



# Administrative Approval Action

City of Raleigh  
Development Services Department  
One Exchange Plaza  
Raleigh, NC 27602  
(919) 996-2495  
DS.help@raleighnc.gov  
www.raleighnc.gov

911 North West Street (Retail, Office and Restaurant): SR-96-18  
Transaction# 568012 AA#3880

**LOCATION:** This site is located at the southwest corner of intersection North West Street and Cleveland Street. The address is 911 North West Street and the PIN is 1704534156.

**REQUEST:** Proposed change of use for an existing building on 0.299 acres for 4,814 square feet of retail space and 11,775 square feet of office space and 1,000 square feet of restaurant space in a 17,589 square foot existing structure. The site is zoned Industrial Mixed Use (IX-3). There are 26 remote parking spaces located 1,660 feet from the main entrance of the building. The required outdoor amenity area will be partially located in the railroad right of way and permitted via a signed lease agreement with Norfolk and Southern Railroad. Previously Approved Transaction 528039/SR-74-17 for this site was withdrawn by the applicant.

**DESIGN ADJUSTMENT(S)/ ALTERNATES, ETC:**

A variance has been approved by the Board of Adjustment for this project, noted below:

1. January 8, 2018, the Board of Adjustment granted complete relief in the amount of required off-street parking called for in Section 7.1.2.C. of the Unified Development Ordinance. Reference A-7-18 Summary Decision in the plan set.

A Design Adjustment has been approved by the Development Services Director Designee for this project, noted below:

2. A Design Adjustment granting relief from the required streetscape and approval of an alternate streetscape was approved under Transaction 528039/SR-74-17.

**FINDINGS:** City Administration finds that this request, with the below conditions of approval being met, conforms to the Unified Development Ordinance. This approval is based on a preliminary plan dated 10/17/2018 by Jennifer Wagner of Stewart Incorporated.

## CONDITIONS OF APPROVAL and NEXT STEPS:

*This document must be applied to the second sheet of all future submittals except for final plats. This is a preliminary plan and as such no permits have been issued with this approval. To obtain permits and/or completion of the project, the following steps are required:*

- CONCURRENT SITE REVIEW NOT REQUIRED AT THIS TIME** – However, plan revisions or further development that includes land disturbance of 12,000 square feet or greater, public or private infrastructure, shared stormwater devices, etc. will require concurrent site review.
- LEGAL DOCUMENTS** - Email to [legaldocumentreview@raleighnc.gov](mailto:legaldocumentreview@raleighnc.gov). Legal documents must be approved, executed, and recorded prior to or in conjunction with the recorded plat on which the associated easements are shown. Copies of recorded documents must be returned to the City within one business day of recording to avoid withholding of further permit issuance.



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<input type="checkbox"/>	City Code Covenant	<input type="checkbox"/>	Slope Easement
<input type="checkbox"/>	Stormwater Maintenance Covenant	<input type="checkbox"/>	Transit Easement
<input checked="" type="checkbox"/>	Utility Placement Easement	<input type="checkbox"/>	Cross Access Easement
<input checked="" type="checkbox"/>	Sidewalk Easement	<input type="checkbox"/>	Public Access Easement
		<input type="checkbox"/>	Other:

**BUILDING PERMITS** – For buildings and structures shown on the approved plans. Commercial building permit plans must include the signed, approved Concurrent Site Review plans attached, if applicable. Permit sets may be reviewed prior to the recordation of required plats, but cannot be approved.

**PRIOR TO ISSUANCE OF BUILDING PERMITS:**

**General**

1. Proof of an offsite parking lease agreement for parking within 1,660 feet for employee parking shall be provided to fulfill the required parking. The applicant shall provide a signed agreement indicating that off-street parking shall be provided as long as the principal use continues and the principal use shall be discontinued should the off-street parking no longer be provided on these off-site parcels or their equivalent as required by Part 10A Section 7.1.5 of the Unified Development Ordinance.
2. Proof of lease agreement with the Norfolk & Southern Railroad to permit tenet controlled items in the railroad right of way shall be provided. This includes the area of the dock with amenity area.
3. Provide fire flow analysis.

**Engineering**

4. The required right of way for proposed and/or existing streets shall be dedicated to the City of Raleigh and is shown on a plat approved for recordation.
5. A sidewalk deed of easement for any public sidewalk on private property shall be approved by City staff, and the location of the easement shall be shown on the map approved for recordation. The deed of easement shall be recorded at Wake County Register of Deeds within one day of recordation of the plat. A recorded copy of this document shall be provided to the Development Services Department within one day from authorization of lot recordation. If a recorded copy of the document is not provided, further recordings and building permit issuance will be withheld.
6. An encroachment agreement for the building corner and any furniture within the public right-of-way shall be approved by City Council and the City Council approved encroachment agreement shall be filed with the Development Services Department, and the encroachment agreement shall be recorded with the Wake County Register of Deeds. A recorded copy of these documents must be provided to the Development Services Department.



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7. That a Surety in the amount of 125% of the cost of any public improvements that are not installed and inspected is paid to the Development Services Department in accordance with code section 8.1.3 of the UDO
8. A right-of-way obstruction permit shall be obtained from Right-of-way Services for any construction activity within the right-of-way.

## Public Utilities

9. A Final Plat must be recorded at the Wake County Register of Deeds office for the necessary City of Raleigh Sanitary Sewer Easement Dedication.

## Stormwater

10. These lots are exempt per UDO Section 9.2.2.A, but are subject to impervious limitations of subsection A.4.

## Urban Forestry

11. Payment of a fee-in-lieu will be required for 3 street trees.

## **PRIOR TO ISSUANCE OF BUILDING OCCUPANCY PERMITS:**

1. All Water, Sanitary Sewer and Reuse facilities shall be installed, inspected, tested and accepted by the City of Raleigh Public Utilities Department for operations and maintenance.
2. Required public right-of-way infrastructure improvements shall be, at a minimum, sufficiently completed to provide the necessary, safe emergency and vehicular access.
3. Required underground storm drainage improvements shall be completed and as-built plan(s) and certification(s) reviewed and accepted by the City of Raleigh Development Services – Development Engineering program.
4. All street lights and street signs required as part of the development approval are installed.
5. Copies of certified inspection reports for alleys and internal access ways are submitted to the City of Raleigh Development Services – Development Engineering program.
6. As-built drawings and associated forms for all Stormwater devices are accepted by the Engineering Services Department (UDO 9.2.2.D.3).

**EXPIRATION DATES:** The expiration provisions of UDO Section 10.2.8 E, including the ability to request extensions in the expiration date, apply to this site plan. If significant construction has not taken place on a project after administrative site review approval, that approval may expire and be declared void, requiring re-approval before permits may be issued. To avoid allowing this plan approval to expire the following must take place by the following dates:

**3-Year Expiration Date:** 11/9/2021



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Obtain a valid building permit for the total area of the project, or a phase of the project.

#### 4-Year Completion Date:

Within four years after issuance of the first building permit for the site plan, the construction of the entire site plan must be completed unless an applicant has been granted vested rights. Failure to complete construction within this specified time frame shall automatically void the approved site plan for which no building permits have been issued.

I hereby certify this administrative decision.

Signed: (Planning Dir./Designee) \_\_\_\_\_

Date: 11/9/18

Staff Coordinator: Daniel L. Stegall

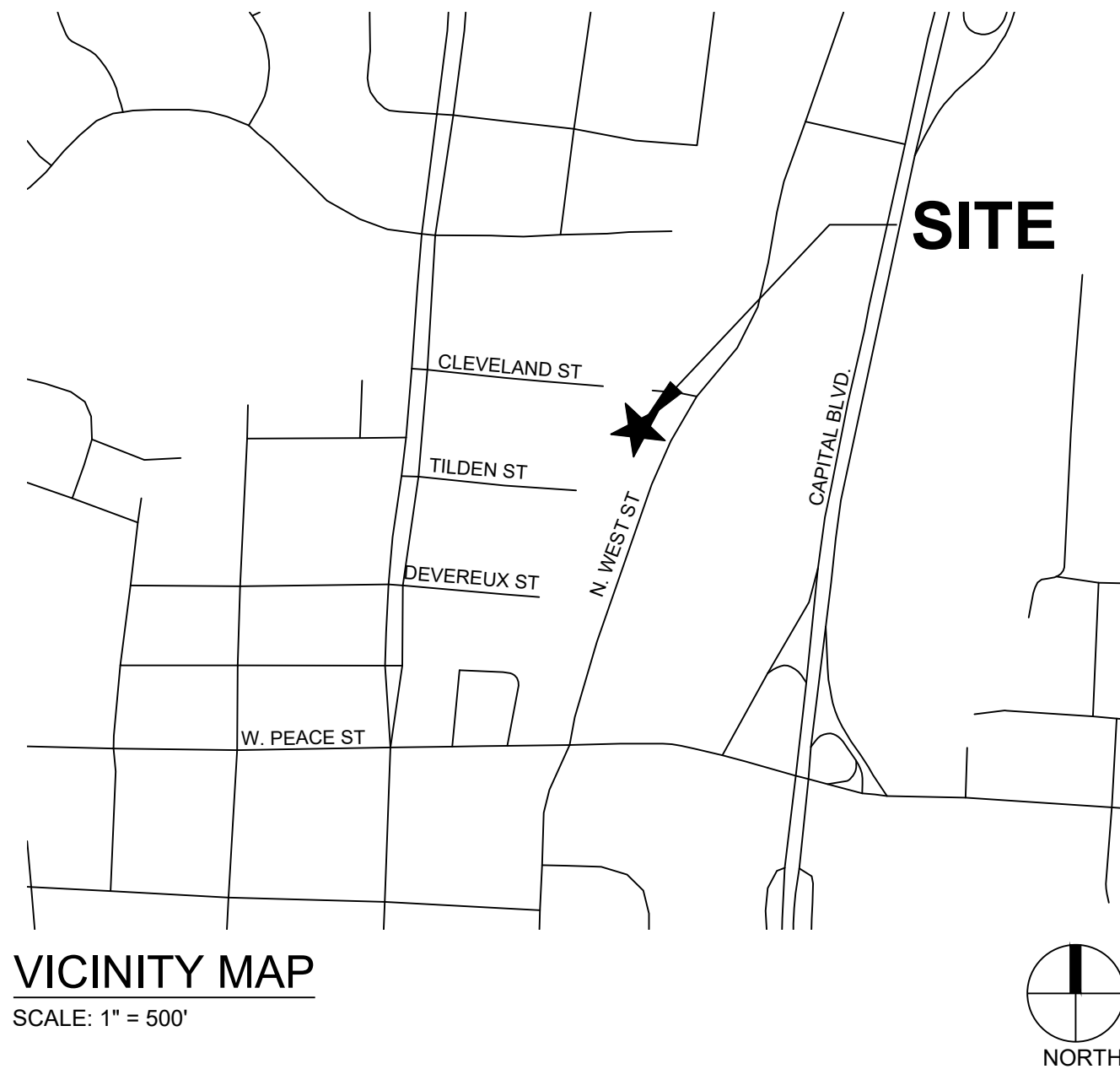
# 911 N. WEST ST.

911 N. WEST ST.  
RALEIGH, NC 27603

## CITY OF RALEIGH SITE PLAN SUBMITTAL

SR-96-18 / ASR TRANSACTION 568012

SUBMITTED ON AUGUST 29, 2018  
RESUBMITTED ON OCTOBER 2, 2018



VICINITY MAP  
SCALE: 1" = 500'

SITE DATA	
PROJECT NAME:	911 N. WEST ST
SITE ADDRESS:	911 N. WEST ST, RALEIGH, NC 27605
COUNTY:	WAKE
PARCEL PIN #:	1704534156
PARCEL OWNER:	911 N WEST LLC
EXISTING PARCEL AREA*	0.299 AC (13,064 SF)
PROPOSED NEW PARCEL AREA*	0.295 (12,867 SF)
TOTAL DISTURBED/ PROJECT AREA:	0.13 AC (5,663 SF)
CURRENT ZONING:	INDUSTRIAL/MIXED-USE (IX-3)
EXISTING LAND USE:	WAREHOUSE
PROPOSED USE:	OFFICE/RETAIL/RESTAURANT
RIVER BASIN:	NEUSE
CONSTRUCTION TYPE:	OFFICE/RETAIL/RESTAURANT
MAX BUILDING HEIGHT:	50'
PROPOSED BUILDING HEIGHT:	25' 8"
EXISTING IMPERVIOUS AREA:	0.291 AC (12,657 S.F.)
PROPOSED IMPERVIOUS AREA:	0.288 AC (12,535 S.F.)
CITY OF RALEIGH BOARD OF ADJUSTMENTS CASE A-7-18 (JANUARY 8, 2018): APPROVED AS REQUESTED. DUE TO THE PARCEL AREA IS UNDER 2 ACRES, NO PROPOSED TREE CONSERVATION PLAN AND LANDSCAPE PLAN NEED TO BE PROVIDED. SR-74-18 / TRANSACTION 528039 WITHDRAWN	

PARKING SUMMARY			
PROVIDED PARKING	REQUIRED	PROVIDED	
REGULAR 9'x18' SPACES	54	26*	
COMPACT 8'x18' SPACES	0	0	
VAN ACCESSIBLE 11'x18' SPACES	0	0*	
TOTAL VEHICULAR PARKING SPACES	54	26	
BIKE PARKING	20	20	
VEHICLE PARKING RATIO: 1 SPACE PER 300 SF RETAIL SPACE, 1 SPACE PER 400 SF OFFICE SPACE AND 1 SPACE PER 150 SF RESTAURANT SPACE OR 1 SPACE PER 5 RESTAURANT SEATS			
RETAIL SPACE: 4,814 SF/ 300 SF = 17 SPACES OFFICE SPACE: 11,775 SF/ 400 SF = 30 SPACES RESTAURANT: 1,000 SF/150 SF = 7 SPACES, OR 35 SEATS/ 5 SEATS = 7 SPACES			
TOTAL BUILDING GROSS FLOOR AREA = 17,589 SF TOTAL REQUIRED PARKING SPACES = 54			
BIKE PARKING	LONG TERM	SHORT TERM	
RETAIL	NONE	1/5,000 SF, MIN 4	
OFFICE	1/5,000 SF, MIN 4	1/10,000 SF, MIN 4	
RESTAURANT	1/25,000 SF, MIN 4	1/50,000 SF, MIN 4	
TOTAL REQUIRED	8	12	
TOTAL PROVIDED	8	12	
* REDUCED PARKING PROVIDED OFFSITE PER BOA CASE A-7-18. SEE SHEET 3.10 FOR DETAILS ** CITY INSPECTOR GAVE APPROVAL FOR NO ONSITE ADA SPACES BECAUSE THERE IS NO PROJECT AREA AVAILABLE FOR PARKING. ALL PARKING IS REMOTE.			

SHEET INDEX	
SHEET #	SHEET TITLE
C0.00	COVER SHEET
C1.00	EXISTING CONDITIONS
C2.00	DEMOLITION PLAN
C3.00	SITE PLAN
C3.10	OFF-SITE PARKING
C5.00	GRADING PLAN
C6.00	UTILITY PLAN
C9.00	SITE DETAILS
C9.30	UTILITY DETAILS
A2.0	BUILDING ELEVATIONS

APPLICATION

**Administrative Site Review Application  
(for UDO Districts only)**

**DEVELOPMENT SERVICES DEPARTMENT**

Development Services Customer Service Center | 1 Exchange Plaza, Suite 400 | Raleigh, NC 27601 | 919-996-2495 | ext. 919-996-1831  
Litchford Satellite Office | 1320-130 Litchford Road | Raleigh, NC 27601 | 919-996-4200

When submitting plans, please check the appropriate building type and include the Plan Checklist document.

BUILDING TYPE		FOR OFFICE USE ONLY	
<input type="checkbox"/> Detached	<input type="checkbox"/> General	Transaction Number	
<input type="checkbox"/> Attached	<input checked="" type="checkbox"/> Mixed Use	Assigned Project Coordinator	
<input type="checkbox"/> Apartment	<input type="checkbox"/> Open Lot	Assigned Project Leader	
<input type="checkbox"/> Townhouse			

Has your project previously been through the Due Diligence or Sketch Plan Review process? If yes, provide the transaction # 568012

**GENERAL INFORMATION**

Development Name: **911 West**

Zoning District: **IX-3** Overlay District (if applicable): \_\_\_\_\_ Inside City Limits?  Yes  No

Proposed Use: **retail, office and restaurant**

Property Address(es): **911 N. West Street** Major Street Location: \_\_\_\_\_

Wake County Property Identification Number(s) for each parcel to which these guidelines will apply: \_\_\_\_\_

P.I.N.: **1704534156** P.I.N.: \_\_\_\_\_ P.I.N.: \_\_\_\_\_ P.I.N.: \_\_\_\_\_

What is your project type?  Apartment  Elderly Facilities  Hospitals  Hotels/Motels  Office  
 Mixed Residential  Non-Residential Condo  School  Shopping Center  Residential Condo  Bank  Industrial Building  
 Duplex  Telecommunication Tower  Religious Institution  Residential Condo  Retail  Cottage Court  
 Other: if other, please describe: **Restaurant**

**WORK SCOPE** Per City Code Section 10.2.2.6.D.1, summarize the project work scope. For additional, changes of use, or occupancy (per Chapter 6 of the UDO), indicate impacts on parking requirements. Updates to building interior and site upgrades including parking reconfiguration, amenity area, sidewalk and street trees. Change of use from warehouse and office to office, retail and restaurant will require additional parking.

**DESIGN ADJUSTMENT OR ADMIN ALTERNATE** Per City Code Chapter 8, summarize if your project requires either a design adjustment, or Section 10 - Alternate Administrative AE. Design adjustment will be required for sidewalk and right of way dedication due to existing building encroaching into the right of way.

**CLIENT/DEVELOPER/OWNER** Company: **Atlas Stark Holdings** Name (s): **Gabriel Guillois**  
 Address: **PO Box 6309, Raleigh, NC 27628**  
 Phone: **919-656-4937** Email: **gguillois@atlasstark.com** Fax: \_\_\_\_\_

**CONSULTANT** Company: **Stewart** Name (s): **Jennifer Wagner**  
 Address: **223 S. West Street, Suite 1100, Raleigh, NC 27603**  
 Phone: **919-866-4739** Email: **jwagner@stewartinc.com** Fax: \_\_\_\_\_

PAGE 1 OF 3 WWW.RALEIGHNC.GOV REVISION 05.13.16

DEVELOPMENT TYPE & SITE DATA TABLE (Applicable to all developments)			
Zoning Information		Building Information	
Zoning District(s) <b>IX-3</b>	Proposed building use(s) <b>Retail, Office and Restaurant</b>	Existing Building(s) sq. ft. gross	
If more than one district, provide the acreage of each:		Proposed Building(s) sq. ft. gross <b>17,589</b>	
Overlay District	Proposed Building(s) sq. ft. gross <b>17,589</b>	Total sq. ft. gross (existing & proposed) <b>17,589</b>	
Total Site Acres Inside City Limits: <input checked="" type="checkbox"/> Yes <input type="checkbox"/> No <small>36. with street ROW dedication = 48</small>	Off street parking: Required <b>54</b> Provided <b>26</b> off site (BOA A-7-18)	Proposed height of building(s)	
COA (Certificate of Appropriateness) case #	BOA (Board of Adjustment) case # <b>A-7-18</b>	# of stories <b>2</b>	
CUID (Conditional Use District) case # <b>2</b>		Calling height of 1 <sup>st</sup> Floor	
Stormwater Information			
Existing Impervious Surface <b>12,657 sf</b> acres/square feet	Flood Hazard Area <input type="checkbox"/> Yes <input checked="" type="checkbox"/> No	If Yes, please provide:	
Proposed Impervious Surface <b>12,535 sf</b> acres/square feet	Alluvial Soils <input type="checkbox"/> Yes <input checked="" type="checkbox"/> No	Flood Study	
Neuse River Buffer <input type="checkbox"/> Yes <input checked="" type="checkbox"/> No	Wetlands <input type="checkbox"/> Yes <input checked="" type="checkbox"/> No	FEMA Map Panel #	
FOR RESIDENTIAL DEVELOPMENTS			
1. Total # of Apartment, Condominium or Residential Units	5. Bedroom Units: 1br 2br 3br 4br or more		
2. Total # of Congregate Care Or Life Care Dwelling Units	6. Infill Development 2.2.7		
3. Total Number of Hotel Units	7. Open Space (only) or Amenity		
4. Overall Total # of Dwelling Units (1-6 Above)	8. Is your project a cottage court? <input type="checkbox"/> Yes <input checked="" type="checkbox"/> No		
SIGNATURE BLOCK (Applicable to all developments)			
In filing this plan as the property owner(s), I/We do hereby agree and firmly bind ourselves, my/our heirs, executors, administrators, successors and assigns jointly and severally to construct all improvements and make all dedications as shown on this proposed development plan as approved by the City.			
I hereby designate <b>Jennifer Wagner, Stewart</b> to serve as my agent regarding this application, to receive and respond to administrative comments, to resubmit plans on my behalf and to represent me in any public meeting regarding this application.			
I/We have read, acknowledge and affirm that this project is conforming to all application requirements applicable with the proposed development use.			
Signed <i>[Signature]</i>	Date <b>10/2/18</b>		
Printed Name <b>Gabriel Guillois</b>			
Signed _____	Date _____		
Printed Name _____			

APPLICANT/OWNER

CIVIL ENGINEERING - LANDSCAPE ARCHITECTURE

ARCHITECT



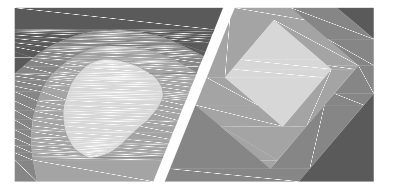
STEWART INC. - CIVIL  
CONTACT: JOE PUCKETT, PE, LEED AP  
PROJECT MANAGER  
919.866.4829 (T)  
919.380.8752 (F)  
JPUCKETT@STEWARTINC.COM

STEWART INC. - LANDSCAPE ARCHITECTURE  
CONTACT: JENNIFER WAGNER, PLA, LEED AP  
LANDSCAPE ARCHITECT  
919.866.4739 (T)  
919.380.8752 (F)  
JWAGNER@STEWARTINC.COM



MAURER ARCHITECTURE  
115.5 EAST HARGETT STREET SUITE 300  
RALEIGH, NC 27601  
CONTACT: ROB SARLE, RA  
919.829.4969 (T)  
919.829.0860 (F)  
ROB@MAURERARCHITECTURE.COM

ATLAS STARK HOLDINGS  
PO BOX 6309  
RALEIGH, NC 27638  
CONTACT: GABRIEL GUILLOIS  
919.656.4937 (T)  
gguillois@atlasstark.com



**STEWART**

101 N. TRYON ST., SUITE 1400  
CHARLOTTE, NC 28202  
T: 704.334.7955

FIRM LICENSE # C-1051  
www.stewartinc.com  
PROJECT # 17105

Client:

ATLAS STARK HOLDINGS  
PO BOX 6309  
RALEIGH, NC 27638  
T: 919.656.4937

Project:

**911 N. WEST ST**

Vicinity map:

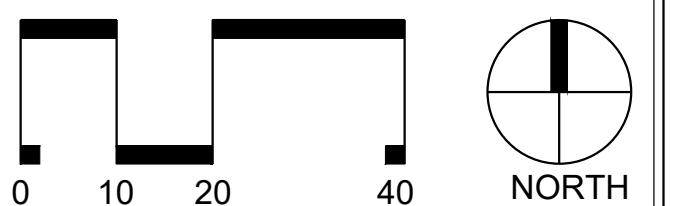


Seal:

Issued for:

**SITE PLAN**

No.	Date	Description
1	08.29.18	REVISION PER USE CHANGE
2	10.02.18	REVISION PER USE CHANGE -2



SCALE: 1"=20'

Title:

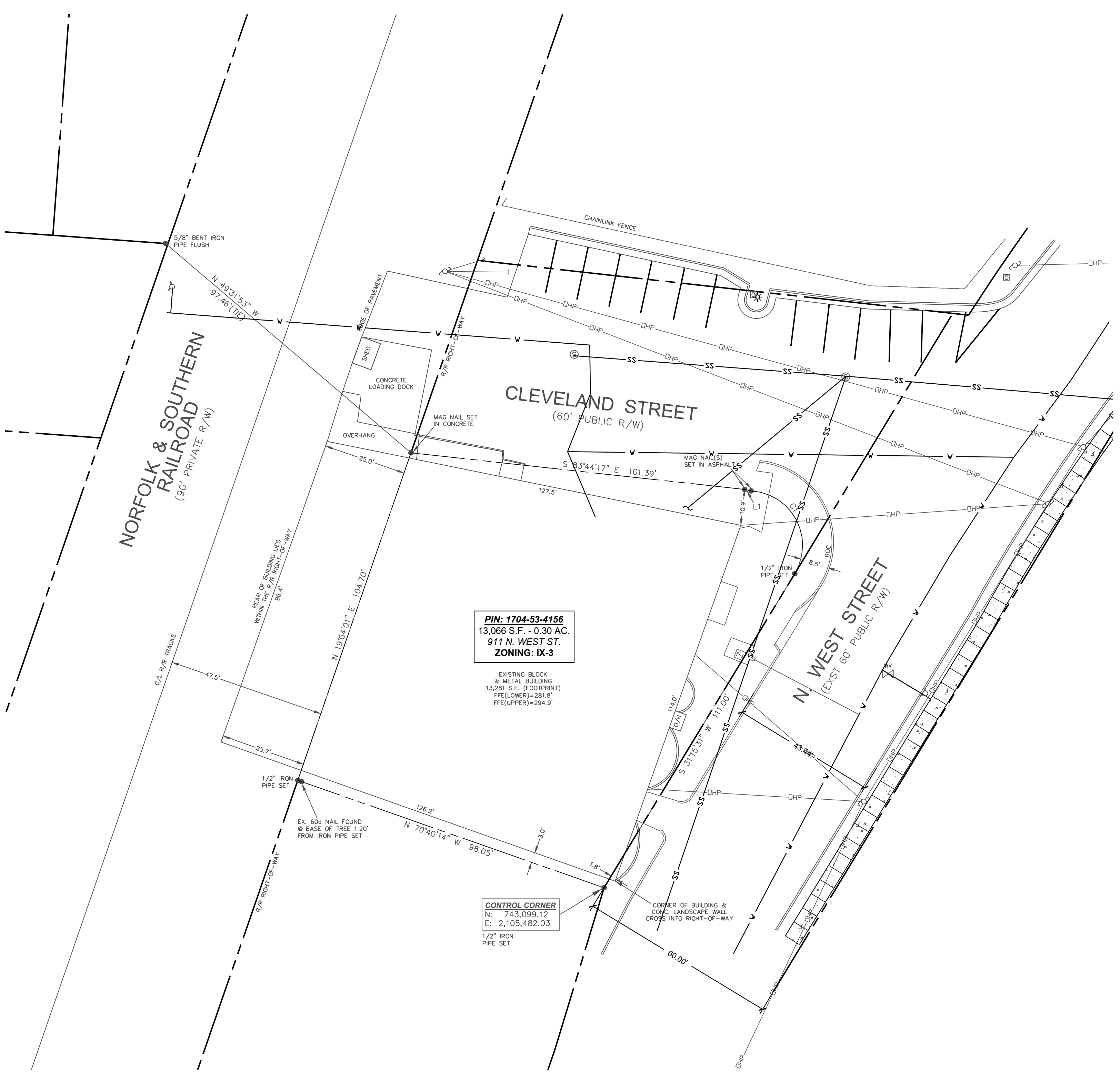
**EXISTING  
CONDITIONS**

Project number: C17105 Sheet:  
Date: 10.02.2018  
Drawn by: CJJ  
Approved by: JLW **C1.00**

**SURVEY LEGEND:**

- SURVEY CONTROL POINT
- EXISTING IRON PIPE
- EXISTING CONCRETE MONUMENT
- COMPUTED POINT
- STORM DRAIN MANHOLE
- STORM DRAIN CURB INLET
- SANITARY SEWER MANHOLE
- SANITARY SEWER CLEANOUT
- SANITARY FORCEMAIN VALVE
- HYDRANT
- WATER VALVE
- WATER METER
- WATER MANHOLE
- WATER VAULT
- WELL
- GAS VALVE
- GAS METER
- TELEPHONE MANHOLE
- TELEPHONE PEDESTAL
- TV MANHOLE
- TV PEDESTAL
- FIBER OPTIC WITNESS POST
- FIBER OPTIC BOX
- ELECTRIC MANHOLE
- ELECTRIC METER
- ELECTRIC BOX
- UTILITY POLE
- GUY POLE
- GUY WIRE
- LIGHT POLE
- MANHOLE
- TRAFFIC SIGNAL BOX
- TRAFFIC SIGNAL POST
- MONITORING WELL
- BORING LOCATION
- BOLLARD
- SIGN
- FINISHED FLOOR ELEVATION
- DECIDUOUS TREE
- EVERGREEN TREE
- BUSH
- WIRE FENCE
- CHAIN LINK FENCE
- UNDERGROUND TELEPHONE LINE
- UNDERGROUND FIBER OPTIC LINE
- UNDERGROUND GAS LINE
- UNDERGROUND ELECTRIC LINE
- UNDERGROUND WATER LINE
- SANITARY SEWER LINE
- STORM DRAIN LINE
- OVERHEAD WIRES
- UNIDENTIFIED LINE
- UNKNOWN DESTINATION
- CONCRETE SURFACE
- DIP
- PVC
- HDPE
- RCP
- CMP
- CB

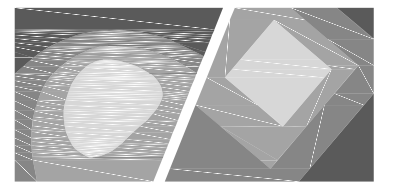
NOTE: Updated agreement for elements in the railroad right-of-way included in submittal.



PIN: 1704-53-4156  
13,066 S.F. - 0.30 AC.  
911 N. WEST ST.  
ZONING: IX-3

CONTROL CORNER  
N: 743,099.12  
E: 2,105,482.03

- SURVEY NOTES:**
- REFER TO C3.00 FOR GENERAL NOTES.
  - THIS SURVEY MAP IS INTENDED TO REPRESENT THE EXISTING CONDITIONS/TOPOGRAPHY ON A PORTION OF THE PROPERTY AND ALL ENCUMBRANCES UPON THE PROPERTY MAY NOT BE SHOWN.
  - HORIZONTAL DATUM IS NAD 83-2011 AND VERTICAL DATUM IS NAVD88.
  - THIS DRAWING DOES NOT CONFORM TO N.C. GS47-30 AND THEREFORE IS NOT FOR RECORDATION.
  - UTILITIES SHOWN HEREON ARE BASED SOLELY ON ABOVE-GROUND VISIBLE EVIDENCE. NO UTILITY DESIGNATION/MARKING SERVICES WERE PERFORMED AS A PART OF THIS SURVEY. CONTRACTOR SHALL FIELD VERIFY THE LOCATION OF ALL UTILITIES BEFORE COMMENCING CONSTRUCTION.
  - SURVEY INFORMATION BASED ON FIELD SURVEY BY NEWCOMB LAND SURVEYORS LLC COMPLETED ON JULY 29, 2017.
  - TREES SHOWN HEREON MAY NOT REPRESENT ALL VEGETATION ON THE SUBJECT PROPERTY.
  - THE SUBJECT PROPERTY LIES IN ZONES X (AREA DETERMINED TO BE OUTSIDE THE 0.2% ANNUAL CHANCE AND FUTURE CONDITIONS 1% ANNUAL CHANCE FLOODPLAIN), BASED ON THE FLOOD INSURANCE RATE MAP COMMUNITY MAP NUMBER 372017400J DATED MAY 2, 2006.
  - NO WETLANDS HAVE BEEN IDENTIFIED WITHIN THE PROJECT OR PARCEL SHOWN.



STEWART

101 N. TRYON ST., SUITE 1400  
CHARLOTTE, NC 28202  
F 704.334.7955 FIRM LICENSE # C-1051  
www.stewartinc.com PROJECT # 17105

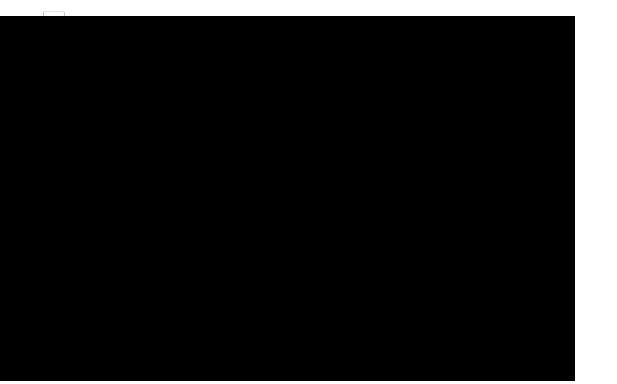
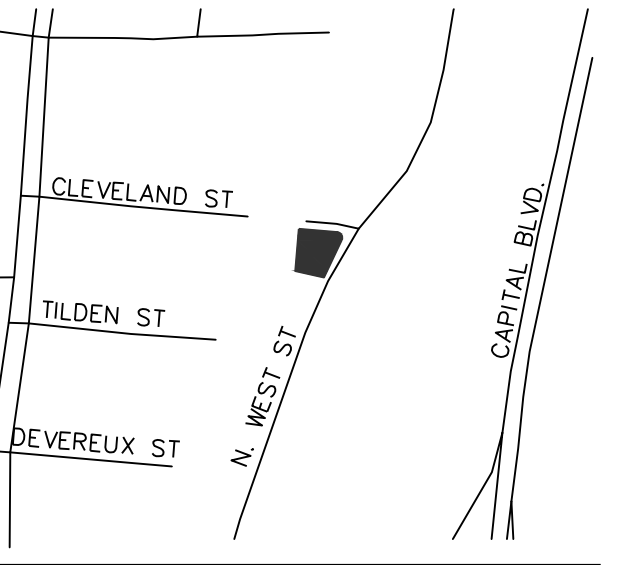
Client:

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T: 919.656.4937

Project:

911 N. WEST ST

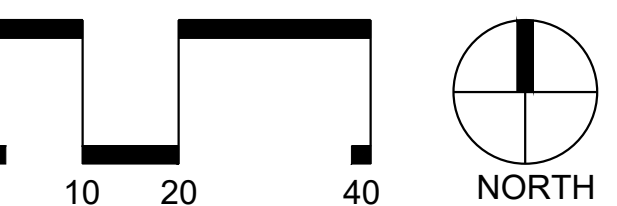
Vicinity map:



Issued for:

SITE PLAN

No.	Date	Description
1	08.29.18	REVISION PER USE CHANGE
2	10.02.18	REVISION PER USE CHANGE - 2



Title:

SITE PLAN

Project number: C17105 Sheet:

Date: 10.02.2018

Drawn by: CJJ

Approved by: JLW

C3.00

SITE DATA	
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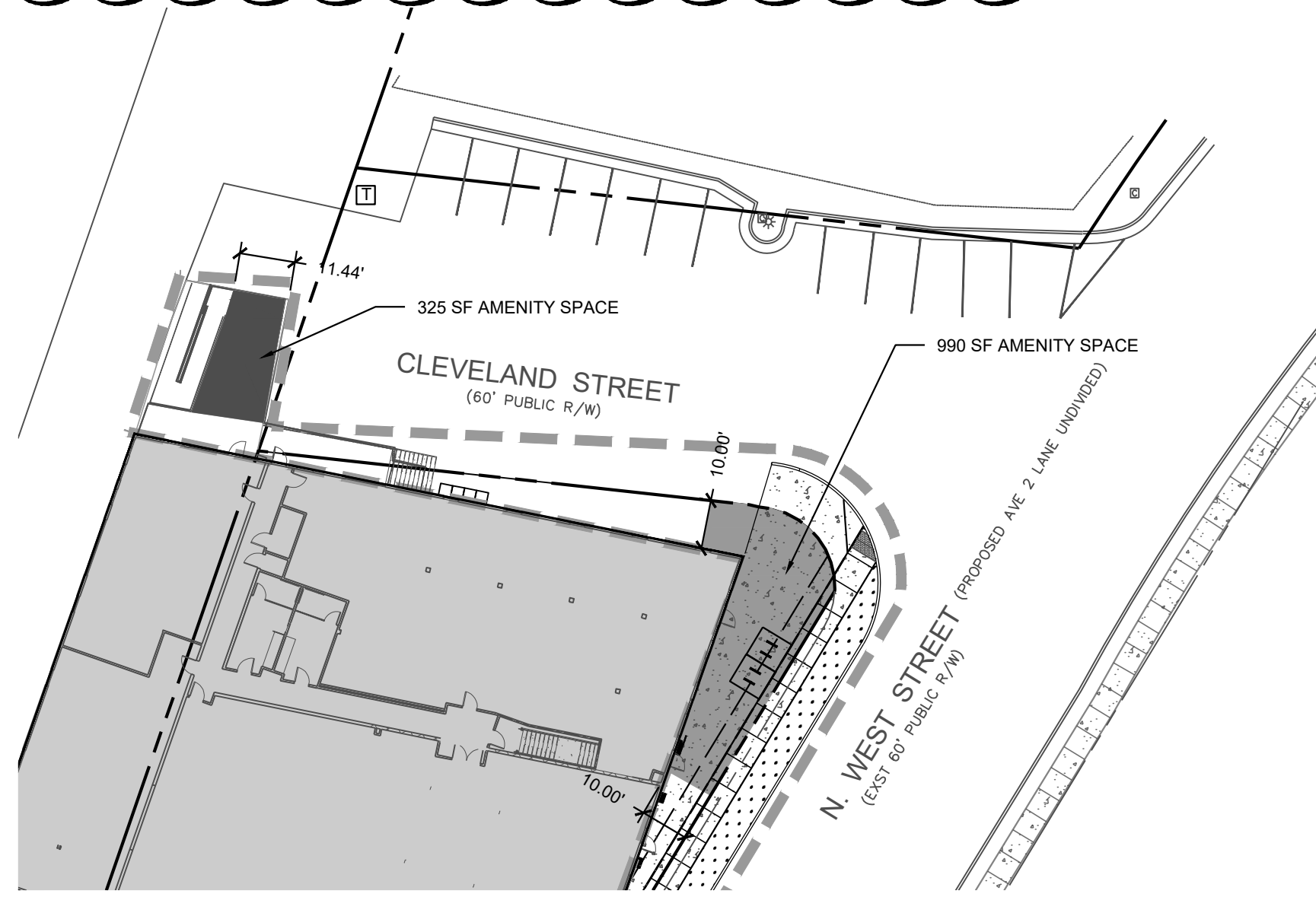
SITE LEGEND

- PROPOSED CONCRETE SIDEWALK
- PROPOSED HEAVY DUTY PAVEMENT
- PROPOSED TURF
- PROPOSED CURB & GUTTER
- LIMITS OF DISTURBANCE

TREE CALCULATIONS

Street	Frontage	Spacing	Required Trees	Provided Trees
911 WEST STREET	125'	40' Average (**PER COR)	3	0*

\*Street Trees cannot be planted along 911 N. West St. due to SS sewer easement. Fee in-lieu has been provided.



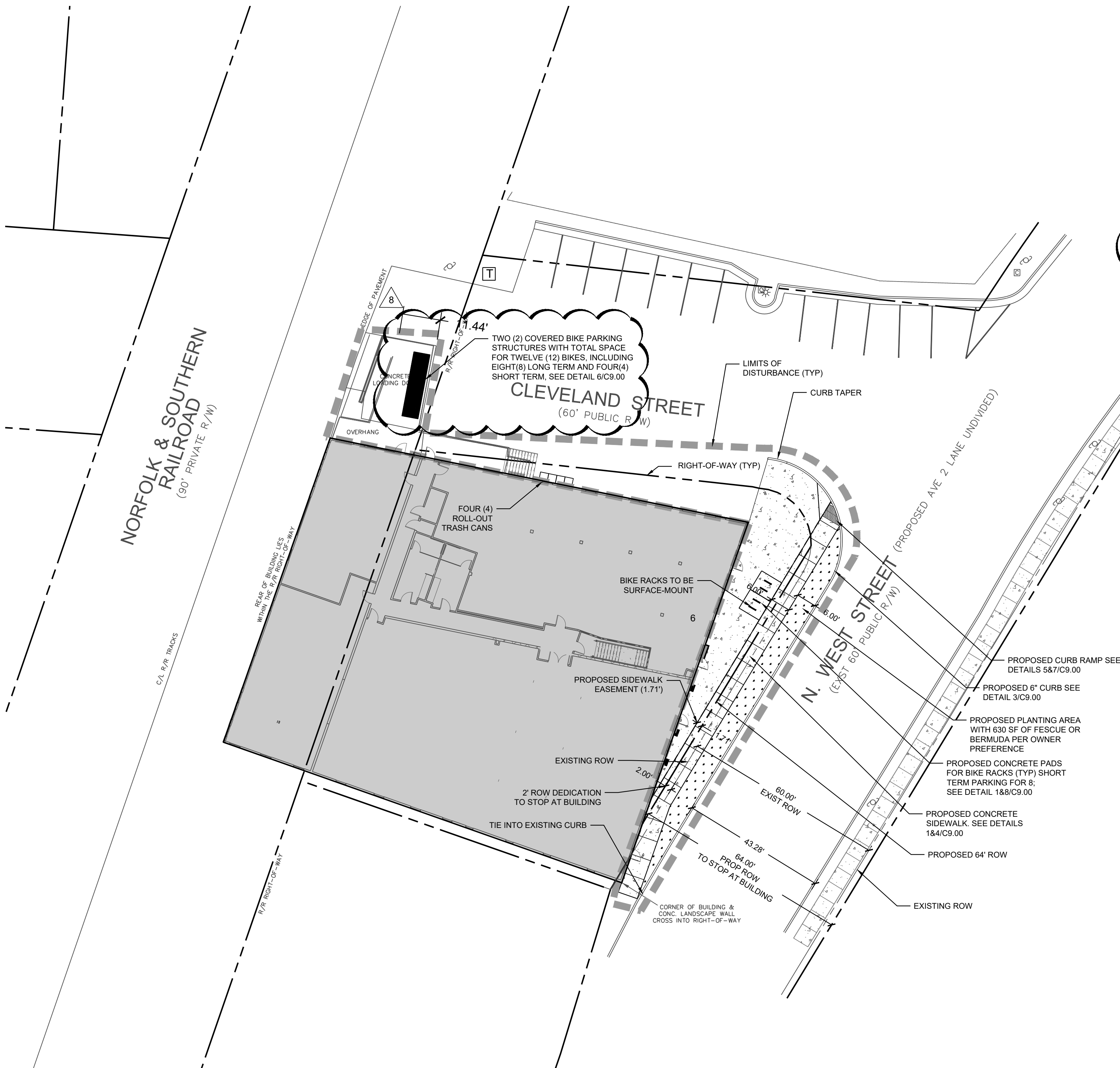
AMMENITY AREA EXHIBIT

See signed lease agreement with railroad.

OUTDOOR AMENITY AREA FOR IX-3	
REQUIRED:	1,287 SF
PROVIDED:	1,315 SF

\*BASED ON NEW PARCEL SIZE WITH ADJUSTED ROW OF 12,867 SF  
\*\*PER SEC 3.2.5, OUTDOOR AMENITY AREA (MIN.) = 10% OF LOT

PARKING SUMMARY		
PROVIDED PARKING	REQUIRED	PROVIDED
REGULAR 9'x18' SPACES	54	26*
COMPACT 8'x18' SPACES	0	0
VAN ACCESSIBLE 11'x18' SPACES	0	0*
<b>TOTAL VEHICULAR PARKING SPACES</b>	<b>54</b>	<b>26</b>
BIKE PARKING	20	20
VEHICLE PARKING RATIO: 1 SPACE PER 300 SF RETAIL SPACE, 1 SPACE PER 400 SF OFFICE SPACE AND 1 SPACE PER 150 SF RESTAURANT SPACE OR 1 SPACE PER 5 RESTAURANT SEATS		
RETAIL SPACE: 4,814 SF/ 300 SF = 17 SPACES OFFICE SPACE: 11,775 SF/ 400 SF = 30 SPACES RESTAURANT: 1,000 SF/150 SF = 7 SPACES , OR 35 SEATS/ 5 SEATS = 7 SPACES		
TOTAL BUILDING GROSS FLOOR AREA = 17,589 SF TOTAL REQUIRED PARKING SPACES = 54		
BIKE PARKING	LONG TERM	SHORT TERM
RETAIL	NONE	1/5,000 SF, MIN 4
OFFICE	1/5,000 SF, MIN 4	1/10,000 SF, MIN 4
RESTAURANT	1/25,000 SF, MIN 4	1/50,000 SF, MIN 4
TOTAL REQUIRED	8	12
TOTAL PROVIDED	8	12
* REDUCED PARKING PROVIDED OFFSITE PER BOA CASE A-7-18. SEE SHEET 3.10 FOR DETAILS ** CITY INSPECTOR GAVE APPROVAL FOR NO ONSITE ADA SPACES BECAUSE THERE IS NO PROJECT AREA AVAILABLE FOR PARKING. ALL PARKING IS REMOTE.		



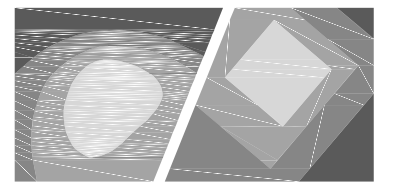
GENERAL NOTES:

- ALL MATERIALS AND METHODS OF CONSTRUCTION SHALL BE IN COMPLIANCE WITH THE OFFICE OF STATE CONSTRUCTION, DEPARTMENT OF INSURANCE, NCDENR, AND ALL OTHER APPLICABLE LOCAL, STATE AND FEDERAL GUIDELINES. ALL UTILITY CONSTRUCTION SHALL COMPLY WITH APPLICABLE LOCAL JURISDICTIONAL STANDARDS AND SPECIFICATIONS.
- EXISTING SURVEY INFORMATION INCLUDING TOPOGRAPHIC INFORMATION PROVIDED BY STEWART, UNLESS OTHERWISE NOTED. THE CONTRACTOR SHALL BE RESPONSIBLE FOR FIELD VERIFYING EXISTING CONDITIONS PRIOR TO COMMENCEMENT OF ANY WORK. THE CONTRACTOR SHALL IMMEDIATELY NOTIFY THE OWNER'S REPRESENTATIVE OF ANY DISCREPANCIES OR CONFLICTS.
- THE CONTRACTOR SHALL BE RESPONSIBLE FOR CONTACTING, COORDINATING AND PAYMENT FOR ALL NECESSARY LOCATING SERVICES INCLUDING INDEPENDENT LOCATING SERVICES. THE CONTRACTOR SHALL PROVIDE NOTICE OF EXCAVATION TO NOTIFICATION CENTER AND FACILITY OWNERS (PER NC STATUTE) NO LESS THAN 3 BUSINESS DAYS AND NO MORE THAN 12 WORKING DAYS PRIOR TO BEGINNING DEMOLITION, EXCAVATION OR ANY OTHER FORM OF CONSTRUCTION. THE CONTRACTOR SHALL IMMEDIATELY NOTIFY THE OWNER'S REPRESENTATIVE OF ANY DISCREPANCIES OR CONFLICTS. NO EXCAVATION OR DEMOLITION SHALL BE STARTED WITHOUT ALL UTILITIES BEING LOCATED.
- ALL SUB-SURFACE UTILITIES IDENTIFIED ON THE CONSTRUCTION DOCUMENTS ARE SHOWN IN THEIR APPROXIMATE LOCATION BASED ON SURVEY INFORMATION GATHERED FROM FIELD INSPECTION AND/OR ANY OTHER APPLICABLE RECORD DRAWINGS WHICH MAY BE AVAILABLE. THE CONTRACTOR SHALL IMMEDIATELY NOTIFY THE OWNER'S REPRESENTATIVE OF ANY DISCREPANCIES OR CONFLICTS.
- EXISTING IMPROVEMENTS DAMAGED OR DESTROYED BY THE CONTRACTOR DURING CONSTRUCTION SHALL BE RESTORED OR REPLACED TO ORIGINAL CONDITION AND TO THE SATISFACTION OF THE OWNER'S REPRESENTATIVE AT THE CONTRACTOR'S EXPENSE.
- THE CONTRACTOR SHALL BE RESPONSIBLE FOR OBTAINING AND COORDINATING PERMITS, INSPECTIONS, CERTIFICATIONS AND OTHER REQUIREMENTS WHICH MUST BE MET UNDER THIS CONTRACT.
- THE CONTRACTOR SHALL MAINTAIN "AS-BUILT" DRAWINGS TO RECORD THE ACTUAL LOCATION OF ALL PIPING PRIOR TO CONCEALMENT, VALVE AND MANHOLE CHANGES, AND HARDSCAPE OR LANDSCAPE CHANGES. DRAWINGS SHALL BE PROVIDED TO THE OWNER'S REPRESENTATIVE AT REGULAR INTERVALS, OR AS REQUESTED THROUGHOUT THE PROJECT FOR RECORD KEEPING.
- IF DEPARTURES FROM THE PROJECT DRAWINGS OR SPECIFICATIONS ARE DEEMED NECESSARY BY THE CONTRACTOR, DETAILS OF SUCH DEPARTURES AND REASONS THEREOF SHALL BE SUBMITTED TO THE OWNER'S REPRESENTATIVE FOR REVIEW. NO DEPARTURES FROM THE CONTRACT DOCUMENTS SHALL BE MADE WITHOUT THE EXPRESS WRITTEN PERMISSION OF THE OWNER'S REPRESENTATIVE.
- THE CONTRACTOR SHALL BE RESPONSIBLE FOR THE RELOCATION OF ANY EXISTING UTILITY LINES REQUIRED TO COMPLETE ANY PORTION OF CONSTRUCTION. THE CONTRACTOR SHALL ALSO BE RESPONSIBLE FOR THE COORDINATION AND COSTS OF THE RELOCATION AND ASSOCIATED WORK.
- THE CONTRACTOR SHALL BE RESPONSIBLE FOR KEEPING THE PREMISES FREE FROM ACCUMULATIONS OF WASTE MATERIALS AND RUBBISH CAUSED BY THE CONTRACTOR. ALL DEBRIS SHALL BE REMOVED FROM THE PROJECT SITE ON A DAILY BASIS.
- THE ENGINEER AND/OR OWNER DISCLAIM ANY ROLE IN THE CONSTRUCTION MEANS AND/OR METHODS ASSOCIATED WITH THE PROJECT AS SET FORTH IN THESE PLANS.
- ROADWAYS (TEMPORARY OR PERMANENT) MUST BE CAPABLE OF SUPPORTING FIRE FIGHTING APPARATUS (85,000 LBS) DURING ALL PHASES OF CONSTRUCTION ONCE VERTICAL CONSTRUCTION HAS BEGUN.
- SOLID WASTE WILL BE HANDLED WITH (4) ROLL-OUT TRASH CARTS COLLECTED BY THE CITY OF RALEIGH.

SITE NOTES:

- THE CONTRACTOR SHALL BE RESPONSIBLE FOR THE INSTALLATION AND MAINTENANCE OF THE CONSTRUCTION LAYDOWN AREA, PERIMETER FENCE, AND ASSOCIATED GATES. THE CONTRACTOR SHALL ALSO BE RESPONSIBLE FOR THE REMOVAL OF THE CONSTRUCTION LAYDOWN AREA PERIMETER FENCE AND ASSOCIATED GATES AT THE COMPLETION OF THE PROJECT.
- THE CONTRACTOR SHALL REFERENCE THE DESIGN PLANS FOR DIMENSIONS, JOINT LOCATIONS, AND INLAY SPECIFICATIONS NEAR BUILDINGS AND IN COURTYARDS. CONTRACTOR SHALL PROVIDE JOINTS IN WALKWAYS AND HARDSCAPE PER DETAILS OR AS INDICATED ON LANDSCAPE/HARDSCAPE PLAN SHEETS.
- REFER TO ARCHITECTURAL PLANS FOR BUILDING INFORMATION.
- ALL DIMENSIONS ARE IN RADI TO OUTSIDE FACE OF BUILDINGS, TO CENTERLINES, AND/OR FACE OF CURB UNLESS OTHERWISE NOTED.
- WHERE SIDEWALK OR WALKWAYS ARE ADJACENT TO PARKING SPACES THE WALKWAY SHALL BE A MINIMUM 6' 0" WIDE AS MEASURED FROM THE FACE OF CURB.
- MAXIMUM RUNNING SLOPE FOR WALKING SURFACES CANNOT BE GREATER THAN 1:20 AND CROSS SLOPES CANNOT BE GREATER THAN 1:48. HANDICAP SPACES SURFACE SLOPES SHALL NOT EXCEED 1:48 IN ALL DIRECTIONS.
- SIGHT TRIANGLES - NOTHING OVER 24" HIGH SHALL BE ALLOWED WITHIN THE SIGHT DISTANCE TRIANGLES.
- THE SITE SHALL BE FULLY STABILIZED (85% COVERAGE) PRIOR TO ISSUANCE OF A BUILDING CERTIFICATE OF OCCUPANCY OR PROJECT APPROVAL.
- HANDICAP RAMPS SHALL BE INSTALLED PER LATEST EDITION OF THE NC BUILDING CODE AND ANSI 117.11 WITH DETECTABLE WARNING DOMES. SEE DETAILS AND GRADING SPOT ELEVATIONS. IF EXISTING CONDITIONS PRECLUDE THE ABILITY TO PROVIDE A MAXIMUM SLOPE OF 6-FEET OR A MAXIMUM CROSS SLOPE OF 1:48 CONTRACTOR SHALL NOTIFY ENGINEER OR OWNER REPRESENTATIVE PRIOR TO INSTALLATION.
- AS-BUILT DOCUMENTATION REQUIREMENTS: PRIOR TO ISSUANCE OF A BUILDING CERTIFICATE OF OCCUPANCY OR PROJECT APPROVAL THE CONTRACTOR SHALL PROVIDE AS-BUILT DRAWINGS (IN BOTH PAPER AND ELECTRONIC FORMAT (CAD / PDF) PREPARED AND SEALED BY A PROFESSIONAL LAND SURVEYOR SHOWING ALL SURFACE FEATURES INCLUDING, BUT NOT LIMITED TO: HARDSCAPE, PAVEMENT, WALKWAYS, CURB & GUTTER, STRIPING, MANHOLES, CATCH BASINS, HYDRANTS, VALVES, METERS, BACKFLOW HOT BOX(ES), CLEANOUTS, RETAINING WALLS, TRANSFORMERS, LANDSCAPING, AND TREES. UTILITY AS-BUILTS SHALL INCLUDE PIPE AND STRUCTURE INVERT ELEVATIONS, SLOPES, MATERIAL, AND SIZE FOR ALL UTILITIES INSTALLED AS PART OF THE PROJECT.
- THE TESTING AGENCY SHALL BE RESPONSIBLE FOR PROVIDING THE ASPHALT AND CONTRACTOR CERTIFICATION MEMO TO NCDOT FOR ALL ROADWAY IMPROVEMENTS WITHIN THE PUBLIC RIGHT-OF-WAY.
- NO SIGHT OBSTRUCTING OR PARTIALLY OBSTRUCTING WALL, FENCE, FOLIAGE, BERMING, PARKED VEHICLES OR SIGN BETWEEN THE HEIGHTS OF TWENTY-FOUR (24) INCHES AND EIGHT (8) FEET ABOVE THE CURB LINE ELEVATION, OR THE NEAREST TRAVELED WAY IF NO CURBING EXISTS, SHALL BE PLACED WITHIN A SIGHT TRIANGLE OF A PUBLIC STREET, PRIVATE STREET OR DRIVEWAY CONTAINED EITHER ON THE PROPERTY OR ON AN ADJOINING PROPERTY.

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**STEWART**

101 N. TRYON ST., SUITE 1400  
CHARLOTTE, NC 28202  
F 704.334.7955  
FIRM LICENSE # C-1051  
www.stewartinc.com  
PROJECT # 17105

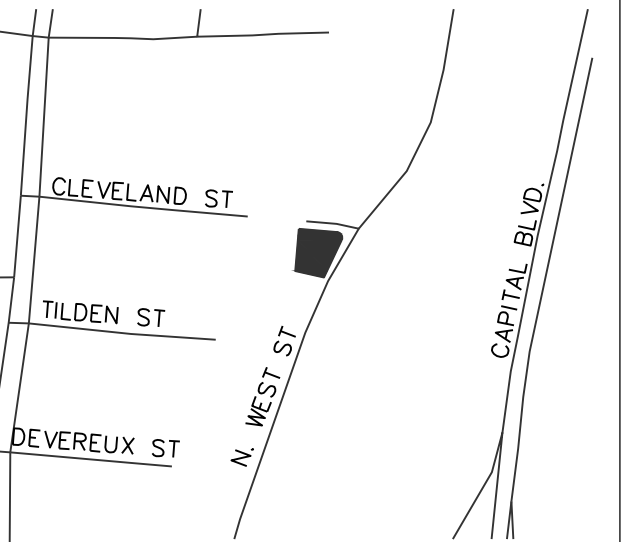
Client:

ATLAS STARK HOLDINGS  
PO BOX 6309  
RALEIGH, NC 27638  
T: 919.656.4937

Project:

**911 N. WEST ST**

Vicinity map:



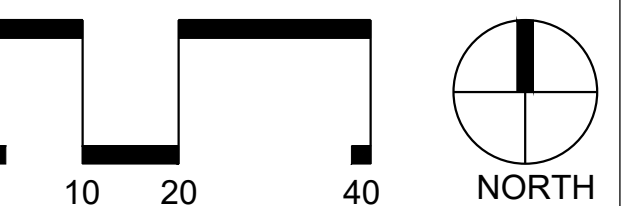
Seal:



Issued for:

**SITE PLAN**

No.	Date	Description
1	08.29.18	REVISION PER USE CHANGE
2	10.02.18	REVISION PER USE CHANGE -2



SCALE: 1"=20'

Title:

**UTILITY PLAN**

Project number: C17105 Sheet:

Date: 10.02.2018

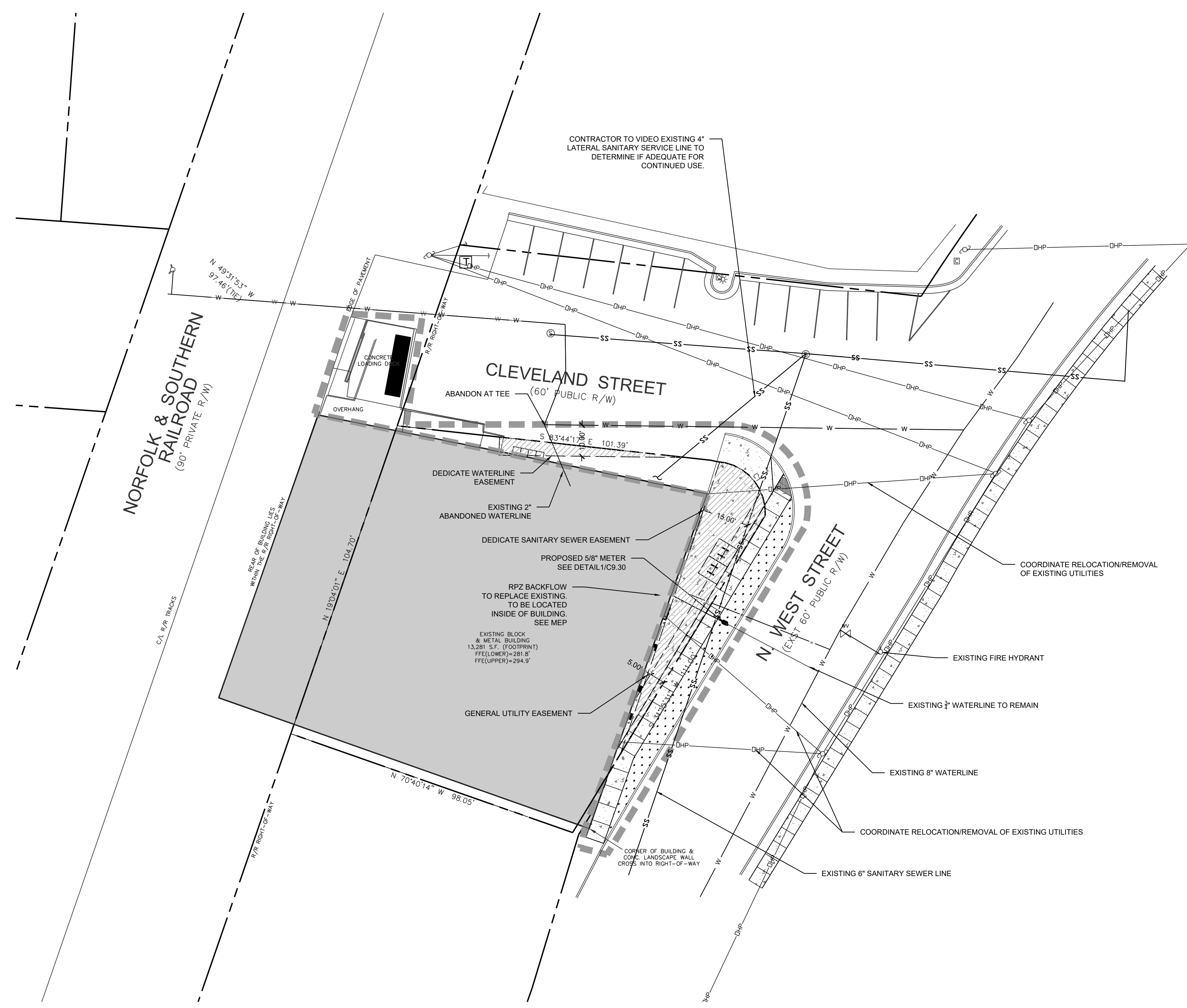
Drawn by: CJJ

Approved by: JWP

**C6.00**

**UTILITY LEGEND**

- W — EXISTING WATER LINE
- SS — EXISTING SANITARY SEWER LINE
- ⊙ EXISTING SANITARY SEWER MANHOLE
- ▬▬▬ LIMITS OF DISTURBANCE
- ⊞ TRANSFORMER



**UTILITY NOTES:**

- REFER TO SHEET C3.00 FOR GENERAL NOTES.
- UNLESS OTHERWISE NOTED, ALL MANHOLES SHALL BE PRE-CAST CONCRETE STRUCTURES.
- THE CONTRACTOR SHALL COORDINATE THE CONSTRUCTION OF UNDERGROUND UTILITIES (WATER, SEWER, STORM, ELECTRICAL, GAS, OR OTHER) FOR THIS PROJECT WITH THE BUILDING PLANS. THE UTILITY CONTRACTOR SHALL ALSO BE RESPONSIBLE FOR THE INSTALLATION OF ALL UTILITY SERVICES TO WITHIN FIVE (5) FEET OF THE BUILDING CONNECTION POINT.
- THE CONTRACTOR SHALL COORDINATE WITH OTHER CONTRACTORS ON SITE AND UTILITY PROVIDERS DURING CONSTRUCTION TO ENSURE SMOOTH TRANSITION BETWEEN DISCIPLINES.
- THE CONTRACTOR SHALL COORDINATE ALL PEDESTRIAN AND VEHICULAR INTERRUPTIONS WITH OWNER'S REPRESENTATIVE AT LEAST 72 HOURS PRIOR TO BEGINNING WORK.
- THE CONTRACTOR SHALL NOT PROCEED WITH ANY WORK INSIDE THE PUBLIC RIGHT OF WAY PRIOR TO RECEIPT AND COMPLIANCE WITH ALL APPLICABLE NCDOT PERMITS. ADDITIONALLY, THE CONTRACTOR SHALL BE RESPONSIBLE FOR PROVIDING ALL NECESSARY FLAGGERS AND TRAFFIC CONTROL DURING ALL WORK INSIDE THE PUBLIC RIGHTS OF WAY.
- THE CONTRACTOR SHALL NOT RE-USE ANY FIRE HYDRANT REMOVED AS PART OF THIS PROJECT. ANY FIRE HYDRANT SHOWN TO BE REMOVED OR RELOCATED SHALL BE REPLACED WITH A NEW FIRE HYDRANT MEETING THE LOCAL JURISDICTIONAL REQUIREMENTS AND STANDARDS.

- ALL EXISTING SUB-SURFACE UTILITIES IDENTIFIED ON THE CONSTRUCTION DOCUMENTS ARE SHOWN IN THEIR APPROXIMATE LOCATION BASED ON SURVEY INFORMATION GATHERED FROM FIELD INSPECTION AND/OR ANY OTHER APPLICABLE RECORD DRAWINGS WHICH MAY BE AVAILABLE. DEPTHS OF EXISTING UTILITIES SHOWN IN PROFILE VIEWS ARE BASED ON STANDARD ASSUMPTIONS. THE CONTRACTOR SHALL FIELD VERIFY THE EXACT LOCATION, DEPTH, SIZE AND MATERIAL OF ANY AND ALL SUB-SURFACE CONDITIONS REFERENCED IN THESE PLANS PRIOR TO ANY EXCAVATION OR CONSTRUCTION ACTIVITY. THE CONTRACTOR SHALL IMMEDIATELY NOTIFY THE OWNER'S REPRESENTATIVE OF ANY DISCREPANCIES OR CONFLICTS.
- ELEVATIONS OF UTILITIES ARE GIVEN TO THE EXTENT OF INFORMATION AVAILABLE, WHERE ELEVATIONS ARE NOT GIVEN AT POINTS OF EXISTING UTILITY CROSSINGS, SUCH ELEVATIONS SHALL BE DETERMINED BY THE CONTRACTOR AND REPORTED TO THE ENGINEER, WHEN UNKNOWN LINES ARE EXPOSED, THEIR LOCATIONS AND ELEVATIONS SHALL ALSO BE REPORTED TO THE ENGINEER.
- UNDERGROUND UTILITIES SHOWN ON THIS PLAN SHALL BE INSTALLED PRIOR TO ANY CONSTRUCTION OF PARKING AREA, DRIVES, CURBS AND GUTTER OR CONCRETE WALKS / PADS. IF UTILITIES SHOWN ON THIS PLAN CANNOT BE INSTALLED PRIOR TO INSTALLATION OF IMPERVIOUS (ASPHALT / CONCRETE) CONDUIT SHALL BE INSTALLED FOR THE "FUTURE" UTILITY INSTALLATION.
- AS-BUILT DOCUMENTATION REQUIREMENTS: PRIOR TO APPROVAL FROM LOCAL JURISDICTION OR ENGINEER THE CONTRACTOR SHALL PROVIDE AS-BUILT DRAWINGS (IN BOTH PAPER AND ELECTRONIC FORMAT (CAD / PDF) PREPARED AND SEALED BY A PROFESSIONAL LAND SURVEYOR SHOWING ALL UTILITY INSTALLATION. HORIZONTAL AND VERTICAL INFORMATION SHALL BE PROVIDED FOR WATER, SEWER, STORM INCLUDING ALL STRUCTURES, VALVES, HYDRANTS, AND OTHER APPURTENANCES.

**PROPOSED UTILITY SEPARATION:**

- WATER MAINS SHALL BE LAID AT LEAST 10 FEET HORIZONTALLY FROM EXISTING OR PROPOSED SEWERS, UNLESS LOCAL CONDITIONS OR BARRIERS PREVENT A 10-FOOT HORIZONTAL SEPARATION IN WHICH CASE:
  - THE WATER MAIN IS LAID IN A SEPARATE TRENCH, WITH THE ELEVATION OF THE BOTTOM OF THE WATER MAIN AT LEAST 18 INCHES ABOVE THE TOP OF THE SEWER; OR
  - THE WATER MAIN IS LAID IN THE SAME TRENCH AS THE SEWER WITH THE WATER MAIN LOCATED AT ONE SIDE OF A BENCH OF UNDISTURBED EARTH, AND WITH THE ELEVATION OF THE BOTTOM OF THE WATER MAIN AT LEAST 18 INCHES ABOVE THE TOP TO THE SEWER.
- CROSSING A WATER MAIN OVER A SEWER, WHENEVER IT IS NECESSARY FOR A WATER MAIN TO CROSS OVER A SEWER, THE WATER MAIN SHALL BE LAID AT SUCH AN ELEVATION THAT THE BOTTOM OF THE WATER MAIN IS AT LEAST 18 INCHES ABOVE THE TOP OF THE SEWER, UNLESS LOCAL CONDITIONS OR BARRIERS PREVENT AN 18 INCH VERTICAL SEPARATION, IN WHICH CASE BOTH THE WATER MAIN AND SEWER SHALL BE CONSTRUCTED OF FERROUS MATERIALS AND WITH JOINTS THAT ARE EQUIVALENT TO WATER MAIN STANDARDS FOR A DISTANCE OF 10 FEET ON EACH SIDE OF THE POINT OF CROSSING.
- CROSSING A WATER MAIN UNDER A SEWER, WHENEVER IT IS NECESSARY FOR A WATER MAIN TO CROSS UNDER A SEWER, BOTH THE WATER MAIN AND THE SEWER SHALL BE CONSTRUCTED OF FERROUS MATERIALS AND WITH JOINTS EQUIVALENT TO WATER MAIN STANDARDS FOR A DISTANCE OF 10 FEET ON EACH SIDE OF THE POINT OF CROSSING. A SECTION OF WATER MAIN PIPE SHALL BE CENTERED AT THE POINT OF CROSSING.

**SEPARATION OF SANITARY SEWERS AND STORM SEWERS:**

- A 24" VERTICAL SEPARATION SHALL BE PROVIDED BETWEEN STORM SEWER AND SANITARY SEWER LINES OR BOTH THE SANITARY AND THE STORM LINES SHALL BE CONSTRUCTED OF FERROUS MATERIALS.

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NOT FOR  
CONSTRUCTION  
FOR REFERENCE  
ONLY

02/08/18

PROJECT TYPE: SHELL ALTERATION

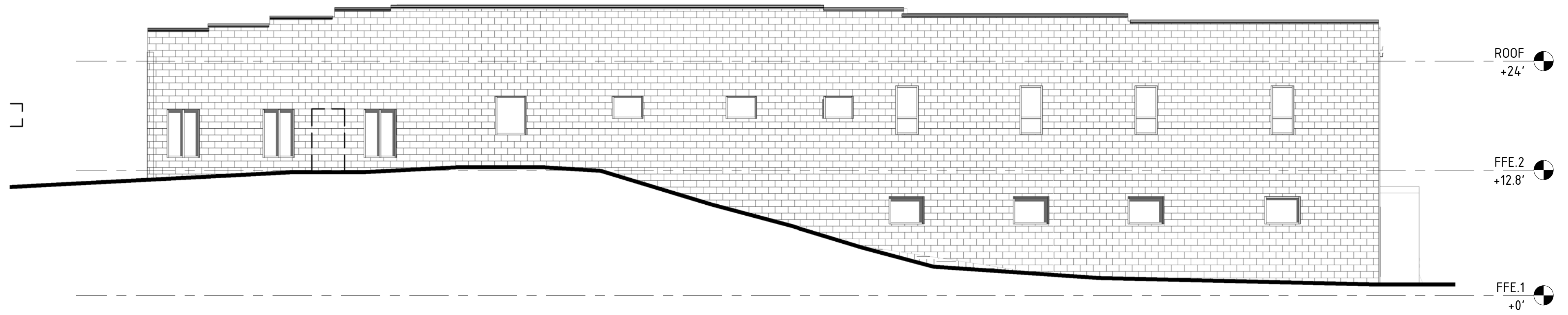
911 N. WEST ST.

911 NORTH WEST STREET  
RALEIGH, NORTH CAROLINA

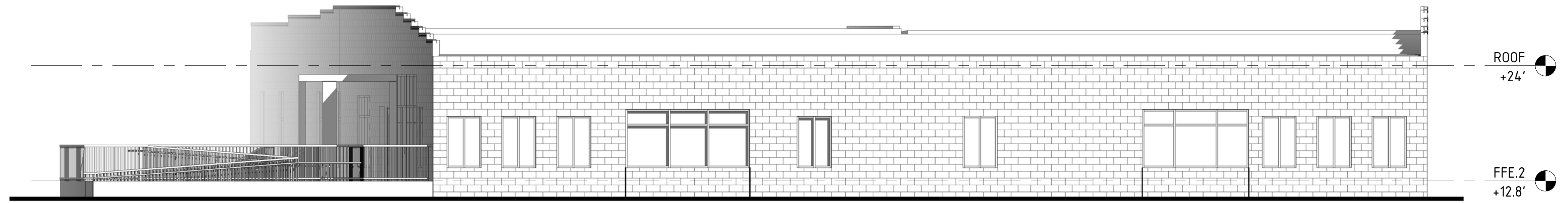
DATE	02/08/18
DR.	EP
CH.	RS
PROJ. #	17018
REVISIONS	DATE
2	12/11/17

ELEVATIONS

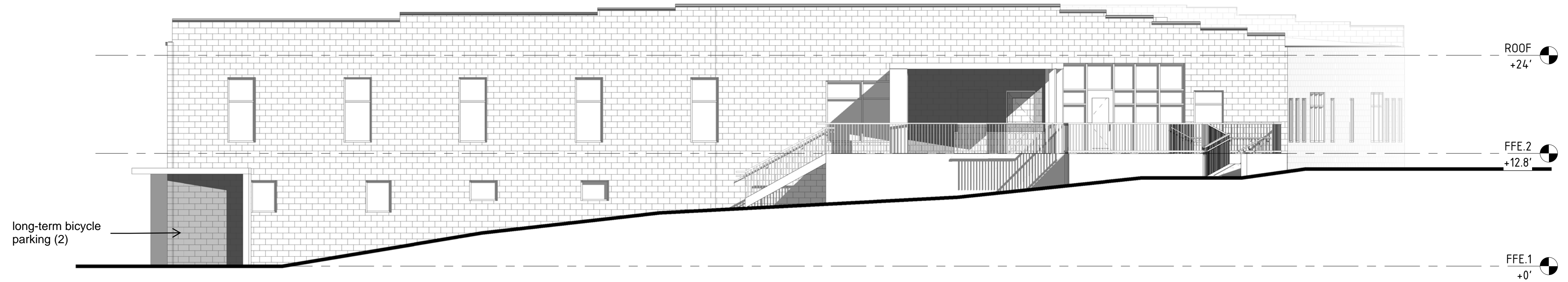
A2.0



4 SOUTH ELEVATION  
SCALE: 1/8" = 1'-0"



3 WEST ELEVATION  
SCALE: 1/8" = 1'-0"



2 NORTH ELEVATION  
SCALE: 1/8" = 1'-0"



1 EAST ELEVATION  
SCALE: 1/8" = 1'-0"