



Administrative Approval Action

Markets at Rock Quarry Lot 3: SR-93-18,
Transaction# 570161, AA#3894

LOCATION: This site is located on the southwest side of Battle Bridge Road and west of the intersection of Battle Bridge Road and Cane Garden Drive. The address is 6220 Battle Bridge Road and the PIN number is 1731482906. Please note this site is part of subdivision case S-2-11.

REQUEST: Development of a 1.14-acre tract zoned Neighborhood Mixed Use with conditions (NX-3-CU). Reference zoning conditions in case Z-44-04. The applicant is proposing 7,635 square feet of tenant space for 4000 square feet of retail, 1835 square feet of restaurant, 1800 square feet of minor auto repair all in one building. Please note previously approved plan SR-10-18 on this site was withdrawn.

**DESIGN
ADJUSTMENT(S)/
ALTERNATES, ETC:**

Two Design Adjustments have been approved by the Development Services Designee under SR-10-18 and have been conveyed to SR-93-18 for this project, Design Adjustment cases DA-26-2018 and DA-48-2018 are noted below:

1. A Design Adjustment waiving the block perimeter requirement (UDO Section 8.3) has been approved by the Public Works Director Designee.
2. Design adjustments have been submitted to Article 8.5 of the UDO for relief from recording a 5-foot utility placement easement on Battle Bridge Road.

FINDINGS: City Administration finds that this request, with the below conditions of approval being met, conforms to the Unified Development Ordinance. This approval is based on a preliminary plan dated 10/18/2018 by John A Edwards, Jr. of John A. Edwards & Company.

CONDITIONS OF APPROVAL and NEXT STEPS:

This document must be applied to the second sheet of all future submittals except for final plats. This is a preliminary plan and as such no permits have been issued with this approval. To obtain permits and/or completion of the project, the following steps are required:

CONCURRENT SITE REVIEW NOT REQUIRED AT THIS TIME – However, plan revisions or further development that includes land disturbance of 12,000 square feet or greater, public or private infrastructure, shared stormwater devices, etc. will require concurrent site review.

CONCURRENT SITE REVIEW - For land disturbance of 12,000 square feet or greater, public or private infrastructure, shared stormwater devices, etc. Concurrent Site Review may be submitted upon receipt of this signed approval document.



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City of Raleigh
Development Services Department
One Exchange Plaza
Raleigh, NC 27602
(919) 996-2495
DS.help@raleighnc.gov
www.raleighnc.gov

The following items are required prior to approval of Concurrent Site Review plans:

Engineering

1. A right-of-way obstruction permit must be obtained from Right-of-way Services prior to the commencement of any construction activities within the right-of-way.

Stormwater

2. A stormwater control plan with a stormwater operations and maintenance manual and budget shall be approved (UDO 9.2).
3. A surety equal to of the cost of clearing, grubbing and reseeded a site, shall be paid to the City (UDO 9.4.4).

RECORDED MAP(S) - Submit plat to record new property lines, easements, tree conservation areas, etc.). Plats may be submitted for review when the Concurrent Site Review plans, if required, have been deemed ready for mylar signature.

The following items must be approved prior to recording the plat:

General

4. A Final Plat shall be recorded with the Wake County Register of Deeds office for all Right of Way and/or Easement Dedications.

BUILDING PERMITS – For buildings and structures shown on the approved plans. Commercial building permit plans must include the signed, approved Concurrent Site Review plans attached, if applicable. Permit sets may be reviewed prior to the recordation of required plats, but cannot be approved.

The following items must be approved prior to the issuance of building permits:

General

5. Comply with all conditions of Z-44-04.
6. A Final Plat shall be recorded with the Wake County Register of Deeds office for all Right Of Way and/or Easement Dedications.
7. Provide fire flow analysis.

Engineering

8. A fee-in-lieu for approximately 379 linear feet of 1' sidewalk width shall be paid to the City of Raleigh (UDO 8.1.10).



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Stormwater

9. A payment equal to twenty-four percent (24%) of the estimated cost of constructing all stormwater control facilities shown on the development plans shall be paid by the developer to the City stormwater facility replacement fund (UDO 9.2.2.G.3).
10. The City form document entitled Declaration of Maintenance Covenant and Grant of Protection Easement for Stormwater Control Facilities shall be approved by the City and recorded with the county register of deeds office (UDO 9.2.2.G).
11. All stormwater control measures and means of transporting stormwater runoff to and from any nitrogen and stormwater runoff control measures shall be shown on all plats for recording as private drainage easements (UDO 9.2).
12. A surety equal to 125% of the cost of the construction of a stormwater device shall be paid to the Engineering Services Department (UDO 9.2.2.D.1.d).

The following are required prior to issuance of building occupancy permit:

13. All Water, Sanitary Sewer and Reuse facilities shall be installed, inspected, tested and accepted by the City of Raleigh Public Utilities Department for operations and maintenance.
14. Required underground storm drainage improvements shall be completed and as-built plan(s) and certification(s) reviewed and accepted by the City of Raleigh Development Services – Development Engineering program.
15. All street lights and street signs required as part of the development approval are installed.
16. Copies of certified inspection reports for alleys and internal access ways are submitted to the City of Raleigh Development Services – Development Engineering program.
17. As-built drawings and associated forms for all Stormwater devices are accepted by the Engineering Services Department (UDO 9.2.2.D.3).



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EXPIRATION DATES: The expiration provisions of UDO Section 10.2.8 E, including the ability to request extensions in the expiration date, apply to this site plan. If significant construction has not taken place on a project after administrative site review approval, that approval may expire and be declared void, requiring re-approval before permits may be issued. To avoid allowing this plan approval to expire the following must take place by the following dates:

3-Year Expiration Date: 11-19-2021

Obtain a valid building permit for the total area of the project, or a phase of the project.

4-Year Completion Date:

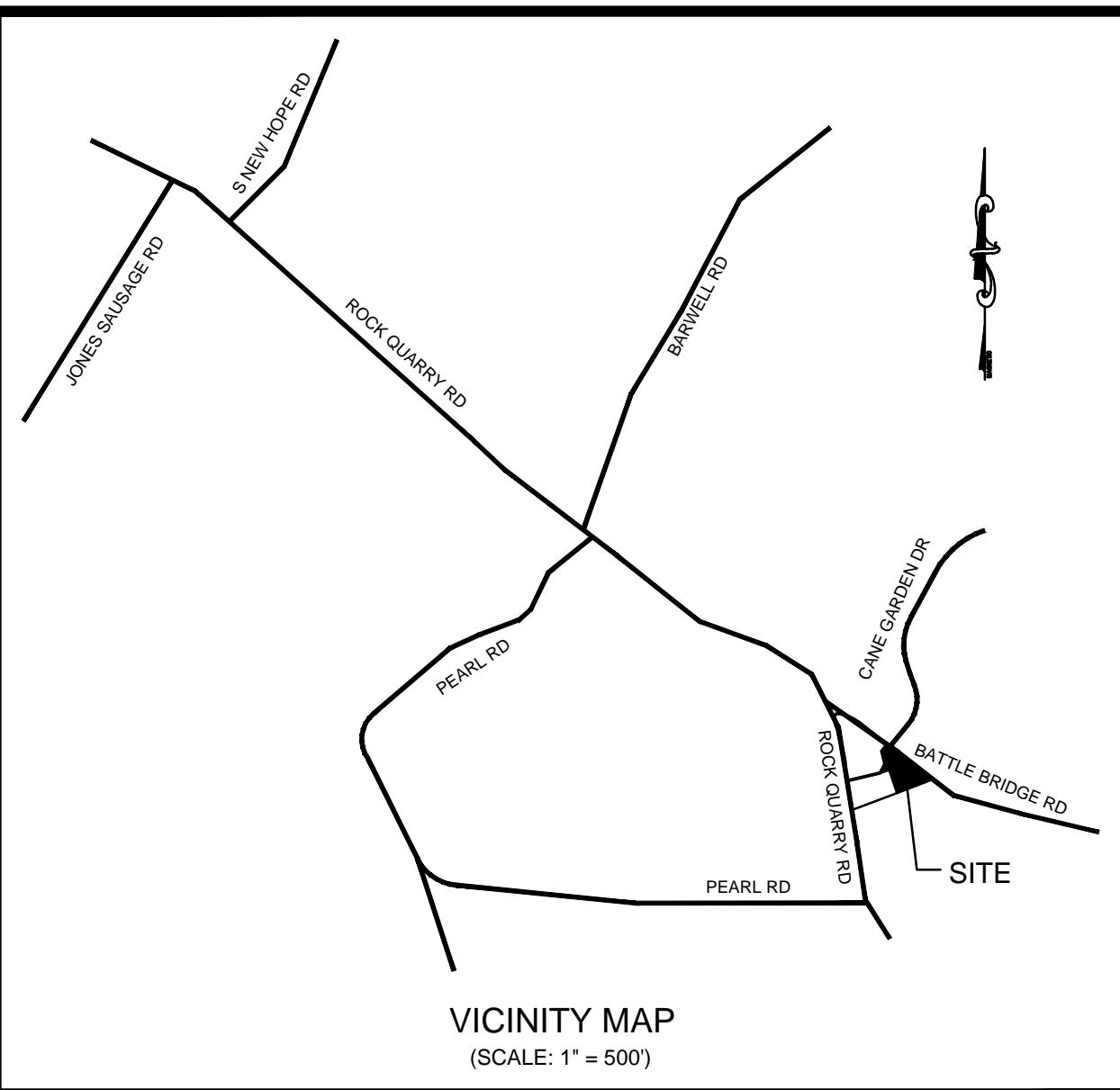
Within four years after issuance of the first building permit for the site plan, the construction of the entire site plan must be completed unless an applicant has been granted vested rights. Failure to complete construction within this specified time frame shall automatically void the approved site plan for which no building permits have been issued.

I hereby certify this administrative decision.

Signed:(Planning Dir./Designee)

Date: 11/19/18

Staff Coordinator: Daniel L. Stegall



MARKETS AT ROCK QUARRY

LOT 3

ADMINISTRATIVE SITE REVIEW

SR-93-18

TRANS. #570161

RALEIGH, NORTH CAROLINA

SEPTEMBER 19, 2018
REVISED OCTOBER 18, 2018

SITE DATA	
PROPERTY OWNER:	L & P ASSOCIATES, LLC 4001 NEW BERN AVENUE RALEIGH, NC 27601
SITE ADDRESS:	6220 BATTLE BRIDGE ROAD
WAKE COUNTY PIN #:	1731482906
ZONING DISTRICT:	NX-3-CU
TOTAL SITE ACREAGE:	1.14 AC. (49,633 SF)
EXISTING USE:	VACANT
PROPOSED USES:	RETAIL, RESTAURANT, VEHICLE REPAIR
PROPOSED BUILDING AREA:	7,635 SF
PROPOSED MAX BUILDING HEIGHT:	31.44'
REQUIRED OUTDOOR AMENITY AREA:	4,963 S.F. (4,963/49,633 = 10%)
PROPOSED OUTDOOR AMENITY AREA:	9,874 S.F. (9,874/49,633 = 19.89%)
EXISTING IMPERVIOUS AREA:	3,517 S.F. (0.08 AC.)
ALLOWED IMPERVIOUS AREA:	24,976 S.F. (0.57 AC.)
PROPOSED IMPERVIOUS AREA:	23,513 S.F. (0.54 AC.)
REQUIRED SETBACKS:	FROM STREET: 5' BUILDING / 10' PARKING SIDE: 0' OR 6' BUILDING / 0' OR 3' PARKING REAR: 0' OR 6' BUILDING / 0' OR 3' PARKING
REQUIRED PARKING:	4000 S.F. RETAIL @ 1/300 = 13 SPACES 1800 S.F. VEHICLE SERVICE @ 1/600 = 3 SPACES 1835 S.F. RESTAURANT @ 1/150 = 12 SPACES TOTAL REQUIRED SPACES = 28 SPACES ACCESSIBLE H/C PARKING = 2 SPACES (1 VAN) SHORT TERM BICYCLE PARKING = 8 SPACES LONG TERM BICYCLE PARKING = 8 SPACES
PROPOSED PARKING:	28 SPACES (2 H/C, 1 VAN) SHORT TERM BICYCLE PARKING = 8 SPACES LONG TERM BICYCLE PARKING = 8 SPACES
PROPOSED RESTAURANT PARKING:	1 SPACES PER 5 SEATS (12X5) = 60 SEATS

ZONING CONDITIONS Z-44-04	ZONING COMPLIANCE
1. VEHICULAR ACCESS TO ABUTTING EXISTING ROADS SHALL BE LIMITED TO A MAXIMUM OF TWO (2) FULL MOVEMENT DRIVEWAYS ON BATTLE BRIDGE ROAD AND ONE (1) FULL SERVICE MOVEMENT DRIVEWAY ON ROCK QUARRY ROAD SUBJECT TO APPROVAL BY NCDOT AND THE CITY OF RALEIGH PUBLIC WORKS DEPARTMENT. THE DRIVEWAY ON ROCK QUARRY ROAD AND ONE ON BATTLE BRIDGE ROAD SHALL BE LOCATED ALONG THE ADJOINING PROPERTY LINE TO THE SOUTH TO ESTABLISH JOINT ACCESS (BOOK PG. 10477, 1780/PIN# 1731483708, 1731483402).	1. NO NEW DRIVEWAYS PROPOSED. EXISTING DRIVEWAYS COMPLY.
2. TOTAL BUILDING AREA DEVOTED TO RETAIL SALES USES SHALL NOT EXCEED 30,000 SF FLOOR AREA GROSS. TRANSIT: MAKE AVAILABLE ONE 20' (ADJOINING THE RIGHT-OF-WAY) X15' (DEEP) EASEMENT TO SUPPORT A BUS STOP AND SHELTER FOR FUTURE CAT TRANSIT SERVICES ALONG BATTLE BRIDGE ROAD. PRIOR TO SITE PLAN APPROVAL, THE TRANSIT DIVISION SHALL HAVE REVIEW AND APPROVAL OF THE EASEMENT LOCATION.	2. PROPOSED 4,000 S.F. RETAIL USE MAKES TOTAL OF 25,225 S.F. TRANSIT EASEMENT RECORDED IN MB 2009, PG 1027
3. REIMBURSEMENT FOR ANY REQUIRED RIGHT-OF-WAY DEDICATION SHALL REMAIN AT R-4 VALUE.	3. NO REIMBURSEMENT PROPOSED.
4. THAT A TRANSITIONAL PROTECTIVE YARD A MINIMUM OF TWENTY-FIVE (25) FEET IN WIDTH BE PROVIDED ADJACENT TO ALL ADJOINING RESIDENTIAL PROPERTIES.	4. NO ADJOINING RESIDENTIAL PROPERTIES.
5. THAT ALL OUTDOOR AREA AND PARKING LOT LIGHTING FIXTURES BE OF FULL CUT-OFF (SHIELDED) DESIGN.	5. FULL CUT-OFF TO BE PROVIDED.
6. THAT ALL STRUCTURES ON THE PROPERTY BE LIMITED TO A MAXIMUM HEIGHT OF THIRTY-FIVE (35) FEET OR TWO STORIES.	6. DOES NOT EXCEED MAXIMUM HEIGHT.
7. THAT ALL BUILDINGS BE OF RESIDENTIAL CHARACTER INCLUDING ROOF PITCH MINIMUM OF 3/12; WINDOW OPENINGS SHALL NOT COVER LESS THAN 15% OR MORE THAN 60% OF WALL AREA. OUTSIDE WALL FINISH MATERIALS SHALL BE OF THOSE USED IN RESIDENTIAL CONSTRUCTION.	7. BUILDING PLANS COMPLY.
8. THAT ANY GROUND-MOUNTED SIGN BE OF A LOW PROFILE DESIGN.	8. NO SIGN PROPOSED.
9. THAT VEHICULAR AND PEDESTRIAN INTER-CONNECTIVITY BE PROVIDED WITH THE PROPERTIES IMMEDIATELY TO THE SOUTH.	9. CROSS ACCESS AGREEMENT RECORDED IN MB 2009, PG 1029.
10. THAT FUTURE DEVELOPMENT IS IN COMPLIANCE WITH THE KEY ELEMENTS OF THE CITY OF RALEIGH "URBAN DESIGN GUIDELINES".	10. COMPLIES WITH "URBAN DESIGN GUIDELINES".



OWNER/DEVELOPER:
L & P ASSOCIATES, LLC
4001 NEW BERN AVE., SUITE 102, RALEIGH, N.C.
27610
PHONE: (919) 539-6730
E-MAIL: CELLULARMAX@AOL.COM

CIVIL ENGINEER:
JOHN A. EDWARDS & COMPANY
CONSULTING ENGINEERS
NC LICENSE F-0289
333 WADE AVENUE, RALEIGH NC 27605
PHONE: (919) 828-4428
FAX: (919) 828-4711
EMAIL: INFO@JAECO.COM

ARCHITECT:
BAXTER ARMISTEAD
ARCHITECTURE, PC
3206 HERITAGE TRADE DR
WAKE FOREST, NC 27587
PHONE: (919) 554-1505

NO SEATING PLAN IS AVAILABLE FOR THE RESTAURANT USE, THEREFORE THE TOTAL NUMBER OF ALLOWABLE SEATS SHALL BE LIMITED TO THE VEHICULAR PARKING SPACES OF THE GROSS FLOOR AREA IN ACCORDANCE WITH UDO 7.2.1.C. BASED ON 12 SPACES FOR RESTAURANT USE, THE MAXIMUM ALLOWED SEATING IS 60 SEATS.

THIS DEVELOPMENT WILL ADHERE TO UDO SEC. 6.4.10.C.

SUBMITTAL IS FOR A CHANGE OF USE FROM PREVIOUSLY APPROVED AUTOMOTIVE AND RETAIL CASE SR-10-18 TO 1835 S.F. RESTAURANT, 4000 S.F. RETAIL AND 1800 S.F. VEHICLE REPAIR (MINOR). SR-10-18 WAS WITHDRAWN BY APPLICANT.

HORIZONTAL DATUM: NAD83
VERTICAL DATUM: NAVD88

SOLID WASTE INSPECTIONS STATEMENT
DEVELOPER TO CONTRACT WITH PRIVATE
COLLECTION SERVICE FOR RECYCLING
AND SOLID WASTE REMOVAL

ALL CONSTRUCTION SHALL BE IN ACCORDANCE WITH CITY OF RALEIGH STANDARDS AND SPECIFICATIONS.

REFERENCE: PREVIOUSLY APPROVED
"MARKETS AT ROCK QUARRY" SP-53-2008



When submitting plans, please check the appropriate building type and include the Plan Checklist document.

BUILDING TYPE	FOR OFFICE USE ONLY
<input type="checkbox"/> Detached <input type="checkbox"/> Attached <input type="checkbox"/> Apartment <input type="checkbox"/> Townhouse	<input checked="" type="checkbox"/> General <input type="checkbox"/> Mixed Use <input type="checkbox"/> Open Lot
Transaction Number	
Assigned Project Coordinator	
Assigned Team Leader	

Has your project previously been through the Due Diligence or Sketch Plan Review process? If yes, provide the transaction #

GENERAL INFORMATION

Development Name: Markets at Rock Quarry Lot 3
Zoning District: NX-3-CU Overlay District (if applicable): Inside City Limits? Yes No
Proposed Use: 4000 SF Retail, 1835 SF Restaurant, 1800 SF Vehicle Repair
Property Address(es): 6220 Battle Bridge Road Major Street Locator: Rock Quarry and Battle Bridge
Wake County Property Identification Number(s) for each parcel to which these guidelines will apply:

P.I.N. 1731482906 P.I.N. P.I.N. P.I.N.

What is your project type?
 Mixed Residential Apartment Eminent Facilities Hospital Hotels/Motels Office
 Duplex Non-Residential Condo School Shopping Center Banks Industrial Building
 Religious Institutions Residential Condo Retail Cottage Court
 Other: if other, please describe: _____

WORK SCOPE
Per City Code Section 10.2.8.D.1, summarize the project work scope. For additions, changes of use, or occupancy (per Chapter 6 of the UDO), indicate impacts on parking requirements.
Commercial development on 1.139 acre lot with associated parking, utility connections, stormwater management and landscaping.

DESIGN ADJUSTMENT OR ADMIN ALTERNATE
Per City Code Chapter 8, summarize if your project requires either a design adjustment, or Section 10 - Alternate Administrative AE.
Design adjustments DA-26-2018 & DA-48-2018 have been approved for this site.

CLIENT/DEVELOPER/OWNER
Company: L & P Associates, LLC Name (s): Lachman Pritmani
Address: 4001 New Bern Ave., Suite 102, Raleigh, NC 27610
Phone: 919-539-6730 Email: Cellularmax@aol.com Fax: n/a

CONSULTANT (Contact Person for Plans)
Company: John A. Edwards & Company Name (s): John A. Edwards, Jr.
Address: 333 Wade Ave., Raleigh, NC 27605
Phone: 919-828-4428 Email: johnny@jaeco.com Fax: 919-828-4711

DEVELOPMENT TYPE & SITE DATA TABLE (Applicable to all developments)

Zoning Information	Building Information
Zoning District(s): NX-3-CU	Proposed building use(s): Retail, Restaurant, Vehicle repair
If more than one district, provide the acreage of each:	Existing Building(s) sq. ft. gross: 0 SF
Overlay District:	Proposed Building(s) sq. ft. gross: 7,785 SF
Total Site Acres: Inside City Limits <input checked="" type="checkbox"/> Yes <input type="checkbox"/> No	Total sq. ft. gross (existing & proposed): 7,785 SF
Off street parking: Required 28 spaces Provided: 28 spaces	Proposed height of building(s): 31.44'
COA (Certificate of Appropriateness) case #:	# of stories: 1
BOA (Board of Adjustment) case #:	Ceiling height of 1 st floor: 14'-0"
CUO (Conditional Use District) case #:	2-44-04

Stormwater Information

Existing Impervious Surface: 0.08 AC/2617 SF acres/square feet	Flood Hazard Area <input type="checkbox"/> Yes <input checked="" type="checkbox"/> No
Proposed Impervious Surface: 0.54 AC/23,513 SF acres/square feet	If Yes, please provide:
Neuse River Buffer <input type="checkbox"/> Yes <input checked="" type="checkbox"/> No	Annual SOils FEMA Map Panel #
Wetlands <input type="checkbox"/> Yes <input checked="" type="checkbox"/> No	Flood Study

FOR RESIDENTIAL DEVELOPMENTS

1. Total # of Apartment, Condominium or Residential Units	5. Bedroom Units: 3br 3br 4br or more
2. Total # of Congregate Care Or Life Care Dwelling Units	6. Infill Development 2.2.7
3. Total Number of Hotel Units	7. Open Space (only) or Amenity
4. Overall Total # of Dwelling Units (1-6 Above)	8. Is your project a cottage court? <input type="checkbox"/> Yes <input checked="" type="checkbox"/> No

SIGNATURE BLOCK (Applicable to all developments)

In filing this plan as the property owner(s), I use do hereby agree and firmly bind ourselves, my/our heirs, executors, administrators, successors and assigns jointly and severally to construct all improvements as shown on this proposed development plan as approved by the City.

I hereby designate: John A. Edwards, Jr., P.E. to serve as my agent regarding this application, to receive and respond to administrative comments, to resubmit plans on my behalf and to represent me in any public meeting regarding this application.

I/We have read, acknowledge and affirm that this project is conforming to all application requirements applicable with the proposed development plan.

Signed: Lachman Pritmani Date: 9/11/18
Printed Name: LACHMAN PRITMANI
Signed: _____ Date: _____
Printed Name: _____

SHEET INDEX

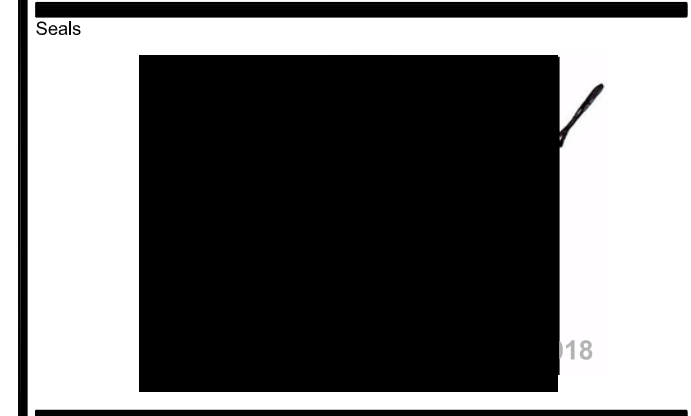
C-1.0	OVERALL EXISTING CONDITIONS
C-2.0	SITE PLAN
C-3.0	UTILITY PLAN
C-4.0	GRADING AND STORMWATER PLAN
C-5.0	PLANTING PLAN
A-3.01	BUILDING ELEVATIONS



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Project

**MARKETS at
ROCK QUARRY
LOT 3**

6220 BATTLE BRIDGE ROAD
RALEIGH, NORTH CAROLINA

Client

L & P ASSOCIATES
4001 NEW BERN AVE.
RALEIGH, NORTH CAROLINA

Approvals

- LEGEND**
- BM BOOK OF MAPS
 - DB DEED BOOK
 - PG PAGE
 - R/W RIGHT-OF-WAY
 - AC ACREAGE
 - S.F. SQUARE FEET
 - EIP EXISTING IRON PIPE
 - IPS IRON PIPE SET
 - N/F NOW OR FORMERLY
 - ELEV. ELEVATION
 - EX EXISTING
 - RCP REINFORCED CONCRETE PIPE
 - EOP EDGE OF PAVEMENT
 - CB CATCH BASIN
 - DI DROP INLET
 - JB JUNCTION BOX
 - HW HEADWALL
 - FES FLARED END SECTION
 - SS SANITARY SEWER
 - PVC POLYVINYL CHLORIDE PIPE
 - MH MANHOLE
 - WL WATER LINE
 - WM WATER METER
 - WS WATER SERVICE
 - FH FIRE HYDRANT
 - BO BLOWOFF
 - FDC FIRE DEPARTMENT CONNECTION
 - TC TOP OF CURB
 - BC BOTTOM OF CURB

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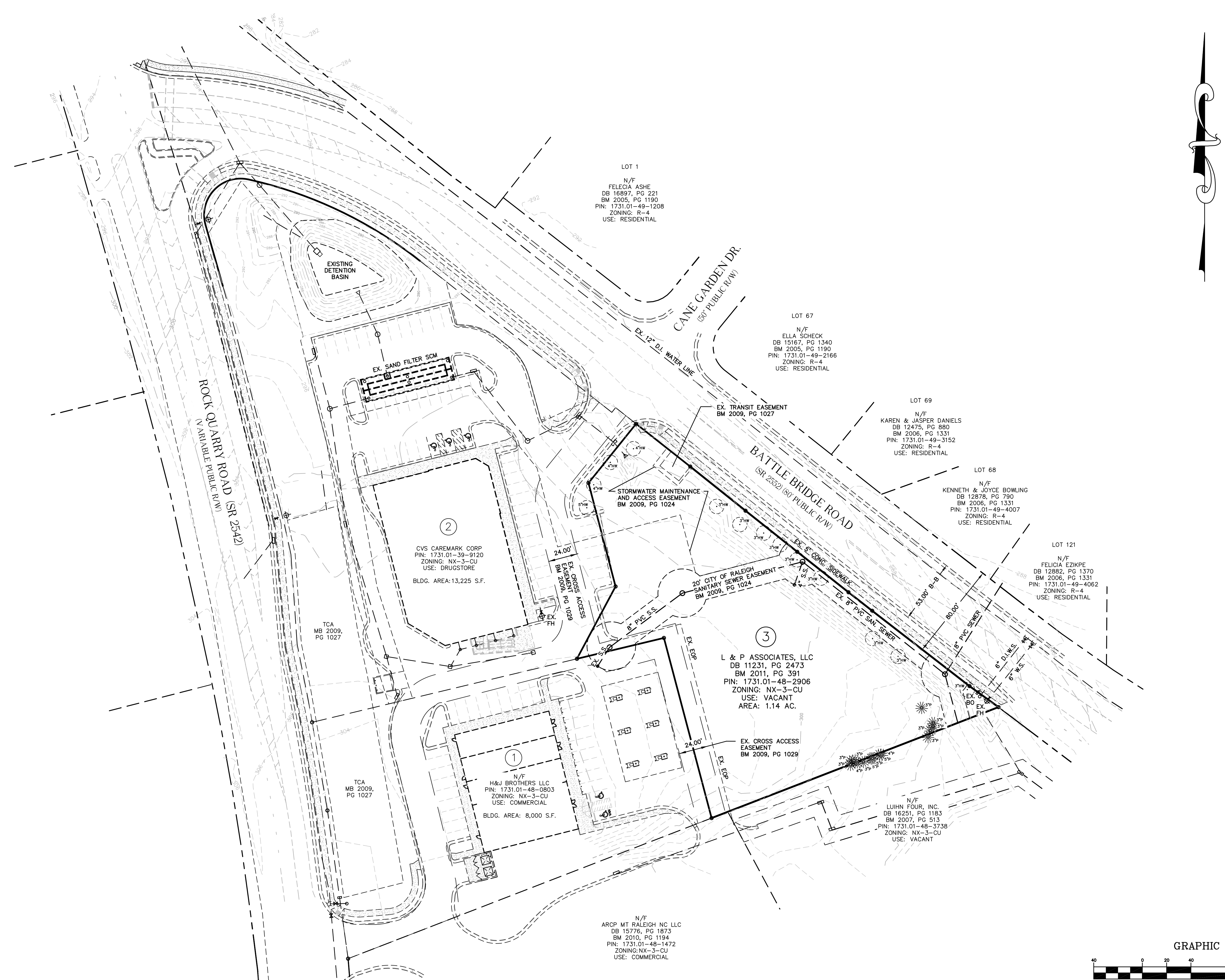
**OVERALL EXISTING
CONDITIONS**

Revisions

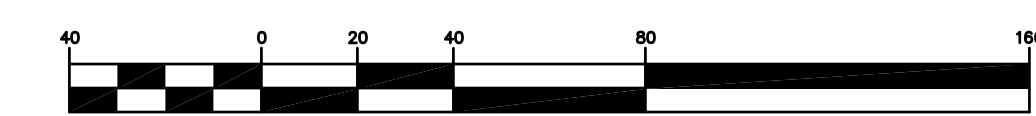
Number	Description	Date
1	PER CITY OF RALEIGH COMMENTS	10/18/18

Drawing Scale 1"=40'
Drawn By RT
Checked By JAE, JR.
Date Issued 9/19/18

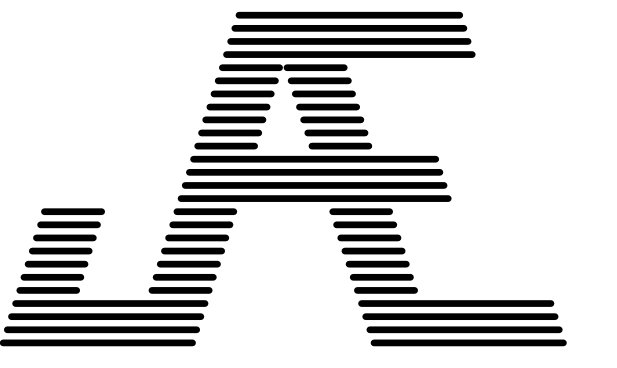
C-1.0



GRAPHIC SCALE



(IN FEET)
1 inch = 40 ft.



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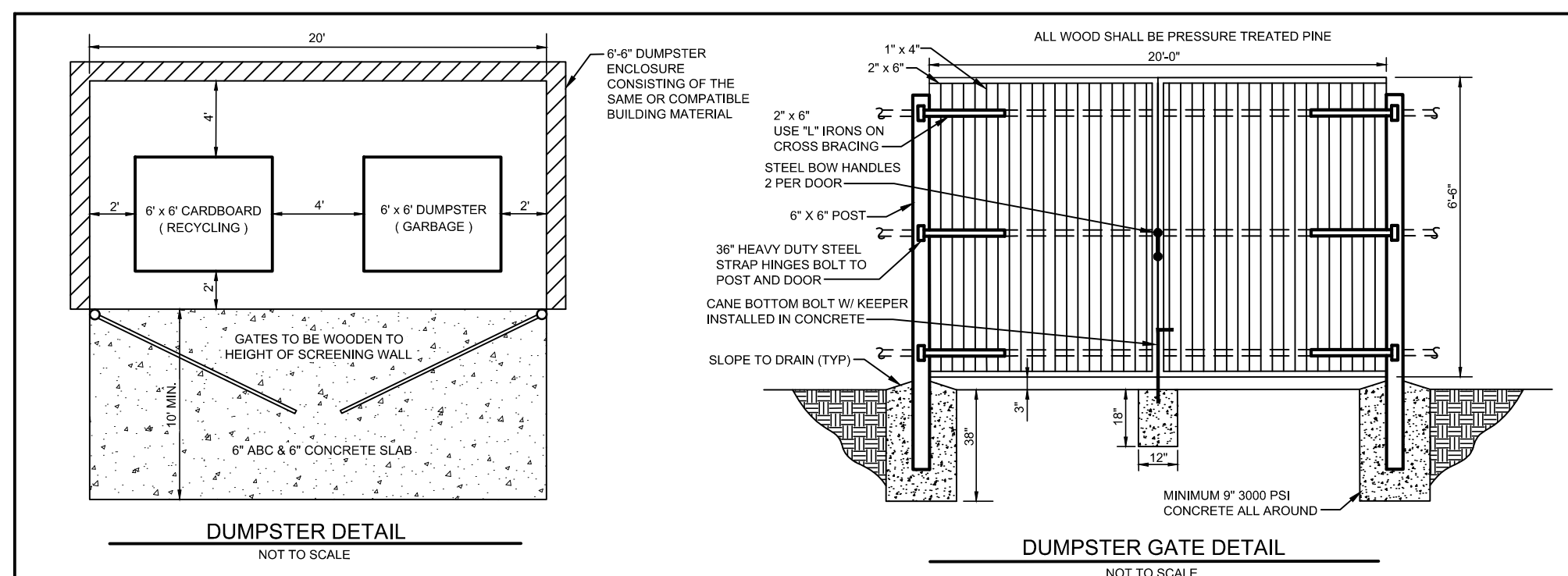
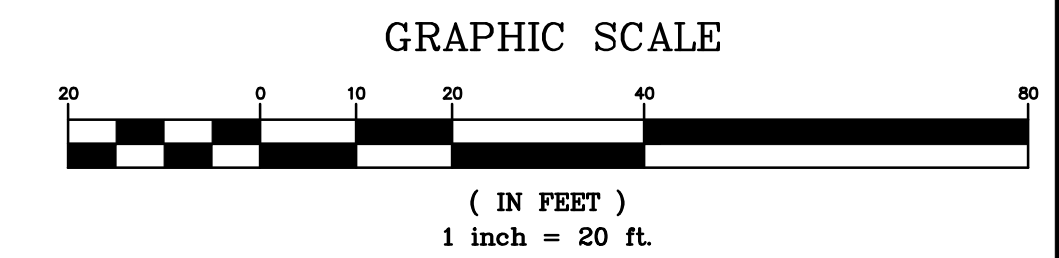
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4001 NEW BERN AVE.
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LEGEND

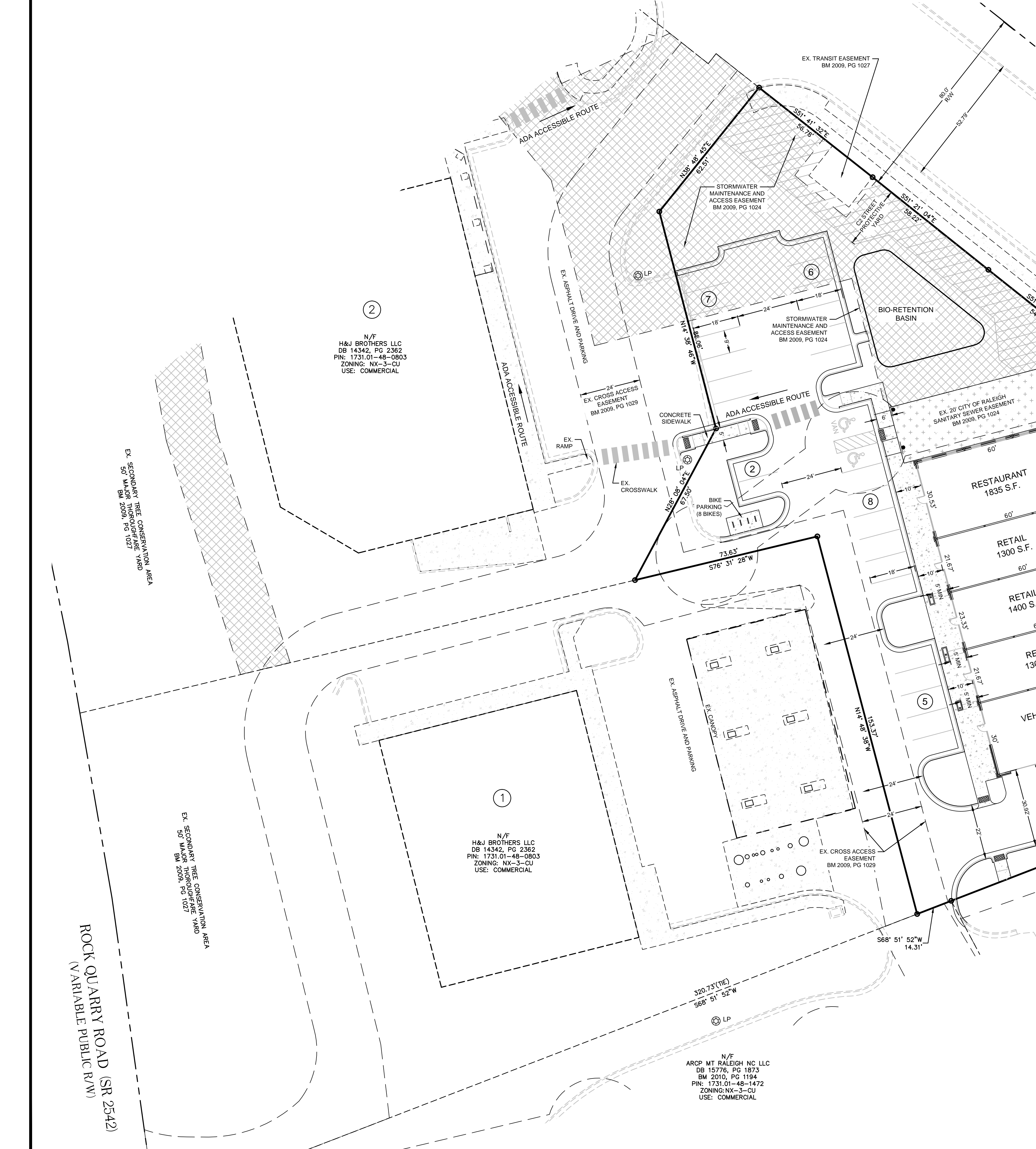
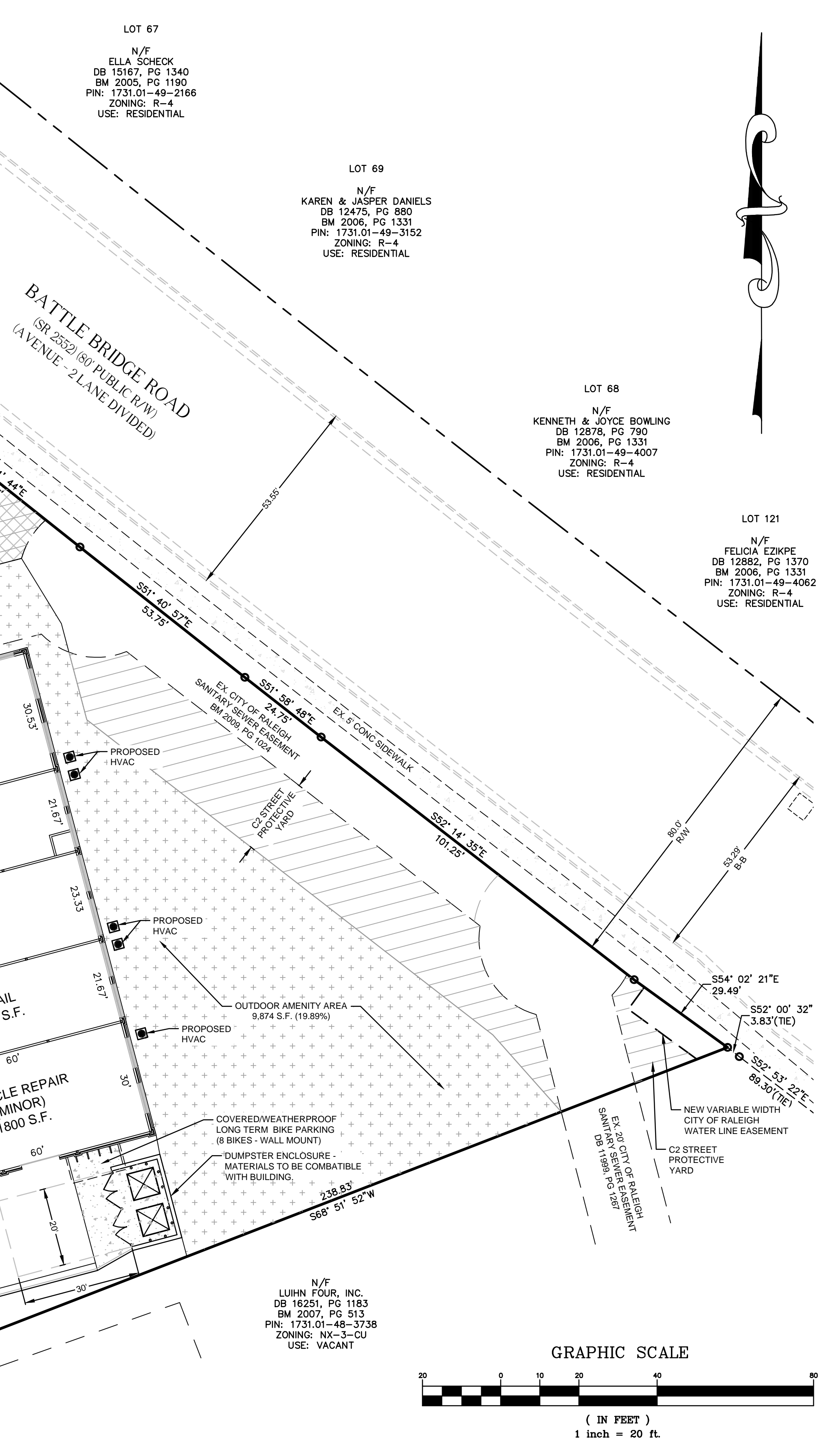
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Revisions

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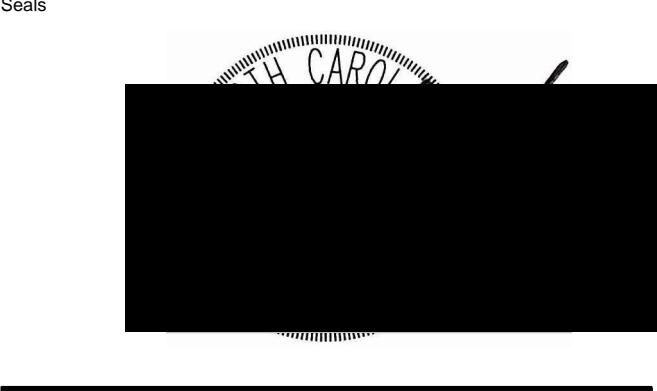


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 - - - - - EASEMENT LINE

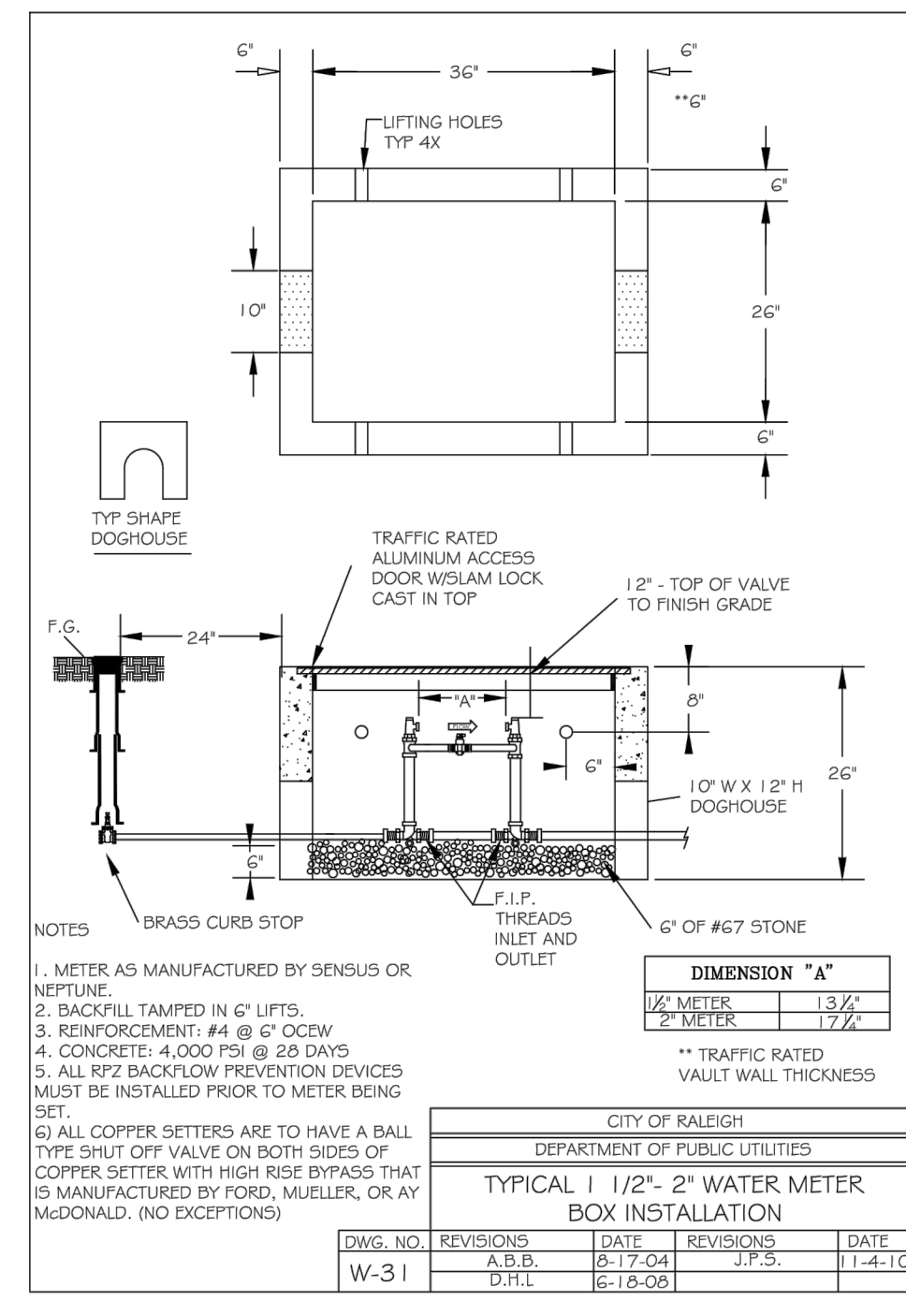
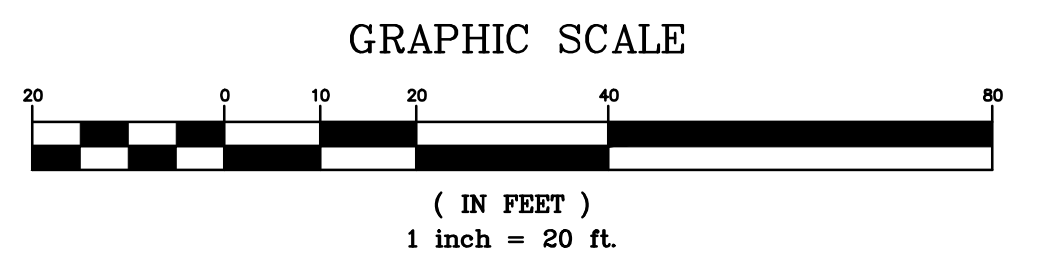
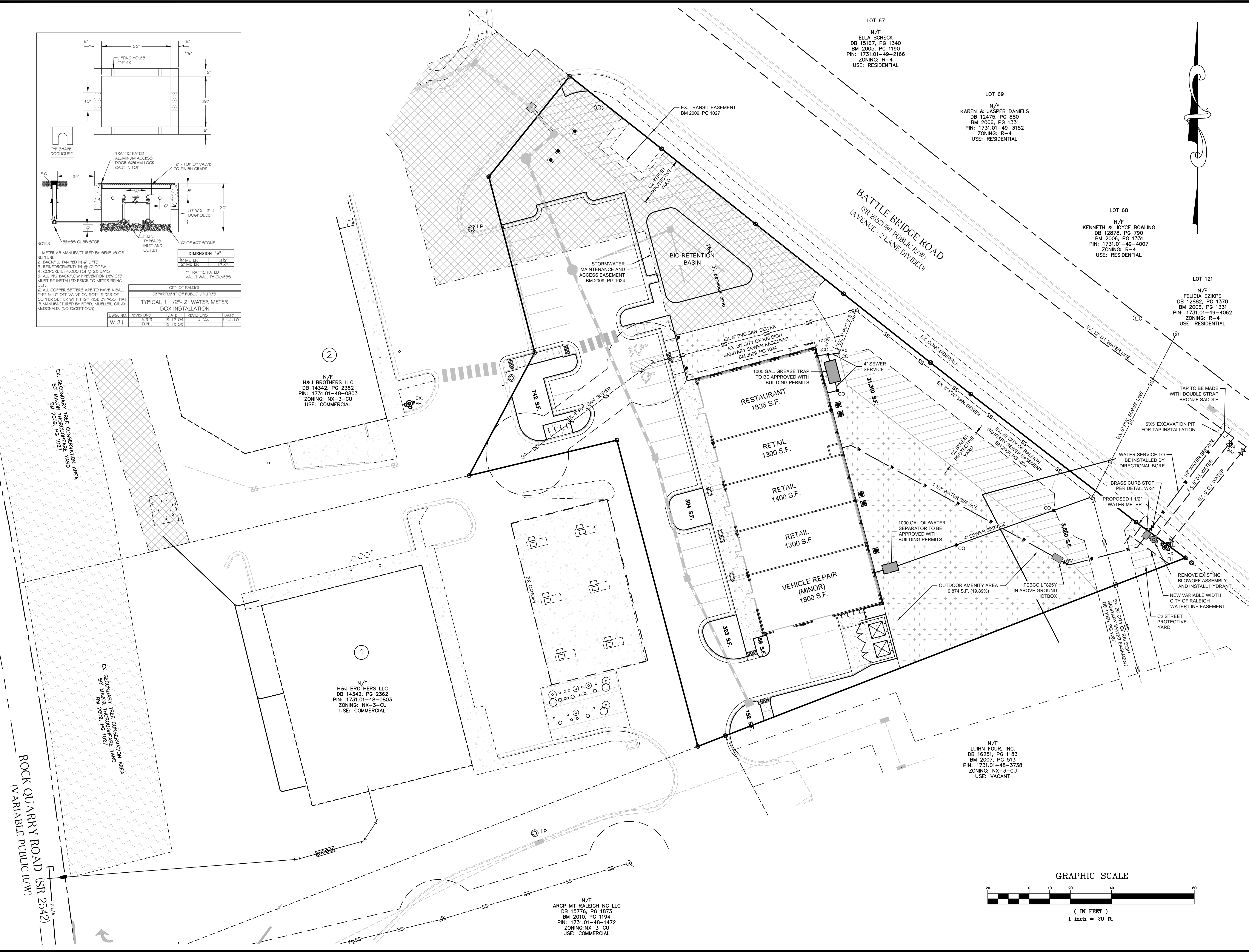
■ CB ■ DI ▲ FLARED END ● JB

UTILITY PLAN

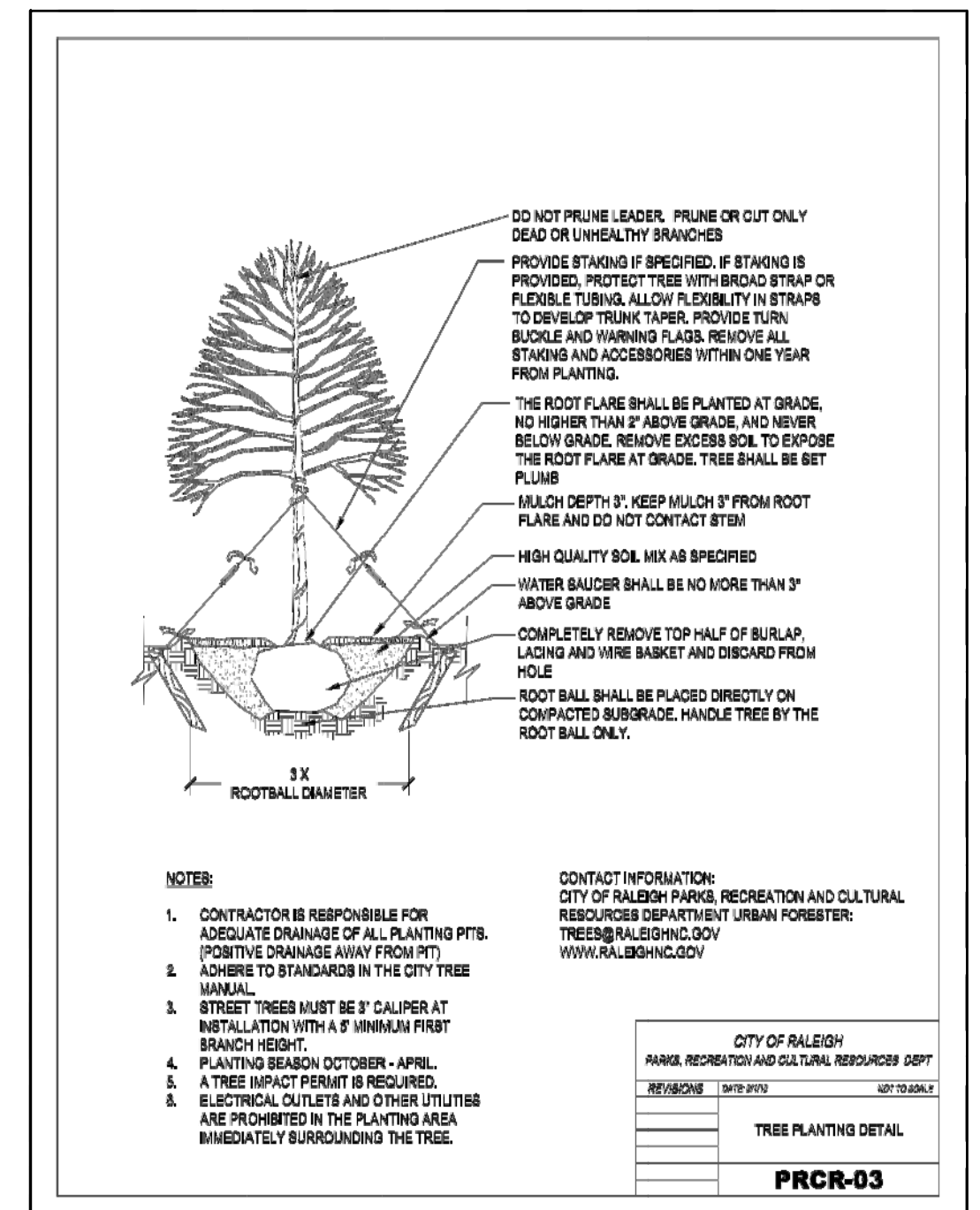
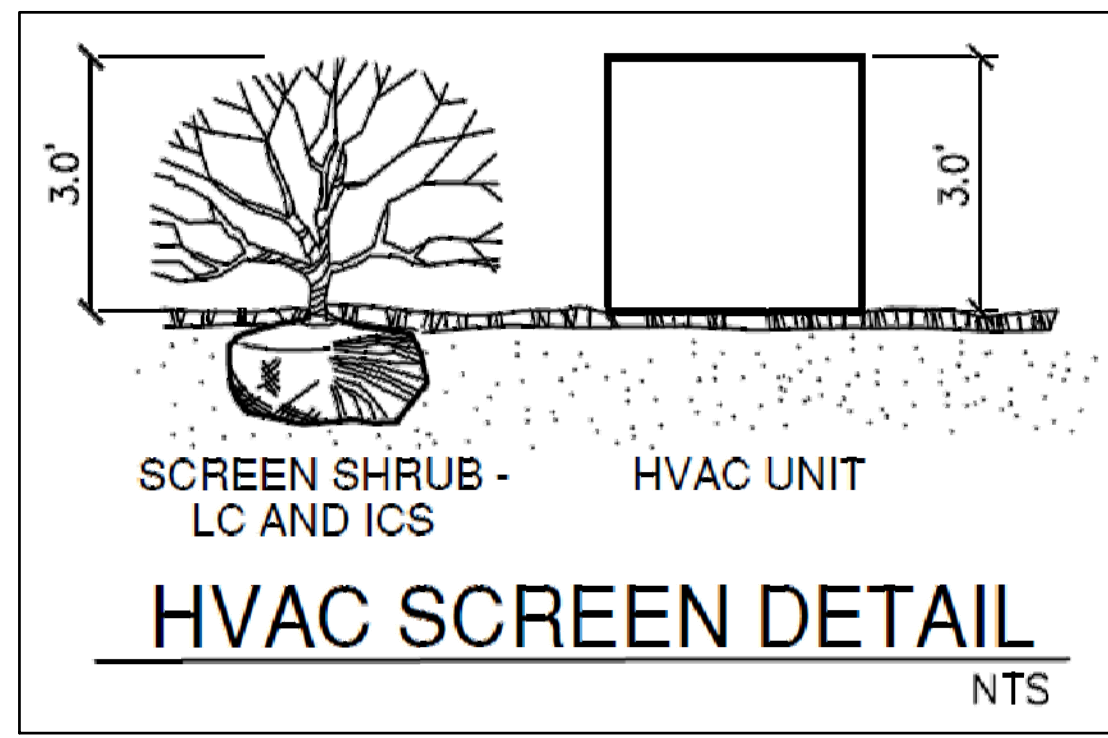
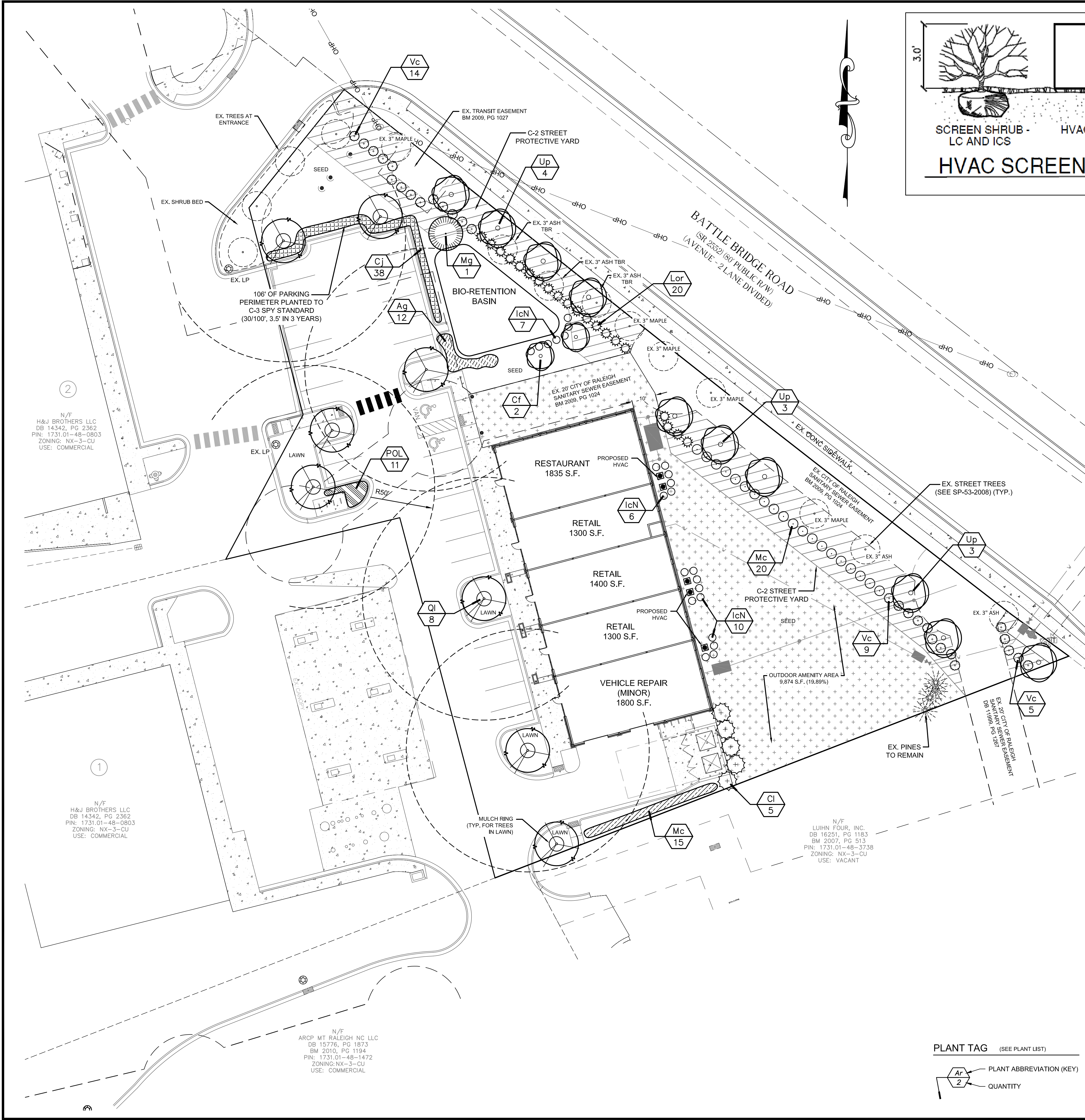
Revisions

Number	Description	Date
1	PER CITY OF RALEIGH COMMENTS	10/18/18

Drawing Scale 1"=20'
 Drawn By RT
 Checked By JAE, JR.
 Date Issued 9/19/18



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PLANT LIST

KEY	QUAN.	BOTANICAL NAME	COMMON NAME	MIN. CAL.	MIN. HT.	REMARKS
TREES						
Ql	8	Quercus lyrata	Overcup Oak	3"	10'	VSA
Up	10	Ulmus parvifolia	Lacebark Elm	3"	10'	C2 SPY
UNDERSTORY / SCREENING TREES						
Cf	2	Cornus florida 'Cherokee Princess'	Cherokee Princess Dogwood		6'	
Cl	5	Cupressocyparis leylandii	Leyland Cypress		4'	
Mg	1	Magnolia grandiflora 'Little Gem'	Little Gem Magnolia	1.5"	6'	
SHRUBS						
Ag	12	Abelia x grandiflora	Glossy Abelia	24"	3' oc	
Cj	38	Cleyera japonica	Cleyera	24"	3' oc, VSA, C3 SPY	
IcN	23	Ilex cornuta 'Needlepoint'	Needlepoint Holly	36"	4' oc, HVAC	
Lor	20	Loropetalum 'Carolina Midnight'	Car. Midnight Loropetalum	36"	5' oc, C2 SPY	
Mc	15	Myrica cerifera	Wax Myrtle	24"	4' oc	
Mc	20	Myrica cerifera	Wax Myrtle	36"	5' oc, C2 SPY	
POL	11	Prunus l. 'Otto Luyken'	Otto Luyken Laurel	18"	3' oc	
Vc	28	Viburnum awabuki 'Chindo'	Chindo Viburnum	36"	5' oc, C2 SPY	

LANDSCAPE CALCULATIONS

VEHICULAR SURFACE AREA (VSA)

VEHICULAR SURFACE AREA:	12,057 SF
TREES REQUIRED:	6.03 (1 / 2000 SF)
TREES PROVIDED:	8

TREE CONSERVATION AREAS

SEE SP-53-2008 FOR PREVIOUSLY APPROVED TREE CONSERVATION AREAS.

STREET PROTECTIVE YARD (SPY): TYPE C2

BATTLE BRIDGE ROAD FRONTAGE: 379'

TREES REQUIRED (4/100):	15
TREES PROVIDED:	15 (6 EXISTING)

SHRUBS REQUIRED (15/100):	57
SHRUBS PROVIDED:	64

STREET PROTECTIVE YARD (SPY): TYPE C3

PARKING PERIMETER ADJACENT TO R/W - 106 LF

SHRUBS REQUIRED:	31.8 (30 / 100 SF)
SHRUBS PROVIDED:	38

TRANSITIONAL PROTECTIVE YARD

NO TRANSITIONAL PROTECTIVE YARD REQUIRED. ADJACENT LAND USES ARE COMPATIBLE.

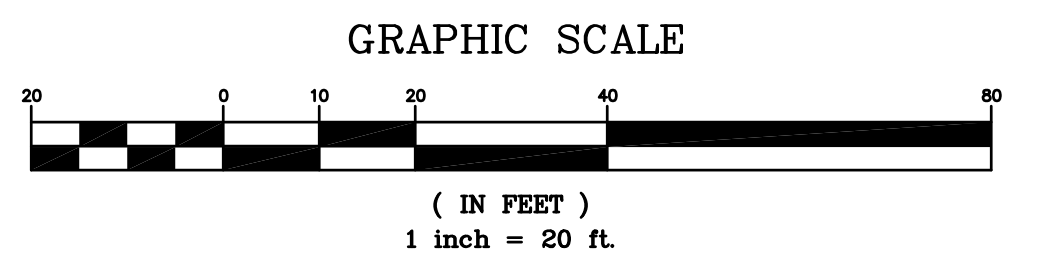
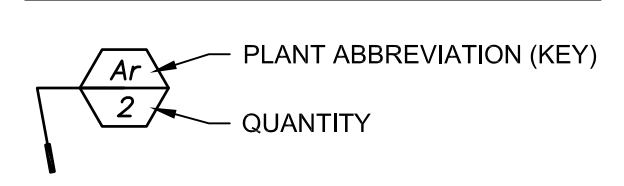
NOTES

- ANY TREES IN THE SIGHT DISTANCE TRIANGLES SHALL BE LIMBED UP TO A HEIGHT OF 8'.

REFERENCE

SP-53-2008
SR-10-18

PLANT TAG (SEE PLANT LIST)



JOHN A. EDWARDS & COMPANY
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www.jaeco.com

MARKETS at ROCK QUARRY LOT 3

6220 BATTLE BRIDGE ROAD
RALEIGH, NORTH CAROLINA

L & P ASSOCIATES
4001 NEW BERN AVE.
RALEIGH, NORTH CAROLINA

LEGEND

- BM BOOK OF MAPS
- DB DEED BOOK
- PA PAGE
- R/W RIGHT-OF-WAY
- AC ACREAGE
- S.F. SQUARE FEET
- EX.P EXISTING IRON PIPE
- IP IRON PIPE SET
- N/F NOW OR FORMERLY
- ELEV. ELEVATION
- EX EXISTING
- RCP REINFORCED CONCRETE PIPE
- EOP EDGE OF PAVEMENT
- CS CATCH BASIN
- DI DROP INLET
- JB JUNCTION BOX
- HW HEADWALL
- FES FLARED END SECTION
- SS SANITARY SEWER
- PVC POLYVINYL CHLORIDE PIPE
- MH MANHOLE
- WL WATER LINE
- WM WATER METER
- WS WATER SERVICE
- FH FIRE HYDRANT
- BO BLOWOFF
- FDC FIRE DEPARTMENT CONNECTION
- TC TOP OF CURB
- BC BOTTOM OF CURB
- SPY STREET PROTECTIVE YARD
- VSA VEHICULAR SURFACE AREA

— PROPERTY LINE
- - - RIGHT OF WAY LINE
- - - PROP. LINE NOT SURVEYED
- - - EASEMENT LINE

■ CB ■ DI ▲ FLARED END ● JB
⊙ CONC. LP

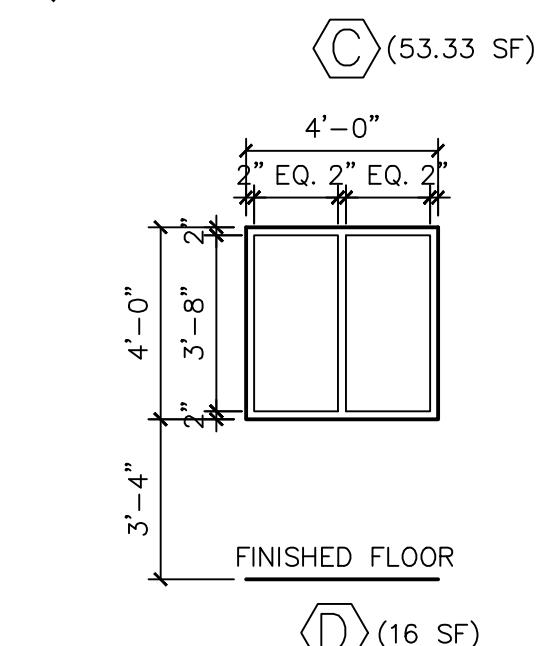
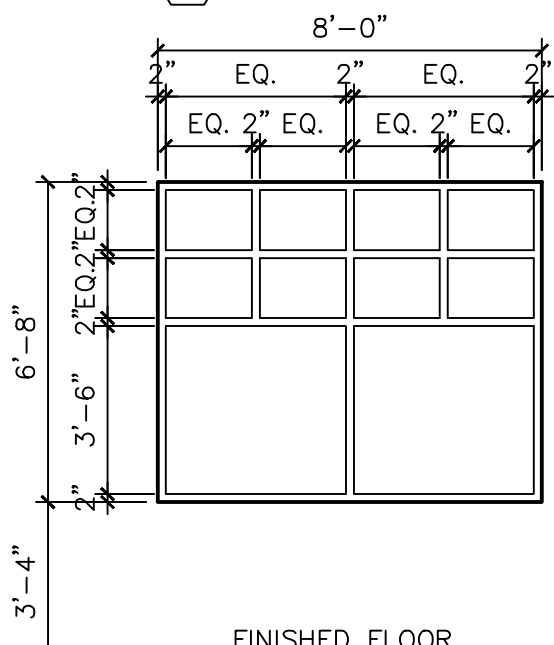
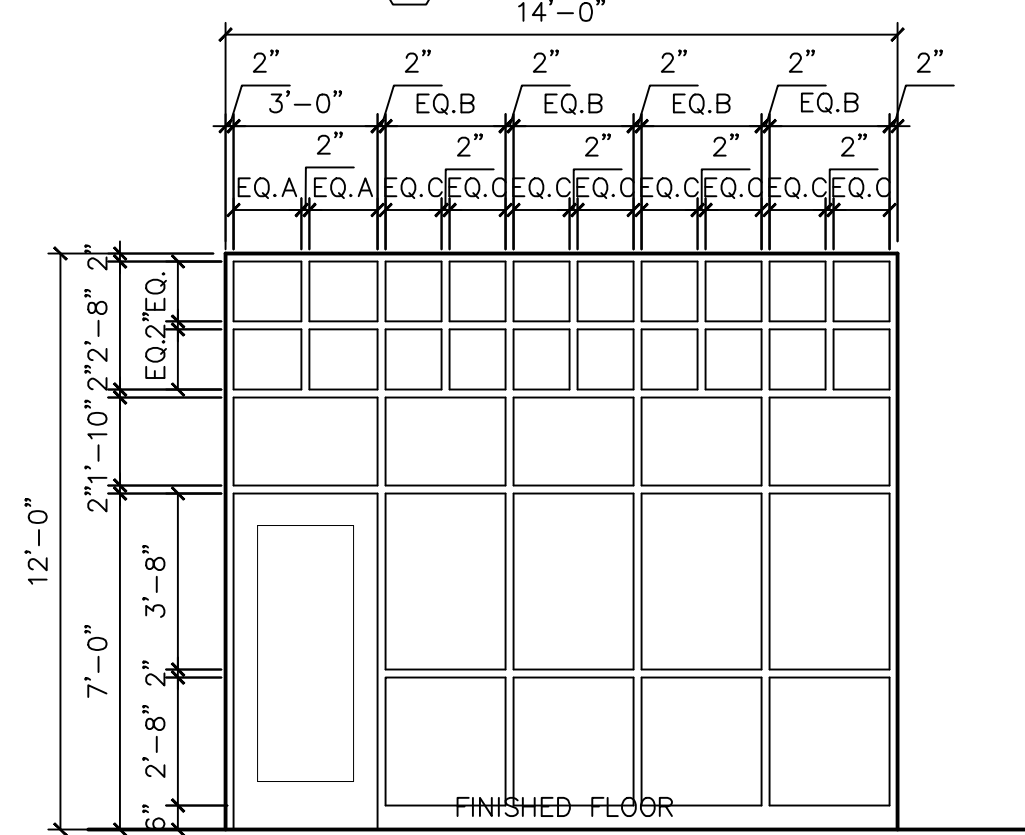
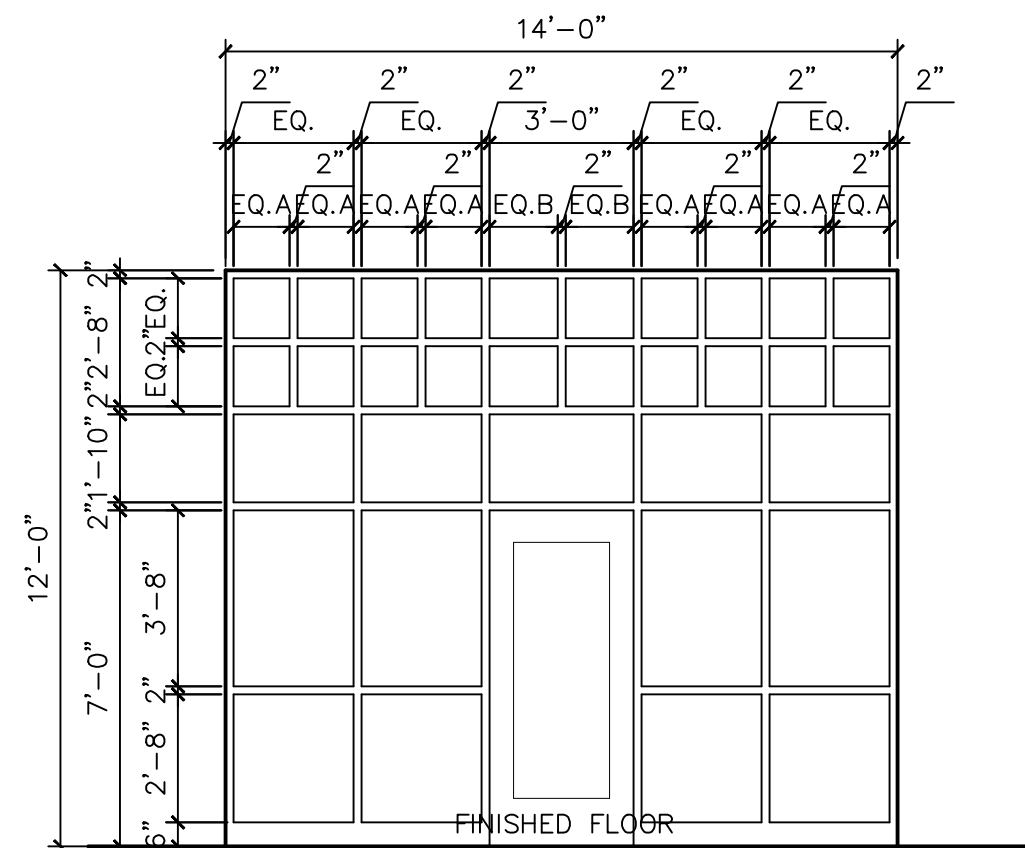
PLANTING PLAN

Revisions

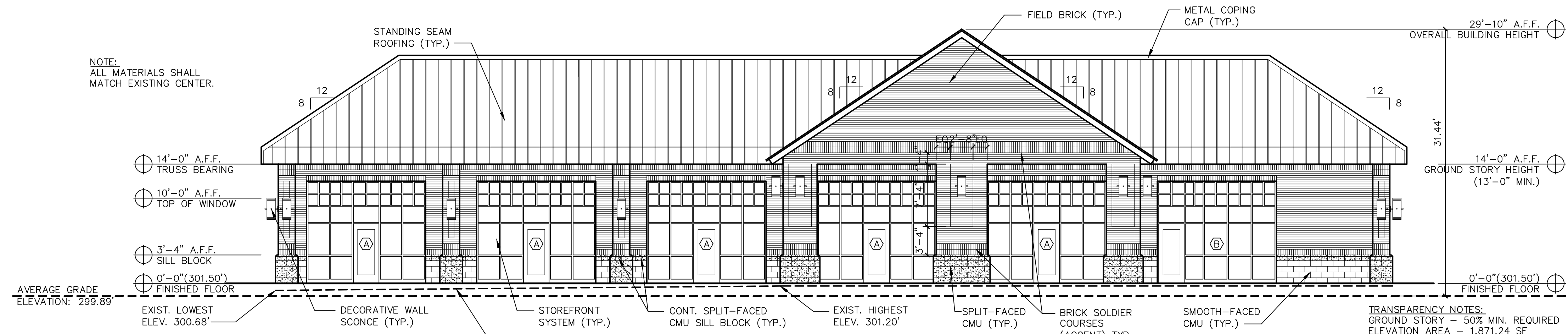
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C-5.0



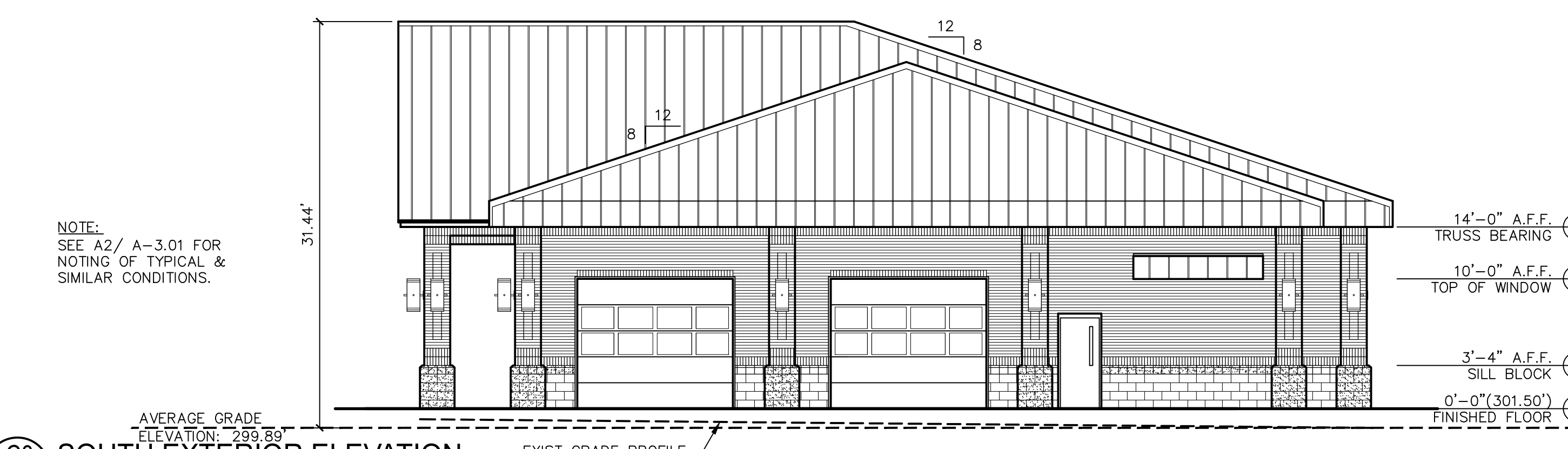
C1 STOREFRONT ELEVATIONS
A-3.01 SCALE: 1/4"=1'-0"



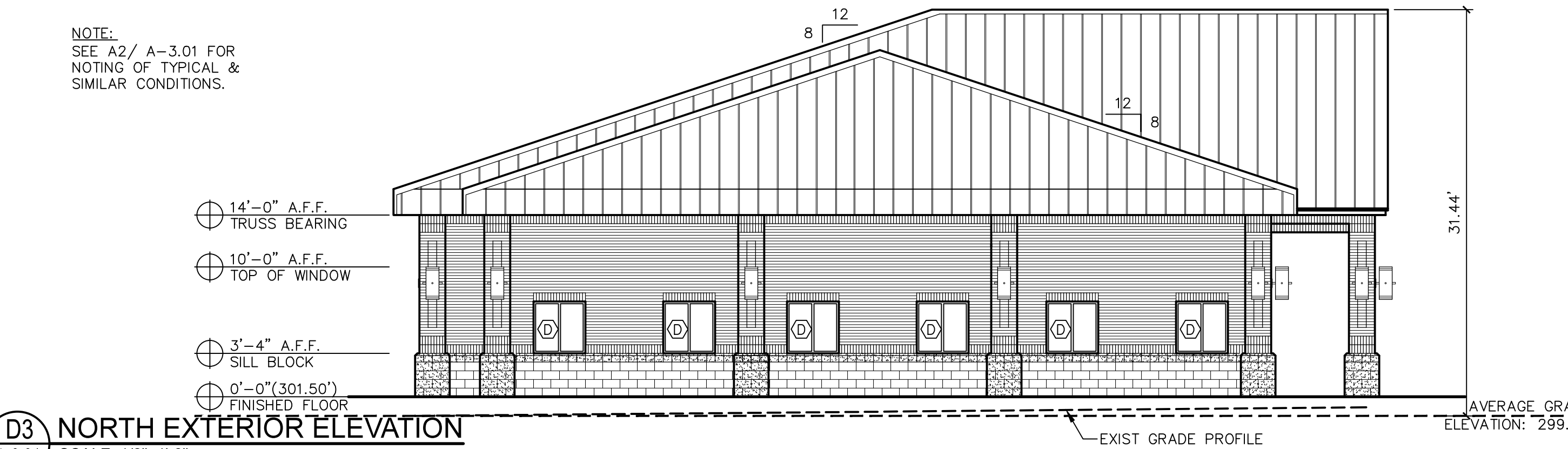
A2 WEST EXTERIOR ELEVATION
A-3.01 SCALE: 1/8"=1'-0"



B2 EAST EXTERIOR ELEVATION (BATTLE BRIDGE ROAD)
A-3.01 SCALE: 1/8"=1'-0"



C3 SOUTH EXTERIOR ELEVATION
A-3.01 SCALE: 1/8"=1'-0"



D3 NORTH EXTERIOR ELEVATION
A-3.01 SCALE: 1/8"=1'-0"

AVERAGE GRADE CALCULATION
PER SECTION 1.5.7 OF THE UDO, BUILDING HEIGHT IS MEASURED FROM THE AVERAGE GRADE TO THE TOP OF THE HIGHEST POINT OF A PITCHED OR FLAT ROOF EXCLUDING THE PARAPET.
AVERAGE GRADE IS DETERMINED BY CALCULATING THE AVERAGE OF THE HIGHEST AND LOWEST ELEVATION ALONG PRE-DEVELOPMENT GRADE OR IMPROVED GRADE (WHICHEVER IS MOST RESTRICTIVE) ALONG EACH BUILDING ELEVATION AND AVERAGING ALL ELEVATIONS.

	EXISTING ELEVATIONS			PROPOSED ELEVATIONS		
	HIGHEST	LOWEST	AVERAGE	HIGHEST	LOWEST	AVERAGE
FRONT PLANE	300.31	297.88	299.10	301.50	301.50	301.50
REAR PLANE	301.20	300.68	300.94	301.50	301.50	301.50
LEFT PLANE	301.12	299.33	300.23	301.50	301.50	301.50
RIGHT PLANE	300.68	297.88	299.28	301.50	301.50	301.50
AVERAGE OF WALL PLANES			299.89			301.50

THE AVERAGE GRADE CALCULATION FOR THE EXISTING CONDITIONS IS MORE RESTRICTIVE THAN THE PROPOSED CONDITIONS, THEREFORE THE BUILDING HEIGHT IS TO BE MEASURED FROM THE AVERAGE GRADE OF THE EXISTING CONDITIONS

NOTE:
SEE A2/ A-3.01 FOR NOTING OF TYPICAL & SIMILAR CONDITIONS.