



# Administrative Approval Action

SR-102-18 / Bojangles' Restaurant  
Transaction# 574240 AA#3974

City of Raleigh  
Development Services Department  
One Exchange Plaza  
Raleigh, NC 27602  
(919) 996-2495  
DS.help@raleighnc.gov  
www.raleighnc.gov

**LOCATION:** This site is located on the west side of Edwards Mill Road, south of Trinity Road at 1541 Sunday Drive.

**REQUEST:** Development of a 1.62 acre tract zoned IX-3-PL into a proposed 4,180 sf restaurant on 1.54 acres with .08 acres of right-of-way dedication

**DESIGN**

**ADJUSTMENT(S)/**

**ALTERNATES, ETC:** An Administrative Alternate (AAD-6-19) for pedestrian access easement and transparency design requirements has been approved by the Planning Director.

**FINDINGS:** City Administration finds that this request, with the below conditions of approval being met, conforms to the Unified Development Ordinance. This approval is based on a preliminary plan dated 4/25/2019 by *Development Engineering, Inc.*

## CONDITIONS OF APPROVAL and NEXT STEPS:

*This document must be applied to the second sheet of all future submittals except for final plats. This is a preliminary plan and as such no permits have been issued with this approval. To obtain permits and/or completion of the project, the following steps are required:*

**CONCURRENT SITE REVIEW NOT REQUIRED AT THIS TIME** – However, plan revisions or further development that includes land disturbance of 12,000 square feet or greater, public or private infrastructure, shared stormwater devices, etc. will require concurrent site review.

**CONCURRENT SITE REVIEW** - For land disturbance of 12,000 square feet or greater, public or private infrastructure, shared stormwater devices, etc. Concurrent Site Review may be submitted upon receipt of this signed approval document.

***The following items are required prior to approval of Concurrent Site Review plans:***

### Engineering

1. Required NCDOT encroachment and/or driveway permits must be approved and copies provided to Development Services – Development Engineering prior to concurrent review approval.
2. A right-of-way obstruction permit must be obtained from Right-of-way Services prior to the commencement of any construction activities within the right-of-way.

### Stormwater

3. A stormwater control plan with a stormwater operations and maintenance manual and budget shall be approved (UDO 9.2).
4. A surety equal to of the cost of clearing, grubbing and reseeding a site, shall be paid to the City (UDO 9.4.4).



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**LEGAL DOCUMENTS** - Email to [legaldocumentreview@raleighnc.gov](mailto:legaldocumentreview@raleighnc.gov). Legal documents must be approved, executed, and recorded prior to or in conjunction with the recorded plat on which the associated easements are shown. Copies of recorded documents must be returned to the City within one business day of recording to avoid withholding of further permit issuance.

<input type="checkbox"/>	City Code Covenant	<input type="checkbox"/>	Slope Easement
<input type="checkbox"/>	Stormwater Maintenance Covenant	<input type="checkbox"/>	Transit Easement
<input checked="" type="checkbox"/>	Utility Placement Easement	<input type="checkbox"/>	Cross Access Easement
<input type="checkbox"/>	Sidewalk Easement	<input checked="" type="checkbox"/>	Public Access Easement
		<input type="checkbox"/>	Other:

**RECORDED MAP(S)** - Submit plat to record new property lines, easements, tree conservation areas, etc.). Plats may be submitted for review when the Concurrent Site Review plans, if required, have been deemed ready for mylar signature.

***The following items must be approved prior to recording the plat:***

**Engineering**

1. The required right of way for proposed and/or existing streets shall be dedicated to the City of Raleigh and shown on the map approved for recordation.
2. The final plat needs to show and record the public right-of-way at the intersection of Trinity Rd and Sunday Dr with a radius as opposed to coming to a 90 degree intersection as shown on the preliminary plans.
3. A 5' general utility easement and associated deed of easement shall be approved by the City and the location of the easement shall be shown on the map approved for recordation. The deed of easement shall be recorded at Wake County Register of Deeds within one day of recordation of the recorded plat. A recorded copy of these documents must be provided to the Development Services Department within one day from authorization of lot recordation. If recorded copies of the documents are not provided, further recordings and building permit issuance will be withheld.
4. A public access easement will need to be dedicated between the public right-of-way and the newly dedicated 5' Utility Placement Easement that overlaps the existing 20' SS Easement. This is to allow access to the 5' Utility Placement Easement for future utility placement without the obstacle of crossing private property.

**Stormwater**

5. All stormwater control measures and means of transporting stormwater runoff to and from any nitrogen and stormwater runoff control measures shall be shown on all plats for recording as private drainage easements (UDO 9.2).



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**BUILDING PERMITS** – For buildings and structures shown on the approved plans. Commercial building permit plans must include the signed, approved Concurrent Site Review plans attached, if applicable. Permit sets may be reviewed prior to the recordation of required plats, but cannot be approved.

***The following items must be approved prior to the issuance of building permits:***

## **General**

1. Comply with and show all conditions of AAD-6-19 on final plans for permitting.

## **Engineering**

2. A fee-in-lieu for 1' of sidewalk across the frontage of Trinity Rd shall be paid to the City of Raleigh (UDO 8.1.10).
3. A public infrastructure surety shall be provided to the City of Raleigh Development Services – Development Engineering (UDO 8.1.3).
4. A right-of-way obstruction permit shall be obtained from Right-of-way Services for any construction activity within the right-of-way.

## **Public Utilities**

5. A plat must be recorded at the Wake County Register of Deeds office for all utility easement dedications.

## **Stormwater**

6. A payment equal to twenty-four percent (24%) of the estimated cost of constructing all stormwater control facilities shown on the development plans shall be paid by the developer to the City stormwater facility replacement fund (UDO 9.2.2.G.3).
7. All stormwater control measures and means of transporting stormwater runoff to and from any nitrogen and stormwater runoff control measures shall be shown on all plats for recording as private drainage easements (UDO 9.2).
8. A surety equal to 125% of the cost of the construction of a stormwater device shall be paid to the Engineering Services Department (UDO 9.2.2.D.1.d).

## **Urban Forestry**

9. A tree impact permit must be obtained for the approved streetscape tree installation in the right of way. This development proposes 9 street trees along Trinity Road and 5 street trees along Sunday Drive for a total of 14 street trees.



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**The following are required prior to issuance of building occupancy permit:**

1. All Water, Sanitary Sewer and Reuse facilities shall be installed, inspected, tested and accepted by the City of Raleigh Public Utilities Department for operations and maintenance.
2. Required public right-of-way infrastructure improvements shall be, at a minimum, sufficiently completed to provide the necessary, safe emergency and vehicular access.
3. Required underground storm drainage improvements shall be completed and as-built plan(s) and certification(s) reviewed and accepted by the City of Raleigh Development Services – Development Engineering program.
4. All street lights and street signs required as part of the development approval are installed.
5. Copies of certified inspection reports for alleys and internal access ways are submitted to the City of Raleigh Development Services – Development Engineering program.
6. As-built drawings and associated forms for all Stormwater devices are accepted by the Engineering Services Department (UDO 9.2.2.D.3).
7. Final inspection of all right of way street trees by Urban Forestry Staff.

**EXPIRATION DATES:** The expiration provisions of UDO Section 10.2.8 E, including the ability to request extensions in the expiration date, apply to this site plan. If significant construction has not taken place on a project after administrative site review approval, that approval may expire and be declared void, requiring re-approval before permits may be issued. To avoid allowing this plan approval to expire the following must take place by the following dates:

**3-Year Expiration Date: 5-24-2022**

Obtain a valid building permit for the total area of the project, or a phase of the project.

**4-Year Completion Date:**

Within four years after issuance of the first building permit for the site plan, the construction of the entire site plan must be completed unless an applicant has been granted vested rights. Failure to complete construction within this specified time frame shall automatically void the approved site plan for which no building permits have been issued.

I hereby certify this administrative decision.

Signed:(Development Services Dir./Designee)

Date: 5/24/19

Staff Coordinator: Jermont Purifoy





## City Planning Director Action

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### Administrative Alternate Findings:

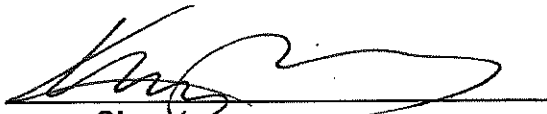
#### UDO Section 1.5.9. Transparency

The Planning and Development Officer may in accordance with Sec. 10.2.17. reduce the required transparency, subject to all of the following findings:

1. The approved alternate meets the intent of the transparency requirements;  
*Staff Response: The requested alternate meets the intent of the transparency requirements. The use of material changes, landscaping, and other architectural treatments provide visual interest for pedestrians and minimize blank wall area.*
2. The approved alternate conforms with the Comprehensive Plan and adopted City plans; and  
*Staff Response: The requested alternate is consistent with the Comprehensive Plan and conforms to several policies, including*
  - LU 2.1 – Placemaking
  - UD 1.2 – Architectural Features
  - UD 1.3 – Creating Attractive Facades
3. The street-facing building façade utilizes other architectural treatments to create visual interest to offset the reduction in transparency.  
*Staff Response: The facade facing Sunday Drive utilizes changes in materials that mimic windows, a canopy, and lighting to offset the reduction in transparency.*

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**Decision:** The City Planning Director finds that the requested alternate generally meets the findings enumerated in the Unified Development Ordinance:

  
\_\_\_\_\_  
Signature

  
\_\_\_\_\_  
Date



**Staff Report**  
**Raleigh Appearance Commission**  
**Administrative Alternate Request**

City of Raleigh  
Urban Design Center  
220 Fayetteville Street  
Suite 200  
Raleigh, NC 27601  
(919) 996-4640  
www.raleighnc.gov

**Case File / Name:** AAD-6-19 – 1541 Sunday Drive

**General Location:** East Side, South of Trinity Road

**Owner:** MMIC-TL Inc, Partners II, INC

**Contact:** Isabel Worth Mattox, [isabel@mattoxlawfirm.com](mailto:isabel@mattoxlawfirm.com)

**Cross-Reference:** T#574240, SR-102-18

**Request:** The applicant requests an administrative alternate for UDO Sections 1.5.8. Pedestrian Access and 1.5.9. Transparency.

**Nature of Request:** UDO Article 1.5.9 Transparency

**A. Intent:**

The transparency requirements are intended to lend visual interest to street-facing building facades for both pedestrians and building occupants and minimize blank wall areas. This is not applicable to residential uses.

**B. General Requirements:**

1. The minimum percentage of windows and doors that must cover a ground story façade is measured between 0 and 12 feet above the adjacent sidewalk. More than 50% of the required transparency must be located between 3 and 8 feet of the building façade.
2. The minimum percentage of windows and doors that must cover an upper story façade is measured from top of the finished floor to the top of the finished floor above. When there is no floor above, upper story transparency is measured from the top of the finished floor to the top of the wall plate.
3. In a mixed-use building, or general building where an Urban Frontage is applied, a minimum of 60% of the street-facing, street-level window pane surface area must allow views into the ground story use for a depth of at least 8 feet. Windows shall not be made opaque by non-operable window treatments (except curtains, blinds or shades within the conditioned space).
4. Glass shall be considered transparent where it has a transparency higher than 80% and external reflectance of less than 15%. Glass on upper stories may have any level of transparency and external reflectance.

The applicant is proposing to develop a vacant 1.63-acre site located at the intersection of Trinity Road and Sunday Drive with a General Building type. The property is zoned Industrial Mixed Use – 3 stories – Parking Limited Frontage, (IX-3-PL). The UDO transparency requirement for such a building is 20% for street-facing facades. The applicant is seeking

an alternate for the façade facing Sunday Drive, which currently offers no transparency as defined by the UDO.

To offset the reduction in transparency, the applicant is offering other strategies of adding visual interest to the façade. These include a canopy, lighting, and changes in material. There is also a landscaped area between the building and Sunday drive that contains hedges.

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**Additional UDO**

**Sections:**

**Sec. 3.2.5.F. General Building**

**F. Transparency (IX)**

F1. Ground story (min):	20%
F2. Upper story (min):	20%
F3. Blank wall area (max):	50'

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**Administrative  
Alternate  
Findings:**

**Sec. 1.5.9 Administrative Alternate Findings**

The Planning and Development Officer may in accordance with Sec. 10.2.17. approve an alternate infill standard, subject to all of the following findings:

1. The approved alternate meets the intent of the transparency requirements;
2. The approved alternate conforms with the Comprehensive Plan and adopted City plans; and
3. The street-facing building façade utilizes other architectural treatments to create visual interest to offset the reduction in transparency.

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**Comprehensive  
Plan Guidance:**

**Policy LU 2.1 - Placemaking**

Development within Raleigh's jurisdiction should strive to create places, streets, and spaces that in aggregate meet the needs of people at all stages of life, are visually attractive, safe, accessible, functional, inclusive have their own identity, and maintain or improve local character.

**Policy LU 5.1 – Reinforcing the Urban Pattern**

New development should be visually integrated with adjacent buildings, and more generally with the surrounding area. Quality design and site planning is required so that new development opportunities within the existing urban fabric of Raleigh are implemented without adverse impacts on local character and appearance.

**Policy LU 7.4 – Scale and Design of New Commercial Uses**

New uses within commercial districts should be developed at a height, mass, scale, and design that is appropriate and compatible with surrounding areas.

**Policy UD 1.2 – Architectural Features**

Quality architecture should anchor and define the public realm. Elements of quality architecture include architectural accents and features conducive to pedestrian scale and usage, such as a distinct base, middle, and top (for high-rise buildings); vertical and horizontal articulation; rooflines that highlight entrances; primary entrances on the front façade; transparent storefront window

**Policy UD 1.3 – Creating Attractive Facades**

Well-designed building facades, storefront windows, and attractive signage and lighting should be used to create visual interest. Monolithic or box-like facades should be avoided to promote the human quality of the street.

**Policy UD 1.4 – Maintaining Facade Lines**

Maintain the established facade lines of neighborhood streets by aligning the front walls of new construction with the prevailing facades of adjacent buildings, unless doing so results in substandard sidewalks. Avoid violating this pattern by placing new construction in front of the historic facade line unless the streetscape is already characterized by such variations. Where existing facades are characterized by recurring placement of windows and doors, new construction should complement the established rhythm.

**Policy UD 2.1 – Building Orientation**

Buildings in mixed-use developments should be oriented along streets, plazas, and pedestrian ways. Their facades should create an active and engaging public realm.

**Policy UD 5.1 – Contextual Design**

Proposed development within established neighborhoods should create or enhance a distinctive character that relates well to the surrounding area.

**Policy UD 7.3 – Design Guidelines**

The Design Guidelines in Table UD-1 shall be used to review rezoning petitions and development applications for mixed-use developments; or rezoning petitions and development applications along Main Street and Transit emphasis corridors or in City Growth, TOD, and Mixed-Use centers, including preliminary site plans and development plans, petitions for the application of the Pedestrian Business or Downtown Overlay Districts, Planned Development Districts and Conditional Use zoning petitions.

**UDG 25** - The ground level of the building should offer pedestrian interest along sidewalks. This includes windows, entrances, and architectural details. Signage, awnings, and ornamentation are encouraged.



## Appearance Commission Recommendation

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**RECOMMENDED  
ACTION:**

Regarding alternate request for UDO Section 1.5.9, the Commission finds that:

- The proposed alternate meets the intent of the transparency requirements;
- The proposed alternate conforms with the Comprehensive Plan and adopted City plans; and
- The street facing building façade utilizes other architectural treatments to create visual interest to offset the reduction in transparency

The Commission recommends approval.

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**CONDITIONS OF  
APPROVAL:**

None

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**Staff Coordinator:** Allison Evans

**In Favor:** Corey Bates, Rolf Blizzard, Todd Delk, Martha Eberle, Jamie Ferguson, Katherine Hogan, John Koonce, and Bernard Thaxton  
**Opposed:** None  
**Recused:** None  
**Excused:** Candice Andre, Cari Jones, Jake Levitas, Clarence Mann, Chad Parker, and Brandy Thompson



## City Planning Director Action

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### Administrative Alternate Findings:

#### UDO Section 1.5.8. Pedestrian Access

The Planning and Development Officer in accordance with *Sec. 10.2.17.* allow a non-street-facing entrance, subject to all of the following findings:

1. The approved alternate meets the intent of the street-facing entrance regulations;  
*Staff Response: The requested alternate provides an easily identifiable and conveniently-located entrance to the building and provides pedestrian access to the sidewalk. The entrances are visible to pedestrians approaching the building thanks to several visual cues.*
  2. The approved alternate conforms with the Comprehensive Plan and adopted City plans;  
*Staff Response: The requested alternate is consistent with the Comprehensive Plan and conforms to several policies, including:*
    - LU 2.1 -- Placemaking
    - LU 4.5 – Connectivity
    - LU 4.9 – Corridor Development
    - T 5.10 – Building Orientation
  3. The pedestrian access point is easily identifiable by pedestrians, customers, and visitors;  
*Staff Response: The requested alternate provides an access point that is easily identifiable via the proposed building entrance, pedestrian path, lighting, signage, and columns, which signal the entrance to those approaching the building from Sunday Drive.*
  4. Recessed or projecting entries or building elements have been incorporated into the design of the building to enhance visibility of the street-facing entrance; and  
*Staff Response: The requested alternate provides a projected entrance that is visible to pedestrians on Sunday Drive.*
  5. The pedestrian route from the street and bus stops and other modes of public transportation to the entrance is safe, convenient and direct.  
*Staff Response: The requested alternate provides pedestrian access to the sidewalk along on Sunday Drive, including a marked crosswalk across a driveway.*
-

**Decision:** The City Planning Director finds that the requested alternate generally meets the findings enumerated in the Unified Development Ordinance

  
\_\_\_\_\_  
Signature

3/15/2019  
\_\_\_\_\_  
Date



**Staff Report**  
**Raleigh Appearance Commission**  
**Administrative Alternate Request**

City of Raleigh  
Urban Design Center  
220 Fayetteville Street  
Suite 200  
Raleigh, NC 27601  
(919) 996-4640  
www.raleighnc.gov

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**Case File / Name:** AAD-6-19 – 1541 Sunday Drive

**General Location:** East Side, South of Trinity Road

**Owner:** MMIC-TL Inc, Partners II, INC

**Contact:** Isabel Worth Mattox, [isabel@mattoxlawfirm.com](mailto:isabel@mattoxlawfirm.com)

**Cross-Reference:** T#574240, SR-102-18

**Request:** The applicant requests an administrative alternate for UDO Sections 1.5.8. Pedestrian Access and 1.5.9. Transparency.

**Nature of Request:** UDO Section 1.5.8. Pedestrian Access

**A. Intent**

1. The street-facing entrance regulations are intended to concentrate pedestrian activity along the street edge and provide an easily identifiable and conveniently-located entrances for residents, visitors and patrons accessing a building as pedestrians from the street.
2. Access points should be located or identified in a manner visible to the pedestrian from the street and be accessible via a direct path.

**B. General Requirements**

1. An entrance installed after September 1, 2013 providing both ingress and egress, operable to residents or customers at all times, is required to meet the street facing entrance requirements. Additional entrances from another street, pedestrian area or internal parking area are permitted.
2. The entrance spacing requirements must be met for each building but are not applicable to adjacent buildings.
3. An angled entrance may be provided at either corner of a building along the street to meet the street-facing entrance requirements.

The applicant is requesting an alternate to Sec. 1.5.8 – Pedestrian Access. The subject property is zoned Industrial Mixed-Use – 3 stories – Parking Limited Frontage (IX-3-PL). The Parking Limited frontage requires both a primary street-facing entrance and a direct pedestrian connection from the entrance to the public sidewalk. The applicant provides an entrance facing Trinity Road (North) and is seeking an alternate to the required pedestrian accessway between the building and Sunday Drive (West).



In lieu of placing an access point along the façade facing Sunday Drive, the applicant is proposing pedestrian access through a projected entrance along the Trinity Road façade. The entrance is projected in such a way that it is visible from Sunday Drive.

The site is located in an auto-oriented context but is located 0.2 mile from a transit stop. This transit stop is located to the East of the site, while the façade in question faces West.

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**Additional UDO  
Sections:**

**Sec. 3.4.5 – Parking Limited Frontage**

**F. Pedestrian Access**

**F1. Primary street-facing entrance required (min of 1 per building)**

**F2. Direct pedestrian access is required from the public sidewalk to the primary street-facing entrance of the building.**

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**Administrative  
Alternate  
Findings:**

**Sec. 1.5.8. Administrative Alternate Findings**

The Planning and Development Officer may in accordance with Sec. 10.2.17. allow a non-street-facing entrance, subject to all of the following findings:

6. The approved alternate meets the intent of the street-facing entrance regulations;
7. The approved alternate conforms with the Comprehensive Plan and adopted City plans;
8. The pedestrian access point is easily identifiable by pedestrian, customer, and visitors;
9. Recessed or projecting entries or building elements have been incorporated into the design of the building to enhance visibility of the street-facing entrance; and
10. The pedestrian route from the street and bus stops and other modes of public transportation to the entrance is safe, convenient and direct.

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**Comprehensive  
Plan Guidance:**

**Policy LU 2.1 - Placemaking**

Development within Raleigh's jurisdiction should strive to create places, streets, and spaces that in aggregate meet the needs of people at all stages of life, are visually attractive, safe, accessible, functional, inclusive have their own identity, and maintain or improve local character.

**Policy LU 2.2 – Compact Development**

New Development and redevelopment should use a more compact land use pattern to support the efficient provision of public services, improve the performance of transportation networks, preserve open space, and reduce the negative impacts of low intensity and non-contiguous development.

**Policy LU 4.5 – Connectivity**

New development and redevelopment should provide pedestrian and vehicular connectivity between individual development sites to provide alternative means of access along corridors.

**Policy LU 4.9 – Corridor Development**

Promote pedestrian-friendly and transit-supportive development patterns along multi-modal corridors designated on the Growth Framework Map, and any corridor programmed for "transit-intensive" investments such as reduced headways, consolidated stops, and bus priority lanes and signals.

**Policy LU 5.1 – Reinforcing the Urban Pattern**

New development should be visually integrated with adjacent buildings, and more generally with the surrounding area. Quality design and site planning is required so that new development opportunities within the existing urban fabric of Raleigh are implemented without adverse impacts on local character and appearance.

**Policy LU 7.4 – Scale and Design of New Commercial Uses**

New uses within commercial districts should be developed at a height, mass, scale, and design that is appropriate and compatible with surrounding areas.

**Policy LU 7.6 – Pedestrian-Friendly Development**

New commercial developments and redeveloped commercial areas should be pedestrian-friendly.

**Policy T 5.10 – Building Orientation**

All primary building entrances should front onto a publicly accessible, and easily discernible, and ADA-compliant walkway that leads directly from the street to the front door to improve pedestrian access.

**Policy UD 6.2 – Encouraging Pedestrian Comfort and Convenience**

Promote a comfortable and convenient pedestrian environment by requiring that buildings face the sidewalk and street area, avoid excessive setbacks, and provide direct pedestrian connections. On-street parking should be provided along pedestrian-oriented streets and surface parking should be to the side or in the rear. This should be applied in new development, wherever feasible, especially on Transit Emphasis and Main Street corridors and in mixed-use centers.

**Policy UD 7.3 – Design Guidelines**

The Design Guidelines in Table UD-1 shall be used to review rezoning petitions and development applications for mixed-use developments; or rezoning petitions and development applications along Main Street and Transit emphasis corridors or in City Growth, TOD, and Mixed-Use centers, including preliminary site plans and development plans, petitions for the application of the Pedestrian Business or Downtown Overlay Districts, Planned Development Districts and Conditional Use zoning petitions.

UDG 18 – Convenient, comfortable pedestrian access between the transit stop and the building entrance should be planned as part of the overall pedestrian network.

UDG 24 - The primary entrance should be both architecturally and functionally on the front facade of any building facing the primary public street. Such entrances should be designed to convey their prominence on the fronting facade.



**Administrative Site Review Application**  
(for UDO Districts only)



Development Services Customer Service Center | Exchange Plaza, Suite 400 | Raleigh, NC 27601 | 919-996-2495 | fax 919-996-1831  
Litchford Satellite Office | 8320 - 130 Litchford Road | Raleigh, NC 27601 | 919-996-4200

When submitting plans, please check the appropriate building type and include the Plan Checklist document.

BUILDING TYPE	FOR OFFICE USE ONLY
<input type="checkbox"/> Detached <input type="checkbox"/> Attached <input type="checkbox"/> Apartment <input type="checkbox"/> Townhouse	<input checked="" type="checkbox"/> General <input type="checkbox"/> Mixed Use <input type="checkbox"/> Open Lot
Transaction Number Assigned Project Coordinator Assigned Team Leader	

Has your project previously been through the Due Diligence or Sketch Plan Review process? If yes, provide the transaction #  No

**GENERAL INFORMATION**

Development Name: **Bojangles' Restaurant**

Zoning District: **IX-3-PL** Overlay District (if applicable): \_\_\_\_\_ Inside City Limits?  Yes  No

Proposed Use: **Restaurant**

Property Address(es): **1541 Sunday Drive** Major Street Locator: **SE Corner of Sunday Drive and Trinity Road**

Wake County Property Identification Number(s) for each parcel to which these guidelines will apply:

P.I.N. **0784-06-1256** P.I.N. \_\_\_\_\_ P.I.N. \_\_\_\_\_ P.I.N. \_\_\_\_\_

What is your project type?  Apartment  Elderly Facilities  Hospitals  Hotels/Motels  Office  
 Mixed Residential  Non-Residential Condo  Non-Profit  Schools  Shopping Center  Banks  Industrial Building  
 Duplex  Telecommunication Tower  Religious Institutions  Residential Condo  Retail  Cottage Court  
 Other: if other, please describe: **Restaurant**

WORK SCOPE: Per City Code Section 10.2.8.D.1, summarize the project work scope. For additions, changes of use, or occupancy (per Chapter 6 of the UDO), indicate impacts on parking requirements.  
**Construct new restaurant facility with associated parking spaces**

DESIGN ADJUSTMENT OR ADMIN ALTERNATE: Per City Code Chapter 8, summarize if your project requires either a design adjustment, or Section 10 - Alternate Administrative AE  
**N/A**

CLIENT/DEVELOPER/OWNER: Company **Tri-Arc Food Systems, Inc.** Name (s) **Tommy Haddock (PRESIDENT)**  
 Address **4905 Waters Edge Drive, Raleigh, N.C. 27606**  
 Phone **919-859-1131** Email **thaddock@bojanglesrdu.com** Fax **919-859-9361**

CONSULTANT (Contact Person for Plans): Company **Development Engineering, Inc.** Name (s) **David Blevins**  
 Address **244 W. Millbrook Road, Raleigh, N.C. 27609**  
 Phone **919-847-8300** Email **david@d-e-inc.com** Fax **919-847-2130**

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**DEVELOPMENT TYPE & SITE DATA TABLE (Applicable to all developments)**

Zoning Information	Building Information
Zoning District(s) <b>IX-3-PL</b>	Proposed building use(s) <b>Restaurant</b>
If more than one district, provide the acreage of each:	Existing Building(s) sq. ft. gross <b>0</b>
Overlay District	Proposed Building(s) sq. ft. gross <b>4,180</b>
Total Site Acres <b>4.8</b> Inside City Limits <input checked="" type="checkbox"/> Yes <input type="checkbox"/> No	Total sq. ft. gross (existing & proposed) <b>4,180</b>
Off street parking: Required <b>28</b> Provided <b>48</b>	Proposed height of building(s) <b>22'-4"</b>
COA (Certificate of Appropriateness) case #	# of stories <b>1</b>
BOA (Board of Adjustment) case # <b>A-</b>	Ceiling height of 1 <sup>st</sup> Floor <b>9'-6" &amp; 8'-6"</b>
CUD (Conditional Use District) case # <b>Z-</b>	

**Stormwater Information**

Existing Impervious Surface <b>0.19/8,186</b> acres/square feet	Flood Hazard Area <input type="checkbox"/> Yes <input checked="" type="checkbox"/> No
Proposed Impervious Surface <b>0.98/42,480</b> acres/square feet	If Yes, please provide: Alluvial Soils FEMA Map Panel # _____ Flood Study _____
Neuse River Buffer <input type="checkbox"/> Yes <input checked="" type="checkbox"/> No	Wetlands <input type="checkbox"/> Yes <input checked="" type="checkbox"/> No

**FOR RESIDENTIAL DEVELOPMENTS**

1. Total # of Apartment, Condominium or Residential Units	5. Bedroom Units: 1br 2br 3br 4br or more
2. Total # of Congregate Care or Life Care Dwelling Units	6. Infill Development 2.2.7
3. Total Number of Hotel Units	7. Open Space (only) or Amenity
4. Overall Total # of Dwelling Units (1-6 Above)	8. Is your project a cottage court? <input type="checkbox"/> Yes <input checked="" type="checkbox"/> No

**SIGNATURE BLOCK (Applicable to all developments)**

In filling this plan as the property owner(s), I/we do hereby agree and firmly bind ourselves, my/our heirs, executors, administrators, successors and assigns jointly and severally to construct all improvements and make all dedications as shown on this proposed development plan as approved by the City.

I hereby designate **David H. Blevins** to serve as my agent regarding this application, to receive and respond to administrative comments, to resubmit plans on my behalf and to represent me in any public meeting regarding this application.

I/we have read, acknowledge and affirm that this project is conforming to all application requirements applicable with the proposed development use.

Signed **Tommy L. Haddock** TRI-ARC FOOD SYSTEMS, INC. PRESIDENT (LOT-2 BUYER) date **Oct 15, 2018**  
 Printed Name **Tommy L. Haddock**

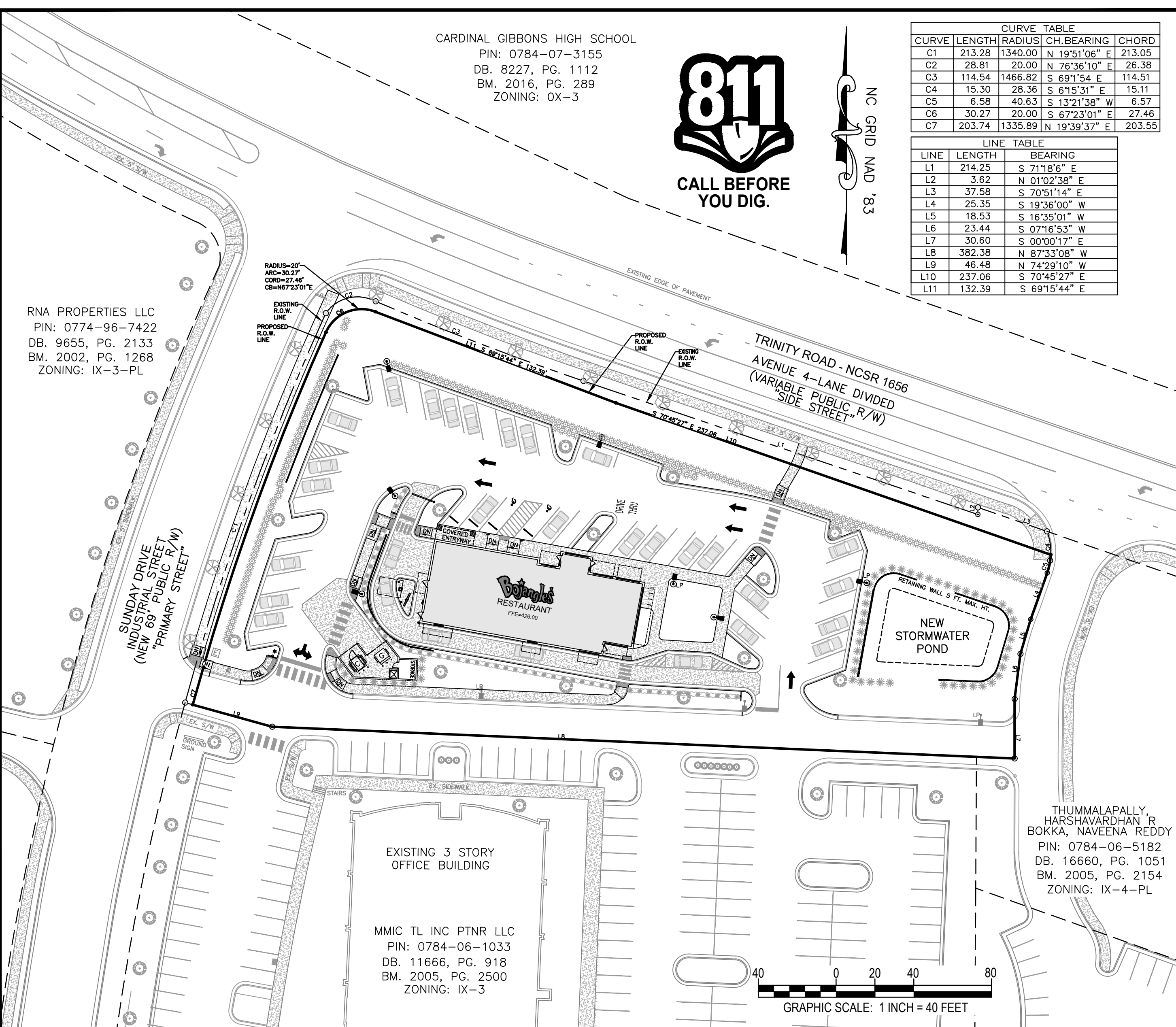
Signed \_\_\_\_\_ Date \_\_\_\_\_  
 Printed Name \_\_\_\_\_

PAGE 2 OF 3 **WWW.RALEIGHNC.GOV** REVISION 05.13.16

**ADMINISTRATIVE SITE REVIEW APPLICATION**

**BOJANGLES' RESTAURANT**

1541 SUNDAY DRIVE, RALEIGH, NORTH CAROLINA 27607



**CURVE TABLE**

CURVE	LENGTH	RADIUS	CH. BEARING	CHORD
C1	213.28	1340.00	N 19°51'06" E	213.05
C2	28.81	20.00	N 76°36'10" E	26.38
C3	114.54	1466.82	S 89°1'54" E	114.51
C4	15.30	28.36	S 81°53'31" E	15.11
C5	6.58	40.63	S 132°1'38" W	6.57
C6	30.27	20.00	S 67°23'01" E	27.46
C7	203.74	1335.89	N 19°39'37" E	203.55

**LINE TABLE**

LINE	LENGTH	BEARING
L1	214.25	S 71°18'6" E
L2	3.62	N 01°02'38" E
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L5	18.53	S 16°35'01" W
L6	23.44	S 07°16'53" W
L7	30.60	S 00°00'17" W
L8	362.38	N 87°33'08" W
L9	46.48	N 74°29'10" W
L10	237.06	S 70°45'27" E
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5. 04-25-19 REVISED PER COR 4th ADMINISTRATIVE SITE REVIEW COMMENTS.



**BOJANGLES' TRINITY ROAD**  
 NORTH CAROLINA

SCALE: 1" = 40'  
 ORIGINAL DATE: 11-28-18  
 LATEST REVISION DATE: 04-25-19  
 PROJECT NO.: 17-143

SR-102-18 TRN# 574240 AAD-6-19

**COVER SHEET**

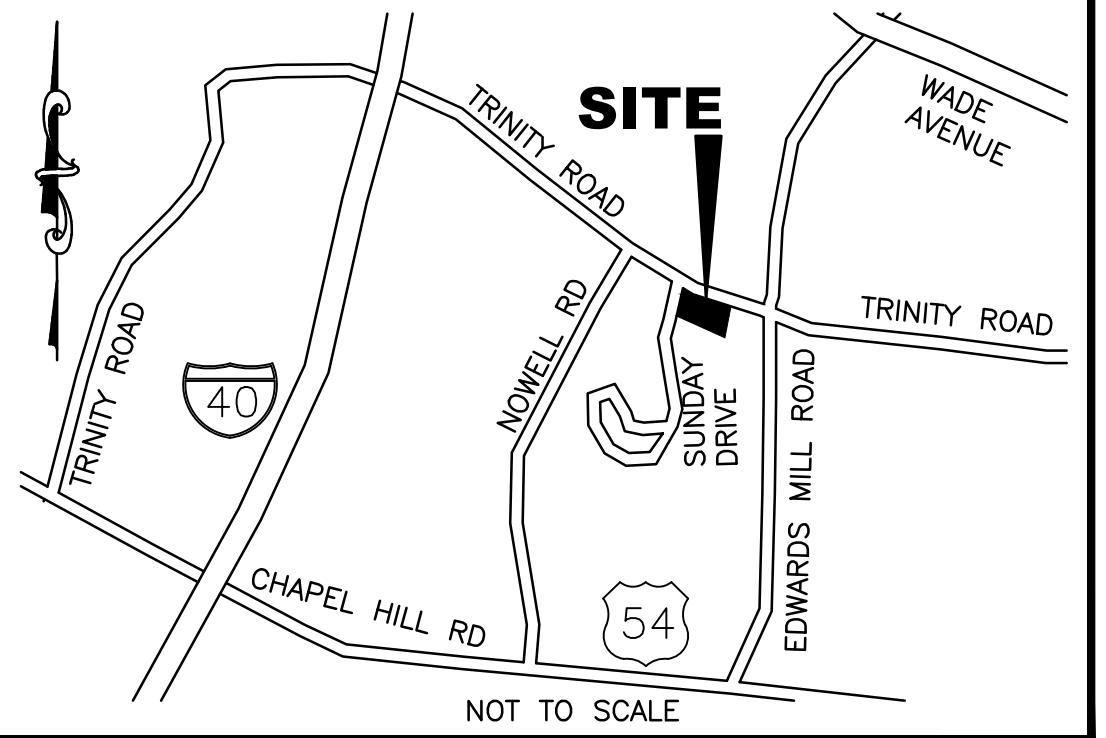
**CONTACTS**

**APPLICANT/DEVELOPER:** TRI-ARC FOOD SYSTEMS, INC. 4905 WATERS EDGE DRIVE RALEIGH, NC 27606 PHONE: 919-859-1131 FAX: 919-859-9361 ATTN: TOMMY HADDOCK, PRESIDENT. E-MAIL: THADDOCK@BOJANGLESROU.COM

**CIVIL ENGINEERING/LANDSCAPE:** DEVELOPMENT ENGINEERING, INC. 244 W. MILLBROOK ROAD, RALEIGH, NC 27609 PHONE: 919-847-8300 FAX: 919-847-2130 ATTN: DAVID H. BLEVINS, P.E. E-MAIL: DAVID@D-E-INC.COM

**ARCHITECTURAL DESIGN:** DESIGN DEVELOPMENT ARCHITECTS 800 SALEM WOODS DR., SUITE 102 RALEIGH, NC 27615 PHONE: 919-848-4474 ATTN: TOM (T.J.) MULDER PROJECT MANAGER E-MAIL: TOMM@DESIGNDEVELOPMENT.COM

**VICINITY MAP**



**GENERAL NOTES:**

- ALL DIMENSIONS ARE TO FACE OF CURB, FACE OF BUILDING, PROPERTY LINE, OR EDGE OF PAVEMENT UNLESS SHOWN OTHERWISE.
- ALL TRAFFIC AND HANDICAP PARKING SIGNS SHALL CONFORM TO MUTCD AND ADA STANDARDS.
- SITE SIGNAGE SHALL BE PERMITTED UNDER SEPARATE SITE SIGNAGE AND PAVEMENT MARKINGS SHALL BE IN ACCORDANCE WITH THE MANUAL FOR UNIFORM TRAFFIC CONTROL DEVICES (MUTCD), AS APPLICABLE.
- PROPOSED SPOT ELEVATIONS ARE SHOWN AT FINISHED GRADE.
- ALL SLOPES SHALL BE 2:1 (HORIZONTAL:VERTICAL) MAXIMUM UNLESS NOTED OTHERWISE.
- CONTRACTOR SHALL REFER TO GEOTECHNICAL REPORT PRIOR TO START OF ANY EARTHWORK ACTIVITY.
- GENERAL CONTRACTOR TO INSTALL NEW PAVEMENT SECTION PER SOIL ENGINEER SPECIFICATIONS. MAIN DRIVE AISLE NEEDS TO HAVE MINIMUM 8" ABC STONE AND A MINIMUM 2" 59.5B ASPHALT WEARING SURFACE (NCDOT SPEC).
- ELECTRIC & TELEPHONE UTILITIES SHALL BE UNDERGROUND.
- THE PROPOSED BUILDINGS WILL NOT HAVE A SPRINKLER SYSTEM.
- PROVIDE ALL NECESSARY SIGNAGE FOR HANDICAP PARKING.
- ALL GENERATORS, TRANSFORMERS & HVAC UNITS TO BE SCREENED FROM PUBLIC VIEW.
- PER THE CITY OF RALEIGH IT HAS BEEN DETERMINED THAT SUNDAY DRIVE IS THE PRIMARY STREET DESIGNATION.

**SITE DATA TABLE**

**OWNERS:** MMIC TL INC PTNR II LLC 1700 SPRING FOREST RD STE 400 RALEIGH, NC 27609

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**ADMINISTRATIVE ALTERNATE #:** AAD-6-19 (APPROVED)

**PIN NUMBER (LOT-2):** 0784-06-1256

**BOOK OF MAPS:** BM 2006 PG 2500

**DEED BOOK:** 13218 PG 2136

**JURISDICTION:** RALEIGH

**ZONING:** IX-3-PL

**CURRENT USE:** VACANT OUT-PARCEL

**PROPOSED USE:** DRIVE THRU RESTAURANT

**PROPERTY AREAS:**

EXISTING LOT AREA:	1.62 AC. (70,445 S.F.)
R.O.W. DEDICATIONS:	0.08 AC. (3,247 S.F.)
NEW LOT AREA:	1.54 AC. (67,198 S.F.)

**BUILDING INFORMATION:**

PROP. BUILDING AREA:	4,180 S.F.
SEATING CAPACITY:	100 SEATS
BUILDING DIMENSIONS:	110 FT. L X 41 FT. W
BUILDING HEIGHT:	22 FT. 8 INCHES - ONE STORY

**PARKING REQUIREMENTS:**

1 SPACE PER 150 G.F.A. OR 1 SPACE PER 5 SEATS, WHICHEVER IS GREATER	
PARKING PROVIDED:	4,180 / 150 = 28 SPACES
PARKING REQUIRED:	48 SPACES (INCL. 2 HC)

SEE STORMWATER NOTE #2 ON SHEET-4 FOR PARKING MITIGATION.

**BIKE PARKING REQUIREMENTS:**

SHORT-TERM: 1 SPACE PER 50.0 G.F.A., MINIMUM 4	4 BIKE SPACES (2 RACKS)
LONG-TERM: 1 SPACE PER 25.0 G.F.A., MINIMUM 4	4 BIKE SPACES (2 COVERED RACKS)

**OUTDOOR AMENITY AREA REQUIREMENTS:**

10% OF NET SITE AREA	
REQUIRED AMENITY AREA:	67,198 X 10% = 6,720 S.F.
PROVIDED AMENITY AREA:	7,232 S.F. (10.8%) SEE DETAIL ON SHEET-3

**IMPERVIOUS AREAS FOR LOT-2:**

PRE-IMPERVIOUS AREA:	0.19 AC. ( 8,186 S.F.)
POST-IMPERVIOUS AREA:	0.98 AC. (42,480 S.F.)

**SOLID WASTE INSPECTIONS STATEMENT:**

- THE OWNER/DEVELOPER ACKNOWLEDGES THAT THEY HAVE REVIEWED AND ARE IN COMPLIANCE WITH THE REQUIREMENTS SET FORTH IN THE SOLID WASTE DESIGN MANUAL.
- THE PROPOSED DUMPSTER ENCLOSURE FACILITY WILL HAVE ONE CONTAINER FOR GARBAGE & ONE SMALL COMPACTOR CONTAINER FOR RECYCLING COLLECTION.
- ALL STORM INLETS MUST BE AT LEAST 20-FT AWAY FROM THE DUMPSTER PAD.

**SIGHT TRIANGLES NOTE:**

NO SIGHT OBSTRUCTING OR PARTIALLY OBSTRUCTING WALL, FENCE, FOLIAGE, BERMING, PARKED VEHICLES OR SIGN BETWEEN THE HEIGHTS OF TWENTY-FOUR (24) INCHES AND EIGHT (8) FEET ABOVE THE CURB LINE ELEVATION, OR THE NEAREST TRAVELED WAY IF NO CURBING EXISTS, SHALL BE PLACED WITHIN A SIGHT TRIANGLE OF A PUBLIC STREET, PRIVATE STREET OR DRIVEWAY CONTAINED EITHER ON THE PROPERTY OR ON AN ADJOINING PROPERTY.

**LEGEND:**

RCP - REINFORCED CONCRETE PIPE	SPRINKLER BOX
IRF - IRON ROD FOUND	ELECTRIC METER
IPS - IRON PIPE SET	CLEAN OUT
PT - CALCULATED POINT	WATER METER
CM - CONCRETE MONUMENT	WATER VALVE
FIRE HYDRANT	ROOF DRAIN
ELECTRIC BOX	PG - PAGE
TELEPHONE PEDESTAL	SIGN
CABLE TV PEDESTAL	SPRINKLER HEAD
POWER POLE	SPRINKLER VALVE
LIGHT POLE	GAS METER
YARD LIGHT	GAS VALVE
R / W - RIGHT-OF-WAY	FLAG POLE
P / L - PROPERTY LINE	GROUND LAMP
C / L - CENTERLINE	CMP-CORRUGATED METAL PIPE
NTS - NOT TO SCALE	VCP-VITRIFIED CLAY PIPE
GV - GAS VALVE	DIP-DUCTILE IRON PIPE
LP - PROP. LIGHT POLE	HDPE-HIGH DENSITY POLYETHYLENE PIPE
MH DRAINAGE	AC UNIT
MH SANITARY	MAILBOX
MH ELECTRIC	WELL
MH TELEPHONE	EXISTING TREE
MH WATER	

**SHEET INDEX**

**CIVIL ENGINEERING**

SHEET-1	COVER SHEET
SHEET-2	AAD-6-19 ADMINISTRATIVE ALTERNATE APPROVAL LETTERS
SHEET-3	EXISTING CONDITIONS & DEMOLITION PLAN
SHEET-4	PROPOSED SITE & TRANSPORTATION PLAN
SHEET-5	PROPOSED GRADING & STORMWATER PLAN
SHEET-6	PROPOSED UTILITY PLAN
SHEET-7	PROPOSED LANDSCAPING PLAN
SHEET-8	PROPOSED LIGHTING PLAN

**ARCHITECTURAL**

A2.2	BUILDING ELEVATIONS - COR COMPLIANCE
------	--------------------------------------

**BUILD-TO REQUIREMENTS NOTE:**

SEC. 1.5.6.C.4 STATES "... CITY OF RALEIGH UTILITY EASEMENTS SHALL NOT BE CONSIDERED WHEN CALCULATING THE BUILD-TO PERCENTAGE OR BUILD-TO RANGE". BOTH SUNDAY DR. AND TRINITY RD. HAVE EXISTING CITY OF RALEIGH SANITARY SEWER EASEMENTS RUNNING THE ENTIRE LENGTH OF BOTH FRONTS. THEREFORE LOT-2 HAS NO BUILD-TO REQUIREMENTS. THIS RULING WAS CONFIRMED BY CITY OF RALEIGH SENIOR PLANNER ERIC HODGE ON JANUARY 16, 2019 IN AN E-MAIL TO LAND USE ATTORNEY, ISABEL WORTHY MATTOX.

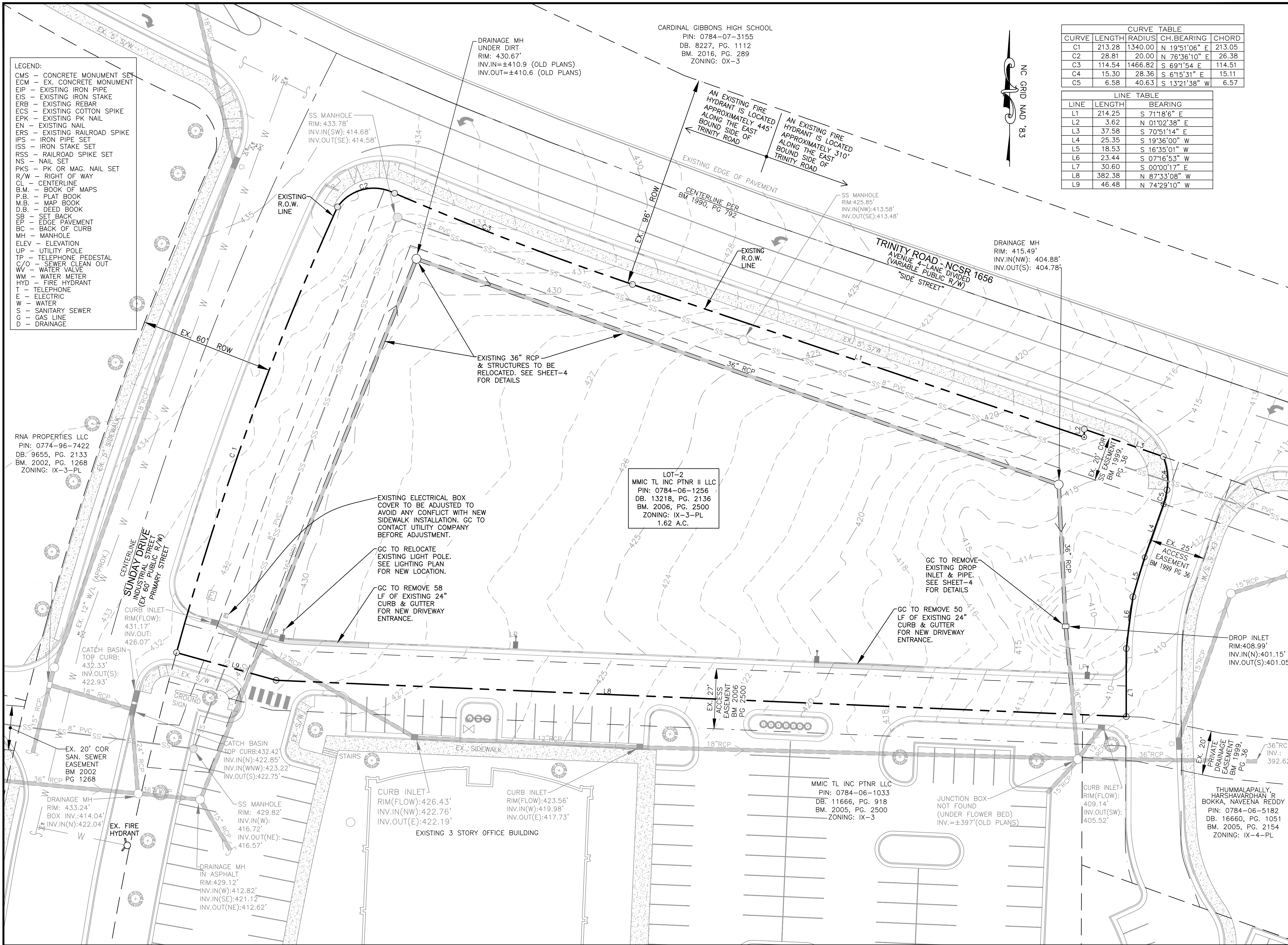
**ALL CONSTRUCTION TO CITY OF RALEIGH STANDARDS & SPECIFICATIONS**

FINAL PLAN - NOT RELEASED FOR CONSTRUCTION

**DEVELOPMENT ENGINEERING, INC.**  
 Professional Engineering Consultants  
 244 West Millbrook Road, Raleigh, NC 27609  
 P. O. Box 17705, Raleigh, NC 27619  
 www.d-e-inc.com  
 Phone: 919-847-8300  
 Fax: 919-847-2130  
 E-mail: Office@d-e-inc.com

**SHEET NO. 1 OF 8**





**LEGEND:**

- CMS - CONCRETE MONUMENT SET
- ECM - EX. CONCRETE MONUMENT
- EIP - EXISTING IRON PIPE
- EIS - EXISTING IRON STAKE
- ERB - EXISTING REBAR
- ECS - EXISTING COTTON SPIKE
- EPK - EXISTING PK NAIL
- EN - EXISTING NAIL
- ERS - EXISTING RAILROAD SPIKE
- IPS - IRON PIPE SET
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- RSS - RAILROAD SPIKE SET
- NS - NAIL SET
- PKS - PK OR MAG. NAIL SET
- R/W - RIGHT OF WAY
- CL - CENTERLINE
- B.M. - BOOK OF MAPS
- M.B. - MAP BOOK
- D.B. - DEED BOOK
- SB - SET BACK
- EP - EDGE PAVEMENT
- BC - BACK OF CURB
- MH - MANHOLE
- ELEV - ELEVATION
- UP - UTILITY POLE
- TP - TELEPHONE PEDESTAL
- C/O - SEWER CLEAN OUT
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- WM - WATER METER
- HYD - FIRE HYDRANT
- T - TELEPHONE
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- W - WATER
- S - SANITARY SEWER
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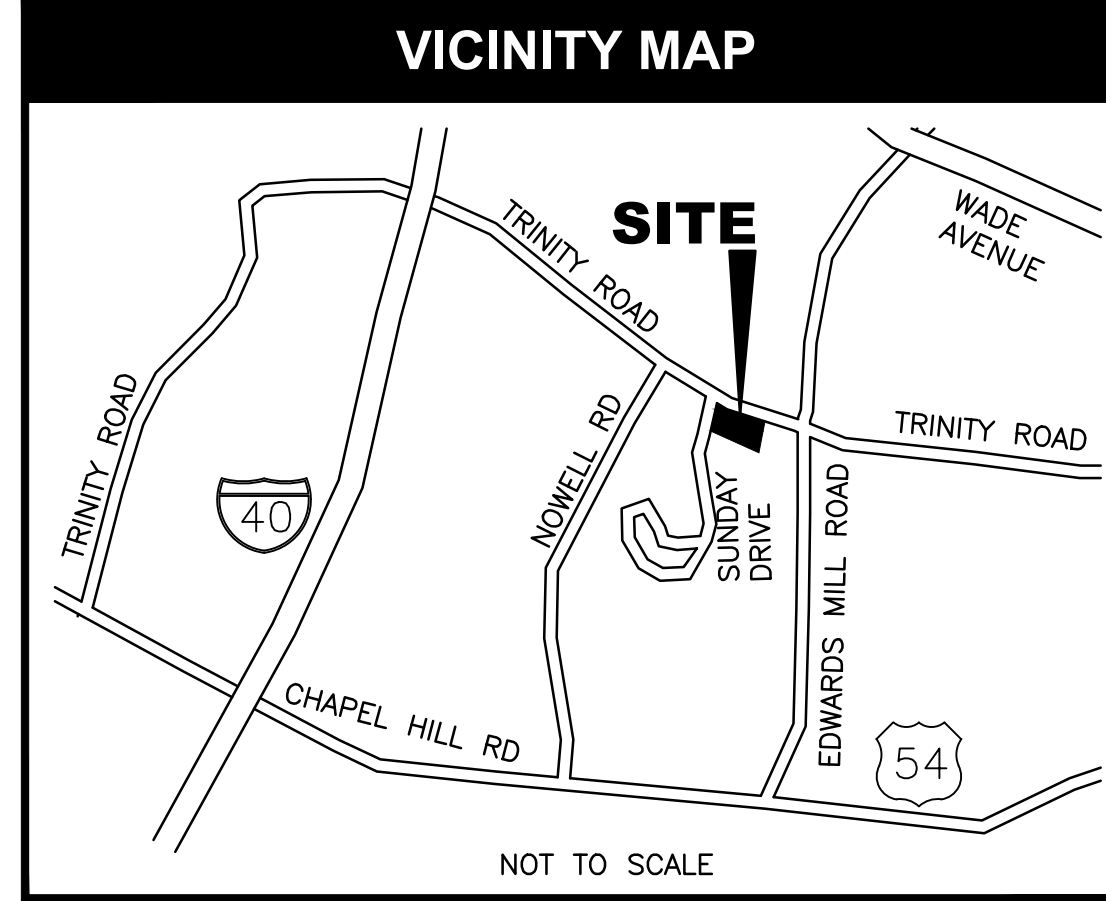
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RALEIGH, NC 27609

**SITE ADDRESS:** 1541 SUNDAY DRIVE  
RALEIGH, NC 27607

**PIN NUMBER (LOT-2):** 0784-06-1256

**BOOK OF MAPS:** BM 2006 PG 2500

**DEED BOOK:** 13218 PG 2136

**JURISDICTION:** RALEIGH

**ZONING:** IX-3-PL

**CURRENT USE:** VACANT

**EXISTING LOT AREA:** 1.62 AC. (70,445 S.F.)

**SURVEY INFORMATION**

**BOUNDARY, TOPOGRAPHY SURVEY PROVIDED BY:**  
NEWCOMB LAND SURVEYORS, PLLC  
7008 HARPS MILL RD., STE. 105  
RALEIGH, NC 27615  
OFFICE: 919-847-1800, NC LICENSE # P-0203

**FEMA NOTE:**

THIS PROPERTY IS NOT LOCATED IN A FLOOD PLAIN PER FEMA MAP PANEL #3720077400J EFFECTIVE DATE MAY 2, 2006.

**DRIVEWAY ACCESS NOTE:**

DIRECT DRIVEWAY ACCESS TO TRINITY ROAD FOR LOT 2 SHALL BE PROHIBITED. DRIVEWAY ACCESS SHALL BE LIMITED TO THE APPROVED LOCATIONS AS SHOWN ON SUBDIVISION PLANS ON FILE WITH THE CITY OF RALEIGH.

- CONTRACTOR NOTES:**
- NO CHANGES TO ANY ASPECT OF THIS SITE PLAN, INCLUDING BUT NOT LIMITED TO, SITE LAYOUT, GRADING, UTILITIES, LANDSCAPING, OR LIGHTING SHALL BE MADE WITHOUT THE APPROVAL OF DEVELOPMENT ENGINEERING, INC.
  - THE CONTRACTOR SHALL VERIFY THE LOCATION OF ALL EXISTING UTILITIES (ABOVE AND BELOW GROUND) PRIOR TO CONSTRUCTION. ANY CONFLICTS OR RELOCATION OF UTILITIES SHALL BE COORDINATED BETWEEN THE CONTRACTOR AND THE APPROPRIATE UTILITY COMPANY AND/OR AUTHORITY.
  - THE CONTRACTOR SHALL OBTAIN A COPY OF THE CURRENT CITY OF RALEIGH STANDARDS AND SPECIFICATIONS TO REFER TO PRIOR TO AND DURING CONSTRUCTION OF THE PROJECT.
  - THE CONTRACTOR SHALL OBTAIN ALL APPROPRIATE PERMITS FROM THE CITY OF RALEIGH AND/OR NCDOT PRIOR WORK WITHIN THE ROW OF THE PUBLIC STREETS.
  - GO TO VERIFY RECEIPT OF FINAL PLANS WITH PROJECT ADMINISTRATOR AND CIVIL ENGINEER PRIOR TO ORDERING STORM STRUCTURES & PIPE.

**811**  
CALL BEFORE YOU DIG.

**ALL CONSTRUCTION TO CITY OF RALEIGH STANDARDS & SPECIFICATIONS**  
FINAL PLAN - NOT RELEASED FOR CONSTRUCTION

**REVISIONS**

NO.	DATE	REVISION
1.	12-21-18	REVISED PER COR 1st ADMINISTRATIVE SITE REVIEW COMMENTS.
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**BOJANGLES'**  
**TRINITY ROAD**  
RALEIGH NORTH CAROLINA

SCALE: 1" = 20'  
ORIGINAL DATE: 11-28-18  
LATEST REVISION DATE: 04-25-19  
PROJECT NO.: 17-143

**EXISTING CONDITIONS & DEMOLITION PLAN**

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**SHEET NO. 3 OF 8**

Z:\PROJECTS\17143 Bojangles' Trinity Rd. - Raleigh\3-DWG\17-143 BK\_SHEETS 17.dwg, C3 EXISTING, 4/25/2019 1:33:39 PM, Tom, DWG To PDF.pc3, ARCH full bleed D (36.00 x 24.00 inches), 1:1



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RNA PROPERTIES LLC  
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DB. 9655, PG. 2133  
BM. 2002, PG. 1268  
ZONING: IX-3-PL

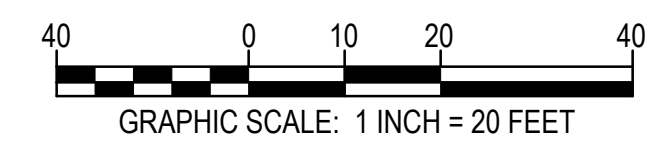
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CB=N19°39'37"E

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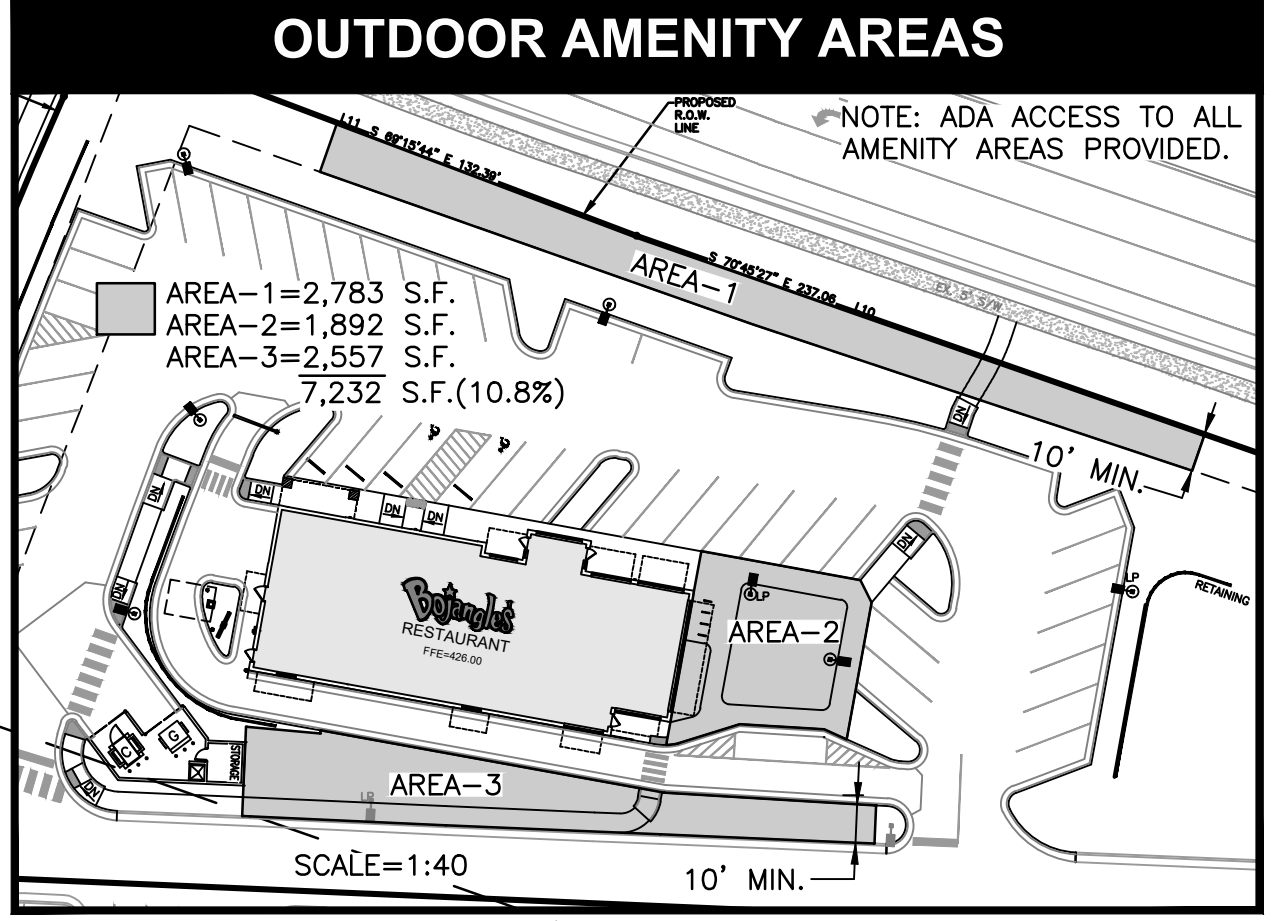
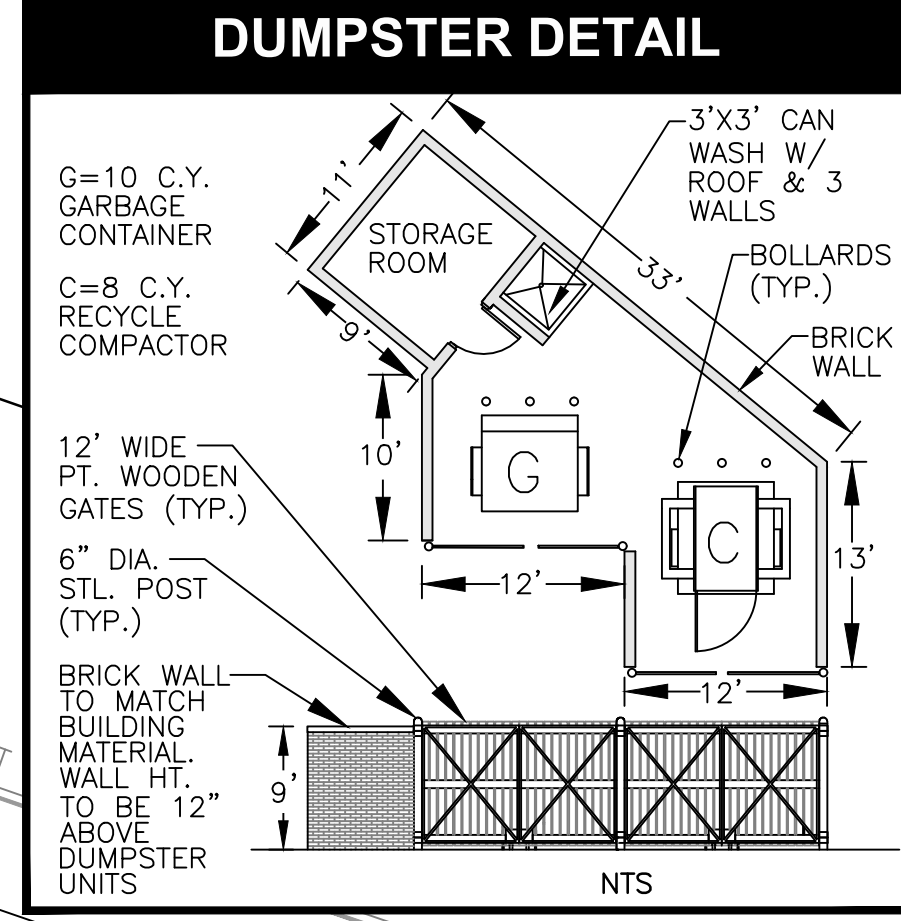
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**SHEET NO.**  
**4**  
**OF**  
**8**



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PRE-IMPERVIOUS AREA:	0.19 AC. ( 8,186 S.F.)
POST-IMPERVIOUS AREA:	0.98 AC. (42,480 S.F.)

---

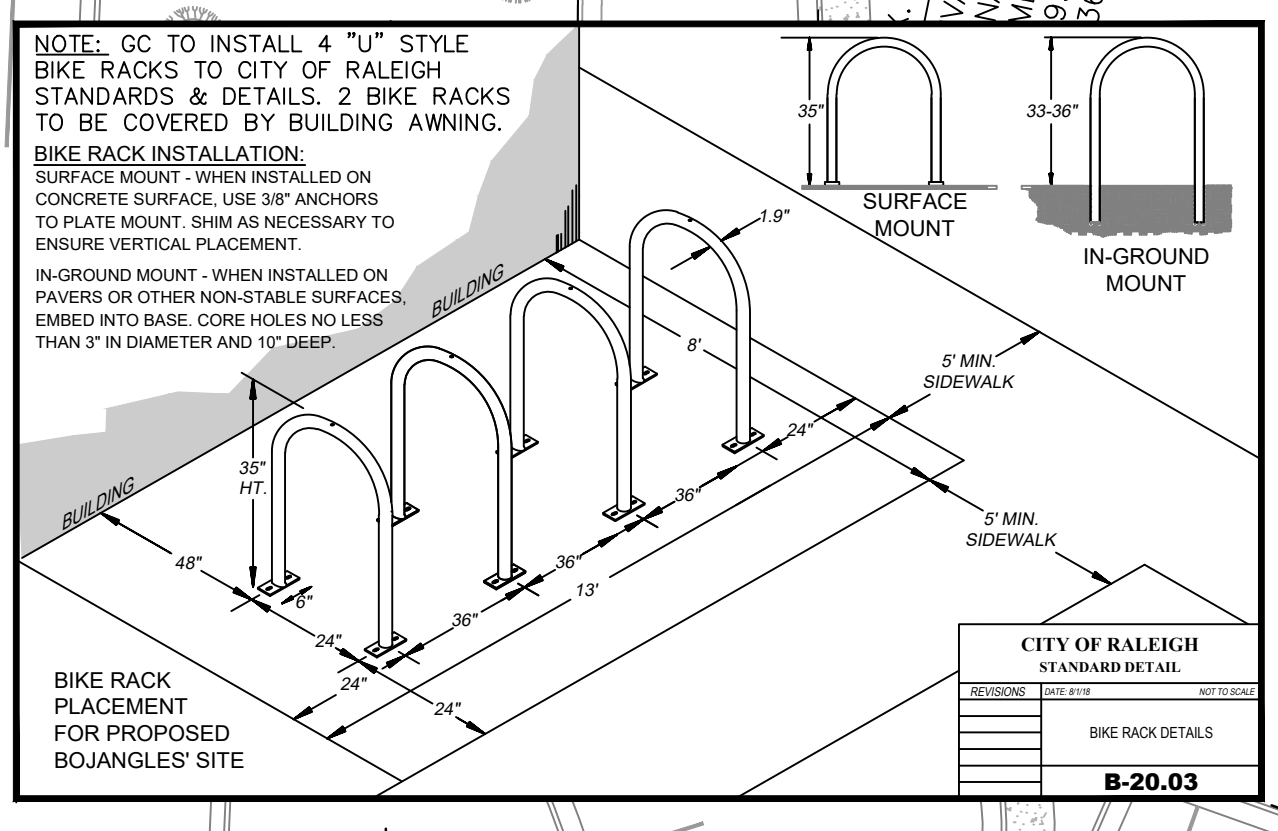
**LIMITS OF DISTURBANCE:** 1.3 AC.

**BUILD-TO REQUIREMENTS NOTE:**

SEC. 1.5.6.C.4 STATES "... CITY OF RALEIGH UTILITY EASEMENTS SHALL NOT BE CONSIDERED WHEN CALCULATING THE BUILD-TO PERCENTAGE OR BUILD-TO RANGE". BOTH SUNDAY DR. AND TRINITY RD. HAVE EXISTING CITY OF RALEIGH SANITARY SEWER EASEMENTS RUNNING THE ENTIRE LENGTH OF BOTH FRONTS, THEREFORE LOT-2 HAS NO BUILD-TO REQUIREMENTS. THIS RULING WAS CONFIRMED BY CITY OF RALEIGH SENIOR PLANNER ERIC HODGE ON JANUARY 16, 2019 IN AN E-MAIL TO LAND USE ATTORNEY, ISABEL WORTHY MATTOX.

- GENERAL NOTES:**
- ALL DIMENSIONS ARE TO FACE OF CURB, FACE OF BUILDING, PROPERTY LINE, OR EDGE OF PAVEMENT UNLESS SHOWN OTHERWISE.
  - ALL TRAFFIC AND HANDICAP PARKING SIGNS SHALL CONFORM TO MUTCD AND ADA STANDARDS.
  - SITE SIGNAGE SHALL BE PERMITTED UNDER SEPARATE SITE SIGNAGE AND PAVEMENT MARKINGS SHALL BE IN ACCORDANCE WITH THE MANUAL FOR UNIFORM TRAFFIC CONTROL DEVICES (MUTCD), AS APPLICABLE.
  - PROPOSED SPOT ELEVATIONS ARE SHOWN AT FINISHED GRADE.
  - ALL SLOPES SHALL BE 2:1 (HORIZONTAL:VERTICAL) MAXIMUM UNLESS NOTED OTHERWISE.
  - CONTRACTOR SHALL REFER TO GEOTECHNICAL REPORT PRIOR TO START OF ANY EARTHWORK ACTIVITY.
  - GENERAL CONTRACTOR TO INSTALL NEW PAVEMENT SECTION PER SOIL ENGINEER SPECIFICATIONS. MAIN DRIVE AISLE LENGTHS TO HAVE MINIMUM 8' ABC STONE AND A MINIMUM 2" S9.5B ASPHALT WEARING SURFACE (NCDOT SPEC).
  - GRADING PERMIT TO BE ISSUED THROUGH CITY OF RALEIGH.
  - ELECTRIC AND TELEPHONE UTILITIES SHALL BE UNDERGROUND.
  - THE PROPOSED BUILDING WILL NOT HAVE A SPRINKLER SYSTEM.
  - PROVIDE ALL NECESSARY SIGNAGE FOR HANDICAP PARKING.
  - ALL GENERATORS, TRANSFORMERS & HVAC UNITS TO BE SCREENED FROM PUBLIC VIEW.
  - THE CITY OF RALEIGH REQUIRES THE EXISTING 5' WIDE SIDEWALK ALONG TRINITY ROAD TO BE WIDENED TO 6'. A FEE-IN-LIEU WILL BE PROVIDED FOR THE EXTRA 1' OF REQUIRED SIDEWALK.
  - THIS SITE IS LESS THAN 2 ACRES IN SIZE AND THEREFORE EXEMPT FROM ARTICLE 9.1, TREE CONSERVATION.
  - LIGHTING FIXTURES MUST BE LOCATED AT LEAST 20' FROM A TREE, MEASURED FROM THE POLE OF THE LIGHTING FIXTURE TO THE TRUNK OF THE TREE.
  - DIRECT DRIVEWAY ACCESS TO TRINITY ROAD FOR LOT 2 SHALL BE PROHIBITED. DRIVEWAY ACCESS SHALL BE LIMITED TO THE APPROVED LOCATIONS AS SHOWN ON SUBDIVISION PLANS ON FILE WITH THE CITY OF RALEIGH.
  - ALL PAINT STRIPING MEASUREMENTS FOR PARKING SPACES ARE INDICATED FROM C/O OF PAINTED LINE TO C/O OF PAINTED LINE.
  - PER THE CITY OF RALEIGH IT HAS BEEN DETERMINED THAT SUNDAY DRIVE IS THE PRIMARY STREET DESIGNATION.

**ALL CONSTRUCTION TO CITY OF RALEIGH STANDARDS & SPECIFICATIONS**  
FINAL PLAN - NOT RELEASED FOR CONSTRUCTION



MMIC TL INC PTNR LLC  
PIN: 0784-06-1033  
DB. 11666, PG. 918  
BM. 2005, PG. 2500  
ZONING: IX-3

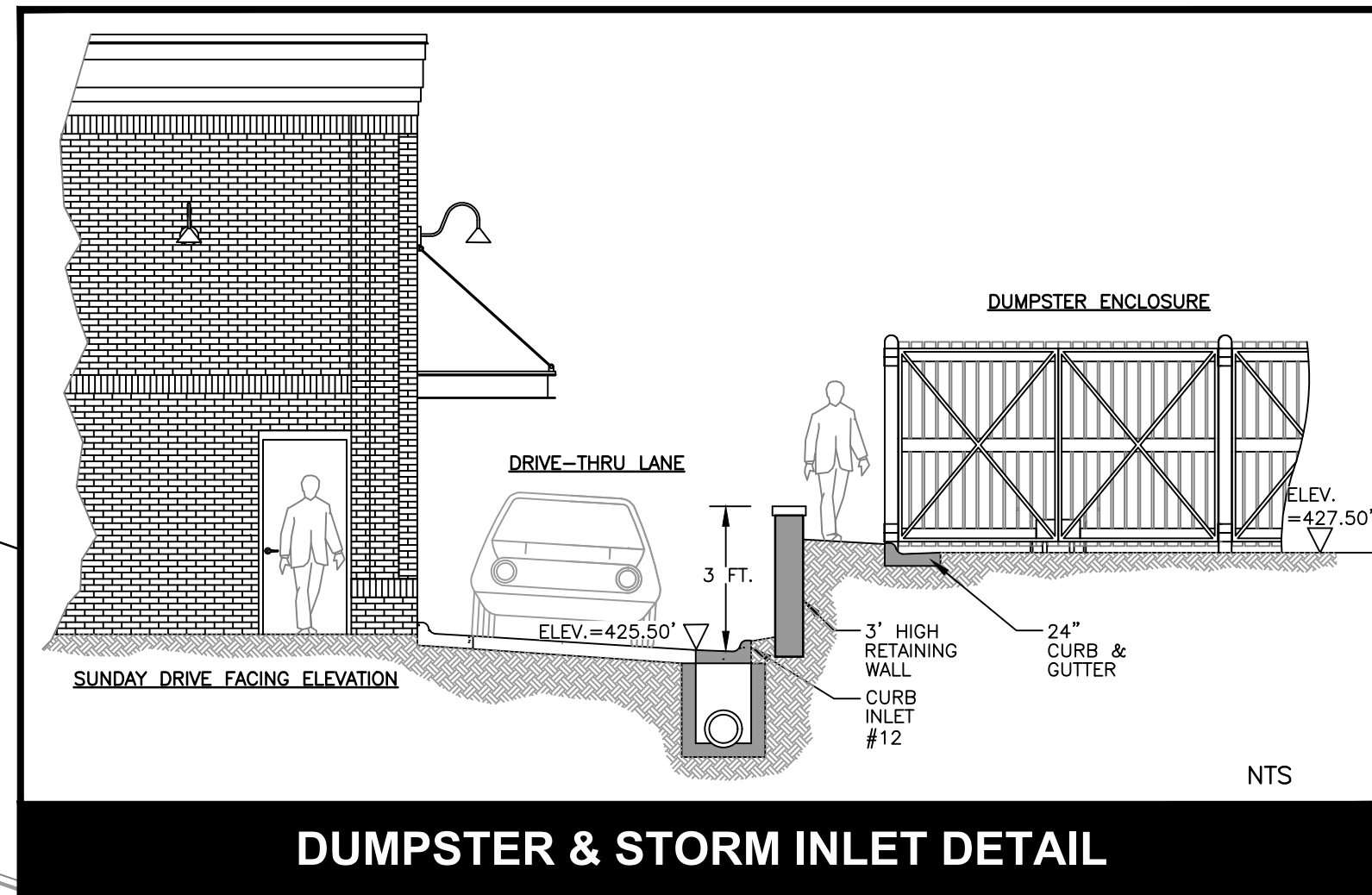
THUMMALAPALLY, HARSHAVARDHAN R  
BOKKA, NAVEENA REDDY  
PIN: 0784-06-5182  
DB. 16660, PG. 1051  
BM. 2005, PG. 2154  
ZONING: IX-4-PL

Z:\PROJECTS\17143 Bojangles' Trinity Rd. - RALEIGH\3-DWG\17-143 BK\_SHEETS 1-7.dwg, C4 SITE LAYOUT, 4/25/2019 1:34:15 PM, Tom, DWG TO PDF.pc3, ARCH full bleed D (36.00 x 24.00 inches), 1:1



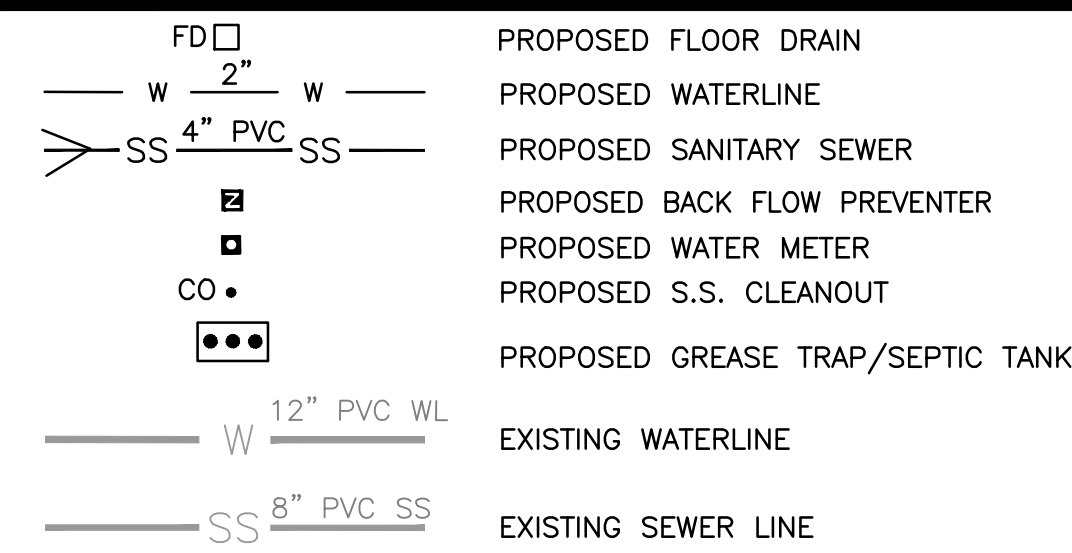
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2. ALL TRAFFIC AND HANDICAP PARKING SIGNS SHALL CONFORM TO MUTCD AND ADA STANDARDS.
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4. PROPOSED SPOT ELEVATIONS ARE SHOWN AT FINISHED GRADE.
5. ALL SLOPES SHALL BE 2:1 (HORIZONTAL:VERTICAL) MAXIMUM UNLESS NOTED OTHERWISE.
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7. GENERAL CONTRACTOR TO INSTALL NEW PAVEMENT SECTION PER SOIL ENGINEER SPECIFICATIONS. MAIN DRIVE ASLE NEEDS TO HAVE MINIMUM 8" ABC STONE AND A MINIMUM 2" S9.5B ASPHALT WEARING SURFACE (NCDOT SPEC).
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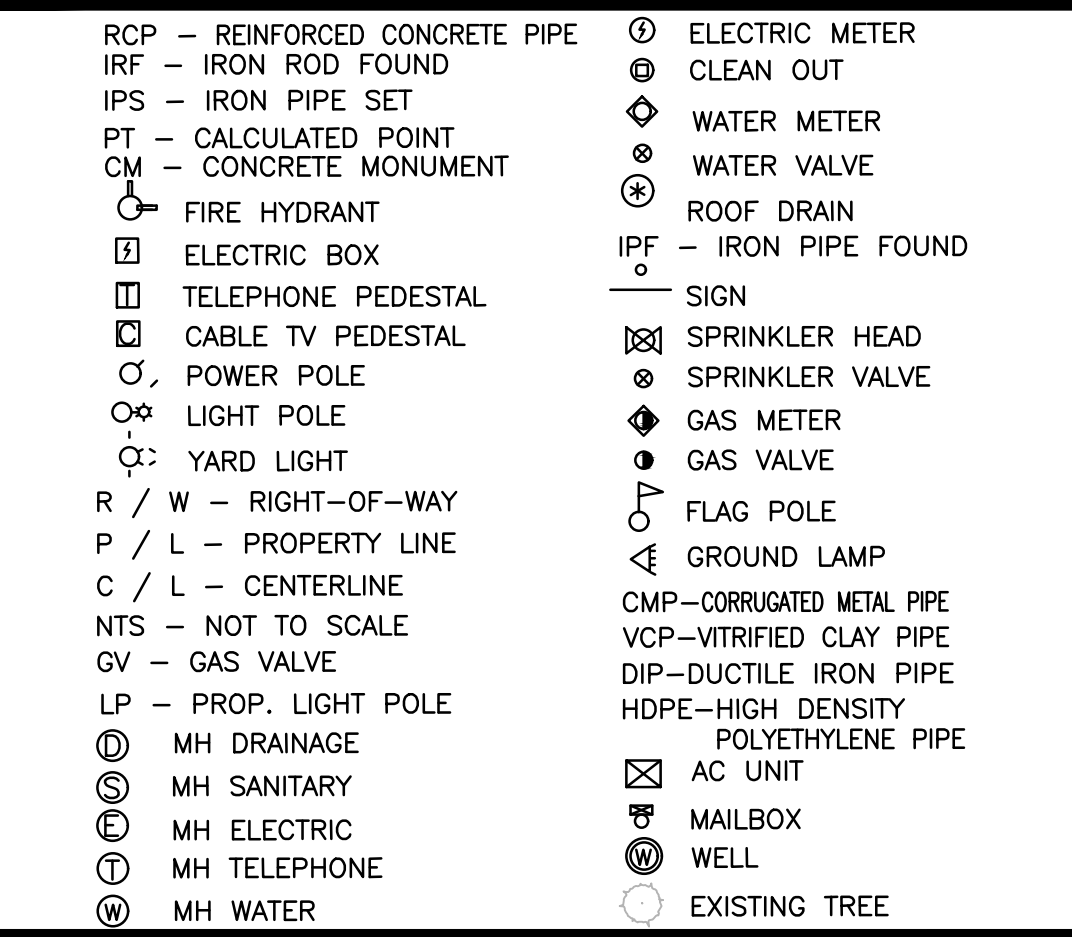


**DUMPSTER & STORM INLET DETAIL**

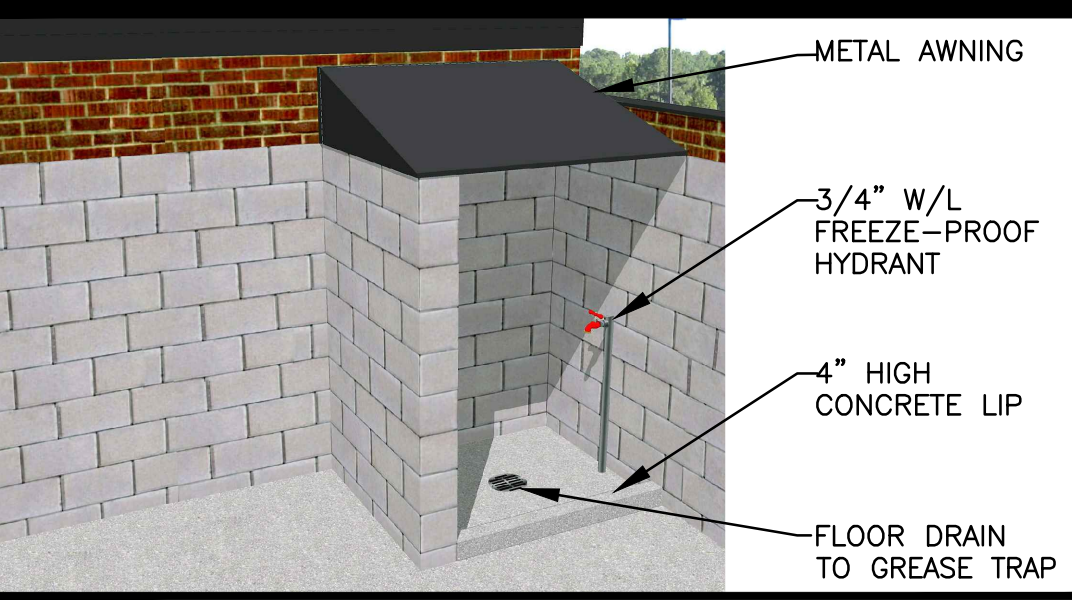
**UTILITY LEGEND:**



**LEGEND:**



**COVERED CAN WASH DETAIL**

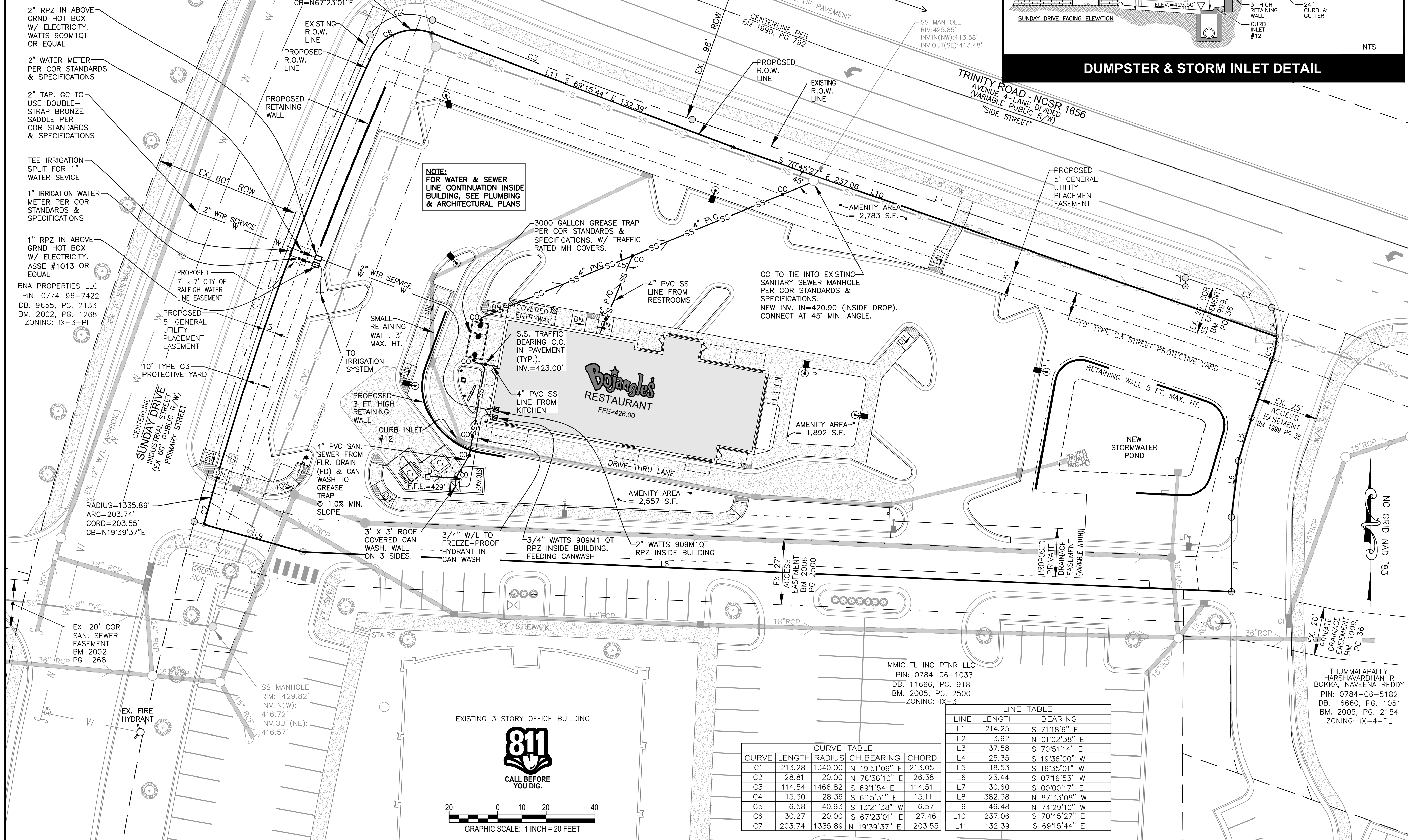


**ALL CONSTRUCTION TO CITY OF RALEIGH STANDARDS & SPECIFICATIONS**  
FINAL PLAN - NOT RELEASED FOR CONSTRUCTION

**NOTE:**  
GC TO OPEN CUT PIPE TRENCH FOR ALL NEW WATER CONFECTIONS IN PUBLIC R.O.W. GC TO REPAIR ALL EXISTING ASPHALT, C&G ETC. PER COR DETAILS & SPECIFICATIONS.

**NOTE:**  
FOR WATER & SEWER LINE CONTINUATION INSIDE BUILDING, SEE PLUMBING & ARCHITECTURAL PLANS

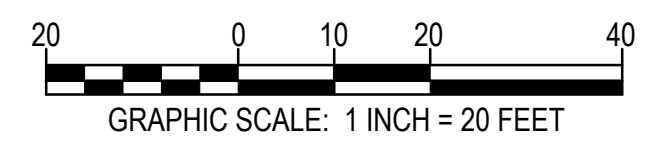
CARDINAL GIBBONS HIGH SCHOOL  
PIN: 0784-07-3155  
DB. 8227, PG. 1112  
BM. 2016, PG. 289  
ZONING: 0X-3



MMIC TL INC PTNR LLC  
PIN: 0784-06-1033  
DB. 11666, PG. 918  
BM. 2005, PG. 2500  
ZONING: IX-3

CURVE TABLE			
CURVE	LENGTH	RADIUS	CH.BEARING
C1	213.28	1340.00	N 19°51'06" E 213.05
C2	28.81	20.00	N 76°36'10" E 26.38
C3	114.54	1466.82	S 69°11'54" E 114.51
C4	15.30	28.36	S 61°5'31" E 15.11
C5	6.58	40.63	S 13°21'38" W 6.57
C6	30.27	20.00	S 67°23'01" E 27.46
C7	203.74	1335.89	N 19°39'37" E 203.55

LINE TABLE		
LINE	LENGTH	BEARING
L1	214.25	S 71°18'6" E
L2	3.62	N 01°02'38" E
L3	37.58	S 70°51'14" E
L4	25.35	S 19°36'00" W
L5	18.53	S 16°35'01" W
L6	23.44	S 07°16'53" W
L7	30.60	S 00°00'17" E
L8	382.38	N 87°33'08" W
L9	46.48	N 74°29'10" W
L10	237.06	S 70°45'27" E
L11	132.39	S 69°15'44" E



**REVISIONS**

1. 12-21-18	REVISED PER COR 1st ADMINISTRATIVE SITE REVIEW COMMENTS.
2. 01-22-19	REVISED PER COR 2nd ADMINISTRATIVE SITE REVIEW COMMENTS.
3. 03-21-19	REVISED PER COR 3rd ADMINISTRATIVE SITE REVIEW COMMENTS.
4. 04-15-19	REVISED PER COR 4th ADMINISTRATIVE SITE REVIEW COMMENTS.
5. 04-25-19	REVISED PER COR 4th ADMINISTRATIVE SITE REVIEW COMMENTS.



**BOJANGLES'**  
**TRINITY ROAD**  
RALEIGH NORTH CAROLINA

SCALE: 1" = 20'  
ORIGINAL DATE: 11-28-18  
LATEST REVISION DATE: 04-25-19  
PROJECT NO.: 17-143

**PROPOSED UTILITY PLAN**

**DEVELOPMENT ENGINEERING, INC.**  
Professional Engineering Consultants  
244 West Millbrook Road, Raleigh, NC 27609  
P. O. Box 17705, Raleigh, NC 27619  
www.d-e-inc.com

Phone: 919-847-8300  
Fax: 919-847-2130  
E-mail: Office@d-e-inc.com

**SHEET NO. 6 OF 8**



- LEGEND:**
- CMS - CONCRETE MONUMENT SET
  - ECM - EX. CONCRETE MONUMENT
  - EIP - EXISTING IRON PIPE
  - EIS - EXISTING IRON STAKE
  - ERB - EXISTING REBAR
  - ECS - EXISTING COTTON SPIKE
  - EPK - EXISTING PK NAIL
  - EN - EXISTING NAIL
  - ERS - EXISTING RAILROAD SPIKE
  - IPS - IRON PIPE SET
  - ISS - IRON STAKE SET
  - RSS - RAILROAD SPIKE SET
  - NS - NAIL SET
  - PKS - PK OR MAG. NAIL SET
  - R/W - RIGHT OF WAY
  - CL - CENTERLINE
  - B.M. - BOOK OF MAPS
  - PLAT BOOK
  - M.B. - MAP BOOK
  - D.B. - DEED BOOK
  - SB - SET BACK
  - EP - EDGE PAVEMENT
  - BC - BACK OF CURB
  - MH - MANHOLE
  - ELEV - ELEVATION
  - UP - UTILITY POLE
  - TP - TELEPHONE PEDESTAL
  - C/O - SEWER CLEAN OUT
  - WV - WATER VALVE
  - WM - WATER METER
  - HYD - FIRE HYDRANT
  - T - TELEPHONE
  - E - ELECTRIC
  - W - WATER
  - S - SANITARY SEWER
  - G - GAS LINE
  - D - DRAINAGE

RNA PROPERTIES LLC  
 PIN: 0774-96-7422  
 DB. 9655, PG. 2133  
 BM. 2002, PG. 1268  
 ZONING: IX-3-PL

EX. 20' COR SAN. SEWER EASEMENT  
 BM 2002 PG 1268

**REVISIONS**

1.	12-21-18	REVISED PER COR 1st ADMINISTRATIVE SITE REVIEW COMMENTS.
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5.	04-25-19	REVISED PER COR 4th ADMINISTRATIVE SITE REVIEW COMMENTS.



**BOJANGLES'**  
**TRINITY ROAD**  
 NORTH CAROLINA

SCALE: 1" = 20'  
 ORIGINAL DATE: 11-28-18  
 LATEST REVISION DATE: 04-25-19  
 PROJECT NO.: 17-143

**PROPOSED LANDSCAPE PLAN**

**CURVE TABLE**

CURVE	LENGTH	RADIUS	CH. BEARING	CHORD
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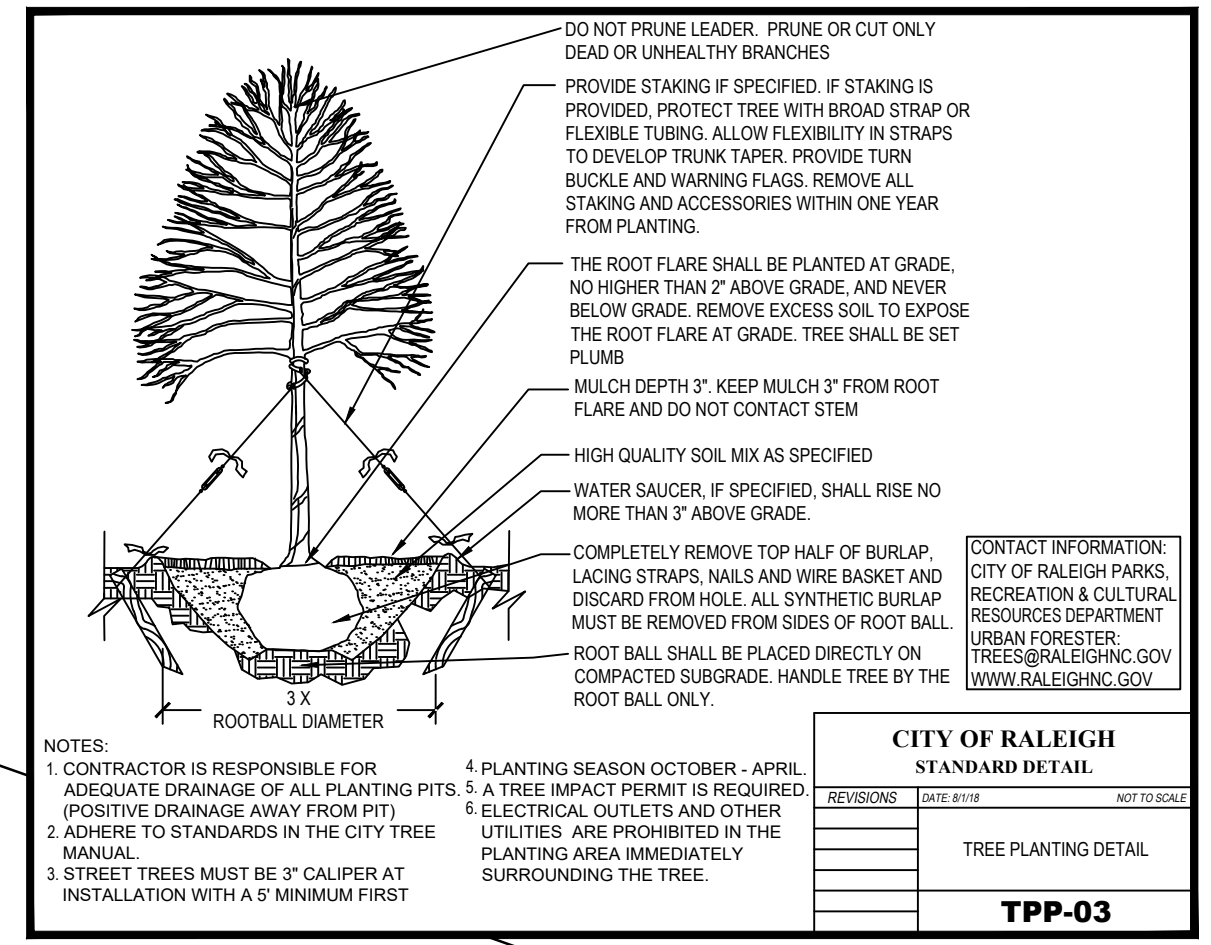
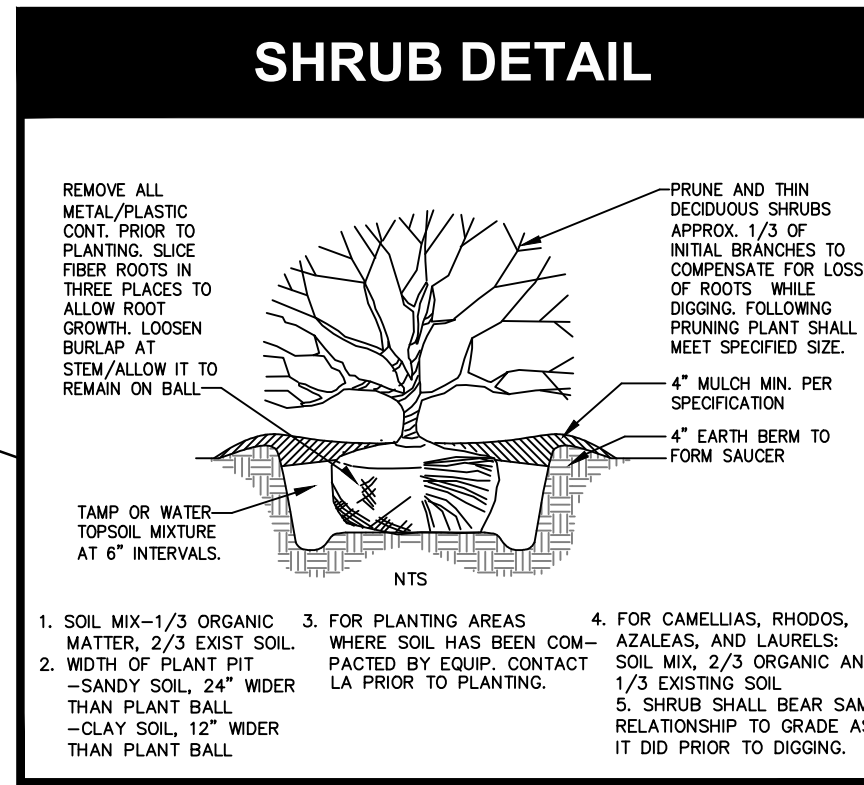
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MMIC TL INC PTNR LLC  
 PIN: 0784-06-1033  
 DB: 11666, PG. 918  
 BM. 2005, PG. 2500  
 ZONING: IX-3

THUMMALAPALLY, HARSHAVARDHAN R  
 BOKKA, NAVEENA REDDY  
 PIN: 0784-06-5182  
 DB: 16660, PG. 1051  
 BM. 2005, PG. 2154  
 ZONING: IX-4-PL

GRAPHIC SCALE: 1 INCH = 20 FEET



**PLANTING CALCULATIONS:**

**NOTE: FRONTAGE CALCULATION**  
 THE CALCULATIONS FOR THE TOTAL LINEAR FEET (LF) OF FRONTAGE FOR TRINITY RD & SUNDAY DR. IS MEASURED TO THE MIDPOINT OF CURVE #C6.

**TRINITY ROAD (NCSR 1656) - TOTAL FRONTAGE 384.59 LF**  
 STREET TREES R.O.W. REQUIRED & PERMITTED BY NCDOT: NCDOT PLANTING PERMIT # SKM-C22719012210040, DATED 1/22/19.  
 STREET TREES TO BE 3" CALIPER AND 10' MIN. PLANTING HT. @ 40' O.C.  
**STREET TREES:**  
 STREET TREES REQUIRED:  
 384.59' - 10' (EX. SIDEWALK ON EAST SIDE) / 40 = 9.36  
 STREET TREES PROVIDED: 9 @ 40' O.C.  
**TYPE C3 STREET PROTECTIVE YARD REQUIRED.**  
 30 SHRUBS PER 100 L.F.  
 SHRUBS TO BE EVERGREEN AND 18" MIN. HT. AT TIME OF PLANTING & 42" MIN. HT. WITHIN 3 YEARS OF PLANTING.  
**SHRUBS:**  
 SHRUBS REQUIRED:  
 384.59' - 20' (EX. S.S. EASEMENT) / 100 X 30 = 109.35  
 SHRUBS PROVIDED: 110

**SUNDAY DRIVE - TOTAL FRONTAGE 218.88 LF**  
 STREET TREES IN R.O.W. REQUIRED:  
 STREET TREES TO BE 3" CALIPER AND 10' MIN. PLANTING HT. @ 40' O.C.  
**STREET TREES:**  
 STREET TREES REQUIRED:  
 218.88' - 39' (EX. S.S. EASEMENT + EX. D/W) / 40 = 4.50  
 STREET TREES PROVIDED: 5 @ 40' O.C.  
**TYPE C3 STREET PROTECTIVE YARD REQUIRED.**  
 30 SHRUBS PER 100 L.F.  
 SHRUBS TO BE EVERGREEN AND 18" MIN. HT. AT TIME OF PLANTING & 42" MIN. HT. WITHIN 3 YEARS OF PLANTING.  
**SHRUBS:**  
 SHRUBS REQUIRED: 179.88 / 100 X 30 = 53.96  
 SHRUBS PROVIDED: 54

**VSA - 22,381 S.F.**  
 1 SHADE TREE PER 2,000 S.F. OF VSA  
 TREES REQUIRED: 22,381 / 2,000 = 11.19  
 TREES PROVIDED: 14

**DRIVE-THRU SCREENING - DRIVE-THRU LENGTH 277 LF**  
 SEC.7.2.5.A.3. CONTINUOUS COMPACT EVERGREEN HEDGE, 5' MIN. ON-CENTER, 36" MIN. HT. AT TIME OF PLANTING & 48" HT. WITHIN 3 YEARS OF PLANTING.  
 SHRUBS REQUIRED: 277' - 10' (SIDEWALKS) / 5 = 53.4  
 SHRUBS PROVIDED: 53

**STORMWATER POND SCREENING - POND PERIMETER 225 LF**  
 SEC.7.2.6.C. ALL VEGETATIVE SCREENING SHALL BE 75% LOCALLY-ADAPTED EVERGREEN SPECIES AROUND THE PERIMETER OF THE FACILITY TO AN AVERAGE MATURE HT. OF 6' ABOVE GRADE. COMPACT EVERGREEN HEDGE TO BE PROVIDED. 5' MIN. ON-CENTER.  
 SHRUBS REQUIRED:  
 225 - 12' (ACCESS MAINTENANCE PATH) / 5 = 42.6  
 SHRUBS PROVIDED: 44  
 SOD TO BE ON BOTTOM AND SIDES OF STORMWATER POND

**SHADE TREE PLANT SCHEDULE:**

SYM.	QTY.	BOTANICAL NAME	COMMON NAME	SIZE	HEIGHT & SPACING AT PLANTING	MATURE HEIGHT	ROOT LOCATION
ZS	14	ZELKOVA SERRATA 'VILLAGE GREEN'	VILLAGE GREEN ZELKOVA	3" CAL.	10' MIN.	60'	B&B VSA
QS	14	QUERCUS SHUMARDII	SHUMARD OAK	3" CAL.	10' MIN. 40' O.C.	60'	B&B STREET & YARD TREE

**EVERGREEN SHRUB PLANT SCHEDULE:**

SYM.	QTY.	BOTANICAL NAME	COMMON NAME	MIN. HT. AT PLANTING	MIN. MATURE HEIGHT	ROOT LOCATION
IC	164	ILEX CORNUTA 'DWARF BURFORD'	DWARF BURFORD HOLLY	18" MIN.	42" WITHIN 3 YEARS	C3 STREET YARD
IG	56	ILEX GLABRA	INKBERRY HOLLY	18" MIN. 5' O.C.	72" AVG. MATURE HT.	3 CAL POND/WALL SCREEN
ICN	53	ILEX CORNUTA 'NEEDLEPOINT'	NEEDLEPOINT HOLLY	36" MIN. 5' O.C.	48" WITHIN 3 YEARS	3 CAL DRIVE-THRU SCREENING

- PLANTING NOTES:**
- ALL PLANT MATERIALS TO COMPLY WITH AMERICAN STANDARD FOR NURSERY STOCK ANSI Z60 AND THE CITY OF RALEIGH'S TREE MANUAL.
  - PLANT LOCATIONS TO BE APPROVED IN FIELD PRIOR TO INSTALLATION.
  - SUBSTITUTIONS OF PLANT MATERIALS SPECIFIED CAN ONLY OCCUR WITH PRIOR APPROVAL BY LANDSCAPE DESIGNER AND CITY OF RALEIGH.
  - ESTABLISH PLANT BED CONFIGURATIONS. LANDSCAPE DESIGNER TO APPROVE BED LAYOUT IN FIELD.
  - PREPARE PLANT BEDS PER SPECIFICATIONS.
  - INSTALL PLANTS AND MULCH BEDS WITH 3" OF TRIPLE SHREDDED HARDWOOD MULCH, SUBMIT + SAMPLE PRIOR TO INSTALLATION.
  - ESTABLISH MULCH BEDS AROUND EXISTING TREES TO REMAIN.
  - LAWN AREAS TO BE SEEDED; EXCEPT AS NOTED, REFER TO SPECS.
  - LANDSCAPE CONTRACTOR TO GUARANTEE PLANT MATERIALS FOR A ONE YEAR PERIOD FOLLOWING SUBSTANTIAL COMPLETION PER SPECIFICATIONS.
  - AREAS DAMAGED FROM ACTIVITIES OF LANDSCAPE CONTRACTOR TO BE RESEED AND ESTABLISHED AT NO ADDITIONAL COST TO THE OWNER.
  - LIGHTING FIXTURES MUST BE LOCATED AT LEAST 20' FROM A TREE, MEASURED FROM THE POLE OF THE LIGHTING FIXTURE TO THE TRUNK OF THE TREE.
  - STREET TREES SHALL BE INSTALLED AND MAINTAINED IN ACCORDANCE WITH THE REQUIREMENTS OF CHAPTER 2 OF THE CITY TREE MANUAL.
  - PER THE CITY OF RALEIGH IT HAS BEEN DETERMINED THAT SUNDAY DRIVE IS THE PRIMARY STREET DESIGNATION.

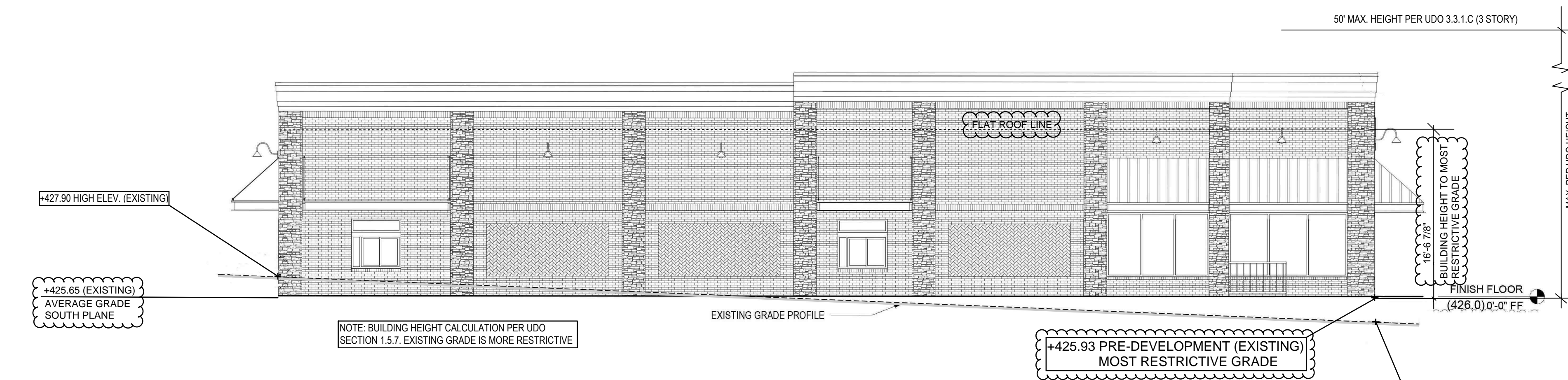
**ALL CONSTRUCTION TO CITY OF RALEIGH STANDARDS & SPECIFICATIONS**  
 FINAL PLAN - NOT RELEASED FOR CONSTRUCTION

**DEVELOPMENT ENGINEERING, INC.**  
 Professional Engineering Consultants  
 244 West Millbrook Road, Raleigh, NC 27609  
 P. O. Box 17705, Raleigh, NC 27619  
 www.d-e-inc.com

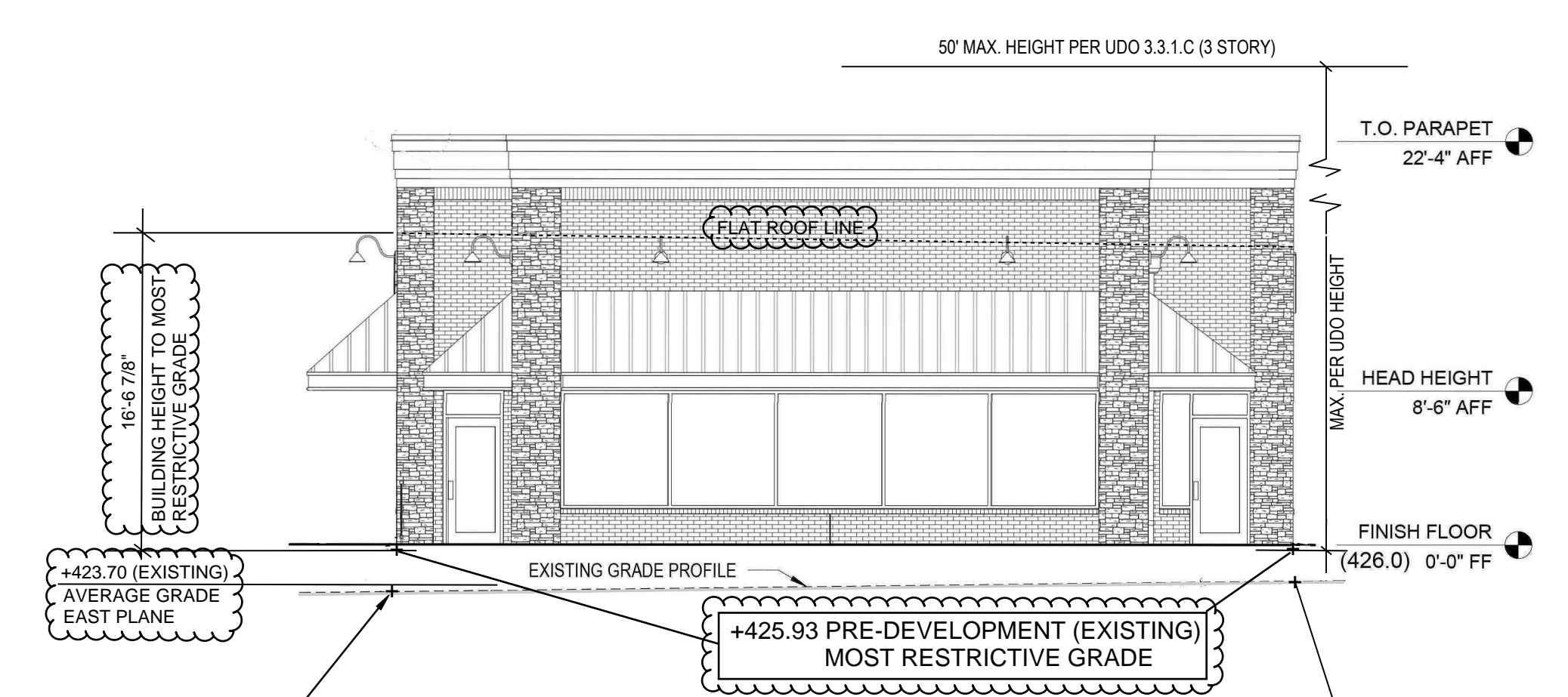
Phone: 919-847-8300  
 Fax: 919-847-2130  
 E-mail: Office@d-e-inc.com

**SHEET NO. 7 OF 8**

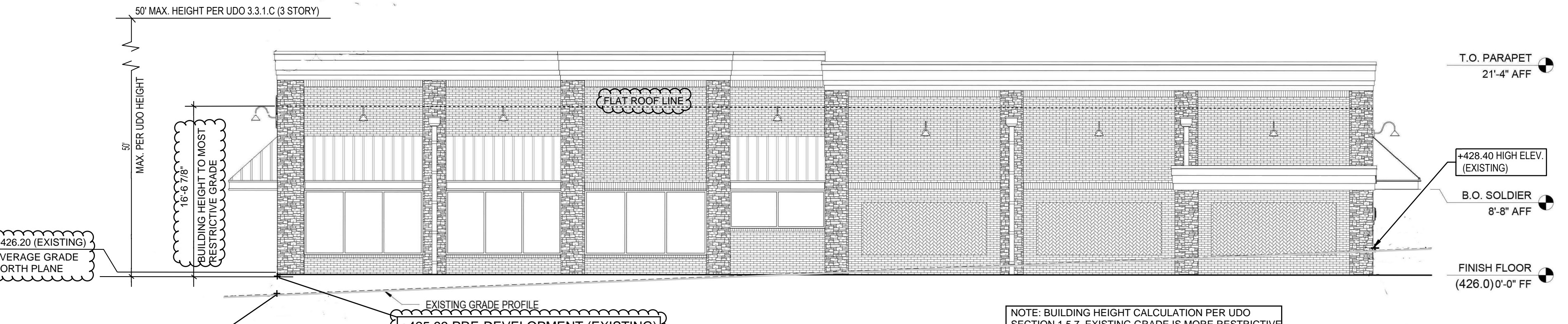




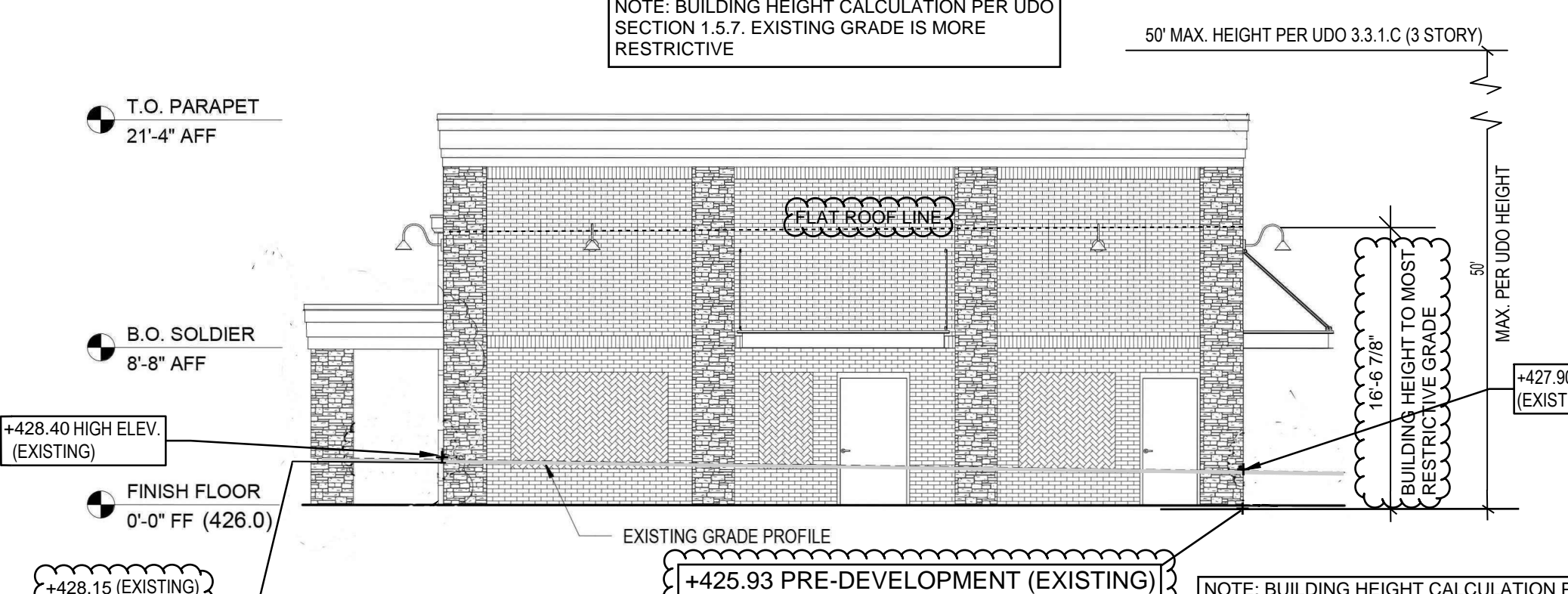
**1 SOUTH ELEVATION - AVERAGE GRADE**  
1/8" = 1'-0"



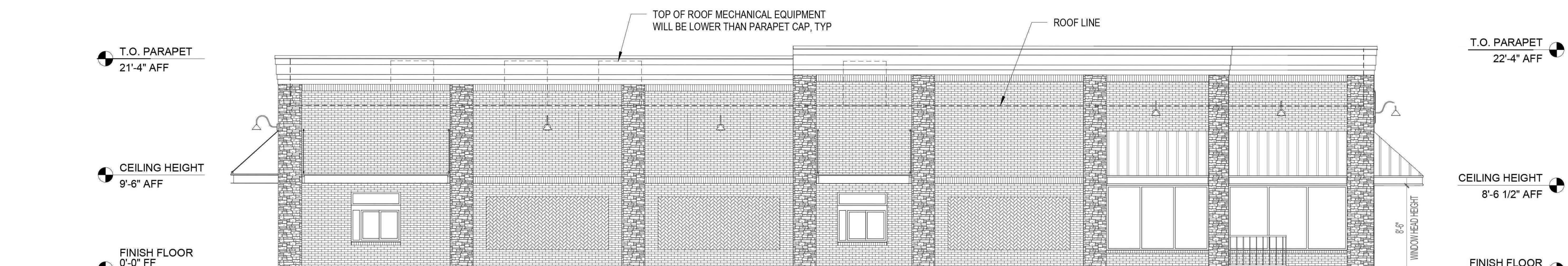
**2 EAST ELEVATION - AVERAGE GRADE**  
1/8" = 1'-0"



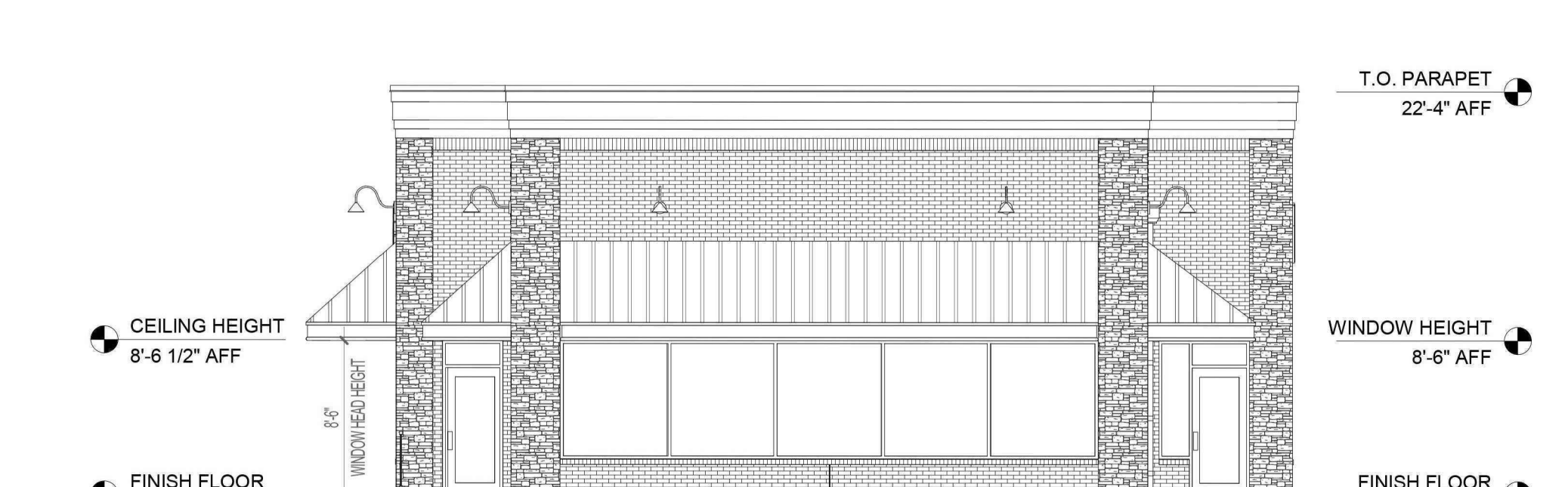
**3 NORTH ELEVATION - TRINITY ROAD - AVERAGE GRADE**  
1/8" = 1'-0"



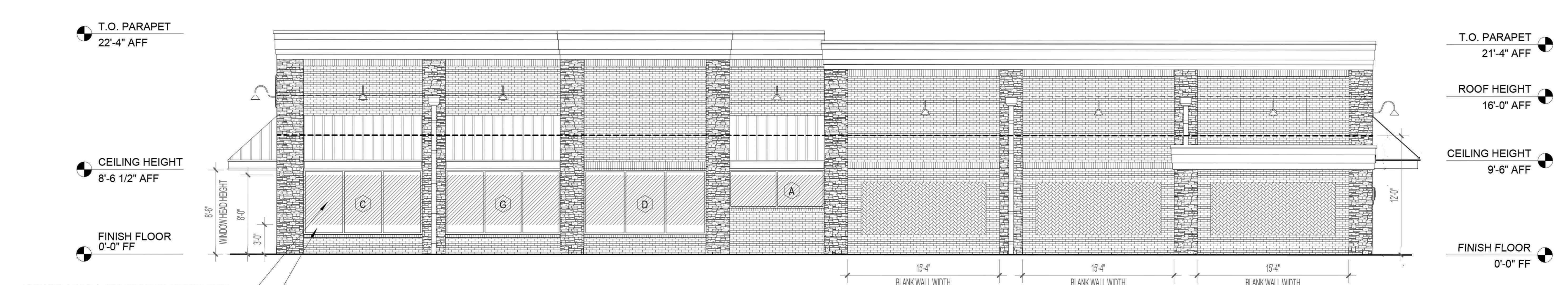
**4 WEST ELEVATION - AVERAGE GRADE**  
1/8" = 1'-0"



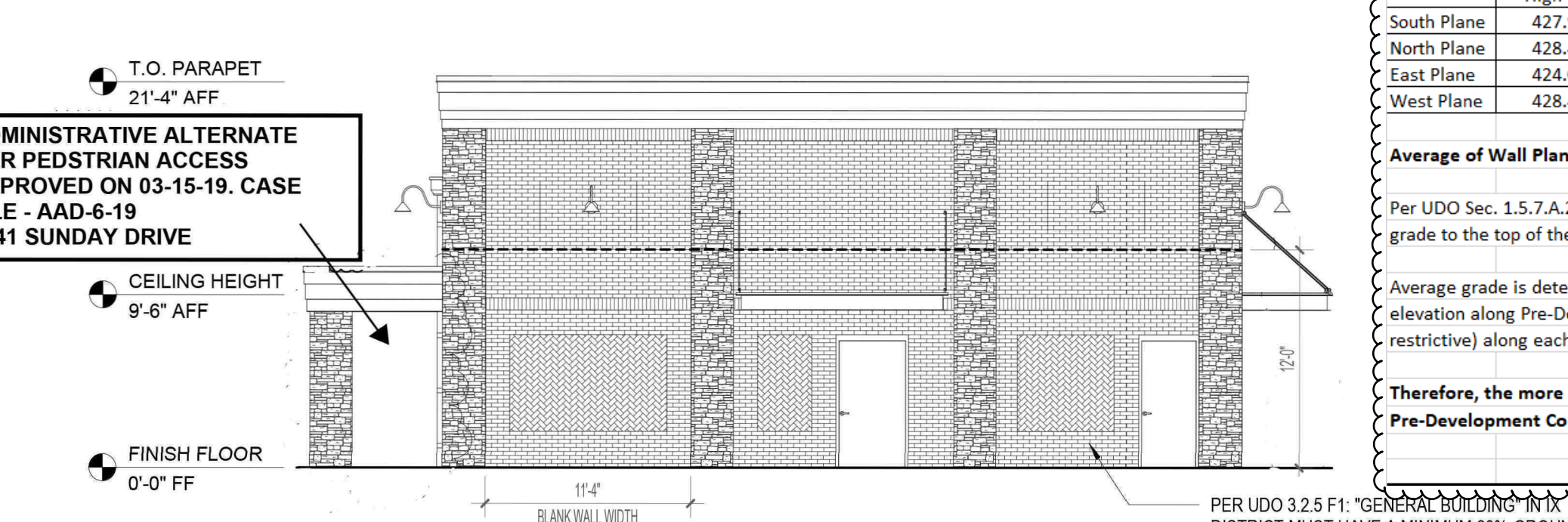
**5 SOUTH ELEVATION**  
1/8" = 1'-0"



**6 EAST ELEVATION**  
1/8" = 1'-0"



**7 NORTH ELEVATION - TRINITY ROAD**  
1/8" = 1'-0"

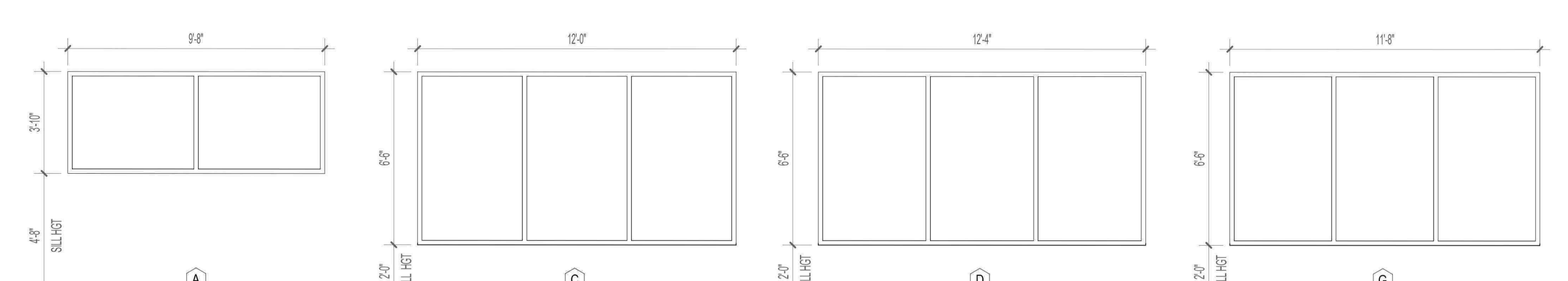


**8 WEST ELEVATION - SUNDAY DRIVE**  
1/8" = 1'-0"

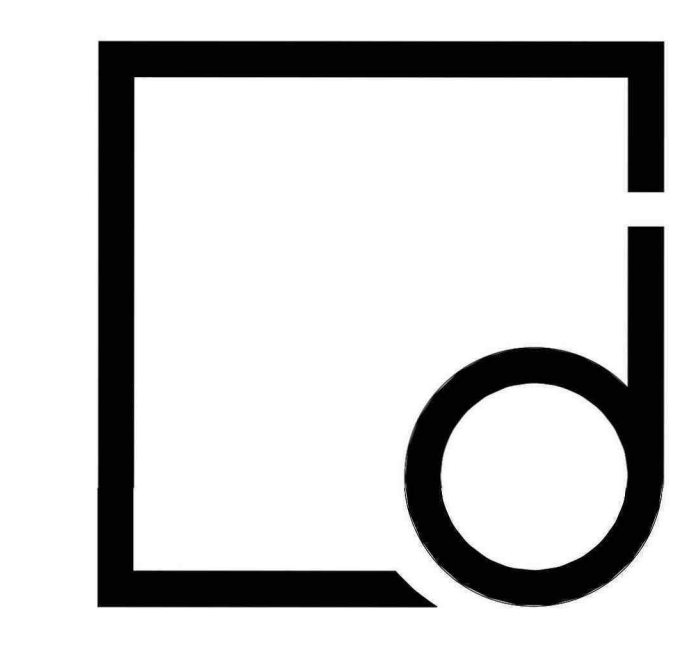
PER UDO 1.5.9.B.1: 50% OR MORE OF REQUIRED TRANSPARENCY MUST BE LOCATED BETWEEN 3' AND 8' OF THE BUILDING FACADE. 135 SF REQUIRED 211 SF PROVIDED.

PER UDO 3.2.5.F.1: "GENERAL BUILDING" IN IX DISTRICT MUST HAVE A MINIMUM 20% GROUND STORY TRANSPARENCY. 266 SF REQUIRED. 270 SF PROVIDED.

TRANSPARENCY & BLANK WALL CALCULATIONS					
ELEVATION	OVERALL SF	TRANSPARENCY - GROUND FLOOR		BLANK WALL AREA	
		REQUIRED	PROVIDED	MAX ALLOWABLE	PROVIDED
NORTH	1,329 SF	20% (266 SF)	270 SF	50' (2,500 SF)	286 SF
EAST		N/A		N/A	
SOUTH		N/A		N/A	
WEST	529 SF	20% (106 SF)	SEE ELEVATION	50' (2,500 SF)	211 SF



**ELEVATIONS - WINDOW**  
1/4" = 1'-0"



**REVIEW SET  
NOT FOR  
CONSTRUCTION**

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**Designdevelopment**  
ARCHITECTS

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919.848.4474

No.	Description	Date
2	City comments	1/22/19
3	City comments	3/21/19
4	City comments	4/15/19
5	City comments	4/25/19

**Bojangles**

**TRINITY RD #53**

1541 SUNDAY DRIVE  
RALEIGH, NC 27607

Average Grade Calculation						
	Pre-Development			Improved		
	High	Low	Average	High	Low	Average
South Plane	427.90	423.40	<b>425.65</b>	425.95	425.95	<b>425.95</b>
North Plane	428.40	424.00	<b>426.20</b>	425.95	425.95	<b>425.95</b>
East Plane	424.00	423.40	<b>423.70</b>	425.95	425.95	<b>425.95</b>
West Plane	428.40	427.90	<b>428.15</b>	425.95	425.95	<b>425.95</b>
<b>Average of Wall Planes</b>			<b>425.93</b>			<b>425.95</b>

Per UDO Sec. 1.5.7.A.2 (TC-17-16), building height is measured from the average grade to the top of the highest point of a pitched or flat roof, excluding the parapet.

Average grade is determined by calculating the average of the highest and lowest elevation along Pre-Development Grade or Improved Grade (whichever is more restrictive) along each building elevation and averaging all elevations.

Therefore, the more restrictive grade occurs in the Pre-Development Condition with average wall plane grade of: **425.93**

PROJECT #: 180037

DATE:

**BUILDING ELEVATIONS  
- COR COMPLIANCE**

**ADMINISTRATIVE ALTERNATE  
FOR TRANSPARENCY  
APPROVED ON 03-15-19. CASE  
FILE - AAD-6-19  
1541 SUNDAY DRIVE**

**A2.2** THIS SHEET HAS BEEN REVISED  
DIGITAL PRINT DATE:

Z:\PROJECTS\17143 Bojangles Trinity Rd. - Raleigh\3-DWG\17-143 BK\_SHEETS 1-7.dwg, Moad, 4/15/2019 12:13:15 PM, brain.onelli, DWG To PDF.pc3, ARCH full bleed D (36.00 x 24.00 inches), 1:8