



Administrative Approval Action

AA # 3919 / SR-86-18, Wakefield Professional Plaza
Transaction# 568980

City of Raleigh
Development Services Department
One Exchange Plaza
Raleigh, NC 27602
(919) 996-2495
DS.help@raleighnc.gov
www.raleighnc.gov

LOCATION: This site is located on the northwest corner of the intersection of Forest Pines Drive and Ingleside Place at 11005 and 11009 Ingleside Place.

REQUEST: Development of two lots to be recombined into a 3.19 acre tract zoned CX-3-PK and in a UWPOD Overlay into a 36,360 square foot three-story medical office building with on-site parking.

DESIGN

ADJUSTMENT(S)/

ALTERNATES, ETC: One Design Adjustment has been approved for this project, noted below.

1. Due to existing conditions, a Design Adjustment has been approved waiving the block perimeter requirement (8.3).
2. Due to existing 5' sidewalk, a Design Adjustment has been approved to allow the 5' sidewalk to remain for consistency.
3. Due to existing Tree Conservation Area, the 5' utility easement requirement was waived.

FINDINGS: City Administration finds that this request, with the below conditions of approval being met, conforms to the Unified Development Ordinance. This approval is based on a preliminary plan dated 12/20/18, by Drye-McGlamery Engineering, PLLC

CONDITIONS OF APPROVAL and NEXT STEPS:

This document must be applied to the second sheet of all future submittals except for final plats. This is a preliminary plan and as such no permits have been issued with this approval. To obtain permits and/or completion of the project, the following steps are required:

CONCURRENT SITE REVIEW - For land disturbance of 12,000 square feet or greater, public or private infrastructure, shared stormwater devices, etc. Concurrent Site Review may be submitted upon receipt of this signed approval document.

The following items are required prior to approval of Concurrent Site Review plans:

Engineering

1. A right-of-way obstruction permit must be obtained from Right-of-way Services prior to the commencement of any construction activities within the right-of-way.



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Stormwater

2. These sites are part of S-8-08 and are required to show compliance with the impervious surface limitations set in BM 2008 page 2106. This establishes stormwater compliance with the existing offsite constructed wetlands.
3. A surety equal to of the cost of clearing, grubbing and reseeding a site, shall be paid to the City (UDO 9.4.4).

Urban Forestry

4. Submit a final tree conservation plan that includes metes and bounds descriptions of all tree conservation areas and tree protection fencing as required (UDO 9.1.5).
5. Tree protection fence must be inspected by Urban Forestry staff prior to the issuance of a grading permit.

LEGAL DOCUMENTS - Email to legaldocumentreview@raleighnc.gov. Legal documents must be approved, executed, and recorded prior to or in conjunction with the recorded plat on which the associated easements are shown. Copies of recorded documents must be returned to the City within one business day of recording to avoid withholding of further permit issuance.

<input type="checkbox"/>	City Code Covenant	<input type="checkbox"/>	Slope Easement
<input type="checkbox"/>	Stormwater Maintenance Covenant	<input type="checkbox"/>	Transit Easement
<input type="checkbox"/>	Utility Placement Easement	<input type="checkbox"/>	Cross Access Easement
<input checked="" type="checkbox"/>	Sidewalk Easement	<input type="checkbox"/>	Public Access Easement
		<input type="checkbox"/>	Other:

RECORDED MAP(S) - Submit plat to record new property lines, easements, tree conservation areas, etc.). Plats may be submitted for review when the Concurrent Site Review plans, if required, have been deemed ready for mylar signature.

The following items must be approved prior to recording the plat:

Urban Forestry

1. A tree conservation plat shall be recorded with metes and bounds showing the designated tree conservation areas (UDO 9.1). This development proposes 1.104 acres of tree conservation area.

BUILDING PERMITS – For buildings and structures shown on the approved plans. Commercial building permit plans must include the signed, approved Concurrent Site Review plans attached, if



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applicable. Permit sets may be reviewed prior to the recordation of required plats, but cannot be approved.

The following items must be approved prior to the issuance of building permits:

General

1. A recombination map shall be recorded prior to or in conjunction with the recording of lots, recombining the existing lot into a single tract.
2. Provide fire flow analysis.

Engineering

3. A fee-in-lieu for 1' sidewalk to supplement the existing 5' sidewalk shall be paid to the City of Raleigh (UDO 8.1.10).
4. A public infrastructure surety shall be provided to the City of Raleigh Development Services – Development Engineering (UDO 8.1.3).
5. A sidewalk deed of easement for any public sidewalk on private property shall be approved by City staff, and the location of the easement shall be shown on the map approved for recordation. The deed of easement shall be recorded at Wake County Register of Deeds within one day of recordation of the plat. A recorded copy of this document shall be provided to the Development Services Department within one day from authorization of lot recordation. If a recorded copy of the document is not provided, further recordings and building permit issuance will be withheld.
6. A right-of-way obstruction permit shall be obtained from Right-of-way Services for any construction activity within the right-of-way.
7. Proposed public street right-of-way dedications shall be shown on a map approved for recordation with the Wake County Register of Deeds.

Public Utilities

8. A plat must be recorded at the Wake County Register of Deeds office for all utility easement dedications.

Urban Forestry

19. A tree conservation plat shall be recorded with metes and bounds showing the designated tree conservation areas (UDO 9.1).
20. A tree impact permit must be obtained for the approved streetscape tree installation in the right of way. This development proposes 8 street trees along Ingleside Pl. and 5 street trees along Forest Pines Dr. for a total of 13 street trees.



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The following are required prior to issuance of building occupancy permit:

1. All Water, Sanitary Sewer and Reuse facilities shall be installed, inspected, tested and accepted by the City of Raleigh Public Utilities Department for operations and maintenance.
2. Required public right-of-way infrastructure improvements shall be, at a minimum, sufficiently completed to provide the necessary, safe emergency and vehicular access.
3. Required underground storm drainage improvements shall be completed and as-built plan(s) and certification(s) reviewed and accepted by the City of Raleigh Development Services – Development Engineering program.
4. All street lights and street signs required as part of the development approval are installed.
5. Copies of certified inspection reports for alleys and internal access ways are submitted to the City of Raleigh Development Services – Development Engineering program.
6. Final inspection of all tree conservation areas and right of way street trees by Urban Forestry Staff.

EXPIRATION DATES: The expiration provisions of UDO Section 10.2.8 E, including the ability to request extensions in the expiration date, apply to this site plan. If significant construction has not taken place on a project after administrative site review approval, that approval may expire and be declared void, requiring re-approval before permits may be issued. To avoid allowing this plan approval to expire the following must take place by the following dates:

3-Year Expiration Date: 2-1-2022

Obtain a valid building permit for the total area of the project, or a phase of the project.

4-Year Completion Date:

Within four years after issuance of the first building permit for the site plan, the construction of the entire site plan must be completed unless an applicant has been granted vested rights. Failure to complete construction within this specified time frame shall automatically void the approved site plan for which no building permits have been issued.

I hereby certify this administrative decision.

Signed:(Development Services Dir./Designee)

Date: 2/1/19

Staff Coordinator: Michael Walters

Design Adjustment Staff Response



**DEVELOPMENT
SERVICES
DEPARTMENT**

Per Section 10.2.18.C of the Unified Development Ordinance, the Development Services Director, or designee, shall consult with the heads of other City Departments regarding the review of the request. The Development Services Director, or designee, shall approve, approve with conditions or deny the request, but must do so within 60 days of the receipt of a completed application. Additional time may be necessary if a municipal or state entity is incorporated in the review process or if a detailed engineering study is submitted in conjunction with the request.

PROJECT	Project Name	Wakefield Professional Plaza	
	Development Case Number	SR-86-18	
	Transaction Number	568980	
	Design Adjustment Number	DA - 117 - 2018	
Staff recommendation based upon the findings in the applicable code(s):			
<input checked="" type="checkbox"/> <u>UDO Art. 8.3 Blocks, Lots, Access</u>		<input checked="" type="checkbox"/> <u>UDO Art. 8.5 Existing Streets</u>	
<input type="checkbox"/> <u>UDO Art. 8.4 New Streets</u>		<input type="checkbox"/> <u>Raleigh Street Design Manual</u>	
Staff SUPPORTS <input checked="" type="checkbox"/> DOES NOT SUPPORT <input type="checkbox"/> the design adjustment request.			
DEPARTMENTS			
<input type="checkbox"/> Dev. Services Planner		<input type="checkbox"/> City Planning	
<input checked="" type="checkbox"/> Development Engineering <i>KC Beard</i>		<input type="checkbox"/> Transportation	
<input type="checkbox"/> Engineering Services		<input type="checkbox"/> Parks & Recreation and Cult. Res.	
<input type="checkbox"/> Public Utilities			
STAFF RESPONSE	CONDITIONS:		
Development Services Director or Designee Action: <input checked="" type="checkbox"/> APPROVE <input type="checkbox"/> APPROVE WITH CONDITIONS <input type="checkbox"/> DENY			

[Signature]
Authorized Signature KENNETH W. ETRICHIE, PE, MPA *KC Beard* **ENGINEERING AND INFRASTRUCTURE MANAGER** Date 2/1/2019

*The Development Services Director may authorize a designee to sign in his/her stead. Please print name and title next to signature. Appeal of the decision from the Development Services Director, or his or her designee, shall be made in writing within 30 days to the Board of Adjustment (see Section 10.2.18.C3b).

Staff Response

Article 8.3 Blocks Lots, Access



DEVELOPMENT
SERVICES
DEPARTMENT

The Development Services Director may in accordance with *Sec. 10.2.18*. approve a design adjustment, subject to all of the following findings.

- A. The requested design adjustment meets the intent of this Article;
YES NO
- B. The requested design adjustment conforms with the Comprehensive Plan and adopted City plans;
YES NO
- C. The requested design adjustment does not increase congestion or compromise Safety;
YES NO
- D. The requested design adjustment does not create any lots without direct street Frontage;
YES NO
- E. The requested design adjustment is deemed reasonable due to one or more of the following:
1. Topographic changes are too steep;
 2. The presence of existing buildings, stream and other natural features;
 3. Site layout of developed properties;
 4. Adjoining uses or their vehicles are incompatible;
 5. Strict compliance would pose a safety hazard; or
 6. Does not conflict with an approved or built roadway construction project
 7. adjacent to or in the vicinity of the site.
- YES NO

STAFF FINDINGS

The zoning for this property is CX-3 which requires a maximum block perimeter of 3,000'. This plan is being constructed with access coming from existing Ingleside Place. This street provides public access to the cul-de-sac bulb which is 480' in length and continues to the terminus as privately owned by the north and south parcels west adjacent to Ingleside Place. Wakefield Plantation Tournament Players Club -Golf Course exists west of Ingleside Place thereby preventing a connection that would reduce the current block perimeter.

Staff Response

Article 8.5 Existing Streets



DEVELOPMENT
SERVICES
DEPARTMENT

- A. The requested design adjustment meets the intent of this Article;
YES NO
- B. The requested design adjustment conforms with the Comprehensive Plan and adopted City plans;
YES NO
- C. The requested design adjustment does not increase congestion or compromise safety;
YES NO
- D. The requested design adjustment does not create additional maintenance responsibilities for the City; and
YES NO
- E. The requested design adjustment has been designed and certified by a Professional Engineer.
YES NO

STAFF FINDINGS

The existing 5' sidewalk along Forest Pines Drive and Ingeside Place will remain in place to be consistent with adjacent development. A fee-in-lieu for 1' sidewalk will be required to supplement the existing sidewalk to meet the current 6' sidewalk width requirement per the UDO.

Due to existing primary tree conservation area adjacent to Forest Pines Drive and the determination that Ingeside Place will not be widened in the future, the 5' utility placement easement was not required.

Design Adjustment Application



DEVELOPMENT SERVICES DEPARTMENT

The purpose of this request is to seek a Design Adjustment from the Development Services Director, or designee, for a specific project only and, if granted, may be approved with special conditions and provisions. This application and all further action shall be consistent with Section 10.2.18 in the Unified Development Ordinance (UDO). The consideration and decision of this request shall be based solely on the conformance of the findings, as outlined in Sec. 8.3.6, Sec. 8.4.1.E and Sec. 8.5.1.G of the UDO or the Raleigh Street Design Manual.

PROJECT	Project Name Wakefield Professional Plaza	
	Case Number S-86-18 SR-86-18	
	Transaction Number 568980	
OWNER	Name Shall Construction, LLC	
	Address 114 Tealight Lane	City Cary
	State NC	Zip Code 27513
	Phone (919) 633-0681	
CONTACT	Name Daniel J. McGlamery	
	Firm Drye-McGlamery Engineering, PLLC	
	Address PO Box 19558	City Raleigh
	State NC	Zip Code 27619-9558
REQUEST	Phone (704) 960-0180	
	I am seeking a Design Adjustment from the requirements set forth in the following:	
	<input checked="" type="checkbox"/> UDO Art. 8.3 Blocks, Lots, Access	- See page 2 for findings
	<input type="checkbox"/> UDO Art. 8.4 New Streets	- See page 3 for findings
	<input checked="" type="checkbox"/> UDO Art. 8.5 Existing Streets	- See page 4 for findings
	<input checked="" type="checkbox"/> Raleigh Street Design Manual	- See page 5 for findings
Provide details about the request: (please attach a memorandum if additional space is needed):		
The proposed development is planning to develop an outparcel of a previously developed site on Ingleside Place #1 - 8.3 - The block perimeter length for this lot exceeds the allowable 3000 LF. #2 - 8.5 - Maintain sidewalk 5' width and 3.5' planting strip within right-of-way to match existing 5' sidewalk along Ingleside Dr and adjacent properties. #3 - 8.5 - Exclude 5' general utility easement outside of proposed right-of-way.		

It is the responsibility of the applicant to provide all pertinent information needed for the consideration of this request. Applicant must be the Property Owner.

By signing this document, I hereby acknowledge the information on this application is, to my knowledge, accurate.

Owner/Owner's Representative Signature

Date 10/16/18

CHECKLIST	
Signed Design Adjustment Application	<input checked="" type="checkbox"/> Included
Page(s) addressing required findings	<input checked="" type="checkbox"/> Included
Plan(s) and support documentation	<input checked="" type="checkbox"/> Included
Notary page (page 6) filled out; Must be signed by property owner	<input checked="" type="checkbox"/> Included
First Class stamped and addressed envelopes with completed notification letter	<input type="checkbox"/> Included

Submit all documentation, with the exception of the required addressed envelopes and letters to designadjustments@raleighnc.gov.

Deliver the addressed envelopes and letters to:
 Development Services, Development Engineering
 One Exchange Plaza, Suite 500
 Raleigh NC, 27601

For Office Use Only	RECEIVED DATE:	DA -
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Article 8.3, Blocks, Lots, Access

Administrative Design Adjustment Findings



DEVELOPMENT
SERVICES
DEPARTMENT

The Development Services Director may in accordance with Sec. 10.2.18. approve a design adjustment, subject to all of the following findings. Describe how each item is met:

- A. The requested design adjustment meets the intent of this Article;
The requested design adjustment does meet the intent of the UDO. The existing dead end street length is slightly less than the maximum allowed by the current UDO (400 LF). This existing street was developed prior to current UDO.
- B. The requested design adjustment conforms with the Comprehensive Plan and adopted City plans;
Proposed development is consistent with Comprehensive plans and requirements of the UDO concerning lots and access. We are providing safe, efficient, and convenient access for vehicles, bicycles, and pedestrians.
- C. The requested design adjustment does not increase congestion or compromise Safety;
No additional congestion or compromise in safety will be caused by not decreasing the block perimeter length.
- D. The requested design adjustment does not create any lots without direct street Frontage;
No additional lots will be created.

All existing lots on this street were created by previous planned development. All remaining existing lots have direct street frontage.
- E. The requested design adjustment is deemed reasonable due to one or more of the following:
1. Topographic changes are too steep;
 2. The presence of existing buildings, stream and other natural features;
 3. Site layout of developed properties;
 4. Adjoining uses or their vehicles are incompatible;
 5. Strict compliance would pose a safety hazard; or
 6. Does not conflict with an approved or built roadway construction project
 7. adjacent to or in the vicinity of the site.

The main reason for the exceeding length requirement is due to a large jurisdictional stream that bisects this area of development (Richland Creek).

The two stream crossings north and south of the site are along a secondary arterial (Falls of Neuse Rd) and a Minor Thoroughfare (Forest Pines Drive).

No other crossing would be justified due to stream impacts.

Article 8.5 Existing Streets

Administrative Design Adjustment Findings



DEVELOPMENT
SERVICES
DEPARTMENT

The Development Services Director may in accordance with *Sec. 10.2.18*, approve a design adjustment, subject to all of the following findings. Describe how each item is met:

- A. The requested design adjustment meets the intent of this Article;

Design adjustment meets intent for providing street typology and streetscape and adequate travel lanes. Existing sidewalk and planting strip width was developed in the early 2000s. Right-of-way dedication will occur for full right-of-way width. All utilities were installed in the existing right-of-way during original development. No need for additional GUE. Type C3 buffer yard will be installed adjacent to right-of-way.

- B. The requested design adjustment conforms with the Comprehensive Plan and adopted City plans;

Proposed development is consistent with Comprehensive plans and requirements of the UDO concerning existing streets including dedicating additional right-of-way on Ingleside Place as part of this development. Outparcel was created during previous development prior to new UWPOD regulations requiring 40% of site to be wooded (site is meeting this requirement). New UWPOD requirements put in place after lots were recorded increases difficulty in meeting all new UDO

- C. The requested design adjustment does not increase congestion or compromise safety;

No additional congestion or compromise in safety will be caused by not decreasing the block perimeter length.

- D. The requested design adjustment does not create additional maintenance responsibilities for the City; and

No additional maintenance responsibilities are created by this design adjustment.

- E. The requested design adjustment has been designed and certified by a Professional Engineer.

Design adjustment has been designed by a professional engineer from Drye-McGlamery Engineering. Administrative Site Plan review is in progress.

Individual Acknowledgement



DEVELOPMENT
SERVICES
DEPARTMENT

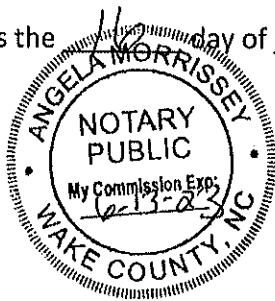
STATE OF NORTH CAROLINA
COUNTY OF Wake

INDIVIDUAL

I, Angela Morrissey, a Notary Public do hereby certify that
Manoj Jain personally appeared before me this day and
acknowledged the due execution of the forgoing instrument.

This the 16 day of October, 2018.

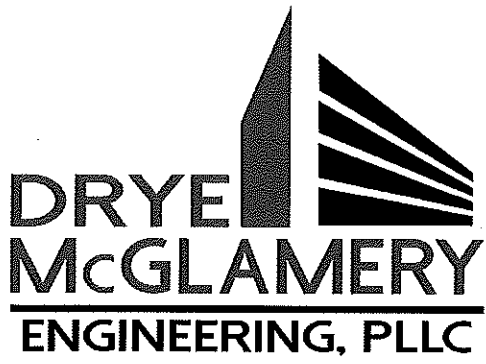
(SEAL)



Notary Public

Angela Morrissey

My Commission Expires: June 13, 2023

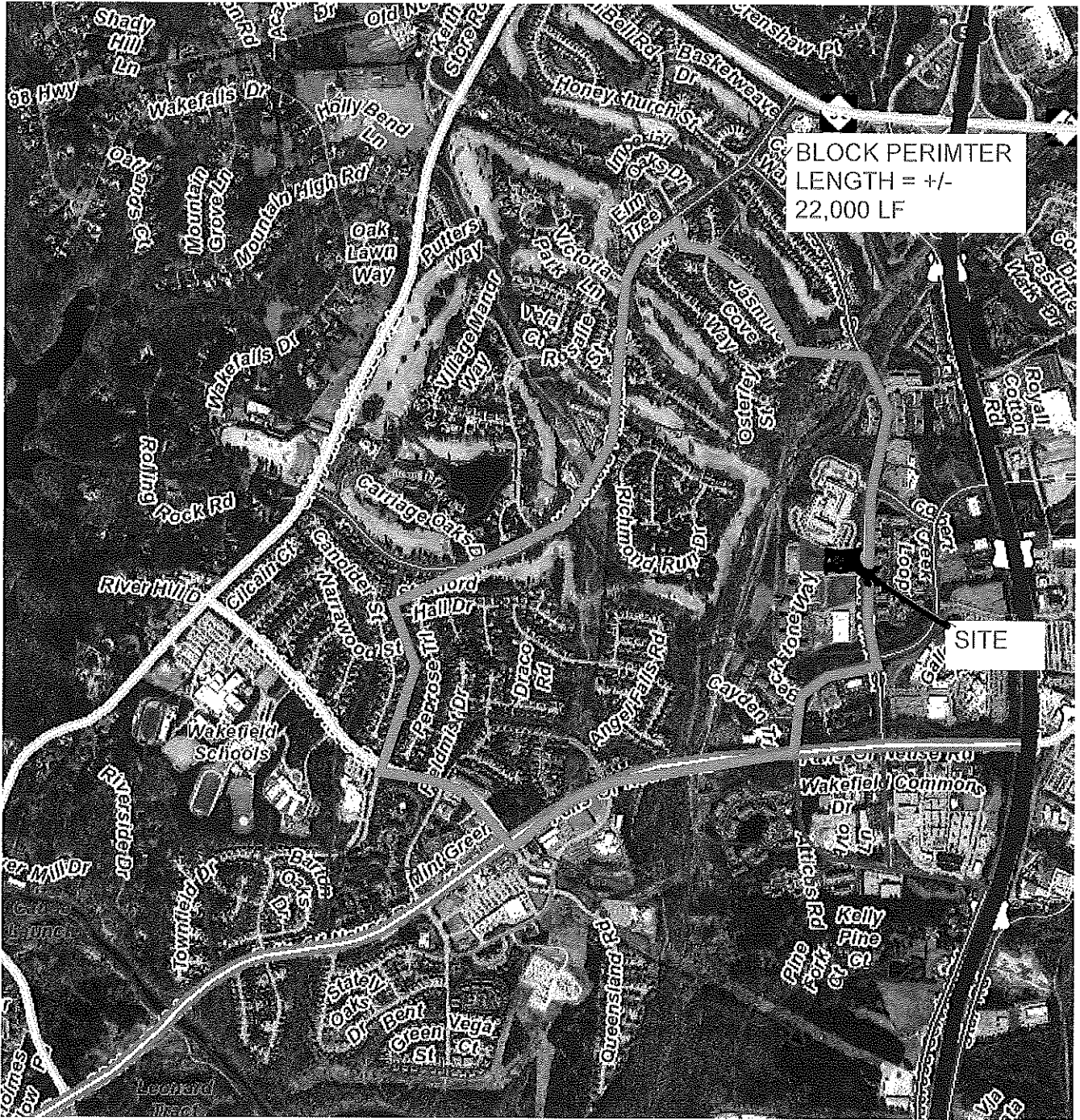


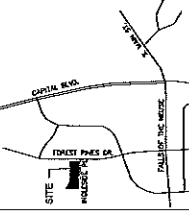
11005 & 11009 Ingleside Pl
Raleigh, NC 27614

S-86-18, Transaction No: 568980

Design Adjustment Sketch

Zoning: CX-3-PK, UWPOD
Block Perimeter Length: 3,000 LF MAX.





VICINITY MAP N.T.S.
SURVEY DISCLAIMER
SURVEY INFORMATION PREPARED BY L. JORDAN PARKER (PLS L486) ON MAY 4, 2018.
ENGINEERING, PLANNING, ARCHITECTURE & DESIGN
333 S. WHITE STREET, WAKE FOREST, NC 27708

LEGEND

SYMBOL	DETAIL
[Symbol]	PROPOSED SIDEWALK
[Symbol]	PROPOSED SIDEWALK
[Symbol]	PROPOSED SIDEWALK
[Symbol]	PROPOSED WHEEL STOP
[Symbol]	PROPOSED ADA COMPLIANT SIDE WALK
[Symbol]	PROPOSED UNPAVED UNIMPROVED SIDEWALK
[Symbol]	LET NUMBER DEVELOPMENT PLAT



PROJECT NO. 201808
ISSUED FOR REVIEW
DATE: 05/04/18
DRAWN BY: DJM
CHECKED BY: JWD
SCALE: 1"=30'

WAKEFIELD PROFESSIONAL PLAZA
1100 S. 1100 INGLETSIDE PLACE
WAKE FOREST, NC 27708
DRYE-McGLAVERY
NORTH CAROLINA
5726 SIX FORKS ROAD, SUITE 203
RALEIGH, NC 27609

C-2.0
MATERIALS PLAN
STAKING PLAN

TRAFFIC CONTROL NOTES
1. REFERS TO C-2.1 AND C-2.2 FOR TRAFFIC CONTROL NOTES.
STAKING AND MATERIAL PLAN NOTES
1. SEE ARCHITECTURAL PLANS FOR BUILDING DIMENSIONS (P.O.B.). ALL DIMENSIONS ARE AT TO FINISH UNLESS NOTED.
2. CONTRACTOR SHALL ESTABLISH POINT OF BEGINNING (P.O.B.) AND STAKE SITE AS INDICATED ON CONSTRUCTION DOCUMENTS.
3. CONTRACTOR SHALL OBTAIN NECESSARY PERMITS AND DOCUMENTS FROM APPROPRIATE AGENCIES PRIOR TO COMMENCEMENT OF ANY CONSTRUCTION.
4. ALL DIMENSIONS ARE TO EDGE OF PAVEMENT, FACE OF CURB OR CENTERLINE UNLESS NOTED OTHERWISE.
5. WITH THESE CONSTRUCTION DOCUMENTS.

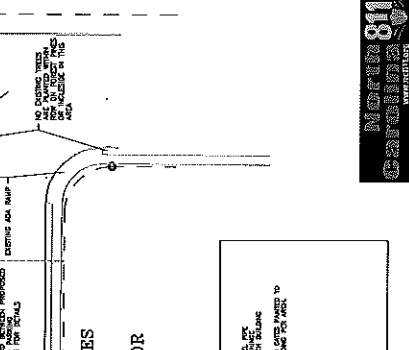
DRIVEWAY INFORMATION
PROJECT NAME: INGLETSIDE MEDICAL PARK
PROJECT ADDRESS: 1100 S. 1100 INGLETSIDE PLACE
SITE ADDRESS: 3.19 ACRES (1.07 AC. ± 16.6 AC. ±)
ZONING DISTRICT: CU-3-RK (MEDICAL OFFICE) OVERLAY DISTRICT
PROPOSED USE: MEDICAL (ALLOWED)
EXISTING BUILDING: N/A SF
REQUIRED AREA: 36,300 SF
PROVIDED AREA: 36,300 SF
BUILDING DIMENSIONS: 10 FT (MIN) X 3 FT (MIN) X 50 FT (MIN)
ADJACENT STREET: N 82nd ST
ALLEY: N/A

PARKING CALCULATIONS
ZONING REQUIREMENTS: 50 FT (MIN) FRONT SETBACK; 3 FT (MIN) SIDE SETBACK; 50 FT (MIN) REAR SETBACK
EXISTING PARKING: N/A
PROPOSED PARKING: 132 SPACES
TOTAL SPACES: 132 SPACES
REQUIREMENTS: 1 SPA/2,700 SF - 36,300 SF = 132 SPACES
PROVIDED: 132 SPACES
TOTAL SPACES: 132 SPACES
REQUIREMENTS: 1 SPA/2,700 SF - 36,300 SF = 132 SPACES
PROVIDED: 132 SPACES

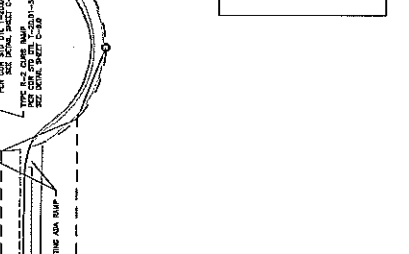
ADDITIONAL INFORMATION
ADJACENT STREET: N 82nd ST
ALLEY: N/A
PROPOSED USE: MEDICAL (ALLOWED)
EXISTING BUILDING: N/A SF
REQUIRED AREA: 36,300 SF
PROVIDED AREA: 36,300 SF
BUILDING DIMENSIONS: 10 FT (MIN) X 3 FT (MIN) X 50 FT (MIN)
ADJACENT STREET: N 82nd ST
ALLEY: N/A

DL SUMMARY

LOT NO.	LOT AREA (SQ. FT.)	LOT AREA (AC.)	LOT AREA (AC.)	DEVELOPMENT TYPE	DEVELOPMENT TYPE	DEVELOPMENT TYPE
1	3,312	0.08	0.08	RESIDENTIAL	RESIDENTIAL	RESIDENTIAL
2	3,312	0.08	0.08	RESIDENTIAL	RESIDENTIAL	RESIDENTIAL
3	3,312	0.08	0.08	RESIDENTIAL	RESIDENTIAL	RESIDENTIAL
4	3,312	0.08	0.08	RESIDENTIAL	RESIDENTIAL	RESIDENTIAL
5	3,312	0.08	0.08	RESIDENTIAL	RESIDENTIAL	RESIDENTIAL
6	3,312	0.08	0.08	RESIDENTIAL	RESIDENTIAL	RESIDENTIAL
7	3,312	0.08	0.08	RESIDENTIAL	RESIDENTIAL	RESIDENTIAL
8	3,312	0.08	0.08	RESIDENTIAL	RESIDENTIAL	RESIDENTIAL
9	3,312	0.08	0.08	RESIDENTIAL	RESIDENTIAL	RESIDENTIAL
10	3,312	0.08	0.08	RESIDENTIAL	RESIDENTIAL	RESIDENTIAL
11	3,312	0.08	0.08	RESIDENTIAL	RESIDENTIAL	RESIDENTIAL
12	3,312	0.08	0.08	RESIDENTIAL	RESIDENTIAL	RESIDENTIAL
13	3,312	0.08	0.08	RESIDENTIAL	RESIDENTIAL	RESIDENTIAL
14	3,312	0.08	0.08	RESIDENTIAL	RESIDENTIAL	RESIDENTIAL
15	3,312	0.08	0.08	RESIDENTIAL	RESIDENTIAL	RESIDENTIAL
16	3,312	0.08	0.08	RESIDENTIAL	RESIDENTIAL	RESIDENTIAL
17	3,312	0.08	0.08	RESIDENTIAL	RESIDENTIAL	RESIDENTIAL
18	3,312	0.08	0.08	RESIDENTIAL	RESIDENTIAL	RESIDENTIAL
19	3,312	0.08	0.08	RESIDENTIAL	RESIDENTIAL	RESIDENTIAL
20	3,312	0.08	0.08	RESIDENTIAL	RESIDENTIAL	RESIDENTIAL
21	3,312	0.08	0.08	RESIDENTIAL	RESIDENTIAL	RESIDENTIAL
22	3,312	0.08	0.08	RESIDENTIAL	RESIDENTIAL	RESIDENTIAL
23	3,312	0.08	0.08	RESIDENTIAL	RESIDENTIAL	RESIDENTIAL
24	3,312	0.08	0.08	RESIDENTIAL	RESIDENTIAL	RESIDENTIAL
25	3,312	0.08	0.08	RESIDENTIAL	RESIDENTIAL	RESIDENTIAL
26	3,312	0.08	0.08	RESIDENTIAL	RESIDENTIAL	RESIDENTIAL
27	3,312	0.08	0.08	RESIDENTIAL	RESIDENTIAL	RESIDENTIAL
28	3,312	0.08	0.08	RESIDENTIAL	RESIDENTIAL	RESIDENTIAL
29	3,312	0.08	0.08	RESIDENTIAL	RESIDENTIAL	RESIDENTIAL
30	3,312	0.08	0.08	RESIDENTIAL	RESIDENTIAL	RESIDENTIAL
31	3,312	0.08	0.08	RESIDENTIAL	RESIDENTIAL	RESIDENTIAL
32	3,312	0.08	0.08	RESIDENTIAL	RESIDENTIAL	RESIDENTIAL
33	3,312	0.08	0.08	RESIDENTIAL	RESIDENTIAL	RESIDENTIAL
34	3,312	0.08	0.08	RESIDENTIAL	RESIDENTIAL	RESIDENTIAL
35	3,312	0.08	0.08	RESIDENTIAL	RESIDENTIAL	RESIDENTIAL
36	3,312	0.08	0.08	RESIDENTIAL	RESIDENTIAL	RESIDENTIAL
37	3,312	0.08	0.08	RESIDENTIAL	RESIDENTIAL	RESIDENTIAL
38	3,312	0.08	0.08	RESIDENTIAL	RESIDENTIAL	RESIDENTIAL
39	3,312	0.08	0.08	RESIDENTIAL	RESIDENTIAL	RESIDENTIAL
40	3,312	0.08	0.08	RESIDENTIAL	RESIDENTIAL	RESIDENTIAL
41	3,312	0.08	0.08	RESIDENTIAL	RESIDENTIAL	RESIDENTIAL
42	3,312	0.08	0.08	RESIDENTIAL	RESIDENTIAL	RESIDENTIAL
43	3,312	0.08	0.08	RESIDENTIAL	RESIDENTIAL	RESIDENTIAL
44	3,312	0.08	0.08	RESIDENTIAL	RESIDENTIAL	RESIDENTIAL
45	3,312	0.08	0.08	RESIDENTIAL	RESIDENTIAL	RESIDENTIAL
46	3,312	0.08	0.08	RESIDENTIAL	RESIDENTIAL	RESIDENTIAL
47	3,312	0.08	0.08	RESIDENTIAL	RESIDENTIAL	RESIDENTIAL
48	3,312	0.08	0.08	RESIDENTIAL	RESIDENTIAL	RESIDENTIAL
49	3,312	0.08	0.08	RESIDENTIAL	RESIDENTIAL	RESIDENTIAL
50	3,312	0.08	0.08	RESIDENTIAL	RESIDENTIAL	RESIDENTIAL



NOTE: DUE TO FLAT GRADE, ALL SIDEWALK ROUTES ON SITE WILL BE ADA ACCESSIBLE.
NOTE: REFER TO TRANSPORTATION PLAN C-2.1 FOR EXISTING STREET AND RIGHT-OF-WAY DIMENSIONS.



PROPOSED SOLID WASTE SCREEN WALL DETAIL
USE OF SOLID WASTE SCREEN WALL SHALL BE AS SHOWN IN THIS DETAIL.
SCREEN SHALL BE 18" HIGH AND 18" WIDE PER FOOT OF WALL.

DRYE-McGLAVERY ENGINEERING, PLLC
NO. 100 PEARSON DRIVE
WAKE FOREST, NC 27708
PH: 919.750.1000
WWW.DRYEMCGLAVERY.COM

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NO. 100 PEARSON DRIVE
WAKE FOREST, NC 27708
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**Administrative Site Review Application
(for UDO Districts only)**



DEVELOPMENT SERVICES DEPARTMENT

Development Services Customer Service Center | Exchange Plaza, Suite 400 | Raleigh, NC 27601 | 919-996-2495 | ext. 919-996-1831
Litchford Satellite Office | 8320 - 130 Litchford Road | Raleigh, NC 27601 | 919-996-4200

When submitting plans, please check the appropriate building type and include the Plan Checklist document.

BUILDING TYPE	FOR OFFICE USE ONLY
<input type="checkbox"/> Detached <input type="checkbox"/> Attached <input type="checkbox"/> Apartment <input type="checkbox"/> Townhouse	<input checked="" type="checkbox"/> General <input type="checkbox"/> Mixed Use <input type="checkbox"/> Open Lot
	Transaction Number Assigned Project Coordinator Assigned Team Leader

Has your project previously been through the Due Diligence or Sketch Plan Review process? If yes, provide the transaction #

GENERAL INFORMATION

Development Name: Wakefield Professional Plaza

Zoning District: CX-3-PK Overlay District (if applicable): UWPOD Inside City Limits? Yes No

Proposed Use: Medical Office Building

Property Address(es): 11005 and 11009 Ingleside Pl, Raleigh, NC 27614 Major Street Locator: Forest Pines Dr & Ingleside Pl

Wake County Property Identification Number(s) for each parcel to which these guidelines will apply:

P.I.N. 1830318692 P.I.N. 1830412549 P.I.N. P.I.N.

What is your project type? Apartment Elderly Facilities Hospitals Hotels/Motels Office
 Mixed Residential Non-Residential Condo School Shopping Center Banks Industrial Building
 Duplex Telecommunication Tower Religious Institutions Residential Condo Retail Cottage Court
 Other: If other, please describe:

WORK SCOPE
Per City Code Section 10.2.8.D.1, summarize the project work scope. For additions, changes of use, or occupancy (per Chapter 6 of the UDO), indicate impacts on parking requirements.
Construct (1), Three Story Medical Office Building and required parking/site requirements.

DESIGN ADJUSTMENT OR ADMIN ALTERNATE
Per City Code Chapter 8, summarize if your project requires either a design adjustment, or Section 10 - Alternate Administrative AD
Block Perimeter Design Adjustment, Cross Access Design Adjustment

CLIENT/DEVELOPER/OWNER
Company: Westchester Commercial, LLC Name (s): Manoj Jain
Address: 5213 Winding View Lane, Raleigh, NC 27615
Phone (919) 728-4801 Email: jainm@shailhomes.com Fax (919) 882-9077

CONSULTANT (Contact Person for Plans)
Company: Drye-McGlamery Engineering, PLLC Name (s): Daniel J. McGlamery, PE
Address: 5720 Six Forks Rd, Suite 203, Raleigh, NC 27609
Phone (704) 960-0180 Email: daniel.mcglamery@dryeengineering.com Fax (919) 882-9077

PAGE 1 OF 3 WWW.RALEIGHNC.GOV REVISION 05.13.16

DEVELOPMENT TYPE & SITE DATA TABLE (Applicable to all developments)	
Zoning District(s) CX-3-PK	Proposed building use(s) Medical
If more than one district, provide the acreage of each: N/A	Existing Building(s) sq. ft. gross 0
Overlay District Urban Watershed Protection Overlay District - UWPOD	Proposed Building(s) sq. ft. gross 36,360
Total Site Acres Inside City Limits <input checked="" type="checkbox"/> Yes <input type="checkbox"/> No 1.82+1.37 = 3.19 ac.	Total sq. ft. gross (existing & proposed) 36,360
Off street parking: Required 122 Provided 124	Proposed height of building(s) 43.29
COA (Certificate of Appropriateness) case #	# of stories 3
BOA (Board of Adjustment) case # A-	Ceiling height of 1 st Floor 14
CUD (Conditional Use District) case # Z-	
Stormwater Information	
Existing Impervious Surface 0 sf acres/square feet	Flood Hazard Area <input type="checkbox"/> Yes <input checked="" type="checkbox"/> No
Proposed Impervious Surface 80,000 sf acres/square feet	If Yes, please provide: Alluvial Soils N/A Flood Study N/A FEMA Map Panel # N/A
Neuse River Buffer <input type="checkbox"/> Yes <input checked="" type="checkbox"/> No Wetlands <input type="checkbox"/> Yes <input checked="" type="checkbox"/> No	

FOR RESIDENTIAL DEVELOPMENTS	
1. Total # Of Apartment, Condominium or Residential Units	5. Bedroom Units: 1br 2br 3br 4br or more
2. Total # Of Congregate Care Or Life Care Dwelling Units	6. Infill Development 2.2.7
3. Total Number of Hotel Units	7. Open Space (only) or Amenity
4. Overall Total # Of Dwelling Units (1-6 Above)	8. Is your project a cottage court? <input type="checkbox"/> Yes <input type="checkbox"/> No

SIGNATURE BLOCK (Applicable to all developments)

In filing this plan as the property owner(s), I/we do hereby agree and firmly bind ourselves, my/our heirs, executors, administrators, successors and assigns jointly and severally to construct all improvements and make all dedications as shown on this proposed development plan as approved by the City.

I hereby designate **Daniel McGlamery, PE** to serve as my agent regarding this application, to receive and respond to administrative comments, to resubmit plans on my behalf and to represent me in any public meeting regarding this application.

I/we have read, acknowledge and affirm that this project is conforming to all application requirements applicable with the proposed development use.

Signed: *Manoj Jain* Date: 12/20/18

Printed Name: _____

Signed: _____ Date: _____

Printed Name: _____

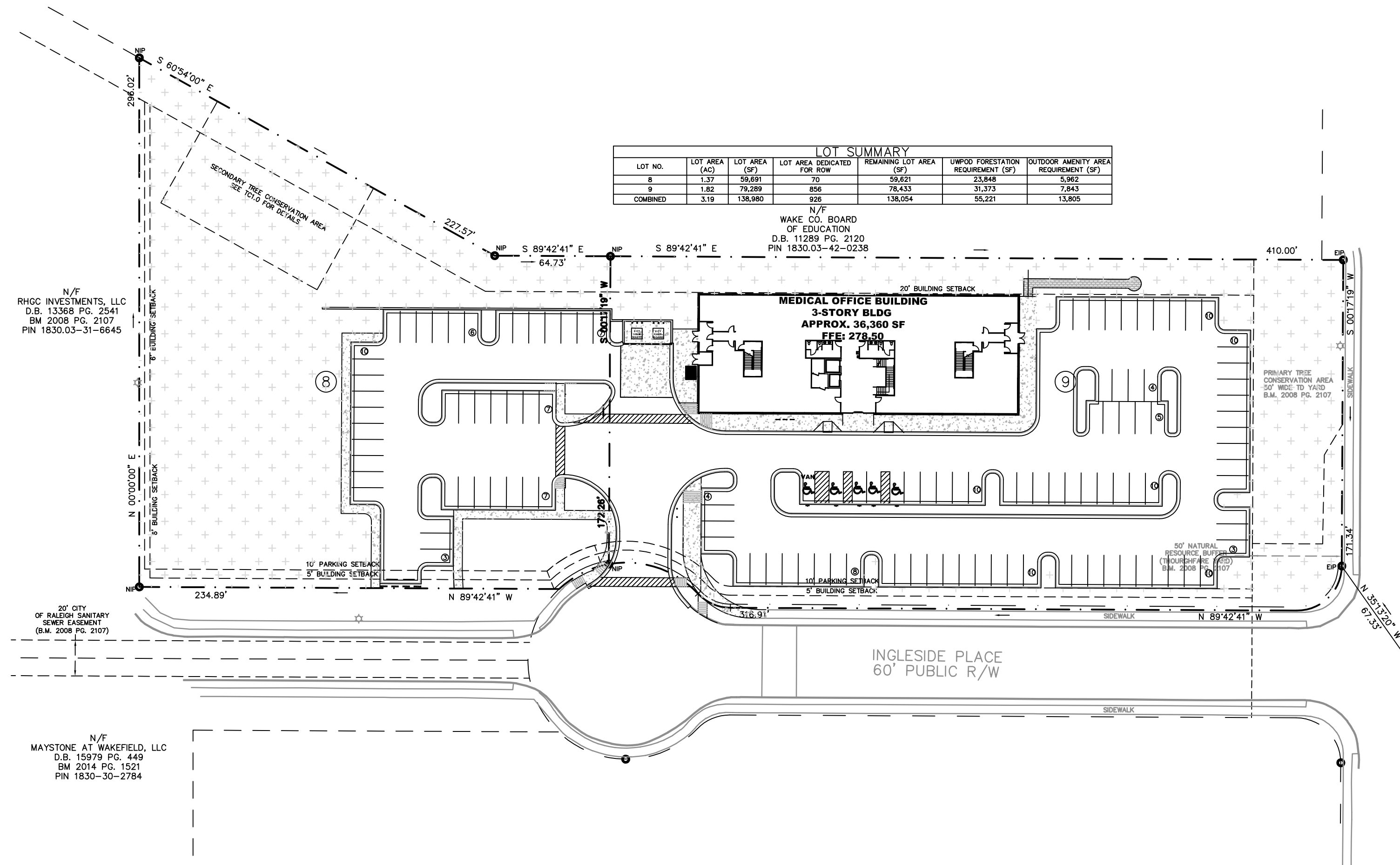
PAGE 2 OF 3 WWW.RALEIGHNC.GOV REVISION 05.13.16

**ADMINISTRATIVE SITE PLAN REVIEW FOR
WAKEFIELD PROFESSIONAL PLAZA AT
11005 AND 11009 INGLESIDE PLACE**

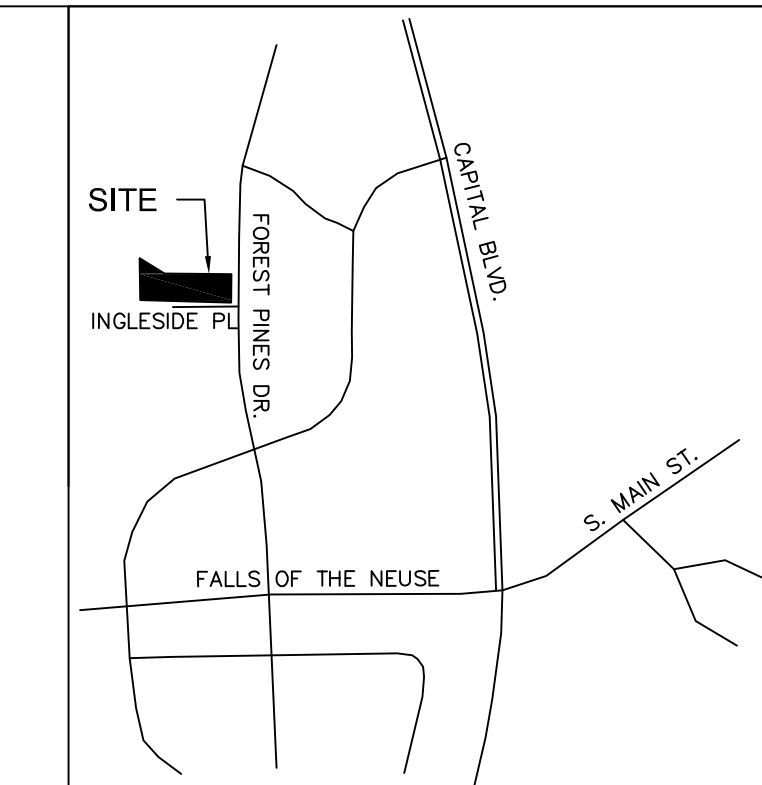
FILE #: SR-86-18
TRANSACTION #: 568890

OWNER
WESTCHESTER COMMERCIAL, LLC
MANOJ JAIN
5213 WINDING VIEW LANE
RALEIGH, NC 27615
(919) 633-0681
jainm@shailhomes.com

CIVIL ENGINEER
DANIEL J. MCGLAMERY, PE
DRYE-MCGLAMERY ENGINEERING, PLLC
5270 SIX FORKS RD, SUITE 203
RALEIGH, NC 27609
PHONE: (704) 960-0180
daniel.mcglamery@dryeengineering.com



LOT NO.	LOT AREA (AC)	LOT AREA (SQ FT)	LOT AREA DEDICATED FOR ROW	REMAINING LOT AREA (SQ FT)	UWPOD FORESTATION REQUIREMENT (SQ FT)	OUTDOOR AMENITY AREA REQUIREMENT (SQ FT)
8	1.37	59,891	0	59,891	23,542	5,362
9	1.82	79,280	856	78,424	31,373	7,243
COMBINED	3.19	139,170	856	138,314	54,915	12,605



VICINITY MAP N.T.S.

SURVEY DISCLAIMER

SURVEY INFORMATION PREPARED BY L. JORDAN PARKER (PLS L-4665) ON MAY 4, 2018. CAWTHORNE, MOSS, & PANCIERA, PC, 333 S. WHITE STREET, WAKE FOREST, NC 27588



SITE DATA INFORMATION

PROJECT NAME: INGLESIDE MEDICAL PARK
PROJECT ADDRESS: 11005/11009 INGLESIDE PLACE RALEIGH, NC 27607

SITE ACREAGE: 3.19 ACRES (1.37 AC.&1.82 AC.)

ZONING DISTRICT: CX-3-PK, - UWPOD
OVERLAY DISTRICT: URBAN WATERSHED PROTECTION OVERLAY DISTRICT

PROPOSED USE: MEDICAL (ALLOWED)

EXISTING BUILDING: N/A SF
PROPOSED BUILDING: 35,000 SF

AMENITY AREA REQUIREMENTS
REQUIRED AMENITY AREA = 10%
LOT AREA INSIDE RIGHT-OF-WAY: 3.31 ACRES
REQ'D AMENITY AREA = 10% * 3.31 AC = 0.331 AC.
PROVIDED AMENITY AREA = 0.331 AC.

BUILDING DIMENSIONAL REQUIREMENTS
FRONT SB: 5 FT (MIN.) 50 FT (PROVIDED)
REAR SB: 6 FT (MIN.) 20 FT (PROVIDED)
SIDE SB: 6 FT (MIN.) 6 FT (MIN. (PROVIDED))
SIDE STREET SB 5 FT (MIN.) 50 FT (PROVIDED)
ALLEY SB N/A N/A

PARKING DIMENSIONAL REQUIREMENTS
FRONT SB: 10 FT (MIN.) 50 FT (PROVIDED)
REAR SB: 3 FT (MIN.) 20 FT (PROVIDED)
SIDE SB: 3 FT (MIN.) 6 FT (MIN. (PROVIDED))
SIDE STREET SB 10 FT (MIN.) 50 FT (PROVIDED)
ALLEY SB N/A N/A

BUILDING HEIGHT REQUIREMENTS
BUILDING HEIGHT: 50 FT (MAX) 43.29 FT (PROVIDED)
ACCESSORY HEIGHT: 25 FT (MAX) N/A (PROVIDED)

FLOOR HEIGHT REQUIREMENTS
GROUND FLOOR: 0 FT (MIN.) 0 FT (PROVIDED)
GROUND STORY HT: 11 FT (MIN.) 11 FT (PROVIDED)
UPPER STORY HT: 9 FT (MIN.) 9 FT (PROVIDED)

TRANSPARENCY REQUIREMENTS
GROUND STORY: 33% (MIN.) 33% (PROVIDED)
UPPER STORY: 20% (MIN.) 29% (MIN. PROVIDED)
BLANK WALL AREA: 30 FT (MAX.) 7.33 FT (SEE ARCH)

ALLOWED BUILDING ELEMENTS
BALCONY, GALLERY, AWNING

LOT 8 AND 9 WILL BE RECOMBINED FOLLOWING CONCURRENT DRAWING APPROVAL

DRAWING LIST

- C-0.0 COVER SHEET
- C-1.0 EXISTING CONDITIONS PLAN
- C-1.1 DEMOLITION PLAN
- C-2.0 STAKING AND MATERIALS PLAN
- C-2.1 TRANSPORTATION PLAN
- C-2.2 TRANSPORTATION PLAN NOTES
- C-4.0 GRADING AND DRAINAGE PLAN
- C-4.1 EXISTING STORMWATER BM 2008, PG 2106
- C-4.2 EXISTING STORMWATER BM 2008, PG 2106
- C-5.0 UTILITY PLAN
- C-6.0 SITE DETAILS
- C-6.1 SITE DETAILS
- C-6.2 SITE DETAILS
- L-1.0 PLANTING PLAN
- L-1.1 PLANTING NOTES & DETAILS
- TC-1.0 TREE CONSERVATION PLAN
- TC-1.1 TREE CONSERVATION CALCULATIONS
- A-1 1ST FLOOR PLAN
- A-2 2ND FLOOR PLAN
- A-3 3RD FLOOR PLAN
- A-4 EXTERIOR ELEVATIONS
- A-5 EXTERIOR ELEVATIONS

TREE CONSERVATION

PARTIAL TREE CONSERVATION ESTABLISHED BY INITIAL DEVELOPMENT PLAT. SEE TREE CONSERVATION PLAN

SOLID WASTE COMPLIANCE

THE SITE WILL UTILIZE A PRIVATE WASTE COLLECTION SERVICE AND USE COMMERCIAL DUMPSTERS. SITE IS COMPLIANT WITH CITY OF RALEIGH SOLID WASTE DESIGN MANUAL FOR DRIVEWAY WIDTH AND RADIUS REQUIREMENTS. SEE APPROVAL LETTER BY WASTE INDUSTRIES BASED ON CURRENT SITE PLAN.

IMPERVIOUS AREA SUMMARY

EXISTING IMPERVIOUS AREA: 0 SF
PROPOSED IMPERVIOUS AREA: 80,000 SF
NET INCREASE IN IMPERVIOUS AREA: 80,000 SF

PUBLIC IMPROVEMENTS QUANTITY TABLE

NUMBER OF LOT(S)	2
NUMBER OF UNITS	1
LIVABLE BUILDINGS	1
OPEN SPACE?	YES
PUBLIC WATER (LF)	0
PUBLIC SEWER (LF)	0
PUBLIC SIDEWALK (LF)	0
STREET SIGNS (LF)	0
WATER SERVICE STUBS	1
SEWER SERVICE STUBS	2

PARKING CALCULATIONS

PARKING REQUIREMENTS
BUILDING: 1 SPACE/300 SF

EXISTING PARKING: N/A
PROPOSED PARKING: 124

REQUIRED PARKING:
1 SPACE/300 SF * 36,360 SF = 122 SPACES

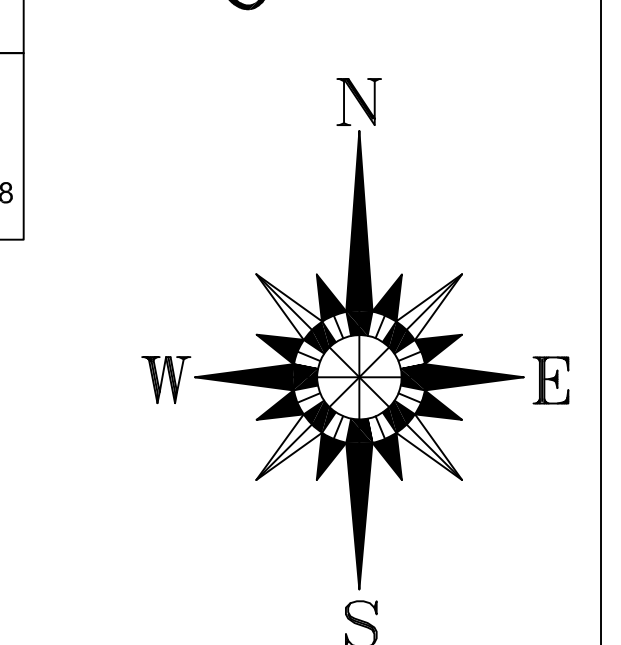
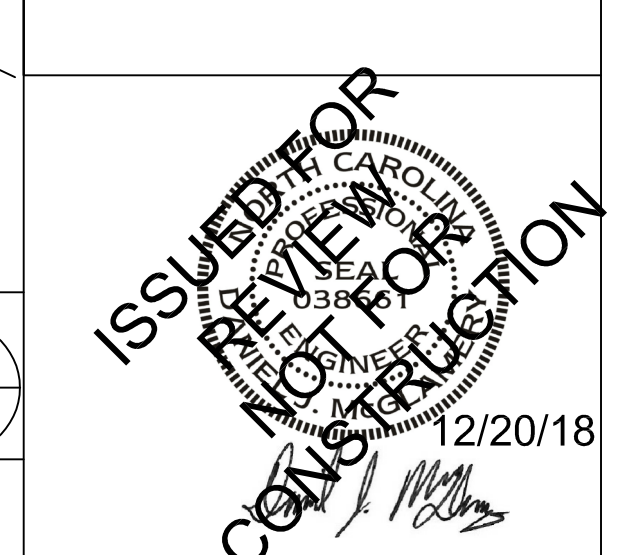
TOTAL REQUIRED: 122 SPACES
PARKING PROVIDED: 124 SPACES

PARKING REQUIREMENTS (CONT.)

HANDICAP SPACES
REQUIRED: 101-150 SPACES = 5
PROVIDED: 5 TOTAL SPACES
1 VAN SPACE REQUIRED

BICYCLE PARKING:
SHORT TERM 1 SP. PER 10000 SF, MIN. 4 SPACES.
LONG TERM 1 SP. PER 10000 SF, MIN. 4 SPACES

REQUIRED: 4 SHORT TERM SPACES
4 LONG TERM SPACES
4 SHORT TERM SPACES
4 LONG TERM SPACES



ISSUED FOR REVIEW

PROJECT NO: 2018038

ISSUED FOR REVIEW

REV	DESCRIPTION	DATE
A	ISSUED FOR REVIEW	09-07-18
B	RE-ISSUED FOR REVIEW	10-17-18
C	RE-ISSUED FOR REVIEW	12-20-18

DRAWN BY: DJM
CHECKED BY: HWD

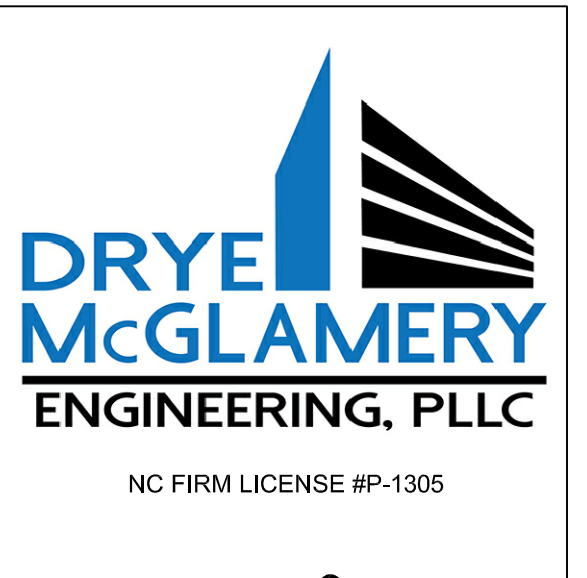
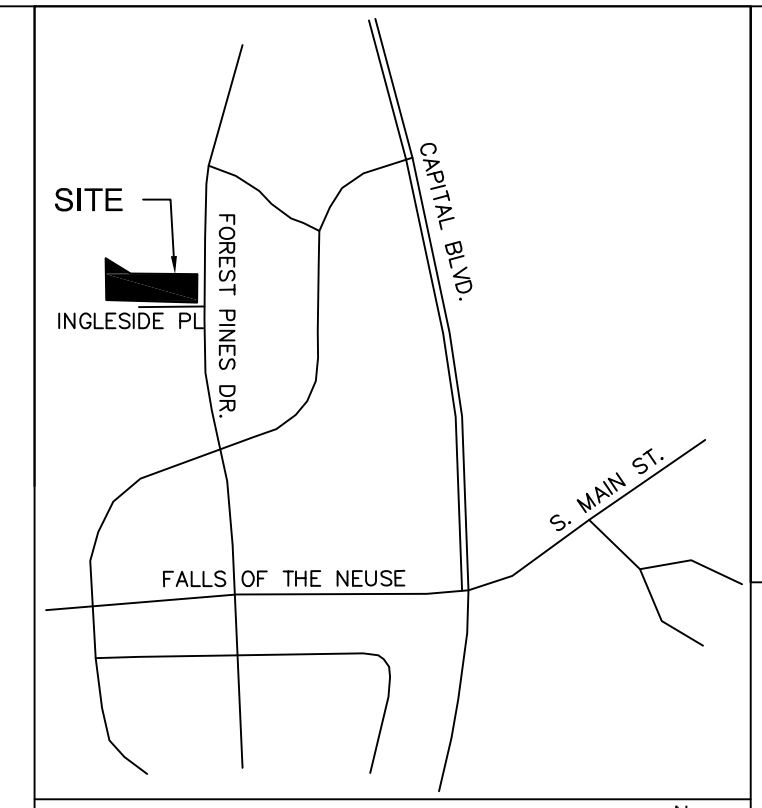
SCALE: 1" = 50'

COVER SHEET

C-0.0

DEMOLITION NOTES

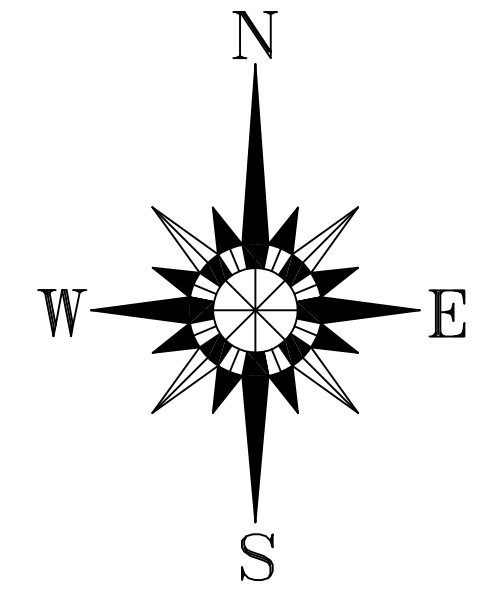
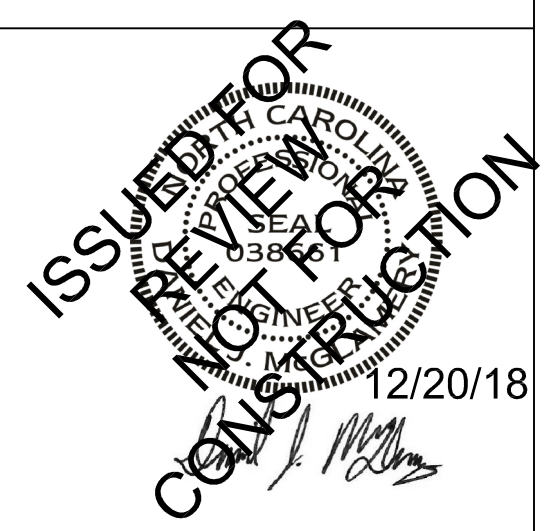
1. CONTRACTOR IS RESPONSIBLE FOR THE COORDINATION AND SEQUENCING OF DEMOLITION AS DESCRIBED BY THESE DOCUMENTS AND SPECIFICATIONS. CONTRACTOR IS TO OBTAIN ALL PERMITS.
2. EXISTING WELL AND SEPTIC SYSTEM ABANDONMENTS OR REMOVALS SHALL BE IN ACCORDANCE WITH WAKE COUNTY STANDARDS.
3. CONTRACTOR IS RESPONSIBLE FOR COORDINATION WITH OWNER AND UTILITY COMPANY FOR DEMOLITION OR RELOCATION OF APPLICABLE UTILITIES, IE, GAS, CABLE, POWER, TELEPHONE, WATER, SEWER, DUCT BANK, ETC. CONTRACTOR IS ALSO RESPONSIBLE FOR SCHEDULING, SEQUENCING, AND PROVIDING TEMPORARY MEASURES OF SERVICE FOR ALL APPLICABLE UTILITIES. EXISTING UTILITIES SHALL PROVIDE CONTINUOUS SERVICE THROUGHOUT CONSTRUCTION.
4. CONTRACTOR SHALL BE RESPONSIBLE TO IMMEDIATELY FIX ANY ACTIVE UTILITIES DAMAGED DURING CONSTRUCTION AT CONTRACTOR'S EXPENSE. THE OWNER WILL PAY TO MOVE OR REPAIR ANY UTILITIES ENCOUNTERED DURING CONSTRUCTION WHICH ARE NOT IDENTIFIED ON CONSTRUCTION DOCUMENTS OR SITE SURVEY.
5. ALL MATERIAL GENERATED BY THE DEMOLITION WILL BE HAULED FROM THE SITE AND DISPOSED OF PER LOCAL ORDINANCES.
6. SAW-CUT CONCRETE AND ASPHALT PAVEMENT, SIDEWALK OR CURB AND GUTTER BEFORE EXCAVATION WHERE CONSTRUCTION PLANS SHOW TIE-INS.
7. LINEBERRY DRIVE SHALL REMAIN OPEN AND UNOBSTRUCTED TO TRAFFIC AT ALL TIMES.
8. CONTRACTOR IS RESPONSIBLE FOR TRAFFIC CONTROL DURING CONSTRUCTION PER WORK AREA TRAFFIC CONTROL HANDBOOK STANDARDS. (W.A.T.C.H.)
9. CONTRACTOR SHALL COORDINATE ALL DEMOLITION OR INSTALLATION WORK ALONG LINEBERRY DRIVE WITH THE CITY OF RALEIGH.
10. REPAIR OR REPLACE ANY ADJACENT CONCRETE CURBING AND/OR SIDEWALK DAMAGED AS PART OF DEMOLITION PROCESS.



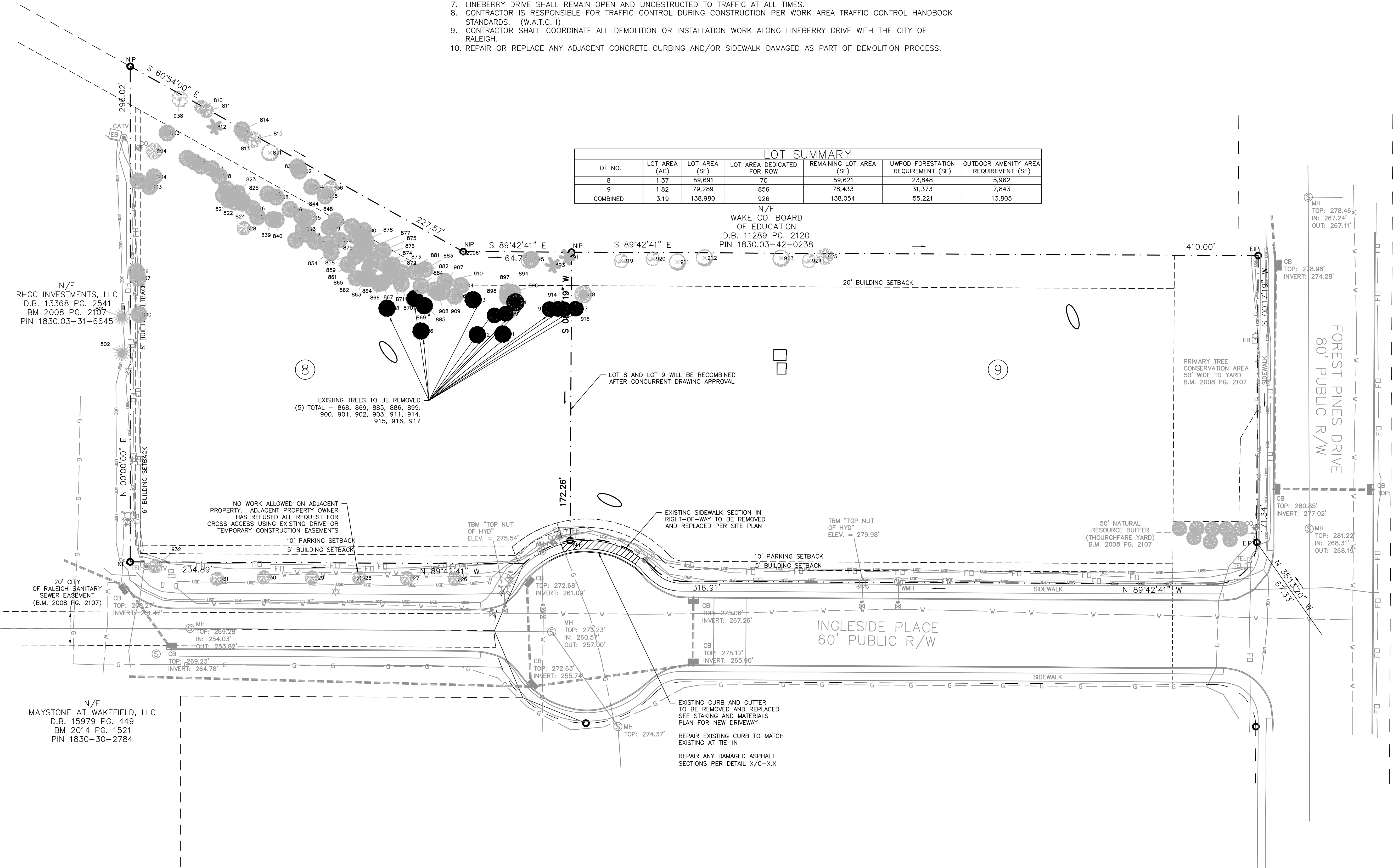
VICINITY MAP N.T.S.

SURVEY DISCLAIMER

SURVEY INFORMATION PREPARED BY L. JORDAN PARKER (PLS L-4665) ON MAY 4, 2018. CAWTHORNE, MOSS, & PANCIERA, PC, 333 S. WHITE STREET, WAKE FOREST, NC 27588



LOT SUMMARY						
LOT NO.	LOT AREA (AC)	LOT AREA (SF)	LOT AREA DEDICATED FOR ROW	REMAINING LOT AREA (SF)	UWPOD FORESTATION REQUIREMENT (SF)	OUTDOOR AMENITY AREA REQUIREMENT (SF)
8	1.37	59,691	70	59,621	23,848	5,962
9	1.82	79,289	856	78,433	31,373	7,843
COMBINED	3.19	138,980	926	138,054	55,221	13,805



N/F
RHGC INVESTMENTS, LLC
D.B. 13368 PG. 2541
BM 2008 PG. 2107
PIN 1830.03-31-6645

20' CITY OF RALEIGH SANITARY SEWER EASEMENT (B.M. 2008 PG. 2107)

N/F
MAYSTONE AT WAKEFIELD, LLC
D.B. 15979 PG. 449
BM 2014 PG. 1521
PIN 1830-30-2784

EXISTING TREES TO BE REMOVED
(5) TOTAL - 868, 869, 885, 886, 899, 900, 901, 902, 903, 911, 914, 915, 916, 917

LOT 8 AND LOT 9 WILL BE RECOMBINED AFTER CONCURRENT DRAWING APPROVAL

NO WORK ALLOWED ON ADJACENT PROPERTY. ADJACENT PROPERTY OWNER HAS REFUSED ALL REQUEST FOR CROSS ACCESS USING EXISTING DRIVE OR TEMPORARY CONSTRUCTION EASEMENTS

EXISTING SIDEWALK SECTION IN RIGHT-OF-WAY TO BE REMOVED AND REPLACED PER SITE PLAN

INGLESIDE PLACE
60' PUBLIC R/W

FOREST PINES DRIVE
80' PUBLIC R/W

EXISTING CURB AND GUTTER TO BE REMOVED AND REPLACED SEE STAKING AND MATERIALS PLAN FOR NEW DRIVEWAY
REPAIR EXISTING CURB TO MATCH EXISTING AT TIE-IN
REPAIR ANY DAMAGED ASPHALT SECTIONS PER DETAIL X/C-X-X

WAKEFIELD PROFESSIONAL PLAZA
11005 & 11009 INGLESIDE PLACE
RALEIGH, NC 27614
WAKE COUNTY
NORTH CAROLINA

DRYE-McGLAMERY ENGINEERING, PLLC
5720 SIX FORKS RD., SUITE 203
RALEIGH, NC 27609

PROJECT NO: 2018038

ISSUED FOR REVIEW

REV	DESCRIPTION	DATE
A	ISSUED FOR REVIEW	09-07-18
B	RE-ISSUED FOR REVIEW	10-17-18
C	RE-ISSUED FOR REVIEW	12-20-18

DRAWN BY DJM
CHECKED BY HWD
SCALE: 1" = 30'

DEMOLITION PLAN

C-1.1



TRAFFIC CONTROL NOTES

1. REFER TO C-2.1 AND C-2.2 FOR TRAFFIC CONTROL NOTES.

STAKING AND MATERIAL PLAN NOTES

1. SEE ARCHITECTURAL PLANS FOR BUILDING DIMENSIONS.
2. ALL DIMENSIONS ARE AT 90 DEGREES UNLESS NOTED OTHERWISE (U.N.O.).
3. CONTRACTOR SHALL ESTABLISH POINT OF BEGINNING (P.O.B.) AND STAKE SITE AS INDICATED ON CONSTRUCTION DOCUMENTS PRIOR TO COMMENCEMENT OF CONSTRUCTION. NOTIFY DRYE-MCGLAMERY ENGINEERING, PLLC IMMEDIATELY OF ANY DISCREPANCIES.
4. ALL DIMENSIONS ARE TO EDGE OF PAVEMENT, FACE OF BUILDING, OR CENTERLINE U.N.O.
5. ALL DETAILS SHALL BE CONSTRUCTED IN STRICT COMPLIANCE WITH THESE CONSTRUCTION DOCUMENTS.
6. ALL RADII SHALL BE 4'-0" U.N.O.



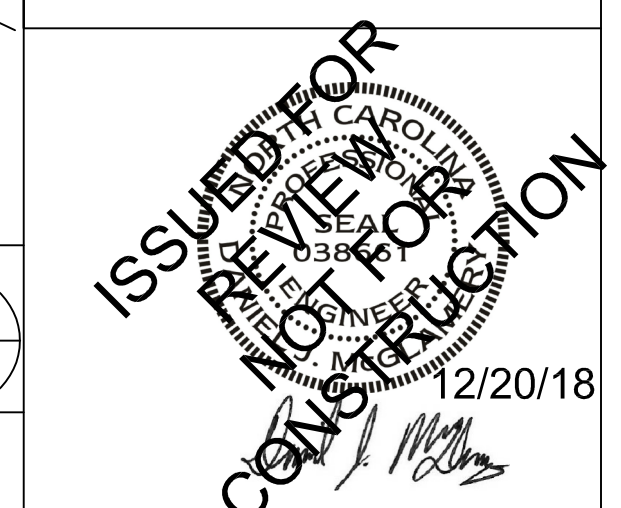
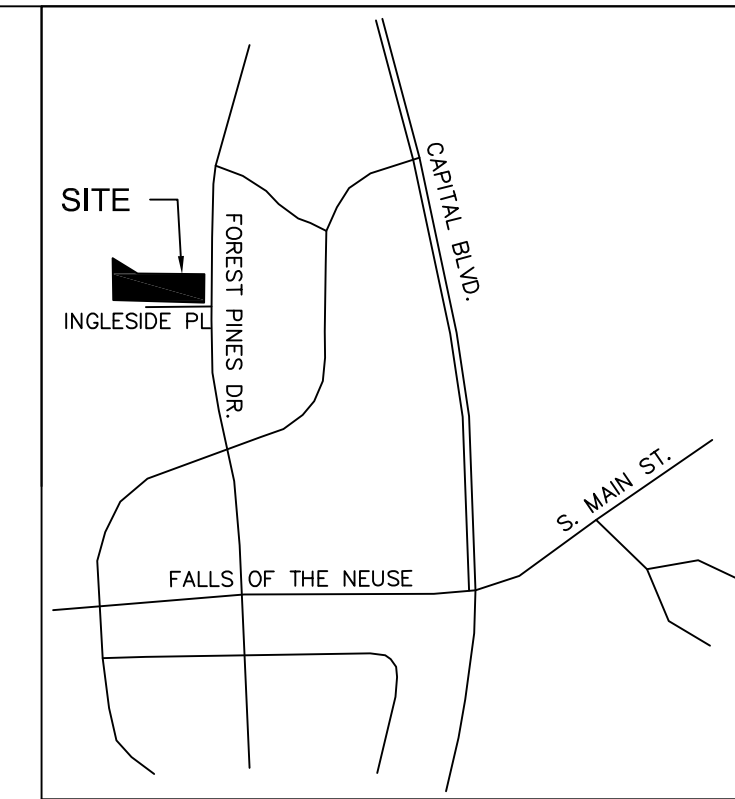
SITE DATA INFORMATION

PROJECT NAME: INGLESIDE MEDICAL PARK
 PROJECT ADDRESS: 11005/11009 INGLESIDE PLACE RALEIGH, NC 27607
 SITE ACREAGE: 3.19 ACRES (1.37 AC.&1.82 AC.)
 ZONING DISTRICT: CX-3-PK (UWPOD*)
 *URBAN WATERSHED PROTECTION OVERLAY DISTRICT
 PROPOSED USE: MEDICAL (ALLOWED)
 EXISTING BUILDING: N/A SF
 PROPOSED BUILDING: 36,360 SF
 AMENITY AREA REQUIREMENTS
 REQUIRED AMENITY AREA = 10%
 LOT AREA INSIDE RIGHT-OF-WAY: 3.31 ACRES
 REQ'D AMENITY AREA = 10% * 3.31 AC = 0.331 AC.
 PROVIDED AMENITY AREA = 0.331 AC.
 BUILDING DIMENSIONAL REQUIREMENTS
 FRONT SB: 5 FT (MIN.) 50 FT (PROVIDED)
 REAR SB: 6 FT (MIN.) 63 FT (PROVIDED)
 SIDE SB: 6 FT (MIN.) 6 FT MIN. (PROVIDED)
 SIDE STREET SB: 5 FT (MIN.) 50 FT (PROVIDED)
 ALLEY SB: N/A N/A

PARKING DIMENSIONAL REQUIREMENTS
 FRONT SB: 10 FT (MIN.) 50 FT (PROVIDED)
 REAR SB: 3 FT (MIN.) 20 FT (PROVIDED)
 SIDE SB: 3 FT (MIN.) 6 FT MIN. (PROVIDED)
 SIDE STREET SB: 10 FT (MIN.) 50 FT (PROVIDED)
 ALLEY SB: N/A N/A
 BUILDING HEIGHT REQUIREMENTS
 BUILDING HEIGHT: 50 FT (MAX) 43.29 FT (PROVIDED)
 ACCESSORY HEIGHT: 25 FT (MAX) N/A (PROVIDED)
 FLOOR HEIGHT REQUIREMENTS
 GROUND FLOOR: 0 FT (MIN.) 0 FT (PROVIDED)
 GROUND STORY HT: 11 FT (MIN.) 11 FT (PROVIDED)
 UPPER STORY HT: 9 FT (MIN.) 9 FT (PROVIDED)
 TRANSPARENCY REQUIREMENTS
 GROUND STORY: 33% (MIN.) 33% (PROVIDED)
 UPPER STORY: 20% (MIN.) 29% (MIN. PROVIDED)
 BLANK WALL AREA: 30 FT (MAX.) 7.33 FT (PROVIDED)
 ALLOWED BUILDING ELEMENTS
 BALCONY, GALLERY, AWNING

PARKING CALCULATIONS

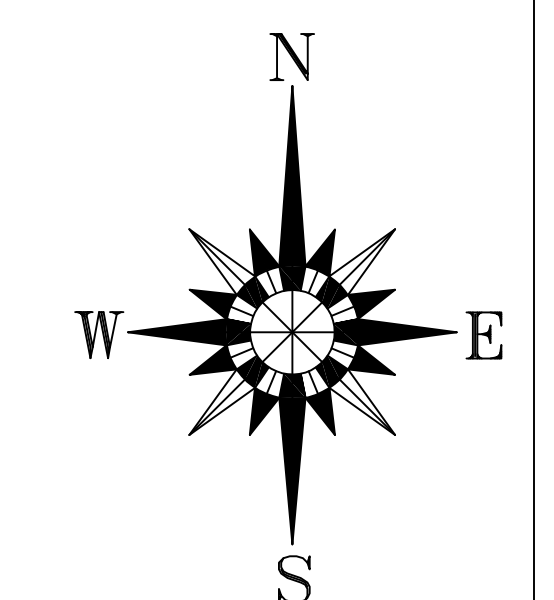
LOT 8 & LOT 9 COMBINED
 BUILDING: 1 SPACE/300 SF
 EXISTING PARKING: N/A
 PROPOSED PARKING: 124
 REQUIRED PARKING: 1 SPACE/300 SF * 36,360 SF = 122 SPACES
 TOTAL REQUIRED: 122 SPACES
 PARKING PROVIDED: 124 SPACES
 ADA SPACES
 REQUIRED: 101-150 SPACES = 5 TOTAL SPACES
 PROVIDED: 1 VAN SPACE REQUIRED
 BICYCLE PARKING: 1 SP. PER 10000 SF, MIN. 4 SPACES.
 REQUIRED: 4 SHORT TERM SPACES, 4 LONG TERM SPACES
 PROVIDED: 4 SHORT TERM SPACES, 4 LONG TERM SPACES



VICINITY MAP N.T.S.

SURVEY DISCLAIMER

SURVEY INFORMATION PREPARED BY L. JORDAN PARKER (PLS L-4665) ON MAY 4, 2018. CAWTHORNE, MOSS, & PANCIERA, PC, 333 S. WHITE STREET, WAKE FOREST, NC 27588

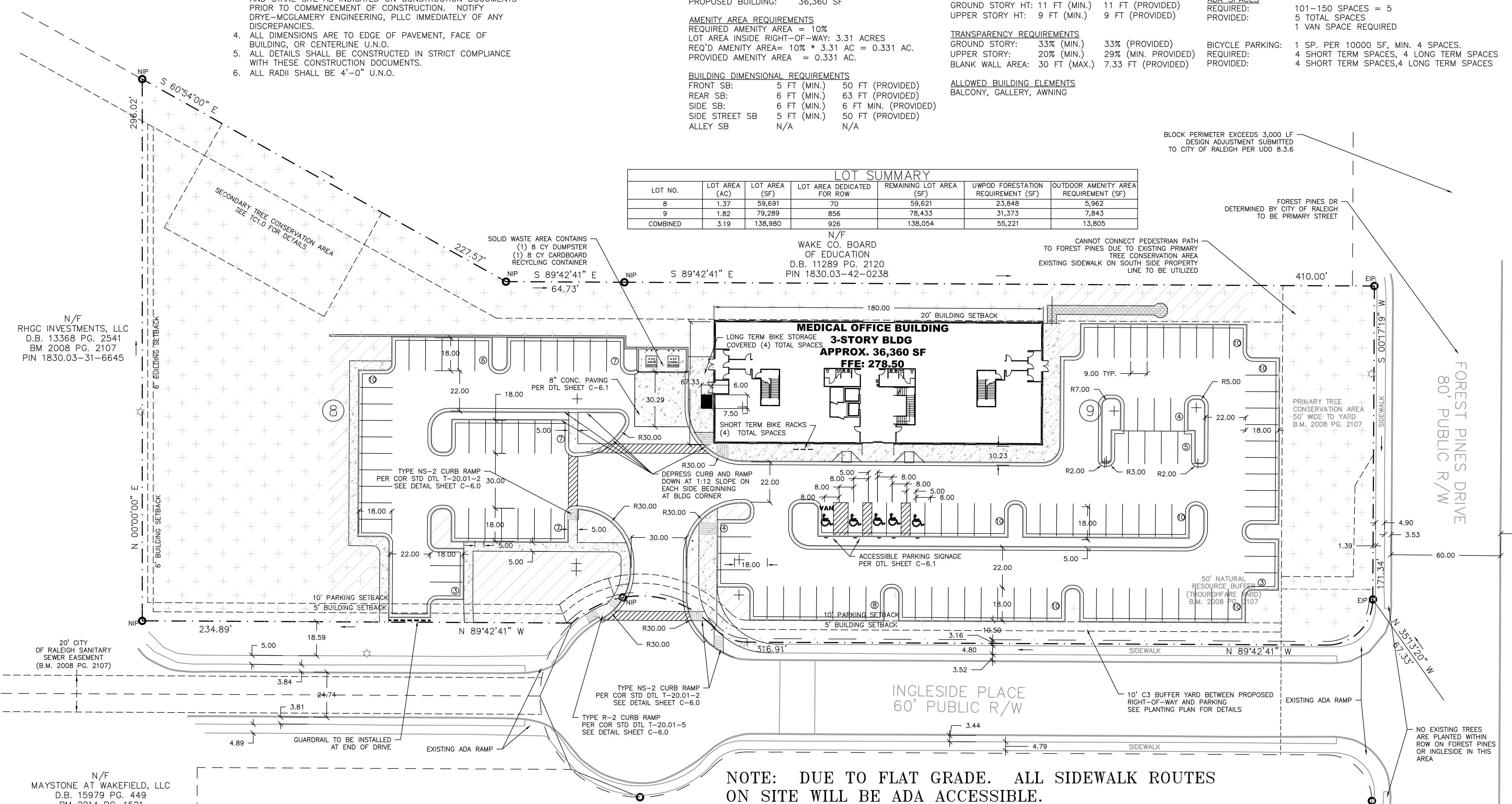


LEGEND

SYMBOL	DETAIL
[Symbol]	PROPOSED SIDEWALK 6/C-6.0
[Symbol]	PROPOSED CONCRETE PAVING 6/C-6.1
[Symbol]	PROPOSED WHEEL STOP 1/C-6.1
[Symbol]	PROPOSED AMENITY AREA SEE L-1.0 N/A
[Symbol]	PROPOSED UWPOD FORESTATION AREA N/A
[Symbol]	LOT NUMBER FOR EXISTING DEVELOPMENT PLAT N/A

LOT SUMMARY

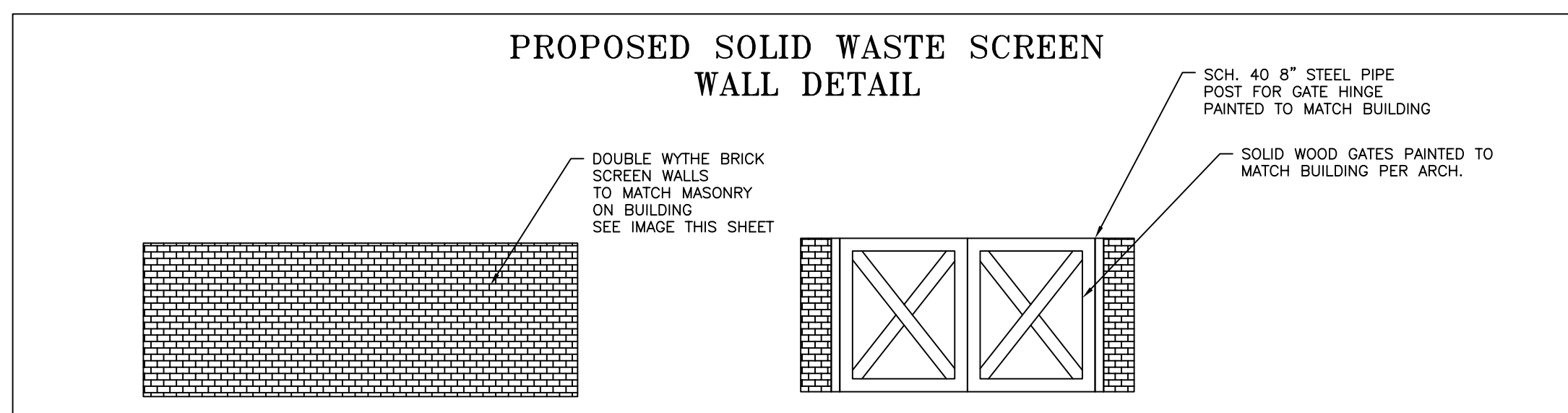
LOT NO.	LOT AREA (AC)	LOT AREA (SF)	LOT AREA DEDICATED FOR ROW	REMAINING LOT AREA (SF)	UWPOD FORESTATION REQUIREMENT (SF)	OUTDOOR AMENITY AREA REQUIREMENT (SF)
8	1.37	59,691	70	59,621	23,848	5,962
9	1.82	79,289	856	78,433	31,373	7,843
COMBINED	3.19	138,980	926	138,054	55,221	13,805



NOTE: DUE TO FLAT GRADE. ALL SIDEWALK ROUTES ON SITE WILL BE ADA ACCESSIBLE.

NOTE: REFER TO TRANSPORTATION PLAN C-2.1 FOR EXISTING STREET AND RIGHT-OF-WAY DIMENSIONS

PROPOSED SOLID WASTE SCREEN WALL DETAIL



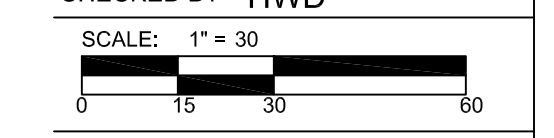
WAKEFIELD PROFESSIONAL PLAZA
 11005 & 11009 INGLESIDE PLACE
 RALEIGH, NC 27614
 WAKE COUNTY
 NORTH CAROLINA
 DRYE-MCGLAMERY ENGINEERING, PLLC
 5720 SIX FORKS RD., SUITE 203
 RALEIGH, NC 27609

PROJECT NO: 2018038

ISSUED FOR REVIEW

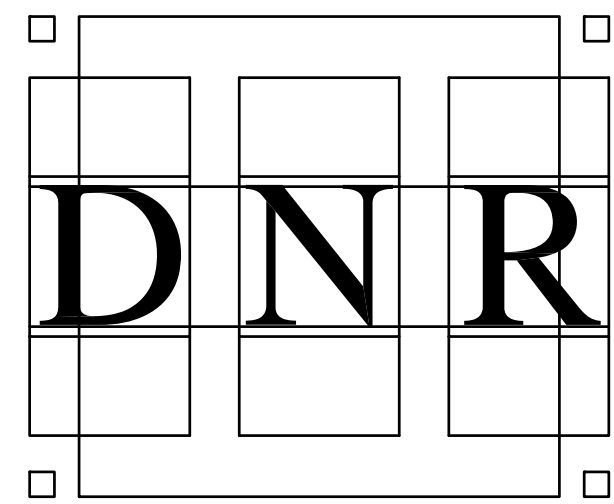
REV	DESCRIPTION	DATE
A	ISSUED FOR REVIEW	09-07-18
B	RE-ISSUED FOR REVIEW	10-17-18
C	RE-ISSUED FOR REVIEW	12-20-18

DRAWN BY: DJM
 CHECKED BY: HWD



STAKING AND MATERIALS PLAN

C-2.0



David N. Ripperton
 Architect
 2 Diane Lane
 Larkspur, CA 94939
 david@dnr.net
 (919) 942-9999



Project: _____

Wakefield Medical Plaza
 Ingelside Place
 Raleigh NC 27614

Drawing: _____

EXTERIOR ELEVATIONS

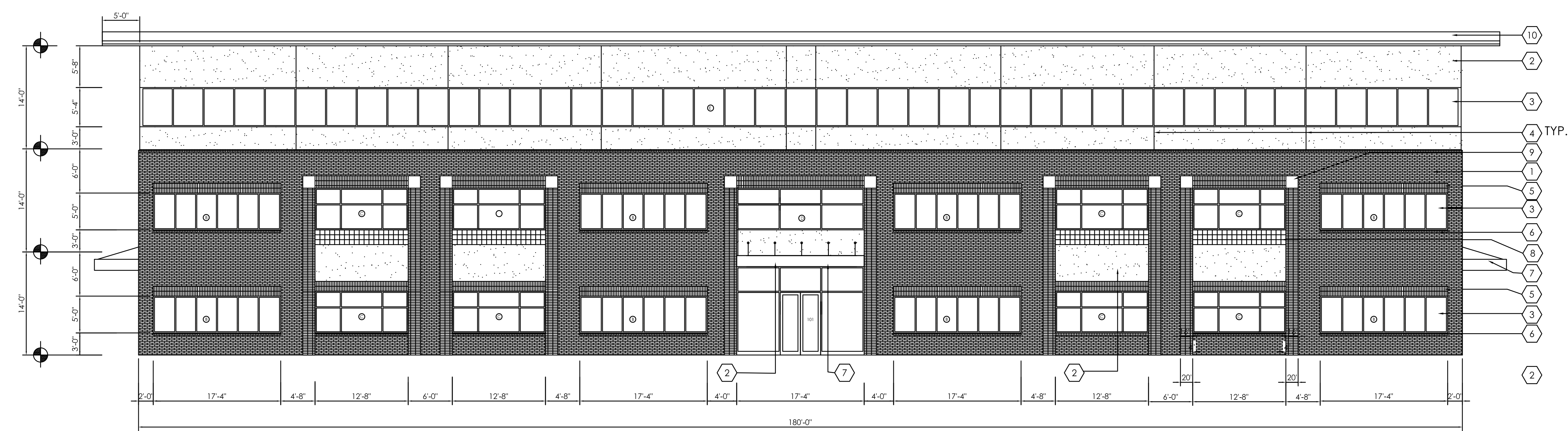
Date: _____

8-10-2018
 R-1, 10-3-2018
 R-2, 10-15-2018
 R-3, 11-6-2018

Sheet No. _____

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A-4



FRONT ELEVATION
 SCALE: 1/8" = 1'-0"

TOP OF BLDG ELEV = 320.50
 AVERAGE GROUND ELEVATION = 277.72
 AVERAGE OF ALL SIDES = 277.21
 AVERAGE BUILDING HEIGHT = 43.29



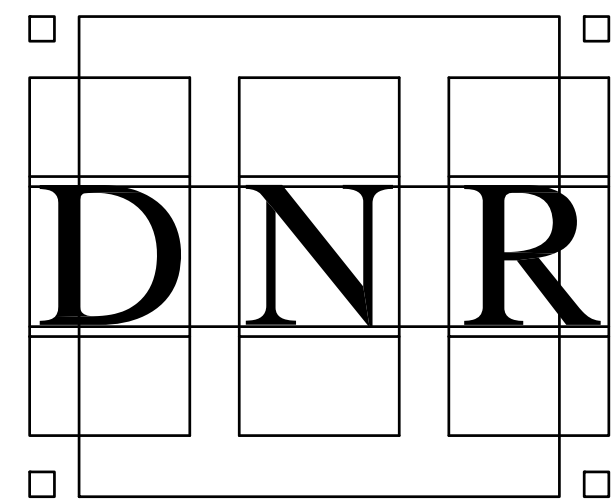
RIGHT SIDE ELEVATION
 SCALE: 1/8" = 1'-0"

TOP OF BLDG ELEV = 320.50
 AVERAGE GROUND ELEVATION = 278.32
 AVERAGE OF ALL SIDES = 277.21
 AVERAGE BUILDING HEIGHT = 43.29

- KEYNOTES**
- 1 BRICK VENEER, RUNNING BOND, CONCAVE JOINT
 - 2 EXTERIOR INSULATED FINISH SYSTEM (E.I.F.S.)
 - 3 1" INSULATION GLASS IN ALUMINUM FRAME
 - 4 V-JOINT
 - 5 BRICK SOLDIER
 - 6 BRICK ROWLOCK
 - 7 ENTRANCE CANOPY
 - 8 8"X8" BRICK
 - 9 20"X20" BRICK ACCENT
 - 10 CORNICE. SEE WALL SECTION
 - 11 4"H X 18"L RELIEF SCUPPER
 - 12
 - 13

TRANSPARENCY CALCULATIONS

	1ST (12)	2ND (14)	3RD (14)
FRONT	848/2160	740/2160	958/2160
RIGHT	228/943	250/943	357/943
REAR	740/2160	740/2160	958/2160
LEFT	249/943	250/943	357/943
TOTAL	2065/6206 33%	1980/6926= 29%	2640/6926 38%



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EXTERIOR ELEVATIONS

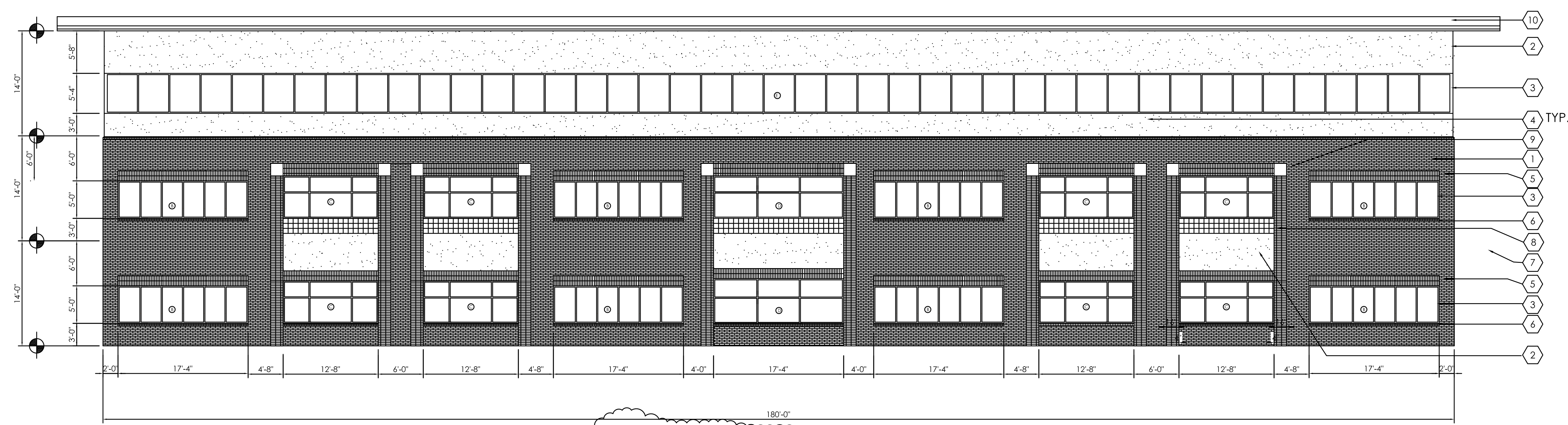
Date: _____

8-10-2018
 R-1, 10-3-2016
 R-2, 10-15-2018
 R-3, 11-6-2018

Sheet No. _____

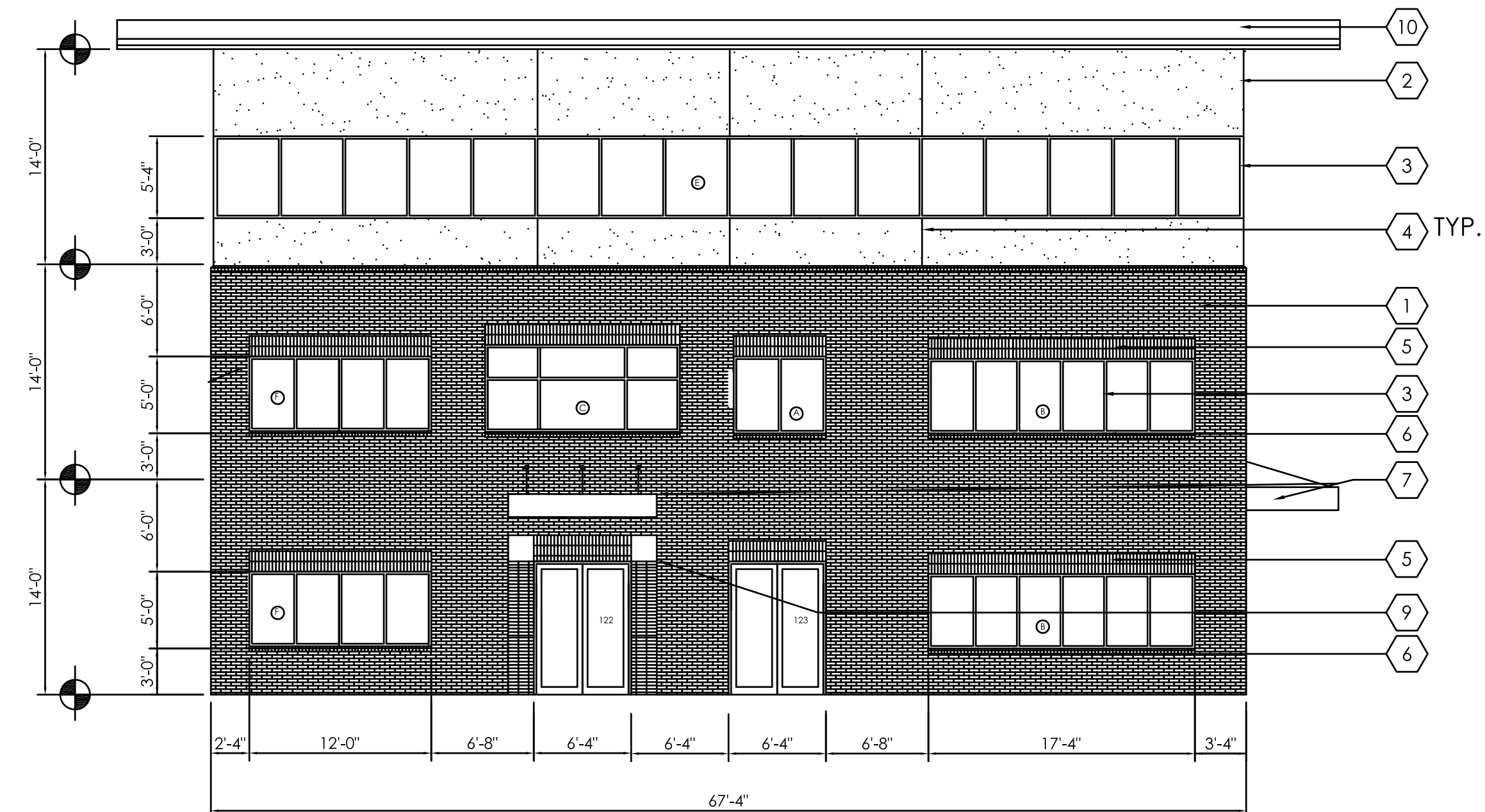
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A-5



REAR ELEVATION
 SCALE: 1/8" = 1'-0"

TOP OF BLDG ELEV = 320.50
 AVERAGE GROUND ELEVATION = 276.83
 AVERAGE OF ALL SIDES = 277.21
 AVERAGE BUILDING HEIGHT = 43.29



LEFT SIDE ELEVATION
 SCALE: 1/8" = 1'-0"

TOP OF BLDG ELEV = 320.50
 AVERAGE GROUND ELEVATION = 275.97
 AVERAGE OF ALL SIDES = 277.21
 AVERAGE BUILDING HEIGHT = 43.29

KEYNOTES	
1	BRICK VENEER, RUNNING BOND, CONCAVE JOINT
2	EXTERIOR INSULATED FINISH SYSTEM (E.I.F.S.)
3	1" INSULATION GLASS IN ALUMINUM FRAME
4	V-JOINT
5	BRICK SOLDIER
6	BRICK ROWLOCK
10	ENDRANEESEAMORY SECTION
8	8"X8" BRICK RELIEF SCUPPER
12	20"X20" BRICK ACCENT
13	