT. SIZE	SPACING	REMARKS
NP	463	Nassella tenuissima 'Pony Tails'	Mexican Feathergrass	4"	4"	FLAT	24" o.c.	Full, Dense



N/F  
STATE EMPLOYEES  
CREDIT UNION INC  
DB 002680, PG 00474  
BM 2001, PG 1613  
PIN: 0785619131



2019 MARCH 15

**NOT FOR CONSTRUCTION**

- PROGRESS PRINT
- HEALTH DEPT. PLAN CHECK
- 11.30.18  BUILDING DEPT. PLAN CHECK
- BID SET
- CONSTRUCTION SET
- SUBMITTAL DOCUMENT

- 01.25.19  C.O.R REVIEW 1 COMMENTS
- 03.15.19  C.O.R REVIEW 2 COMMENTS
- 
- 
- 
- 
- 

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**North State Bank**  
Transaction #4578800 Case # SR-114-18  
2413 Blue Ridge Rd  
Raleigh, NC 27607

**SITE PLAN SUBMITTAL**

DESIGNER : RTW  
DRAWN : RTW  
CHECKED : TVD  
SCALE : AS SHOWN  
JOB NUMBER :  
SHEET TITLE  
Exterior Elevations

SHEET NUMBER  
**A201**

### Average Grade Calculation

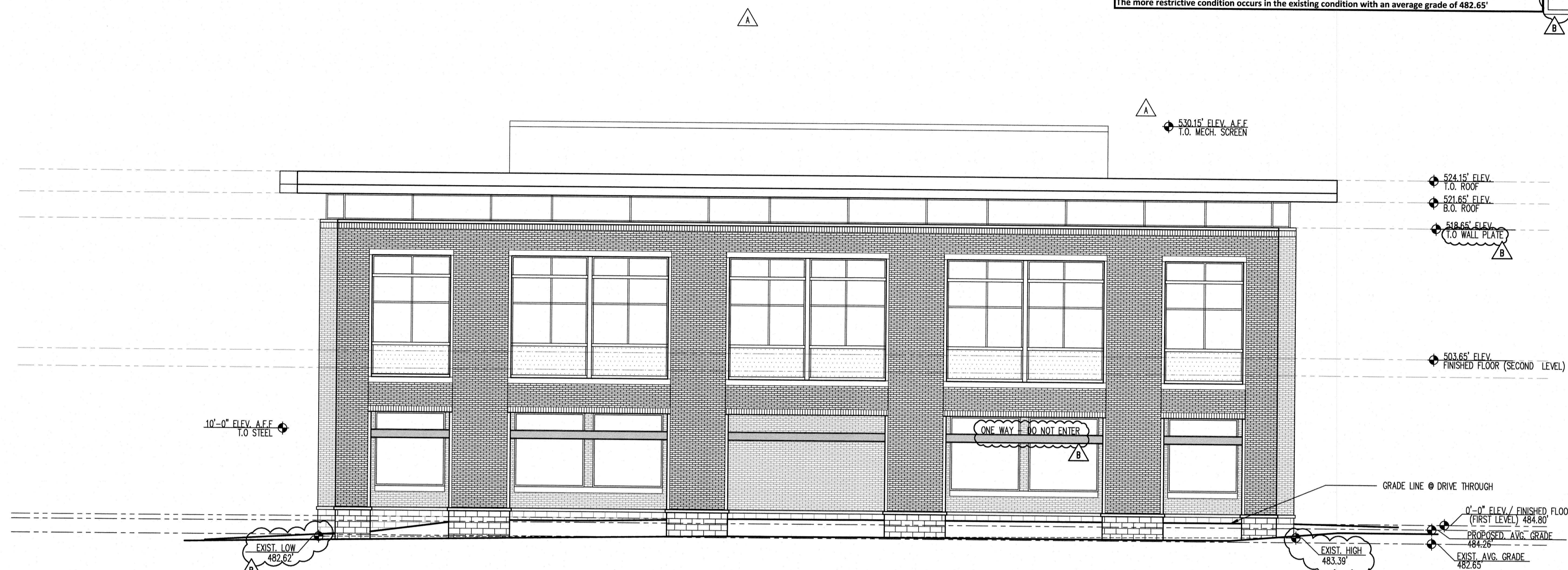
	Existing			Proposed		
	High	Low	Average	High	Low	Average
North plane	484.00	480.60	<b>482.30</b>	484.80	482.62	<b>483.71</b>
East plane	484.00	483.39	<b>483.70</b>	484.80	484.80	<b>484.80</b>
South plane	483.39	482.62	<b>483.01</b>	484.80	484.80	<b>484.80</b>
West plane	482.62	480.60	<b>481.61</b>	484.80	482.62	<b>483.71</b>
<b>Average of wall planes</b>			<b>482.65</b>			<b>484.26</b>

Per section 1.5.7.A.2 (TC-17-16) of the UDO, building height is measured from the average grade to the top of the highest point of a pitched or flat roof excluding the parapet.  
Average grade is determined by calculating the average of the highest and lowest elevation along pre-development grade or improved grade (whichever is most restrictive) along each building elevation and averaging all elevations.  
**The more restrictive condition occurs in the existing condition with an average grade of 482.65'**

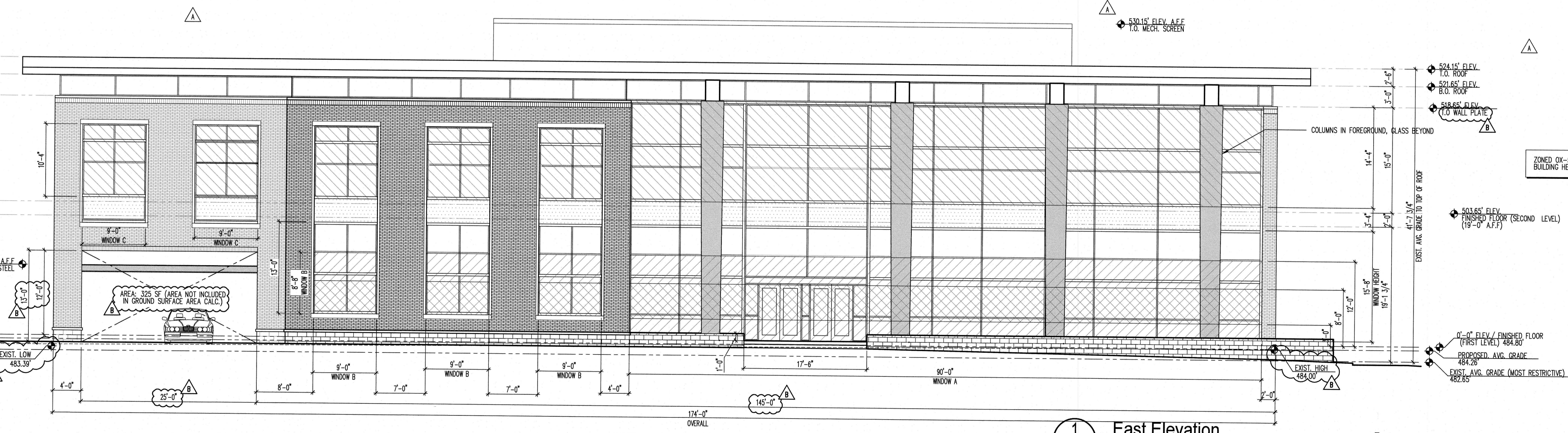
### Transparency Calculations: East Elevation - Blue Ridge Rd.

Category	Value	Percentage
GROUND LEVEL SURFACE AREA: (WITHIN 0'-0" - 12'-0")	1,788 SF	
AREA OF REQ'D TRANSPARENCY (33%)	590 SF	
ACTUAL AREA OF TRANSPARENCY WITHIN 0'-0" - 12'-0" PROVIDED: (325 SF OPEN AIR DRIVE THROUGH NOT INCLUDED IN CALC)	1,272 SF (71%)	
AREA OF REQ'D TRANSPARENCY WITHIN 3'-0" - 8'-0" (50% OF REQ'D TRANSPARENCY AREA):	296 SF	
ACTUAL AREA OF TRANSPARENCY WITHIN 3'-0" - 8'-0" PROVIDED:	576 SF (98%)	
<b>WINDOW A:</b> LENGTH: 9'-0" HEIGHT: 15'-8" (11'-4" USED FOR CALC.) (AREA = 1,020 SF + 17.5 SF ENTRY = 1,038 SF)		
<b>WINDOW B:</b> LENGTH: 9'-0" HEIGHT: 13'-0" (8'-8" USED FOR CALC.) (AREA = 78 SF X 3 = 234 SF)		
<b>WINDOW C:</b> LENGTH: 9'-0" HEIGHT: 10'-4" (93 SF x 3 = 279 SF)		
<b>WINDOW D:</b> LENGTH: 9'-0" HEIGHT: 9'-0" (AREA = 93 SF x 2 = 186 SF)		
<b>SECOND LEVEL SURFACE AREA:</b>	2,610 SF	
TRANSPARENCY TRANSPARENCY (20%):	522 SF	
ACTUAL AREA OF TRANSPARENCY:	1,755 SF (67%)	

NOTE: ALL BUILDING MATERIAL REFERENCES HAVE BEEN REMOVED  
ALL GLAZING ALLOW VIEWS INTO THE GROUND STORY USE FOR A DEPTH OF AT LEAST 8 FEET TO MEET UDO SEC.1.5.9.B.3  
GLASS TO EXCEED 80% TRANSPARENCY AND HAVE AN EXTERNAL REFLECTANCE OF LESS THAN 15% IN COMPLIANCE W/ SEC.1.5.9.B.4



**2 South Elevation**  
A201 SCALE: 1/8"=1'-0"



**1 East Elevation**  
A201 SCALE: 1/8"=1'-0"

NOTE: ADDED DIMENSIONS DELINEATING WINDOW SIZES



**NOT FOR CONSTRUCTION**

- PROGRESS PRINT
- HEALTH DEPT. PLAN CHECK
- 11.30.18  BUILDING DEPT. PLAN CHECK
- BID SET
- CONSTRUCTION SET
- SUBMITTAL DOCUMENT

01.25.19  C.O.R REVIEW 1 COMMENTS

03.15.19  C.O.R REVIEW 2 COMMENTS

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**North State Bank**  
Transaction #578800 Case # SR-114-18  
2413 Blue Ridge Rd  
Raleigh, NC 27607

**SITE PLAN SUBMITTAL**

DESIGNER : -  
DRAWN : -  
CHECKED : -  
SCALE : AS SHOWN  
JOB NUMBER :  
SHEET TITLE  
Exterior Elevations

SHEET NUMBER  
**A202**

### Average Grade Calculation

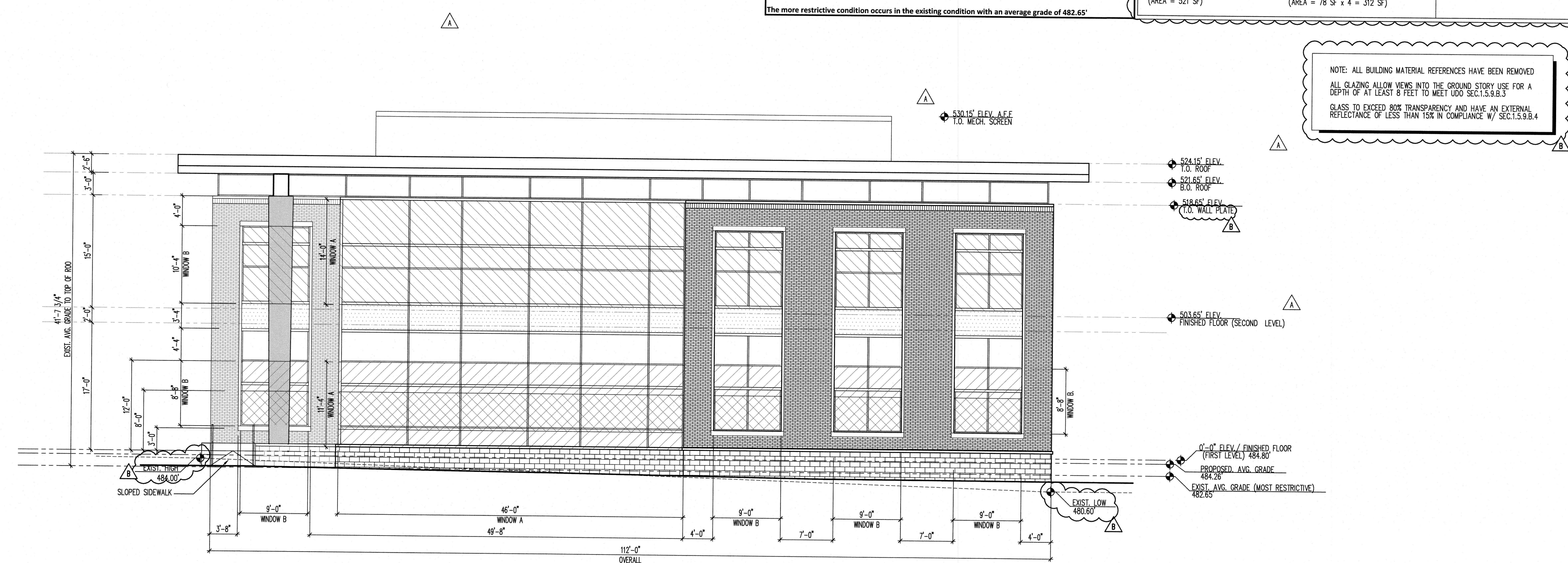
	Existing			Proposed		
	High	Low	Average	High	Low	Average
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East plane	484.00	483.39	483.70	484.80	484.80	484.80
South plane	483.39	482.62	483.01	484.80	484.80	484.80
West plane	482.62	480.60	481.61	484.80	482.62	483.71
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**The more restrictive condition occurs in the existing condition with an average grade of 482.65'**

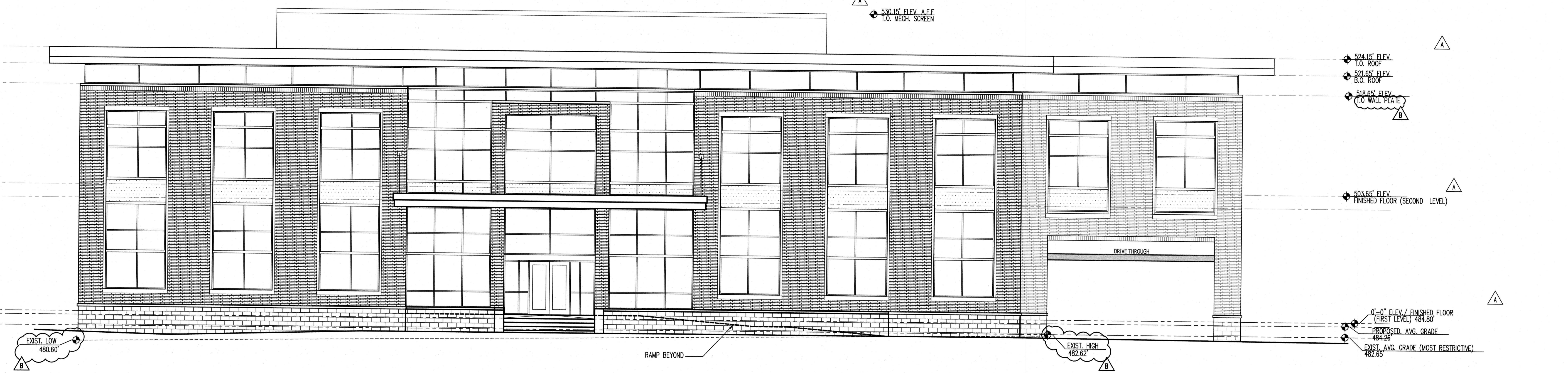
### Transparency Calculations: North Elevation - Fairmeadow Lane

Category	Value	Percentage
GROUND LEVEL SURFACE AREA: (WITHIN 0'-0" - 12'-0")	1,344 SF	
AREA OF REQ'D TRANSPARENCY (33%)	444 SF	
ACTUAL AREA OF TRANSPARENCY WITHIN 0'-0" - 12'-0" PROVIDED:	833 SF (62%)	
SECOND LEVEL SURFACE AREA:	1,680 SF	
AREA OF REQ'D TRANSPARENCY (20%):	336 SF	
ACTUAL AREA OF TRANSPARENCY:	1,016 SF (60%)	
AREA OF REQ'D TRANSPARENCY WITHIN 3'-0" - 8'-0" (50% OF REQ'D TRANSPARENCY AREA):	222 SF	
ACTUAL AREA OF TRANSPARENCY WITHIN 3'-0" - 8'-0" PROVIDED:	392 SF (89%)	
WINDOW A:		
LENGTH: 46'-0"		
HEIGHT: 15'-8" (11'-4" USED FOR CALC.)		
(AREA = 521 SF)		
WINDOW B:		
LENGTH: 9'-0"		
HEIGHT: 13'-0" (8'-8" USED FOR CALC.)		
(AREA = 78 SF x 4 = 312 SF)		

NOTE: ALL BUILDING MATERIAL REFERENCES HAVE BEEN REMOVED  
ALL GLAZING ALLOW VIEWS INTO THE GROUND STORY USE FOR A DEPTH OF AT LEAST 8 FEET TO MEET UDO SEC.1.5.9.B.3  
GLASS TO EXCEED 80% TRANSPARENCY AND HAVE AN EXTERNAL REFLECTANCE OF LESS THAN 15% IN COMPLIANCE W/ SEC.1.5.9.B.4



**2 North Elevation**  
SCALE: 1/8"=1'-0"



**1 West Elevation**  
SCALE: 1/8"=1'-0"