



Administrative Approval Action

Case File / Name: ASR-SR-90-2018
Brier Creek Town Center Westin

City of Raleigh
Development Services Department
One Exchange Plaza
Raleigh, NC 27602
(919) 996-2492
currentplanning@raleighnc.gov
www.raleighnc.gov

- LOCATION:** This site is located on the south side of Macaw Street between Brier Creek Parkway and Arco Corporate Drive at 3931 Macaw Street. The tract is zoned PD (MP-2-17) and a portion is within the SHOD-2 district. This site is comprised of portions of two lots and is to be recombined.
- REQUEST:** This is a revision to a site plan previously approved on January 30, 2019 (SR-90-2018) involving the development of a hotel on a 4.78 acre site within a 37.89 acre Planned Development. The original approval (AA# 3923, #569715) allowed for a 228 unit, 190,668 square foot hotel including retail and restaurants. This revised plan (AA# 4027) allows for a 236 room, 200,228 square foot hotel including retail and restaurants. The sunset date for this plan is unchanged.
- DESIGN ADJUSTMENT(S)/ ALTERNATES, ETC:** RCMP-0085-2019: DSLC - Recorded Maps/Boundary Survey - Major
SPR-0212-2019: DSLC - Site Permitting Review/Major [Signature Set]
- FINDINGS:** City Administration finds that this request, with the below conditions of approval being met, conforms to the Unified Development Ordinance. This approval is based on a preliminary plan dated October 25, 2019 by McAdams.

CONDITIONS OF APPROVAL and NEXT STEPS:

This document must be applied to the second sheet of all future submittals except for final plats. This is a preliminary plan and as such no permits have been issued with this approval. To obtain permits and/or completion of the project, the following steps are required:

SITE PERMITTING REVIEW - For land disturbance of 12,000 square feet or greater, public or private infrastructure, shared stormwater devices, etc. Site Permitting Review may be submitted upon receipt of this signed approval document.

The following items are required prior to approval of Site Permitting Review plans:

Engineering

1. A right-of-way obstruction permit must be obtained from Right-of-way Services prior to the commencement of any construction activities within the right-of-way.

Public Utilities

2. To facilitate the efficient and adequate provision of the water and sewage system, every subdivision and site plan shall be subject to a determination of the sufficiency of the infrastructure as defined in section 8.2.1(B) and 8.2.1C of the UDO. The Engineer shall provide certification that the proposed project or site shall not have a greater than 50% pipe capacity during periods of peak flow. Please refer to the Departmental Operating Instruction (DOI) for details on requirements (pipe segment 10 must be upsized or slopes modified in order to bring the proposed flow within permissible range)

Stormwater



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3. A stormwater control plan with a stormwater operations and maintenance manual and budget shall be approved (UDO 9.2).
4. A surety equal to of the cost of clearing, grubbing and reseeding a site, shall be paid to the City (UDO 9.4.4).
5. The State of North Carolina shall approve any proposed disturbance within the riparian buffer prior to the issuance of any grading or site permit (UDO 9.2.3.E).

Urban Forestry

6. Tree protection fence must be inspected by Urban Forestry staff prior to the issuance of a grading permit.

RECORDED MAP(S) - Submit plat to record new property lines, easements, tree conservation areas, etc.). Plats may be submitted for review when the Site Permitting Review plans, if required, have been deemed ready for mylar signature.

The following items must be approved prior to recording the plat:

Engineering

1. The area shown as "NEW VARIABLE WIDTH PUBLIC ACCESS EASEMENT" will need to be recorded to match what is shown on the site plan of SR-90-2018.

Public Utilities

2. Infrastructure Construction Plans (concurrent submittal) must be approved by the City of Raleigh Public Utilities Department for all public water, public sewer and/or private sewer extensions.

Stormwater

3. A payment equal to twenty-four percent (24%) of the estimated cost of constructing all stormwater control facilities shown on the development plans shall be paid by the developer to the City stormwater facility replacement fund (UDO 9.2.2.G.3).
4. The maximum allocated impervious area for all applicable lots in the subdivision should be identified on all maps for recording.
5. The flood prone areas, as approved by the City Stormwater Engineer and shown on the preliminary plan, shall be shown on the recorded map (UDO 9.3.3.G).
6. A surety equal to 125% of the cost of the construction of a stormwater device shall be paid to the Engineering Services Department (UDO 9.2.2.D.1.d).
7. The riparian buffers, in accordance with the preliminary plan and the State of North Carolina regulations, shall be shown on plats for recording along with required buffer statement (Recorded Map Checklist).



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8. The City form document entitled Declaration of Maintenance Covenant and Grant of Protection Easement for Stormwater Control Facilities shall be approved by the City and recorded with the county register of deeds office (UDO 9.2.2.G).
9. All stormwater control measures and means of transporting stormwater runoff to and from any nitrogen and stormwater runoff control measures shall be shown on all plats for recording as private drainage easements (UDO 9.2).

BUILDING PERMITS - For buildings and structures shown on the approved plans. Commercial building permit plans must include the signed, approved Site Permitting Review plans attached, if applicable. Permit sets may be reviewed prior to the recordation of required plats, but cannot be approved.

The following items must be approved prior to the issuance of building permits:

General

1. A recombination map shall be recorded prior to or in conjunction with the recording of lots, recombining the existing lot into a single tract.

Public Utilities

2. A plat must be recorded at the Wake County Register of Deeds office for all utility easement dedications.

The following are required prior to issuance of building occupancy permit:

General

1. All Water, Sanitary Sewer and Reuse facilities shall be installed, inspected, tested and accepted by the City of Raleigh Public Utilities Department for operations and maintenance.
2. All street lights and street signs required as part of the development approval are installed.
3. Required public right-of-way infrastructure improvements shall be, at a minimum, sufficiently completed to provide the necessary, safe emergency and vehicular access.
4. Copies of certified inspection reports for alleys and internal access ways are submitted to the City of Raleigh Development Services – Development Engineering program.

Stormwater

5. As-built drawings and associated forms for all Stormwater devices are accepted by the Engineering Services Department (UDO 9.2.2.D.3).

Urban Forestry



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- 6. Final inspection of all adjacent tree conservation areas by Urban Forestry Staff.

EXPIRATION DATES: The expiration provisions of UDO Section 10.2.8 E, including the ability to request extensions in the expiration date, apply to this site plan. If significant construction has not taken place on a project after administrative site review approval, that approval may expire and be declared void, requiring re-approval before permits may be issued. To avoid allowing this plan approval to expire the following must take place by the following dates:

3-Year Expiration Date: January 30, 2022

Obtain a valid building permit for the total area of the project, or a phase of the project.

4-Year Completion Date:

Within four years after issuance of the first building permit for the site plan, the construction of the entire site plan must be completed unless an applicant has been granted vested rights. Failure to complete construction within this specified time frame shall automatically void the approved site plan for which no building permits have been issued.

I hereby certify this administrative decision.

Signed: _____

Development Services Dir/Designee

Staff Coordinator: **Michael Walters**

Date: 12/11/2019

Revised Plan

BRIER CREEK TOWN CENTER WESTIN HOTEL

ADMINISTRATIVE SITE REVIEW FOR:
BC WESTIN
RALEIGH, NORTH CAROLINA
PROJECT NUMBER: CMH-16000

ADMINISTRATIVE SITE REVIEW

3931 MACAW STREET

RALEIGH, NORTH CAROLINA

PROJECT NUMBER: CMH-16000

RALEIGH CASE NUMBER: SR-90-18 (APPROVED 1/7/2019)

ASR REVISION CASE #: - - -

DATE: OCTOBER 25, 2019

OWNER:
CMC CORPORATION
5640 DILLARD DRIVE, SUITE 300
CARY, NORTH CAROLINA 27518
CONTACT: SHAHN CHHABRA
PHONE: 919-427-1691
shahn.chhabra@cmchotels.com

SHEET INDEX

| | |
|-------|---------------------------------|
| C-1 | EXISTING CONDITIONS |
| C-2 | PROJECT NOTES |
| C-3 | DEMOLITION PLAN |
| C-4 | OVERALL SITE PLAN |
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RIGHT-OF-WAY OBSTRUCTION NOTES

- LANE AND SIDEWALK CLOSURES OR DETOURS: PRIOR TO ANY LANE OR SIDEWALK OBSTRUCTION, THE CONTRACTOR OR ENGINEER SHALL SUBMIT A TRAFFIC CONTROL AND/OR PEDESTRIAN PLAN ALONG WITH A RIGHT-OF-WAY SERVICES APPLICATION TO REQUEST THE OBSTRUCTION PRIOR TO THE START OF WORK.
- THE CITY OF RALEIGH REQUIRES AN APPROVED RIGHT-OF-WAY OBSTRUCTION PERMIT FOR WORK ON ANY PUBLIC STREET OR SIDEWALK AND NCDOT ROAD WITHIN RALEIGH'S JURISDICTION.
- ALL TRAFFIC CONTROL SIGNAGE AND PRACTICES SHALL ADHERE TO THE MANUAL ON UNIFORM TRAFFIC CONTROL, AND THE LATEST EDITION OF THE NCDOT "STANDARD SPECIFICATION FOR ROADWAY STRUCTURES", NCDOT "ROADWAY STANDARD DRAWING MANUAL", AND THE NCDOT SUPPLEMENT TO THE MUTCD.
- ALL PUBLIC SIDEWALKS MUST BE ACCESSIBLE TO PEDESTRIANS WHO ARE VISUALLY IMPAIRED AND/OR PEOPLE WITH MOBILITY CONCERNS. EXISTING AND ALTERNATIVE PEDESTRIAN ROUTES DURING CONSTRUCTION SHALL BE REQUIRED TO BE COMPLIANT WITH THE PUBLIC RIGHTS OF WAY ACCESSIBILITY GUIDELINES (PROWAG), THE ADA STANDARDS FOR ACCESSIBILITY DESIGN AND THE MANUAL ON UNIFORM TRAFFIC CONTROL DEVICES (MUTCD).
- PRIOR TO THE START OF WORK, THE CLIENT SHALL SCHEDULE A PRE-CONSTRUCTION MEETING WITH THE ENGINEERING INSPECTIONS COORDINATOR TO REVIEW THE SPECIFIC COMPONENTS OF THE APPROVED PLAN, AND ENSURE ALL PERMITS ARE ISSUED.
- ALL PERMITS MUST BE AVAILABLE AND VISIBLE ON SITE DURING THE OPERATION.

NOTES:

- DEVELOPMENT AND DESIGN SHALL BE IN ACCORDANCE WITH THE CONDITIONS LISTED IN THE BRIER CREEK TOWN CENTER PD/MASTER PLAN APPROVED SEPTEMBER 4, 2018. REZONING CASE #Z-15-17, MASTER PLAN CASE #MP-2-17.
- PER SECTION 7A OF #MP-2-17, BASE DISTRICT IS CX.



Know what's below.
Call before you dig.

CONTRACTOR SHALL NOTIFY "NC811" (811) OR (1-800-632-4949) AT LEAST 3 FULL BUSINESS DAYS PRIOR TO BEGINNING CONSTRUCTION OR EXCAVATION TO HAVE EXISTING UTILITIES LOCATED. CONTRACTOR SHALL CONTACT ANY LOCAL UTILITIES THAT PROVIDE THEIR OWN LOCATOR SERVICES INDEPENDENT OF "NC811". REPORT ANY DISCREPANCIES TO THE ENGINEER IMMEDIATELY.

ALL CONSTRUCTION SHALL CONFORM WITH THE LATEST VERSION OF THE CITY OF RALEIGH AND NCDOT STANDARDS, SPECIFICATIONS AND DETAILS.



THE JOHN R. McADAMS
COMPANY, INC.
2905 Meridian Parkway
Durham, North Carolina 27713
License No.: C-0293
919.361.5000 • McAdamsCo.com
Contact: Rick Slater
Slater@mcadamsco.com

PRELIMINARY DRAWING - NOT RELEASED FOR CONSTRUCTION

DEVELOPMENT SERVICES Administrative Site Review Application

This form is required when submitting site plans as referenced in Unified Development Ordinance (UDO) Section 10.2.8. Please check the appropriate building types and include the plan checklist document when submitting.

Office Use Only: Transaction # _____ Planning Coordinator: _____

Building Type: Detached General Subdivision transaction # _____
 Attached Mixed use Sketch transaction # _____
 Apartment Open lot Certificate of Appropriateness # _____
 Townhouse Civic Zoning Case # _____
 _____ Administrative Alternate # _____

Development name: **BRIER CREEK WESTIN HOTEL**
 Inside City limits? Yes No
 Property address(es): **3931 Macaw Street**
 Site P.I.N. #: **076844386**

Please describe the scope of work. Include any additions, expansions, and change of use. The proposed project will include the construction of a hotel, associated parking, and required utilities to serve the hotel and surrounding development.

Current Property Owner/Developer Contact Name: **Shahn Chhabra**
 NOTE: please attach purchase agreement when submitting this form.
 Company: **CMC Corporation** Title: **President**
 Address: **5640 Dillard Drive, Suite 300, Cary, NC 27518**
 Phone #: **919-427-1691** Email: **shahn.chhabra@cmchotels.com**

Applicant Name: **Rick Slater**
 Company: **McAdams** Address: **One Glenwood, Suite 201, Raleigh, NC 27603**
 Phone #: **919-361-5000** Email: **rslater@mcadamsco.com**

MEMORANDUM - CMH-16000

October 21, 2019

City of Raleigh
Development Services
One Exchange Plaza
Suite 400
Raleigh, North Carolina 27610

RE: **BC Westin
3931 Macaw Street
Raleigh, North Carolina
McAdams Project CMH-16000**

This submission is to revise the previously approved Briar Creek Town Center Westin Hotel (City of Raleigh Case # SR-90-18; Transaction # SR-90-18) per section 10.2.4 of the Unified Development Ordinance. The approved plans represent a 228 room, 390,488 sf. hotel and the revision is for a 236 room, 200,228 sf. hotel. Parking calculations have been updated accordingly. FDC fees were also modified from the approved plans while the FDC locations have remained the same.

If you should have any questions or comments, please feel free to call me at (919) 961-5000.

Sincerely,
McAdams
Rick Slater, PE
Sr. Project Manager, Commercial

RS/ha

2000 Madison Park Drive, Durham, NC 27713 / P.O. Box 3000

DEVELOPMENT TYPE - SITE DATA TABLE
(Applicable to all developments)

| SITE DATA | BUILDING DATA |
|---|---|
| Zoning district (if more than one, please provide the acreage of each): PD - Briar Creek Town Center | Building gross floor area (not to be demolished): 0 sf. Existing gross floor area to be demolished: 0 sf. New gross floor area: 200,228 sf. |
| Gross site acreage: 4.49 ac. | Total of gross (to remain and new): 200,228 sf. |
| # of parking spaces required: 166 | Number of bedrooms: 127 |
| # of parking spaces proposed: 279 | Proposed # of bedrooms: 127 |
| Overlay District (if applicable): N/A | Proposed # of suites: 127 |
| Existing use (UDO 6.1.4): N/A | |
| Proposed use (UDO 6.1.4): N/A | |

STORMWATER INFORMATION

Existing Impervious Surfaces:
Acres: 1.1 Square Feet: 4,907

Proposed Impervious Surfaces:
Acres: 3.99 Square Feet: 170,701

Is this a flood hazard area? Yes No

If yes, please provide:
Flood site: _____

FEMA Map Panel #: _____

Nearest River/Stream: Yes No Wetlands: Yes No

RESIDENTIAL DEVELOPMENT

Total # of dwelling units: N/A

of bedroom units: 1br: N/A 2br: N/A 3br: N/A Total # of hotel units: 236

of lots: 1 Is your project a cottage court? Yes No

SIGNATURE BLOCK

I hereby designate **Rick Slater** to serve as my agent regarding the application to secure and receive all administrative approvals, to represent me in any public meeting regarding this application.

I have read, acknowledge, and affirm that this project is conforming to all application requirements applicable with the proposed development use. I acknowledge that this application is subject to the filing calendar and submit only which states applications will expire after 180 days of inactivity.

Signature: **Shahn Chhabra** Date: 10/8/19

Printed Name: **Shahn Chhabra**

ATTENTION CONTRACTORS

The Construction Contractor responsible for the extension of water, sewer, and/or reuse, as approved in these plans, is responsible for contacting the Public Works Department at (919) 996-2409, and the Public Utilities Department at (919) 996-4540 at least twenty four hours prior to beginning any of their construction.

Failure to notify both City Departments in advance of beginning construction, will result in the issuance of monetary fines, and require reinstallation of any water or sewer facilities not inspected as a result of this notification failure.

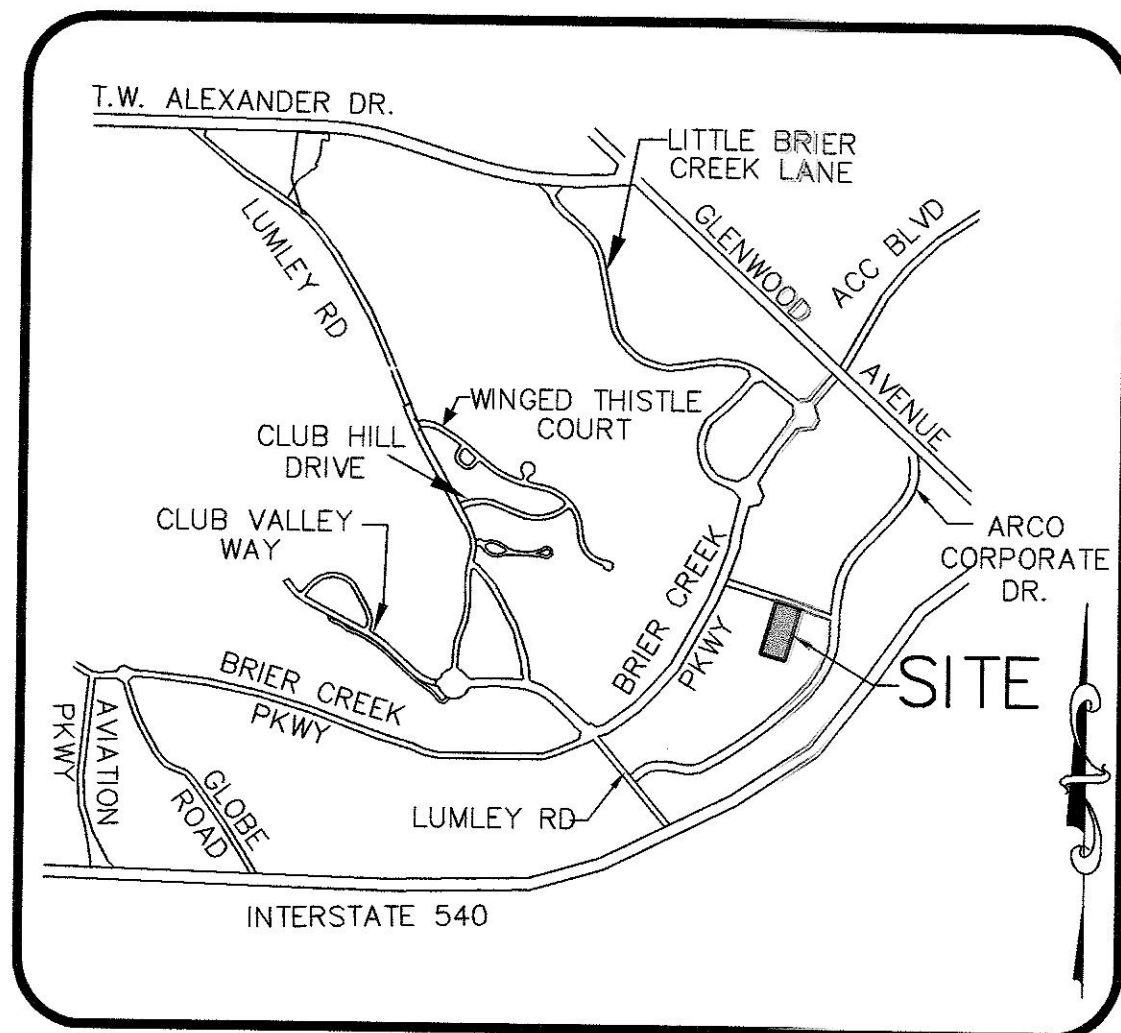
Failure to call for inspection, install a Downstream Plug, have Permitted Plans on the Jobsite, or any other Violation of City of Raleigh Standards will result in a Fine and Possible Exclusion from future work in the City of Raleigh.

NOTES:

- THE MINIMUM CORNER CLEARANCE FOR A DRIVEWAY FROM THE CURB LINE OF INTERSECTING STREETS SHALL BE AT LEAST 20 FEET FROM THE POINT OF TANGENCY OF THE CURB. NO DRIVEWAYS SHALL ENCRoACH ON THIS MINIMUM CORNER CLEARANCE. RSDM SECTION 6.5.2.D.
- WITHIN THE AREA OF A DEFINED SIGHT TRIANGLE, THERE SHALL BE NO SIGHT OBSTRUCTING OR PARTLY OBSTRUCTING WALL, FENCE, SIGN, FOLIAGE, BERMING OR PARKED VEHICLES BETWEEN THE HEIGHTS OF TWENTY-FOUR (24) INCHES AND EIGHT (8) FEET ABOVE THE CURB ELEVATION OR THE NEAREST TRAVELED WAY, IF NO CURBING EXISTS.

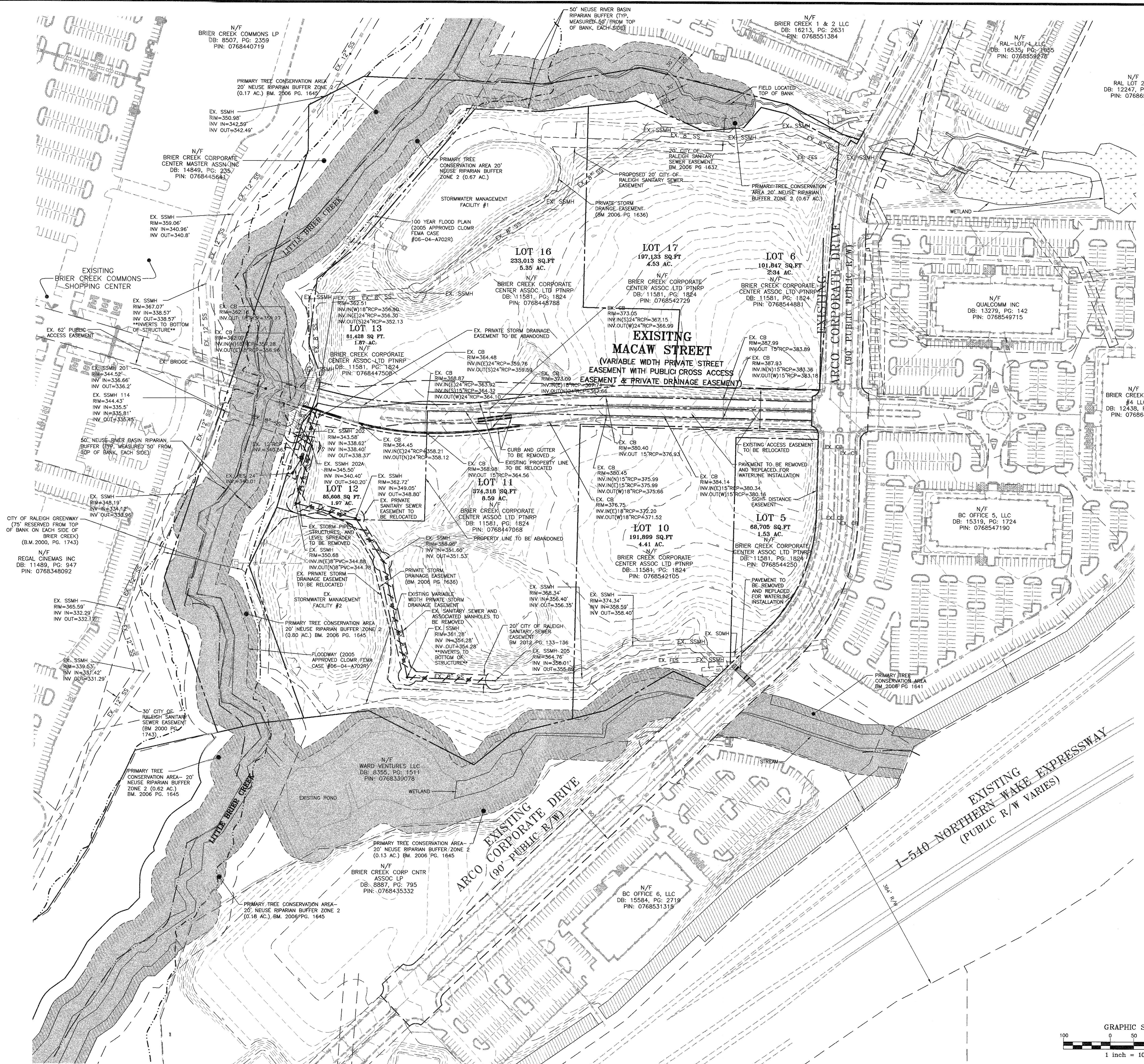
SOLID WASTE COMPLIANCE STATEMENT:

- THE DEVELOPER ACKNOWLEDGES THAT THEY HAVE REVIEWED AND ARE IN COMPLIANCE WITH THE REQUIREMENTS SET FORTH IN THE SOLID WASTE DESIGN MANUAL.
- THE SOLID WASTE REMOVAL FOR THIS PROJECT WILL BE HANDLED BY A PRIVATE SERVICE.
- REFUSE WILL BE COLLECTED ON SITE AND ROLLED OUT TO THE COLLECTION AREA.



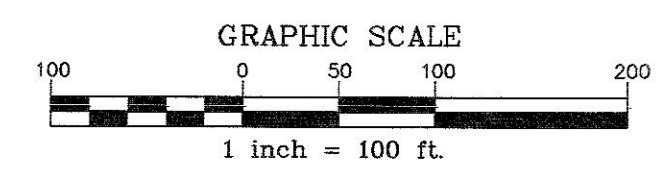
VICINITY MAP
NTS

X:\Projects\CMH-16000\Land\Construction\Drawings\Current\Drawings\CMH16000-DM1.dwg, 10/25/2018, 2:08:13 PM, Brl, dwg



- LEGEND**
- BORE HOLE
 - SANITARY SEWER MANHOLE
 - SANITARY SEWER CLEANOUT
 - WATER VALVE
 - WATER METER
 - FIRE HYDRANT
 - TELEPHONE PEDESTAL
 - ELECTRIC MANHOLE
 - ELECTRIC BOX
 - LIGHT POLE
 - POWER POLE
 - CURB INLET/CATCH BASIN
 - STORM DRAINAGE MANHOLE
 - YARD INLET
 - DRIVEWAY CULVERT
 - STORM DRAIN
 - OVERHEAD UTILITY LINE
 - UNDERGROUND ELECTRIC
 - UNDERGROUND TELEPHONE
 - WATER LINE
 - FIRE LINE
 - SANITARY SEWER LINE
 - GAS LINE
 - FIBER OPTIC
 - FENCE LINE
 - 100 YEAR FLOOD PLAN
 - 50' NEUSE RIVER BUFFER
 - PROPERTY LINE
 - RIGHT OF WAY LINE
 - TREE CONSERVATION AREA

- DEMOLITION LEGEND**
- TREE OR OTHER VEGETATION TO BE REMOVED
 - UNDERGROUND UTILITY TO BE REMOVED
 - AREA TO BE REMOVED (SIDEWALK, CURB AND GUTTER, STRUCTURES, ASPHALT, CONCRETE PAVING, ETC.)
- NOTE: SEE PLAN FOR DETAILED DEMOLITION PROCEDURES, SEQUENCING AND SPECIFICATIONS.



THE JOHN R. MCADAMS COMPANY, INC.
2905 Meridian Parkway
Durham, North Carolina 27713
Phone No.: C-9285
919.361.5600 • mcadamsco.com



REVISIONS:

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OWNER:
CMC CORPORATION
5640 DILLARD DRIVE,
SUITE 300
CARY, NC 27518

PROJECT NO. CMH-16000
FILENAME: CMH16000-DM1
CHECKED BY: LAW
DRAWN BY: JB
SCALE: 1"=100'
DATE: 10-25-2019
SHEET NO.

**BRIER CREEK TOWN CENTER
WESTIN HOTEL**
ADMINISTRATIVE SITE REVIEW
RALEIGH, NORTH CAROLINA

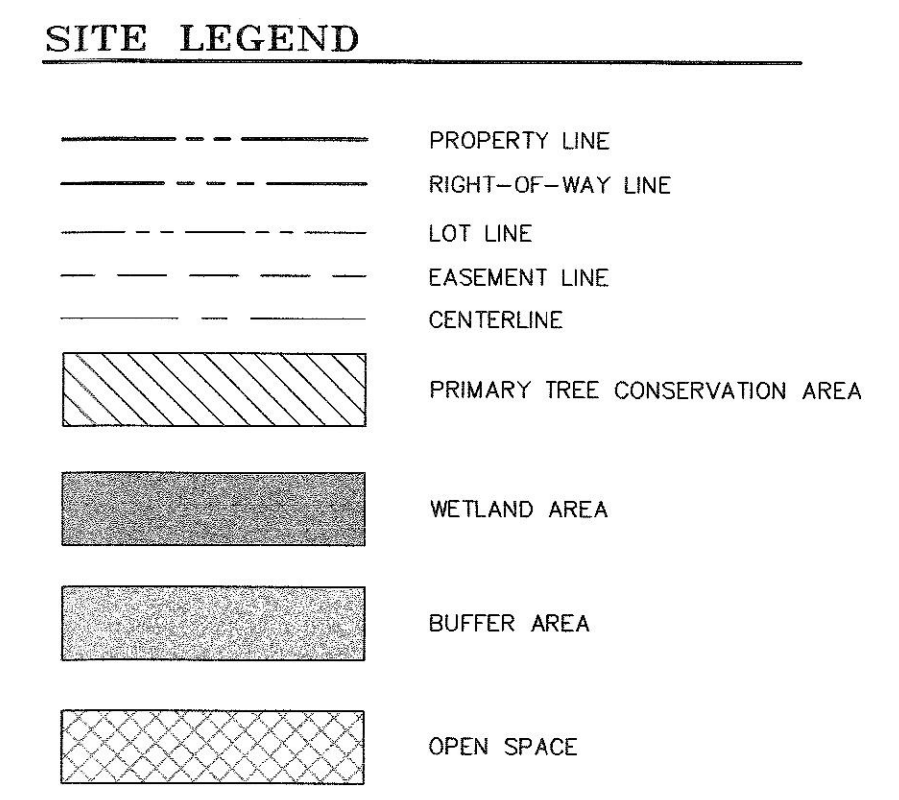
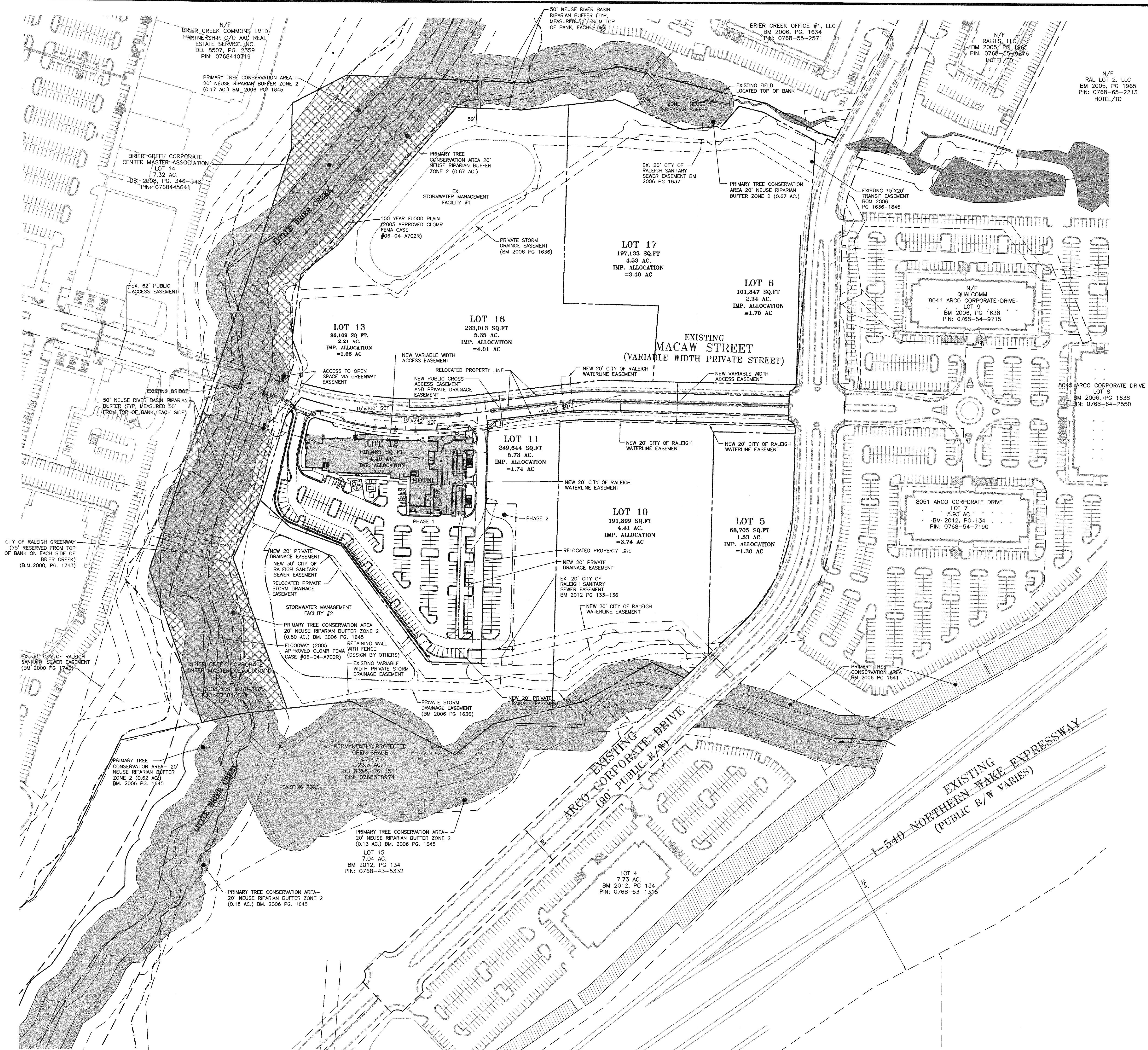
DEMOLITION PLAN

PROJECT NO. CMH-16000
FILENAME: CMH16000-DM1
CHECKED BY: LAW
DRAWN BY: JB
SCALE: 1"=100'
DATE: 10-25-2019
SHEET NO. **C-3**



PRELIMINARY DRAWING - NOT RELEASED FOR CONSTRUCTION

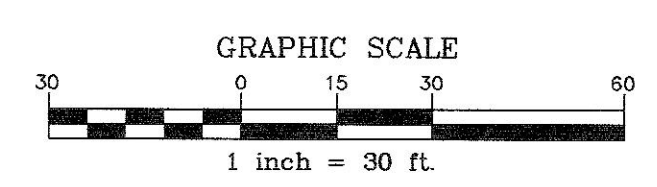
S:\Projects\CMH-16000\Drawings\Current\Drawings\CMH16000-OAS1.dwg, 10/25/2019 2:08:18 PM, Ben, John



OPEN SPACE SUMMARY:

REQUIRED = 15% DEVELOPMENT AREA
= 5.68 AC (50% WITH THIS PHASE)

| | |
|--------------------------|----------------|
| PRIMARY OPEN SPACE | |
| FLOODWAY AREAS | 2.77 AC |
| NATURAL RESOURCE BUFFERS | 1.28 AC |
| SECONDARY OPEN SPACE | |
| FLOOD FRINGE AREAS | 1.03 AC |
| TERTIARY OPEN SPACE | |
| OVERALL | 0.60 AC |
| PROVIDED TOTAL | 5.68 AC |



THE JOHN R. MCADAMS COMPANY, INC.
2905 Meridian Parkway
Durham, North Carolina 27713
License No.: C-0293
919.361.5000 • McAdamsCo.com

MCADAMS

REVISIONS:

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OWNER:

CMC CORPORATION
5640 DILLARD DRIVE,
SUITE 300
CARY, NC 27518

BRIER CREEK TOWN CENTER
WESTIN HOTEL
ADMINISTRATIVE SITE REVIEW
RALEIGH, NORTH CAROLINA

OVERALL SITE PLAN

| | |
|-------------|---------------|
| PROJECT NO. | CMH-16000 |
| FILENAME | CMH16000-OAS1 |
| CHECKED BY: | LAW |
| DRAWN BY: | JB |
| SCALE: | 1"=100' |
| DATE: | 10-25-2019 |
| SHEET NO. | C-4 |

PRELIMINARY DRAWING - NOT RELEASED FOR CONSTRUCTION

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SEE SHEET C-7

BRIER CREEK CORPORATE CENTER ASSOC LTD PTNRP LOT 16 5.35 AC. BM 011581, PG 01824 PIN: 0768448788

BRIER CREEK CORPORATE CENTER ASSOC LTD PTNRP LOT 6 4.53 AC. BM 011581, PG 01824

NEW 20' CITY OF RALEIGH WATERLINE EASEMENT

EXISTING MACAW STREET (VARIABLE WIDTH PRIVATE STREET) (BY MASTER DEVELOPER)

NEW VARIABLE WIDTH PUBLIC ACCESS EASEMENT

EX. CB (TYP.)

EX. STORM DRAINAGE (TYP.)

PUBLIC FIRE HYDRANT ASSEMBLY (TYP.)

EX. CB (TYP.)

8" DIP W/L

8" DIP W/L

EX. STORM DRAINAGE (TYP.)

NEW 20' CITY OF RALEIGH WATERLINE EASEMENT

EX. 6" W/L

REMOVE BLOW OFF ASSEMBLY AND EXTEND 8" W/L

EX. STORM DRAINAGE (TYP.)

LOT 11 5.73 AC. BOM 011581, PAGE 01824

PHASE 2

BRIER CREEK CORPORATE CENTER ASSOC LTD PTNRP LOT 10 4.41 AC. BM 011581, PG 01824 PIN: 0768542105

BRIER CREEK CORPORATE CENTER ASSOC LTD PTNRP LOT 5 1.53 AC. BM 0115891, PG 01824 PIN: 0768544250

ARCO EXISTING CORPORATE DRIVE (90' PUBLIC R/W)

NEW 20' PRIVATE DRAINAGE EASEMENT

8" DIP W/L

SSMH RIM=374.34' INV IN=358.59' INV OUT=358.40'

20' CITY OF RALEIGH SANITARY SEWER EASEMENT (TYP.) (BM 2012 PG. 133-136)

20' CITY OF RALEIGH WATERLINE EASEMENT

EX. 8" SS

EX. 8" SS

EX. FES

20' PRIMARY TREE SAVE BUFFER

ZONE 1 NEUSE RIPARIAN BUFFER

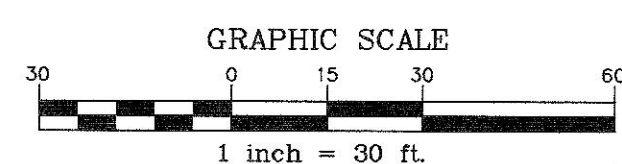
ZONE 2 NEUSE RIPARIAN BUFFER

EX. CB (TYP.)

CONNECT 8" DIP W/L TO EX. 12" DIP W/L

VARIABLE WIDTH PRIVATE STORM DRAINAGE EASEMENT BM 2006 PG 1637

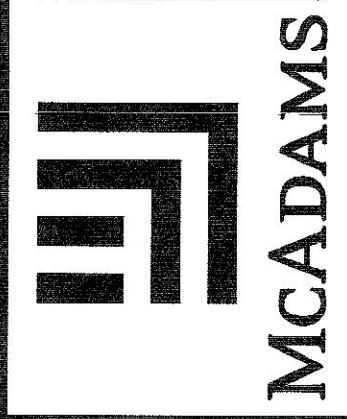
BC OFFICE 5, LLC LOT 7 5.93 AC. BM 15319, PG 1724 PIN: 0768547190



UTILITY LEGEND

- FIRE HYDRANT ASSEMBLY
- WATER METER
- WATER VALVE
- METER & VAULT
- BACKFLOW PREVENTER
- REDUCER
- PLUG
- SANITARY SEWER MANHOLE
- SEWER CLEAN-OUT
- SEWER FLOW DIRECTION ARROW
- WATERLINE
- WATER SERVICE LINE
- SANITARY SEWER
- SEWER SERVICE LINE
- EASEMENT LINE

THE JOHN R. MCADAMS COMPANY, INC. 2905 Meridian Parkway Durham, North Carolina 27713 License No.: C-02983 919.361.5000 • McAdamsCo.com



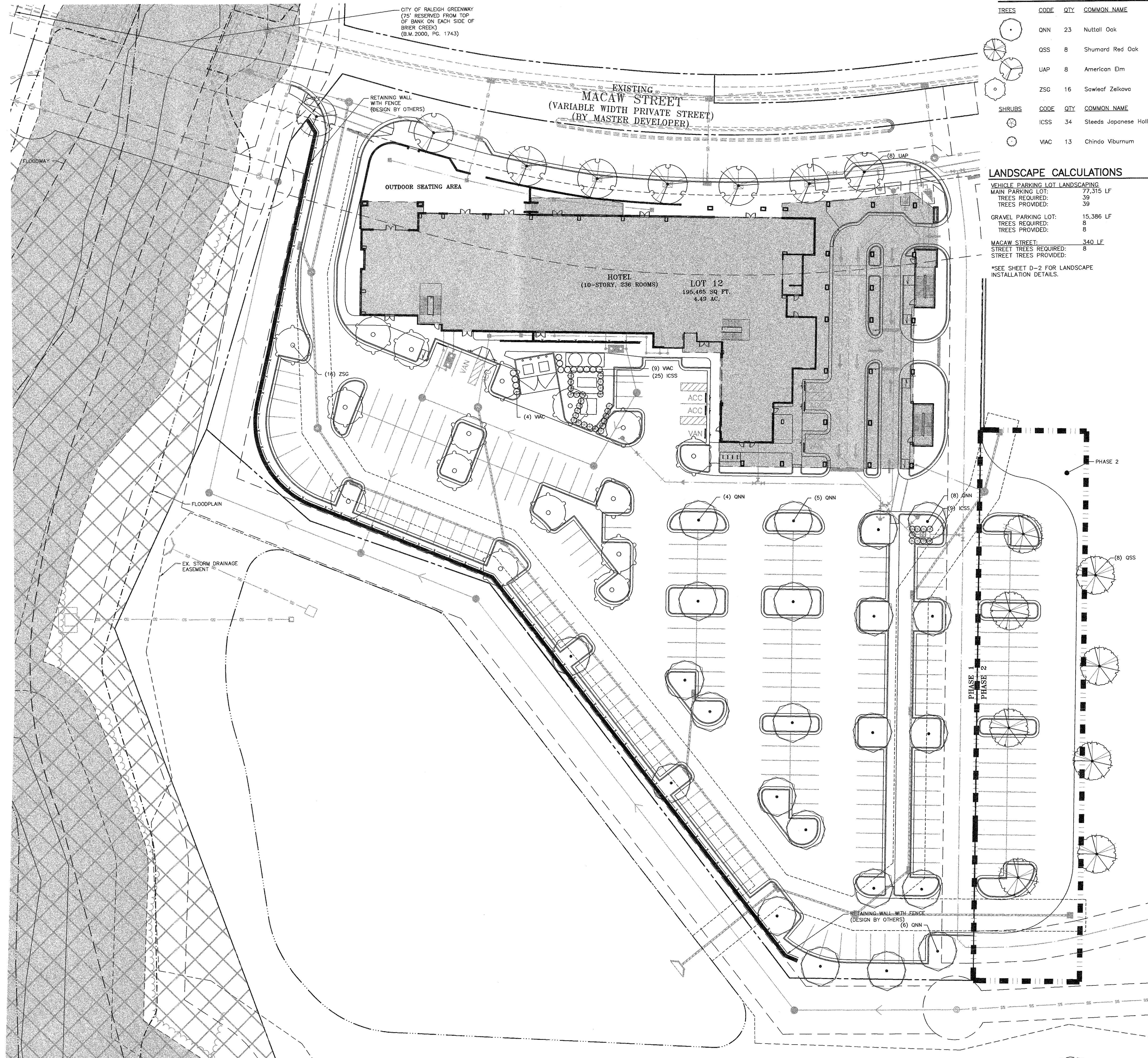
REVISIONS:

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OWNER: CMC CORPORATION 5640 DILLARD DRIVE, SUITE 300 CARY, NC 27518

BRIER CREEK TOWN CENTER WESTIN HOTEL ADMINISTRATIVE SITE REVIEW RALEIGH, NORTH CAROLINA UTILITY PLAN - AREA "B"

PROJECT NO. CMH-16000
 FILENAME: CMH16000-U1
 CHECKED BY: LAW
 DRAWN BY: ILFP
 SCALE: 1"=30'
 DATE: 10-25-2019
 SHEET NO. C-8



PLANT SCHEDULE

| TREES | CODE | QTY | COMMON NAME | BOTANICAL NAME | GAL | HEIGHT |
|-------|------|-----|-----------------|------------------------------|-----|--------|
| | QNN | 23 | Nuttall Oak | Quercus nuttallii | 3" | 10' |
| | OSS | 8 | Shumard Red Oak | Quercus shumardii | 3" | 10' |
| | UAP | 8 | American Elm | Ulmus americana 'Princeton' | 3" | 10' |
| | ZSG | 16 | Sawleaf Zelkova | Zelkova serrata 'Green Vase' | 3" | 10' |

| SHRUBS | CODE | QTY | COMMON NAME | BOTANICAL NAME | HEIGHT | SPACING |
|--------|------|-----|-----------------------|---------------------------|---------|---------|
| | ICSS | 34 | Steeds Japanese Holly | Ilex crenata 'Steeds' | 24" | |
| | VAC | 13 | Chindo Viburnum | Viburnum awabuki 'Chindo' | 48" min | |

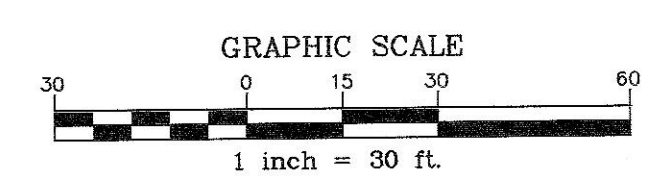
LANDSCAPE CALCULATIONS

| | |
|--|-----------|
| VEHICLE PARKING LOT LANDSCAPING | |
| MAIN PARKING LOT: | 77,315 LF |
| TREES REQUIRED: | 39 |
| TREES PROVIDED: | 39 |
| GRAVEL PARKING LOT: | 15,386 LF |
| TREES REQUIRED: | 8 |
| TREES PROVIDED: | 8 |
| MACAW STREET | |
| STREET TREES REQUIRED: | 340 LF |
| STREET TREES PROVIDED: | 8 |

*SEE SHEET D-2 FOR LANDSCAPE INSTALLATION DETAILS.

GENERAL LANDSCAPING NOTES

- ALL MATERIALS AND METHODS OF CONSTRUCTION SHALL BE IN ACCORDANCE WITH THE CITY OF RALEIGH AND THE STATE OF NORTH CAROLINA STANDARDS AND SPECIFICATIONS.
- CONTRACTOR IS RESPONSIBLE FOR THE SITE INSPECTION BEFORE LANDSCAPE CONSTRUCTION AND INSTALLATION IN ORDER TO BECOME FAMILIAR WITH THE EXISTING CONDITIONS.
- LANDSCAPE CONTRACTOR IS RESPONSIBLE FOR LOCATING ALL UNDERGROUND UTILITIES BEFORE BEGINNING DEMOLITION OR INSTALLATION.
- CONTRACTOR SHALL NOTIFY LANDSCAPE ARCHITECT OF ANY DISCREPANCIES BETWEEN THE NOTES, SPECIFICATIONS, DRAWINGS OR SITE CONDITIONS FOR RESOLUTION PRIOR TO INSTALLATION.
- ANY DAMAGE TO UTILITIES SHALL BE REPAIRED AT THE CONTRACTOR'S EXPENSE.
- THIS PLAN IS FOR PLANTING PURPOSES ONLY. FOR INFORMATION REGARDING BUILDINGS, GRADING, WALLS, ETC., REFER TO ARCHITECTURE, SITE AND GRADING PLANS.
- VERIFICATION OF TOTAL PLANT QUANTITIES AS SHOWN IN THE PLANT SCHEDULE SHALL BE THE RESPONSIBILITY OF THE LANDSCAPE CONTRACTOR. ANY DISCREPANCIES SHALL BE BROUGHT TO THE ATTENTION OF THE LANDSCAPE ARCHITECT.
- CONTRACTOR TO ENSURE PROPER STABILIZATION AND SEEDING OF THE SITE IN ACCORDANCE WITH APPLICABLE REGULATIONS.
- LANDSCAPE MATERIAL SHALL BE WELL FORMED, VIGOROUS, GROWING SPECIMENS WITH GROWTH TYPICAL OF VARIETIES SPECIFIED AND SHALL BE FREE FROM DAMAGE, INSECTS AND DISEASES. MATERIAL SHALL EQUAL OR SURPASS #1 QUALITY AS DEFINED IN THE CURRENT ISSUE OF 'AMERICAN STANDARD FOR NURSERY STOCK' AS PUBLISHED BY THE AMERICAN NURSERY & LANDSCAPE ASSOCIATION.
- PLANT MATERIAL IS TO BE CAREFULLY HANDLED BY THE ROOT BALL, NOT THE TRUNK, BRANCHES AND/OR FOLIAGE OF THE PLANT. MISHANDLED PLANT MATERIAL MAY BE REJECTED BY THE LANDSCAPE ARCHITECT.
- ALL PLANT MATERIAL IS TO BE WELL ROOTED, NOT ROOT BOUND, SUCH THAT THE ROOT BALL REMAINS INTACT THROUGHOUT THE PLANTING PROCESS. DEFICIENT PLANT MATERIAL MAY BE REJECTED BY THE LANDSCAPE ARCHITECT OR OWNER.
- ALL PLANTS TO BE A MINIMUM OF WHAT IS SPECIFIED IN THE PLANT SCHEDULE. ANY CHANGES OR SUBSTITUTIONS SHALL BE APPROVED BY THE LANDSCAPE ARCHITECT AND GOVERNING JURISDICTION PRIOR TO ANY HOLE BEING DUG.
- CONTRACTOR TO COORDINATE WITH OWNER'S REPRESENTATIVE AND LANDSCAPE ARCHITECT TO ESTABLISH THE EXTENTS OF MULCH/SEED/SOD IF NOT SPECIFICALLY SHOWN ON PLANS.
- CONTRACTOR SHALL PROVIDE POSITIVE DRAINAGE IN ALL PLANTING AREAS.
- PROPOSED TREES TO BE PLANTED A MINIMUM 10 FEET FROM ANY LIGHT POLE AS MEASURED FROM TRUNK OF THE TREE TO THE POLE.
- PROPOSED TREES TO BE PLANTED A MINIMUM 5 FEET FROM ANY FIRE HYDRANT AS MEASURED FROM TRUNK OF THE TREE TO THE HYDRANT.
- CONTRACTOR SHALL COMPLETE SOIL TEST IN ALL PLANTING AREAS TO DETERMINE SOIL AMENDMENT REQUIREMENTS UNLESS WAIVED BY OWNER'S REPRESENTATIVE. CONTRACTOR SHALL ADJUST PH AND FERTILITY BASED UPON THE SOIL TEST RESULTS.
- TOPSOIL SHALL BE FREE OF MATERIAL LARGER THAN 1.0 INCH IN DIAMETER OR LENGTH AND SHALL NOT CONTAIN SLAG, CHINDERS, STONES, LUMPS OF SOIL, STICKS, ROOTS, FRASH, OR OTHER EXTRANEOUS MATERIAL.
- LOOSEN SUBGRADE / SURFACE SOIL TO A MINIMUM DEPTH OF 6 INCHES. APPLY SOIL AMENDMENTS AND FERTILIZERS AS REQUIRED BY THE SOIL TEST RESULTS TO ACHIEVE A HEALTHY GROWING MEDIA AND MIX THOROUGHLY INTO TOP 4 INCHES OF SOIL. SPREAD PLANTING SOIL MIX TO A DEPTH OF 6 INCHES BUT NOT LESS THAN REQUIRED TO MEET FINISH GRADES AFTER NATURAL SETTLEMENT. DO NOT SPREAD IF PLANTING SOIL OR SUBGRADE IS FROZEN, MUDDY, OR EXCESSIVELY WET.
- IF IMPORTED TOPSOIL IS REQUIRED, THE SUBGRADE SHALL BE SCARIFIED OR TILLED TO A DEPTH OF AT LEAST 6 INCHES PRIOR TO INSTALLATION OF IMPORTED TOPSOIL. FOLLOWING INSTALLATION OF IMPORTED TOPSOIL, THE TOPSOIL SHALL BE TILLED TO INTEGRATE THE SOIL PROFILES.
- PLANT MATERIALS ARE TO BE GUARANTEED FOR A PERIOD OF 12 MONTHS. PLANT MATERIALS WHICH REMAIN UNHEALTHY WILL BE REPLACED BY THE LANDSCAPE CONTRACTOR BEFORE THE EXPIRATION OF THE GUARANTEE PERIOD OR IMMEDIATELY IF SO DIRECTED BY THE OWNER'S REPRESENTATIVE OR LANDSCAPE ARCHITECT.
- ALL TREE PLANTINGS SHALL BE MULCHED TO A DEPTH OF 3 INCHES, AND WITH A MINIMUM 3 FOOT RADIUS FROM BASE OF TREE OR TO DRILLHOLE. MULCH SHALL BE FREE OF TRASH AND MAINTAINED WEED FREE. MULCH SHALL NOT COVER THE ROOT FLARE. CONFIRM MULCH SPECIFICATIONS WITH OWNER'S REPRESENTATIVE OR LANDSCAPE ARCHITECT.
- DO NOT PRUNE TREES AND SHRUBS BEFORE DELIVERY. PROTECT BARK, BRANCHES, AND ROOT SYSTEMS FROM SUN SCALD, DRYING, SWEATING, WHIPPING, AND OTHER HANDLING AND TYING DAMAGE. DO NOT BEND OR BIND-TIE TREES OR SHRUBS IN SUCH A MANNER AS TO DESTROY THEIR NATURAL SHAPE. PROVIDE PROTECTIVE COVERING OF EXTERIOR PLANTS DURING DELIVERY. DO NOT DROP EXTERIOR PLANTS DURING DELIVERY AND HANDLING.
- DELIVER EXTERIOR PLANTS AFTER PREPARATIONS FOR PLANTING HAVE BEEN COMPLETED AND INSTALL IMMEDIATELY AFTER UNLOADING. STAND THE TREES UP TO REDUCE THE RISK OF SUN SCALD. PROPERLY STAGED TREES ARE STANDING, UNTIED AND SPACED. UNLESS IMMEDIATELY INSTALLED, SET EXTERIOR PLANTS AND TREES IN SHADE. PROTECT FROM WEATHER AND MECHANICAL DAMAGE, AND KEEP ROOTS MOIST.
- SEE LANDSCAPE DETAILS FOR TREE STAKING REQUIREMENTS.
- CONTRACTOR SHALL REMOVE DEBRIS AND FINE GRADE ALL PLANTING AREAS PRIOR TO INSTALLATION.
- REMOVE GUY WIRES AND STAKES AT END OF WARRANTY PERIOD OR ESTABLISHMENT.
- FINISH GRADING: GRADE PLANTING AREAS TO A SMOOTH, UNIFORM SURFACE PLANE WITH LOOSE, UNIFORMLY FINE TEXTURE. GRADE TO WITHIN PLUS OR MINUS 1/2 INCH OF FINISH ELEVATION. ROLL AND RAKE. REMOVE RIDGES, AND FILL DEPRESSIONS TO MEET FINISH GRADES. LIMIT FINISHED GRADING TO AREAS THAT CAN BE PLANTED IN THE IMMEDIATE FUTURE.



PRELIMINARY DRAWING - NOT RELEASED FOR CONSTRUCTION

X:\Projects\CMH-16000\Land\Construction Drawings\Current Drawings\CMH16000-LS1.dwg, 10/25/2019 1:56:55 PM, Bell, Josh

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REVISIONS:

| NO. | DATE | DESCRIPTION |
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OWNER:
CMC CORPORATION
5640 DILLARD DRIVE,
SUITE 300
CARY, NC 27518

**BRIER CREEK TOWN CENTER
WESTIN HOTEL**
ADMINISTRATIVE SITE REVIEW
RALEIGH, NORTH CAROLINA

LANDSCAPE PLAN

| | |
|-------------|--------------|
| PROJECT NO. | CMH-16000 |
| FILENAME | CMH16000-LS1 |
| CHECKED BY: | SMD |
| DRAWN BY: | CMV |
| SCALE: | 1" = 30' |
| DATE: | 10-25-2019 |
| SHEET NO. | LS-1 |

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