



# Administrative Approval Action

AA # 3918 / SR-79-18, University Park Condos  
Transaction # 566658

City of Raleigh  
Development Services Department  
One Exchange Plaza  
Raleigh, NC 27602  
(919) 996-2495  
DS.help@raleighnc.gov  
www.raleighnc.gov

**LOCATION:** This site is located on the southwest corner of the intersection of Hillsborough Street and Turner Street at 3411 Hillsborough Street.

**REQUEST:** Development of a 1.52 acre tract zoned NX-5-UL CU (Z-05-18) and SRPOD into an apartment development consisting of two buildings totaling 92,212 square feet with 93 dwelling units, associated parking, and infrastructure.

**DESIGN  
ADJUSTMENT(S)/  
ALTERNATES, ETC:** N/A

**FINDINGS:** City Administration finds that this request, with the below conditions of approval being met, conforms to the Unified Development Ordinance. This approval is based on a preliminary plan dated 12/18/18, Blue Ceiling Design, PLLC

## **CONDITIONS OF APPROVAL and NEXT STEPS:**

*This document must be applied to the second sheet of all future submittals except for final plats. This is a preliminary plan and as such no permits have been issued with this approval. To obtain permits and/or completion of the project, the following steps are required:*

**CONCURRENT SITE REVIEW** - For land disturbance of 12,000 square feet or greater, public or private infrastructure, shared stormwater devices, etc. Concurrent Site Review may be submitted upon receipt of this signed approval document.

***The following items are required prior to approval of Concurrent Site Review plans:***

### **Engineering**

1. A right-of-way obstruction permit must be obtained from Right-of-way Services prior to the commencement of any construction activities within the right-of-way.

### **Public Utilities**

2. A Downstream Sewer Capacity Study in compliance with the City of Raleigh Public Utilities Department Handbook shall be submitted by the Project Engineer for review and approval

### **Stormwater**

3. A stormwater control plan with a stormwater operations and maintenance manual and budget shall be approved (UDO 9.2).



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4. A surety equal to of the cost of clearing, grubbing and reseeding a site, shall be paid to the City (UDO 9.4.4).
5. The Private Drainage Easement required offsite on PIN 0794-33-8124 must be recorded prior to concurrent plan approval and site permit issuance.

**LEGAL DOCUMENTS** - Email to [legaldocumentreview@raleighnc.gov](mailto:legaldocumentreview@raleighnc.gov). Legal documents must be approved, executed, and recorded prior to or in conjunction with the recorded plat on which the associated easements are shown. Copies of recorded documents must be returned to the City within one business day of recording to avoid withholding of further permit issuance.

<input type="checkbox"/>	City Code Covenant	<input type="checkbox"/>	Slope Easement
<input type="checkbox"/>	Stormwater Maintenance Covenant	<input type="checkbox"/>	Transit Easement
<input type="checkbox"/>	Utility Placement Easement	<input checked="" type="checkbox"/>	Cross Access Easement
<input type="checkbox"/>	Sidewalk Easement	<input type="checkbox"/>	Public Access Easement
		<input type="checkbox"/>	Other:

**RECORDED MAP(S)** - Submit plat to record new property lines, easements, tree conservation areas, etc.). Plats may be submitted for review when the Concurrent Site Review plans, if required, have been deemed ready for mylar signature.

**The following items must be approved prior to recording the plat:**

## Engineering

1. The required right of way for proposed and/or existing streets shall be dedicated to the City of Raleigh and shown on the map approved for recordation.
2. An offer of cross access agreement among the lots identified as PINs 0794337401 and the proposed development shall be approved by the Development Services Department for recording in the Wake County Registry, and a copy of the recorded offer of cross access easement shall be returned to the Development Services Department within one day of plat recordation. If a recorded copy of the document is not provided within this time, further recordings and building permit issuance will be withheld.

## Public Utilities

3. Infrastructure Construction Plans (concurrent submittal) must be approved by the City of Raleigh Public Utilities Department for all public water, public sewer and/or private sewer extensions.



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## Stormwater

4. All stormwater control measures and means of transporting stormwater runoff to and from any nitrogen and stormwater runoff control measures shall be shown on all plats for recording as private drainage easements (UDO 9.2).

**BUILDING PERMITS** – For buildings and structures shown on the approved plans. Commercial building permit plans must include the signed, approved Concurrent Site Review plans attached, if applicable. Permit sets may be reviewed prior to the recordation of required plats, but cannot be approved.

*The following items must be approved prior to the issuance of building permits:*

## General

1. Comply with all conditions of Z-5-18
2. A recombination map shall be recorded, recombining the existing lots into a single tract.
3. A demolition permit shall be obtained.
4. Provide fire flow analysis.

## Engineering

5. The required right of way for proposed and/or existing streets shall be dedicated to the City of Raleigh and is shown on a plat approved for recordation.
6. A public infrastructure surety shall be provided to the City of Raleigh Development Services – Development Engineering (UDO 8.1.3).
7. An offer of cross access agreement among the lots identified as PINs 0794337401 and the proposed development shall be approved by the Development Services Department for recording in the Wake County Registry, and a copy of the recorded offer of cross access easement shall be returned to the Development Services Department within one day of plat recordation. If a recorded copy of the document is not provided, further recordings and building permit issuance will be withheld.
8. A right-of-way obstruction permit shall be obtained from Right-of-way Services for any construction activity within the right-of-way.
9. The proposed thoroughfare widening shown along Hillsborough St was done so at the request of the developer and not a requirement from the City of Raleigh. This proposed infrastructure build-out is not applicable for reimbursement.



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## Public Utilities

10. A plat must be recorded at the Wake County Register of Deeds office for all utility easement dedications.

## Stormwater

11. A payment equal to twenty-four percent (24%) of the estimated cost of constructing all stormwater control facilities shown on the development plans shall be paid by the developer to the City stormwater facility replacement fund (UDO 9.2.2.G.3).
12. All stormwater control measures and means of transporting stormwater runoff to and from any nitrogen and stormwater runoff control measures shall be shown on all plats for recording as private drainage easements (UDO 9.2).
13. A surety equal to 125% of the cost of the construction of a stormwater device shall be paid to the Engineering Services Department (UDO 9.2.2.D.1.d).

## Urban Forestry

14. A tree impact permit must be obtained for the approved streetscape tree installation in the right of way. This development proposes 5 street trees along Hillsborough St. and 7 street trees along Turner St..

### ***The following are required prior to issuance of building occupancy permit:***

1. All Water, Sanitary Sewer and Reuse facilities shall be installed, inspected, tested and accepted by the City of Raleigh Public Utilities Department for operations and maintenance.
2. Required public right-of-way infrastructure improvements shall be, at a minimum, sufficiently completed to provide the necessary, safe emergency and vehicular access.
3. All street lights and street signs required as part of the development approval are installed.
4. Copies of certified inspection reports for alleys and internal access ways are submitted to the City of Raleigh Development Services – Development Engineering program.
5. As-built drawings and associated forms for all Stormwater devices are accepted by the Engineering Services Department (UDO 9.2.2.D.3).



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**EXPIRATION DATES:** The expiration provisions of UDO Section 10.2.8 E, including the ability to request extensions in the expiration date, apply to this site plan. If significant construction has not taken place on a project after administrative site review approval, that approval may expire and be declared void, requiring re-approval before permits may be issued. To avoid allowing this plan approval to expire the following must take place by the following dates:

**3-Year Expiration Date:** 1-30-2022

Obtain a valid building permit for the total area of the project, or a phase of the project.

**4-Year Completion Date:**

Within four years after issuance of the first building permit for the site plan, the construction of the entire site plan must be completed unless an applicant has been granted vested rights. Failure to complete construction within this specified time frame shall automatically void the approved site plan for which no building permits have been issued.

I hereby certify this administrative decision.

Signed:(Development Services Dir./Designee)

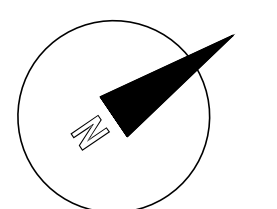
Date: 1/30/19

Staff Coordinator: Michael Walters









SCALE 1" = 20'  
 DATE AUGUST 14, 2018  
 PROJECT # 18102

PROPOSED CONDOMINIUM DEVELOPMENT  
**University Park Condos**  
 Raleigh, North Carolina

EXISTING CONDITIONS PLAN

DATE	REVISIONS
10.08.18	ASR 2nd Submittal
12.18.18	ASR 3rd Submittal

FOR REVIEW ONLY   
 FOR PERMIT   
 FOR CONSTRUCTION   
 RE-ISSUE

- PARCEL INFORMATION**
- A TRANGLE ENTERPRISES GROUP, LLC  
3413 HILLSBOROUGH ST.  
PIN: 0794-33-8424  
23,437 SF (0.52 AC)
  - B DOWNS DISTRIBUTING CORPORATION  
3411 HILLSBOROUGH ST.  
PIN: 0794-33-9499  
13,657 SF (0.31 AC)
  - C OAK CITY PROPERTIES, LLC  
12 TURNER ST.  
PIN: 0794-33-9442  
11,352 SF (0.26 AC)
  - D OAK CITY PROPERTIES, LLC  
14 TURNER ST.  
PIN: 0794-33-8396  
8,868 SF (0.20 AC)
  - E STEVEN E. PACE  
18 TURNER ST.  
PIN: 0794-33-8228  
6,703 SF (0.15 AC)

- LOT 22  
NONY/CUTTY INVESTMENTS, LLC  
DB 16287, PG 173  
DB 16287, PG 1  
PIN: 0794-33-2286
- LOT 23  
COMMERCIAL REAL ESTATE SERVICES, LLC  
DB 16287, PG 173  
DB 16287, PG 1  
PIN: 0794-33-2283
- LOT 24  
DAVID J & MORIA R. BITZEMHOFFER  
DB 16287, PG 270  
DB 16287, PG 1  
PIN: 0794-33-7241
- LOT 25  
PETER & HEATHER WUTHRICH  
DB 16287, PG 296  
DB 16287, PG 1  
PIN: 0794-33-7187

- LOT 26  
TRUSTEE OF THE CARL EDWARDS TRUST  
DB 16287, PG 271  
DB 16287, PG 1  
PIN: 0794-33-8124

- EX. CATCH BASIN (ORL)  
TOP (FLOW) 428.21 (M) 428.30 (E)  
INV. IN (W) 426.30  
INV. OUT (SW) 426.81
- EX. CATCH BASIN  
TOP (FLOW) 428.78  
INV. IN (NE) 425.98  
INV. OUT (SE) 425.50
- EX. CATCH BASIN  
TOP (FLOW) 428.82  
INV. IN (SW) 425.87

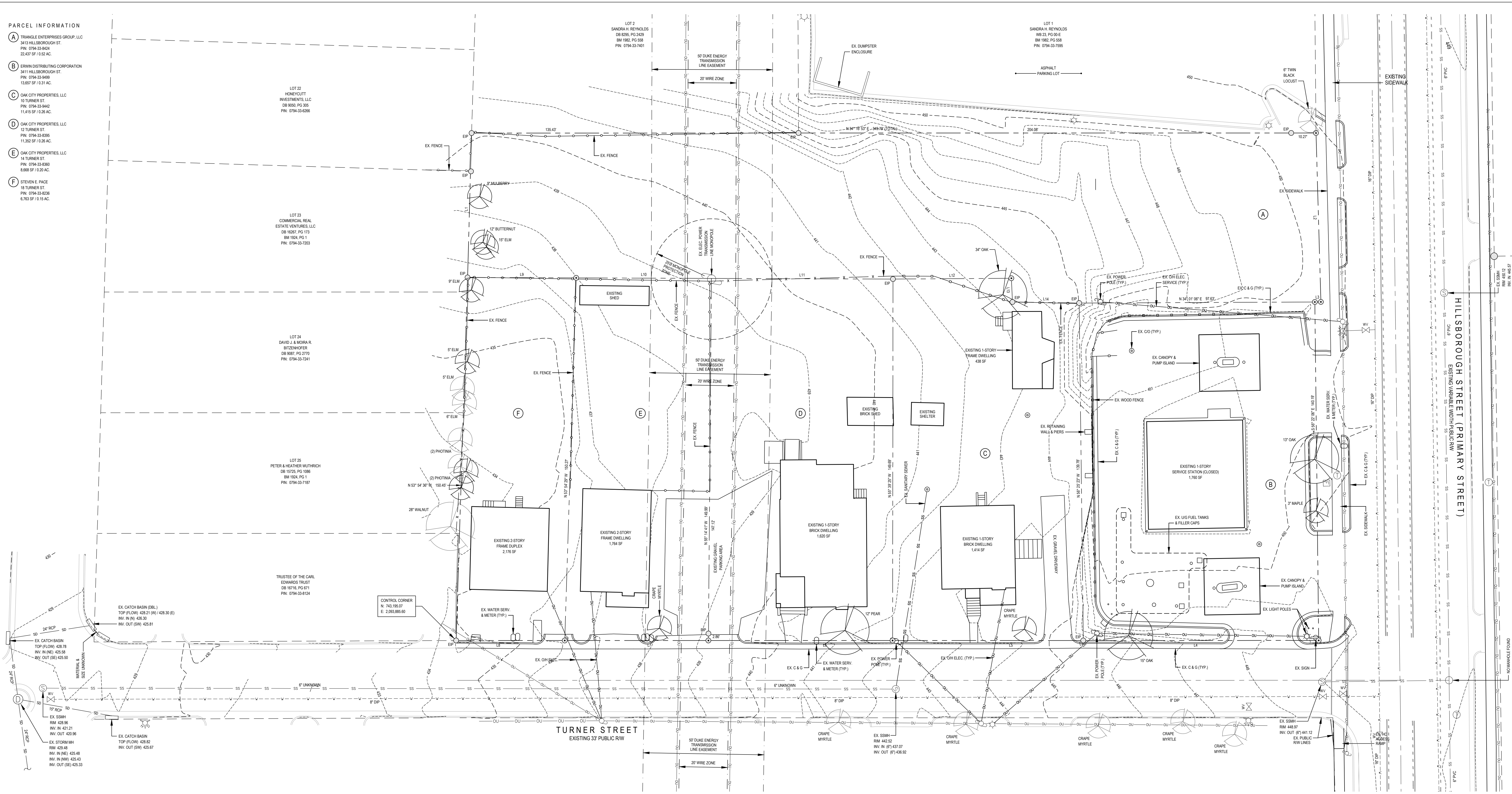
- EX. 55MM  
RM 428.96  
INV. IN 421.21  
INV. OUT 420.96
- EX. STORM MH  
RM 429.48  
INV. IN (NE) 425.48  
INV. IN (NW) 425.43  
INV. OUT (SE) 425.33

- CONTROL CORNER  
N: 741.95.67  
E: 2,093.885.60
- EX. 55MM  
RM 442.52  
INV. IN (E) 437.67  
INV. OUT (E) 438.62
- EX. 55MM  
RM 441.12  
INV. IN (E) 441.12  
INV. OUT (E) 441.12

- EX. 55MM  
RM 448.87  
INV. OUT (E) 441.12  
EX. PUBLIC RW LANCE
- EX. 55MM  
RM 448.87  
INV. OUT (E) 441.12  
EX. PUBLIC RW LANCE

- EX. 55MM  
RM 448.87  
INV. OUT (E) 441.12  
EX. PUBLIC RW LANCE

- EX. 55MM  
RM 448.87  
INV. OUT (E) 441.12  
EX. PUBLIC RW LANCE



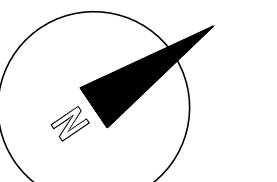
**LINE TABLE**

LINE	LENGTH	BEARING
L1	59.84'	N 54° 07' 35" W
L2	70.00'	S 57° 22' 01" E
L3	2.50'	N 34° 01' 06" E
L5	79.00'	S 34° 17' 01" W
L6	76.30'	S 34° 17' 01" W
L7	59.50'	S 34° 17' 01" W
L8	45.00'	S 34° 17' 01" W
L9	45.00'	N 34° 30' 14" E
L10	56.00'	N 34° 30' 14" E
L11	75.22'	N 34° 30' 14" E
L12	49.05'	N 33° 53' 06" E
L13	9.83'	S 58° 21' 43" E
L14	27.62'	N 35° 12' 58" E

- EXISTING CONDITIONS**
- LINE TYPES**
- PROPERTY LINE
  - - - ADJOINING PROP. LINE
  - - - EASEMENT LINE
  - - - CENTER LINE
  - - - WOOD FENCE
  - - - ? FENCE
  - - - ? FENCE
  - - - PAVEMENT MARKING
  - - - OVERHEAD UTILITY
  - - - WATER MAIN
  - - - SANITARY SEWER
  - - - STORM DRAINAGE PIPE
  - - - 5-FOOT CONTOUR LINE
- SYMBOLS**
- IRON PIPE OR NAIL
  - CONCRETE MONUMENT
  - NEW IRON PIPE
  - CALCULATED POINT
  - CABLE PEDESTAL
  - TELEPHONE PEDESTAL
  - TELEPHONE MANHOLE
  - ELECTRIC PEDESTAL
  - FIBER-OPTIC MARKER
  - TRAFFIC SIGNAL BOX
  - WATER METER
  - FIRE HYDRANT
  - VALVE (WATER OR GAS)
  - SAN. SEWER CLEANOUT
  - STORM CURB INLET
  - DROP INLET (W/ GRATE)
  - STORM DRAIN MANHOLE
  - UTILITY POLE
  - LAMP POST
  - SIGNAL POLE
  - GUY WIRE
  - SIGN POST
  - CALCULATED ELEVATION
  - TREE

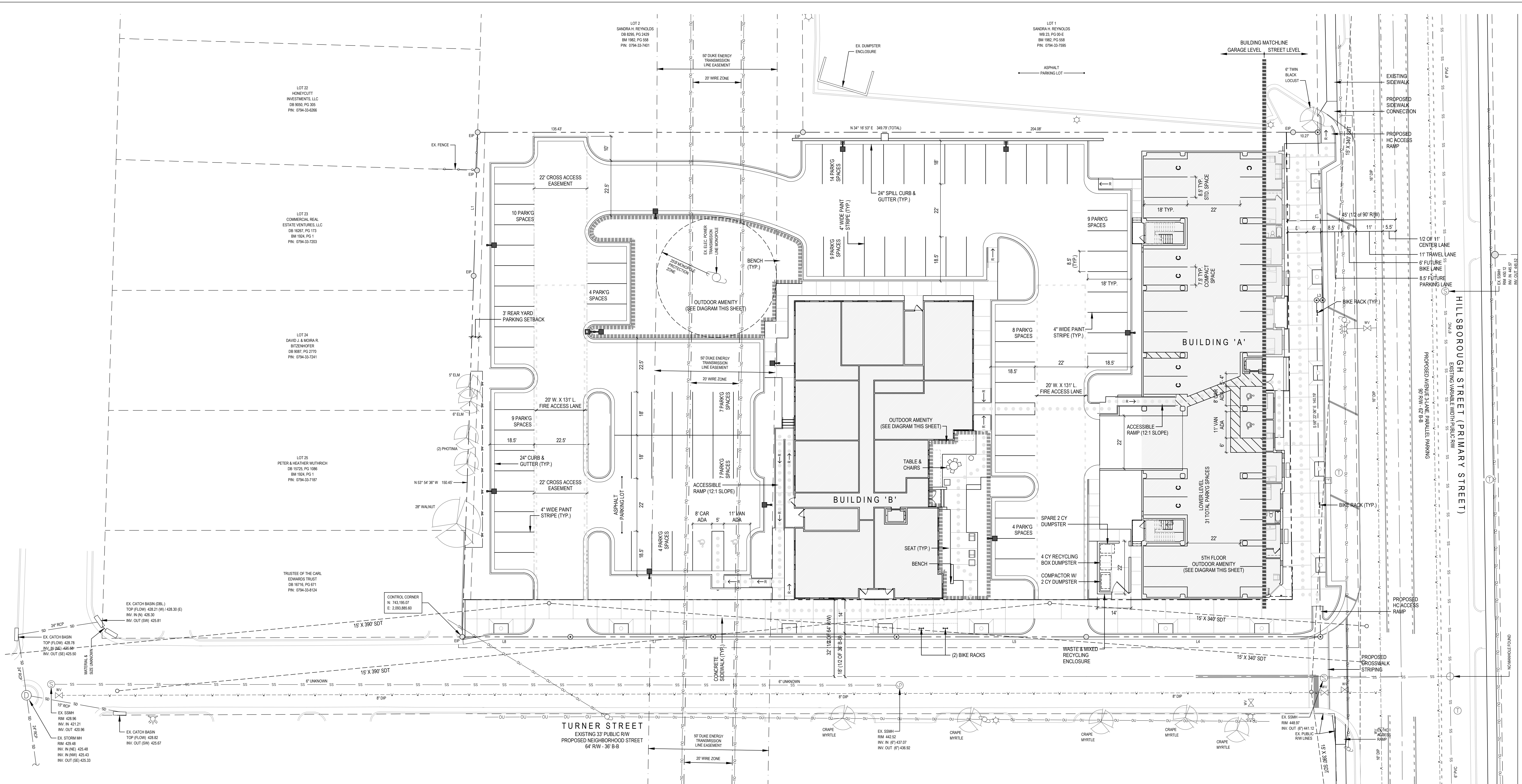
SR-79-18





SCALE 1" = 20'  
DATE AUGUST 14, 2018  
PROJECT # 18102

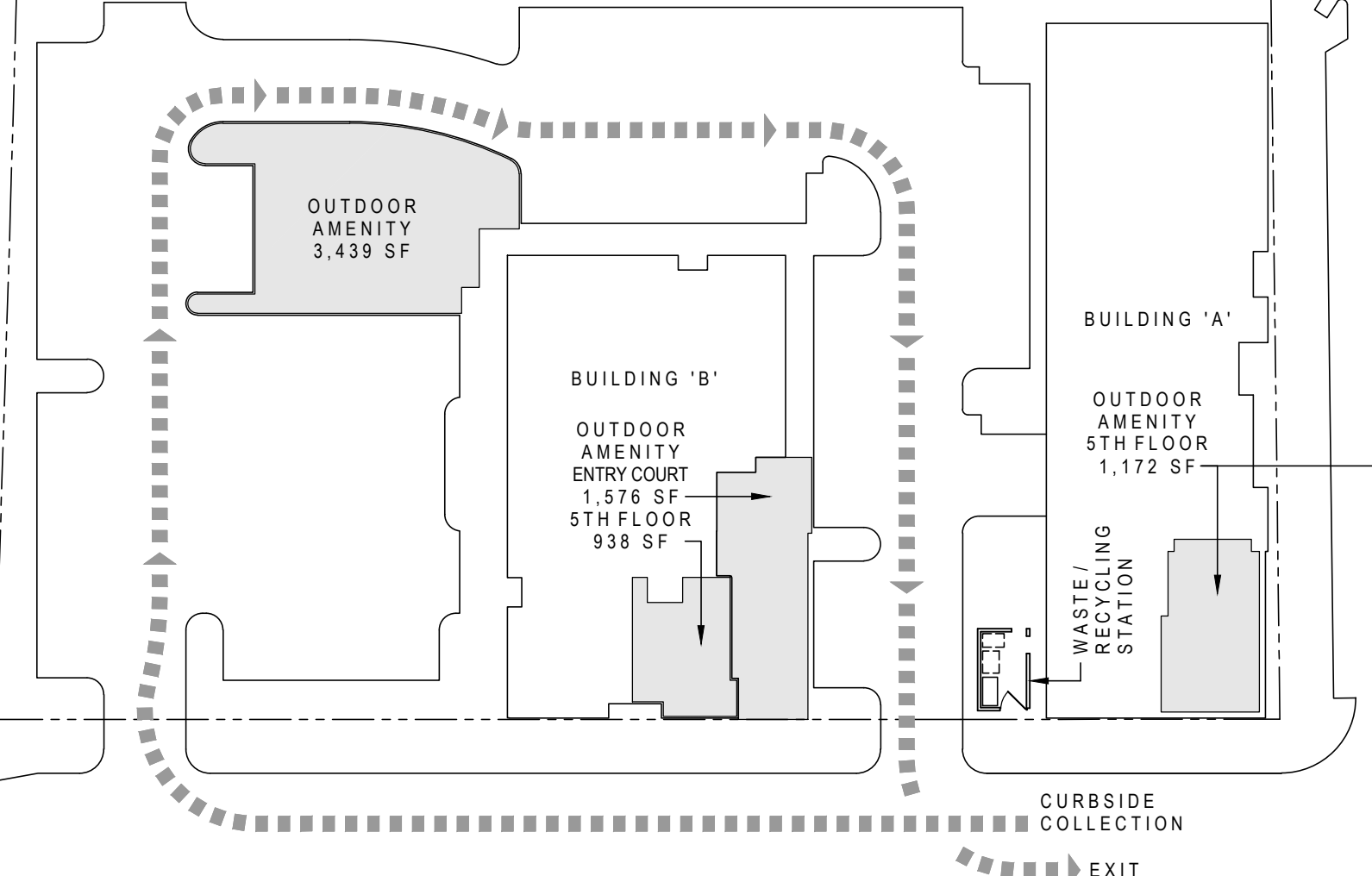
PROPOSED CONDOMINIUM DEVELOPMENT  
**University Park Condos**  
Raleigh, North Carolina



**SITE DATA**

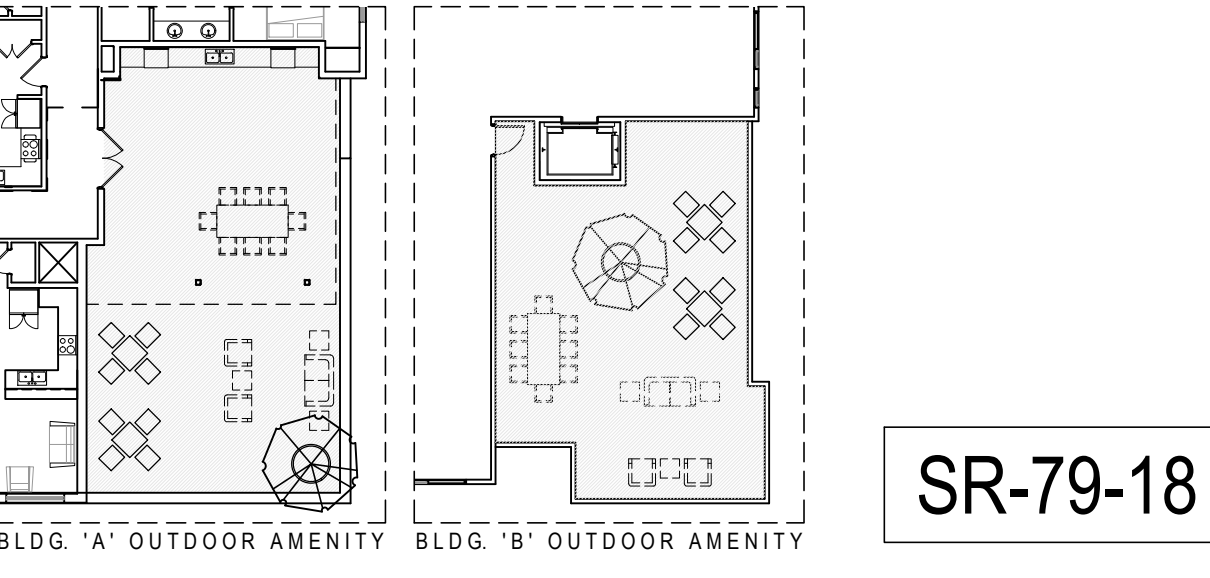
LAND AREA DATA		ZONING DATA		FRONTAGE DATA		PARKING DATA		OUTDOOR AMENITY AREA DATA	
PARCEL LAND AREAS	0.515 ACRES	DWELLING UNIT MIX	# OF BRs	PRIMARY STREET BUILD-TO	REQUIRED	BUILDING 'A' PARKING	TOTAL LOT AREA	AMENITY AREA PROVIDED	3,439 SF (BLDG. 'B' PARKING ISLAND)
A - 0794-33-8404	0.313 ACRES	BUILDING 'A'	25	HILLSBOROUGH STREET	0.7 / 20'	MIN. PARKING	1,523 ACS. (66,353 SF)	REQUIRED AMENITY AREA	6,636 SF (10%)
B - 0794-33-9499	0.262 ACRES	BUILDING 'B'	18	TURNER STREET	0.33	PARKING EXEMPTION			
C - 0794-33-9442	0.261 ACRES	BUILDING 'A'	25			MIN. PARKING INCLUDING EXEMPTION			
D - 0794-33-8386	0.199 ACRES	BUILDING 'B'	18			MAX. PARKING			
E - 0794-33-8360	0.155 ACRES	BUILDING 'A'	25						
F - 0794-33-8236	1.705 ACRES	BUILDING 'B'	14						
GROSS LAND AREA	0.182 ACRES	TOTAL BEDROOMS	137						
R/W DEDICATION	1.523 ACRES								
NET LAND AREA									
ZONING DATA									
PREVIOUS ZONING	NX-3-UL	BUILDING GROSS SF	52,332 SF						
CURRENT ZONING	NX-3 w/ SRPOD	BUILDING 'A'	39,880 SF						
(PER Z-5-2018 REZONING)		BUILDING 'B'							
PROPOSED USE	MULTI-UNIT RESIDENTIAL CONDOMINIUMS	BUILDING HEIGHT							
		BUILDING 'A'	67'-6" (TOP OF ELEVATION)						
		BUILDING 'B'	61'-0" (TOP OF PARAPET)						
		MAX. HEIGHT							
		BUILDING 'A'	62'-6" (TOP OF ELEVATION)						
		BUILDING 'B'	61'-0" (TOP OF PARAPET)						
		MAX. HEIGHT							
		1ST FLOOR CEILING HEIGHT							
		BUILDING 'A'	10'-0"						
		BUILDING 'B'	10'-0"						
		TOTAL # OF DWELLING UNITS	93						

**SERVICE VEHICLE ACCESS & OUTDOOR AMENITY DIAGRAM**



**PROPOSED IMPROVEMENTS**

LINETYPES	SYMBOLS
RIGHT-OF-WAY	ADA CURB RAMP TYPE 'A'
INTERIOR ISLAND AREA	ADA CURB RAMP TYPE 'B'
1-FOOT CONTOUR	ADA CURB RAMP TYPE 'C'
MATCHLINE	ADA RAMP W/ RAILING
LOT LINE	TREE GRATE
ACCESSIBLE ROUTE	VERTICAL CURB FLARE
PAVEMENT SAWCUT	SPILL GUTTER
SIGHT DISTANCE TRIANGLE	SINGLE FIXTURE POLE LIGHT
STORM DRAINAGE PIPE	DOUBLE FIXTURE POLE LIGHT



**SITE PLAN**

DATE	DESCRIPTION
10.08.18	ASR 2nd Submittal
12.18.18	ASR 3rd Submittal

FOR REVIEW ONLY   
FOR PERMIT   
FOR CONSTRUCTION   
RE-ISSUE

12/18/2018 12:24 PM C:\Users\marty\Documents\PROJECT FILES\18102\_Hillsborough Street Mixed Use Residential\Drawings\18102\_LA-Base.dwg

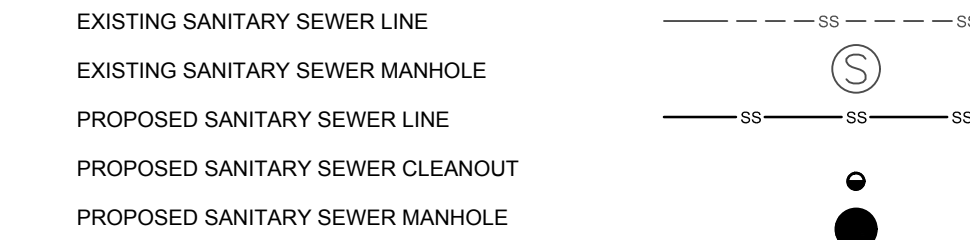


**CITY OF RALEIGH STANDARD UTILITY NOTES**

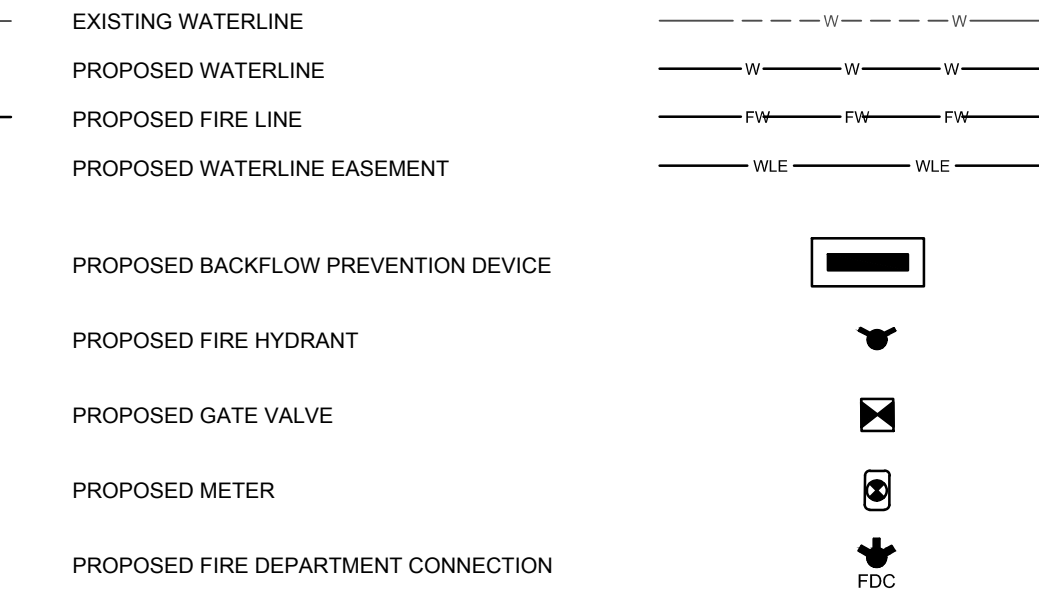
- ALL MATERIALS & CONSTRUCTION METHODS SHALL BE IN ACCORDANCE WITH CITY OF RALEIGH DESIGN STANDARDS, DETAILS & SPECIFICATIONS (REFERENCE: CORPUD HANDBOOK, CURRENT EDITION)
- UTILITY SEPARATION REQUIREMENTS:
  - A DISTANCE OF 100' SHALL BE MAINTAINED BETWEEN SANITARY SEWER & ANY PRIVATE OR PUBLIC WATER SUPPLY SOURCE SUCH AS AN IMPOUNDED RESERVOIR USED AS A SOURCE OF DRINKING WATER. IF ADEQUATE LATERAL SEPARATION CANNOT BE ACHIEVED, FERROUS SANITARY SEWER PIPE SHALL BE SPECIFIED & INSTALLED TO WATERLINE SPECIFICATIONS. HOWEVER, THE MINIMUM SEPARATION SHALL NOT BE LESS THAN 25' FROM A PRIVATE WELL OR 50' FROM A PUBLIC WELL
  - WHEN INSTALLING WATER &/OR SEWER MAINS, THE HORIZONTAL SEPARATION BETWEEN UTILITIES SHALL BE 10'. IF THIS SEPARATION CANNOT BE MAINTAINED DUE TO EXISTING CONDITIONS, THE VARIATION ALLOWED IS THE WATER MAIN IN A SEPARATE TRENCH WITH THE ELEVATION OF THE WATER MAIN AT LEAST 18" ABOVE THE TOP OF THE SEWER & MUST BE APPROVED BY THE PUBLIC UTILITIES DIRECTOR. ALL DISTANCES ARE MEASURED FROM OUTSIDE DIAMETER TO OUTSIDE DIAMETER
  - WHERE IT IS IMPOSSIBLE TO OBTAIN PROPER SEPARATION, OR ANYTIME A SANITARY SEWER PASSES OVER A WATERMAIN, DIP MATERIALS OR STEEL ENCASEMENT EXTENDED 10' ON EACH SIDE OF CROSSING MUST BE SPECIFIED & INSTALLED TO WATERLINE SPECIFICATIONS
  - 5' MINIMUM HORIZONTAL SEPARATION IS REQUIRED BETWEEN ALL SANITARY SEWER & STORM SEWER FACILITIES, UNLESS DIP MATERIAL IS SPECIFIED FOR SANITARY SEWER
  - MAINTAIN 18" MIN. VERTICAL SEPARATION AT ALL WATERMAIN & RCP STORM DRAIN CROSSINGS; MAINTAIN 24" MIN. VERTICAL SEPARATION AT ALL SANITARY SEWER & RCP STORM DRAIN CROSSINGS WHERE ADEQUATE SEPARATIONS CANNOT BE ACHIEVED, SPECIFY DIP MATERIALS & A CONCRETE CRADLE HAVING 6" MIN. CLEARANCE (PER CORPUD DETAILS W-41 & S-49)
  - ALL OTHER UNDERGROUND UTILITIES SHALL CROSS WATER & SEWER FACILITIES WITH 18" MIN. VERTICAL SEPARATION REQUIRED.
- ANY NECESSARY FIELD REVISIONS ARE SUBJECT TO REVIEW & APPROVAL OF AN AMENDED PLAN &/OR PROFILE BY THE CITY OF RALEIGH PUBLIC UTILITIES DEPARTMENT PRIOR TO CONSTRUCTION
- CONTRACTOR SHALL MAINTAIN CONTINUOUS WATER & SEWER SERVICE TO EXISTING RESIDENCES & BUSINESSES THROUGHOUT CONSTRUCTION OF PROJECT. ANY NECESSARY SERVICE INTERRUPTIONS SHALL BE PRECEDED BY A 24 HOUR ADVANCE NOTICE TO THE CITY OF RALEIGH PUBLIC UTILITIES DEPARTMENT
- 3.0' MINIMUM COVER IS REQUIRED ON ALL WATER MAINS & SEWER FORCE MAINS. 4.0' MINIMUM COVER IS REQUIRED ON ALL REUSE MAINS
- IT IS THE DEVELOPER'S RESPONSIBILITY TO ABANDON OR REMOVE EXISTING WATER & SEWER SERVICES NOT BEING USED IN REDEVELOPMENT OF A SITE UNLESS OTHERWISE DIRECTED BY THE CITY OF RALEIGH PUBLIC UTILITIES DEPARTMENT. THIS INCLUDES ABANDONING TAP AT MAIN & REMOVAL OF SERVICE FROM ROW OR EASEMENT PER CORPUD HANDBOOK PROCEDURE
- INSTALL 4" DIP WATER SERVICES WITH METERS LOCATED AT ROW OR WITHIN A 2'X2' WATERLINE EASEMENT IMMEDIATELY ADJACENT. NOTE: IT IS THE APPLICANT'S RESPONSIBILITY TO PROPERLY SIZE THE WATER SERVICE FOR EACH CONNECTION TO PROVIDE ADEQUATE FLOW & PRESSURE
- INSTALL 6" PVC SEWER SERVICES @ 1.0% MINIMUM GRADE WITH CLEANOUTS LOCATED AT ROW OR EASEMENT LINE & SPACED EVERY 75 LINEAR FEET MAXIMUM
- PRESSURE REDUCING VALVES ARE REQUIRED ON ALL WATER SERVICES EXCEEDING 80 PSI; BACKWATER VALVES ARE REQUIRED ON ALL SANITARY SEWER SERVICES HAVING BUILDING DRAINS LOWER THAN 1.0' ABOVE THE NEXT UPSTREAM MANHOLE
- ALL ENVIRONMENTAL PERMITS APPLICABLE TO THE PROJECT MUST BE OBTAINED FROM NCDWQ, USACE &/OR FEMA FOR ANY RIPARIAN BUFFER, WETLAND &/OR FLOODPLAIN IMPACTS (RESPECTIVELY) PRIOR TO CONSTRUCTION.
- NCDOT / RAILROAD ENCROACHMENT AGREEMENTS ARE REQUIRED FOR ANY UTILITY WORK (INCLUDING MAIN EXTENSIONS & SERVICE TAPS) WITHIN STATE OR RAILROAD ENCROACHMENT
- GREASE INTERCEPTOR / OIL WATER SEPARATOR SIZING CALCULATIONS & INSTALLATION SPECIFICATIONS SHALL BE APPROVED BY THE CORPUD FOG PROGRAM COORDINATOR PRIOR TO ISSUANCE OF A BUILDING PERMIT. CONTACT STEPHEN CALVERLEY AT (919) 996-2334 OR STEPHEN.CALVERLEY@RALEIGHNC.GOV FOR MORE INFORMATION
- CROSS-CONNECTION CONTROL PROTECTION DEVICES ARE REQUIRED BASED ON DEGREE OF HEALTH HAZARD INVOLVED AS LISTED IN APPENDIX-B OF THE RULES GOVERNING PUBLIC WATER SYSTEMS IN NORTH CAROLINA. THESE GUIDELINES ARE THE MINIMUM REQUIREMENTS. THE DEVICES SHALL MEET AMERICAN SOCIETY OF SANITARY ENGINEERING (ASSE) STANDARDS OR BE ON THE UNIVERSITY OF SOUTHERN CALIFORNIA APPROVAL LIST. THE DEVICES SHALL BE INSTALLED AND TESTED (BOTH INITIAL AND PERIODIC TESTING THEREAFTER) IN ACCORDANCE WITH THE MANUFACTURER'S RECOMMENDATIONS OR THE LOCAL CROSS-CONNECTION CONTROL PROGRAM, WHICHEVER IS MORE STRINGENT. CONTACT JOANIE HARTLEY AT (919) 996-5922 OR JOANIE.HARTLEY@RALEIGHNC.GOV FOR MORE INFORMATION

LOT 2  
SANDRA H. REYNOLDS  
DB 8295, PG 2429  
BM 1982, PG 558  
PIN: 0794-33-7401

**SEWER LEGEND**



**WATER LEGEND**



**BURTON ENGINEERING**  
130 PARTLO STREET  
CONSTRUCTION  
ALEXANDRIA, VA 22304

**UNIVERSITY PARK CONDOS  
341 I HILLSBOROUGH STREET**  
RALEIGH, WAKE COUNTY, NORTH CAROLINA  
UTILITY PLAN

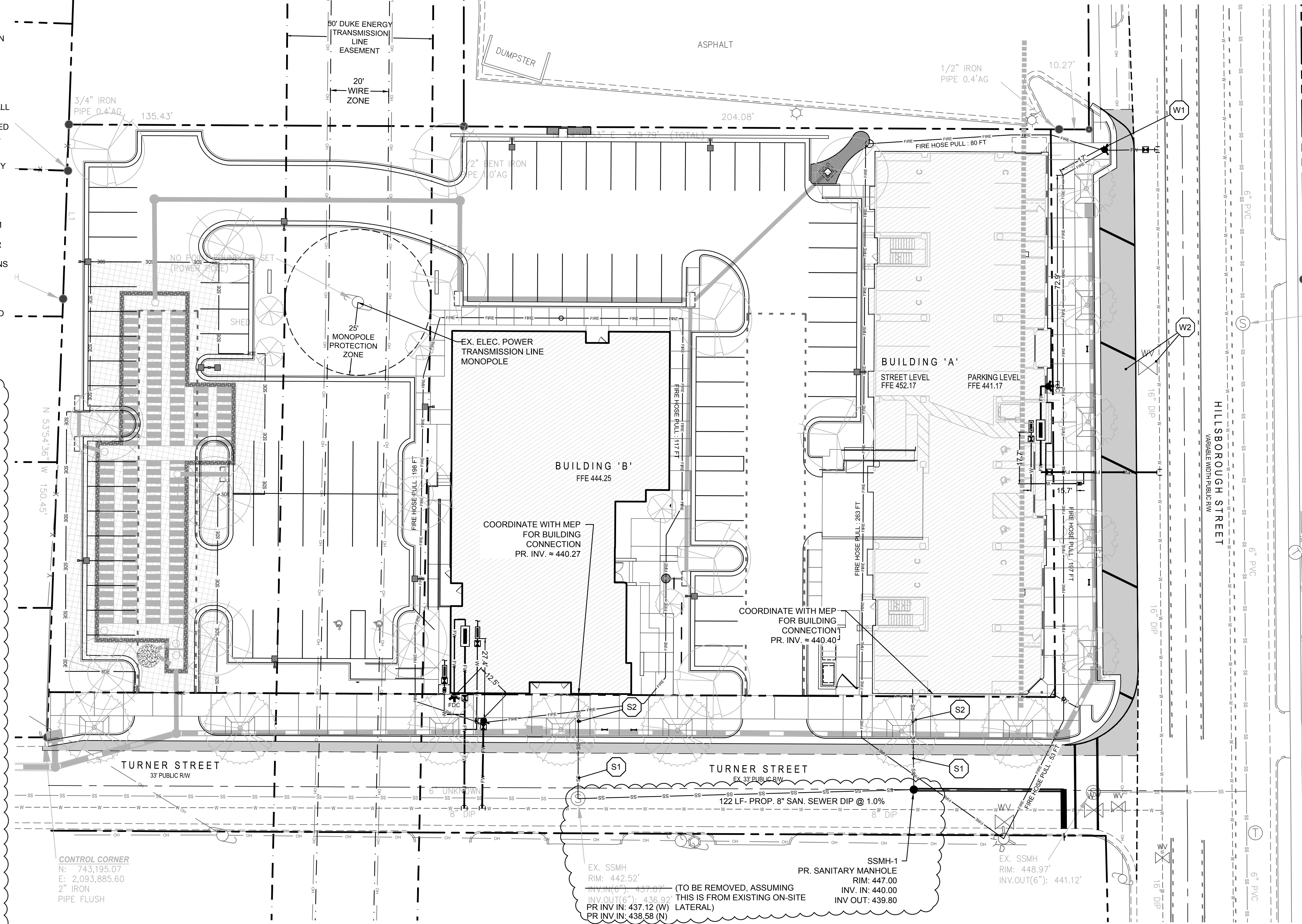
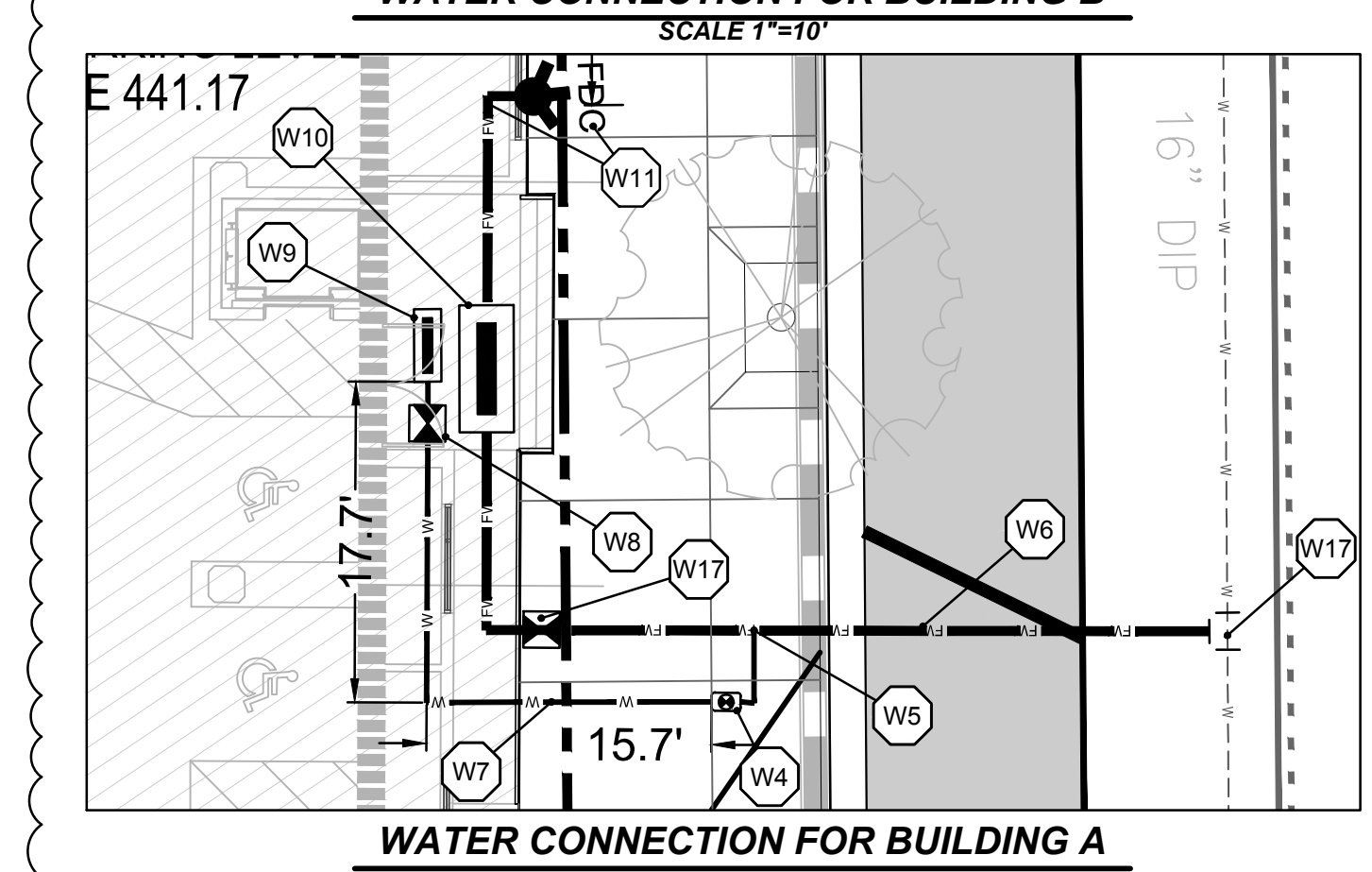
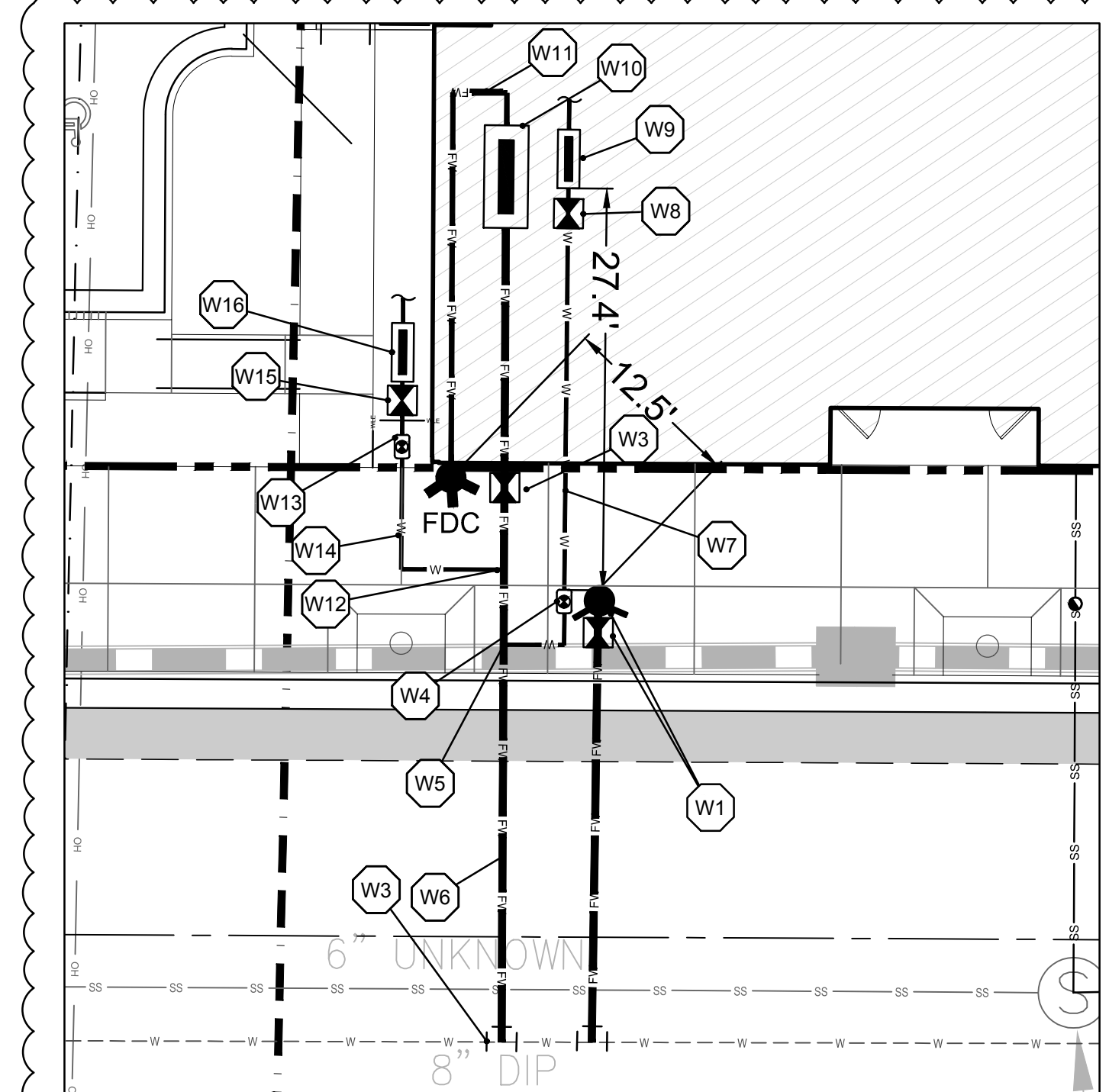
AMW  
PRJ  
AMW  
ENG  
AMW  
DRAWN BY  
08/14/2018  
DATE

REVISIONS

10/08/18  
CITY OF RALEIGH-ADMIN REVIEW CYCLE I  
10/18/18  
CITY OF RALEIGH-ADMIN REVIEW CYCLE II

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PROJECT NUMBER  
018.704.001  
**CI.0**



**UTILITY KEYS- WATER**

- (W1) PROPOSED FIRE HYDRANT AND VALVE ASSEMBLY 6" DIP CONNECTION SEE CITY OF RALEIGH'S DETAIL W-4
- (W2) EXISTING FIRE HYDRANT TO BE RELOCATED. HYDRANT BRANCH TO BE PLUGGED AT TEE OR TAPPING VALVE WITH MECHANICAL PLUG WITH NO BENDS. IF EXISTING IS LEAD, TEE/TAP WILL BE CUT OUT AND NEW SECTION OF PIPE INSTALLED WITH DIP REPAIR JOINT.
- (W3) PROPOSED 6"x8" TAPPING SLEEVE AND VALVE
- (W4) PROPOSED 4" DOMESTIC WATER METER LOCATED WITHIN ROW
- (W5) PROPOSED 6"x4" TEE
- (W6) PROPOSED 6" DIP FIRE LINE (SIZE TO BE VERIFIED)
- (W7) PROPOSED 4" DOMESTIC WATERLINE (SIZE TO BE VERIFIED)
- (W8) PROPOSED 4" GATE VALVE
- (W9) PROPOSED 4" DOMESTIC RPZ BACKFLOW LOCATED INSIDE BUILDING WATTS MODEL LF009 OR APPROVED EQUAL ON CITY OF RALEIGH'S ASSEMBLIES LIST
- (W10) PROPOSED 6" FIRE RPDA BACKFLOW LOCATED INSIDE BUILDING WATTS MODEL 808RDA OR APPROVED EQUAL ON CITY OF RALEIGH'S ASSEMBLIES LIST

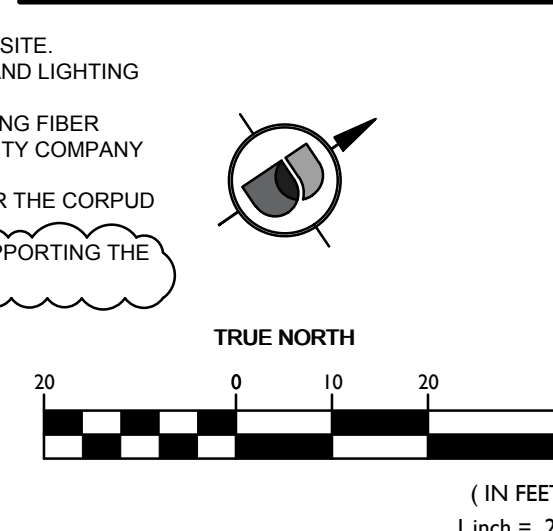
**UTILITY KEYS- SEWER**

- (S1) PROPOSED 6" PVC SEWER LATERAL @ 1.0% MINIMUM SLOPE
- (S2) PROPOSED SANITARY SEWER CLEANOUT. MUST BE INSTALLED WITH STANDARD WATER-TIGHT CLEANOUT PLUG WITHIN CAST IRON VALVE BOX WITH CAST IRON LID INDICATING "SEWER"
- (W11) PROPOSED 4" DIP FIRE LINE CONNECTION TO FDC
- (W12) PROPOSED 6"x1" TEE
- (W13) PROPOSED 1" IRRIGATION METER LOCATED WITHIN A 2' EASEMENT (LOCATED IN GRASS)
- (W14) PROPOSED 1" IRRIGATION SERVICE (ROUTE AND SIZE TO BE VERIFIED)
- (W15) PROPOSED 1" GATE VALVE
- (W16) PROPOSED 1" IRRIGATION RPZ BACKFLOW MODEL TO BE CHOSEN FROM CITY OF RALEIGH'S ASSEMBLIES LIST
- (W17) PROPOSED 6"x16" TAPPING SLEEVE AND VALVE

**GENERAL NOTES**

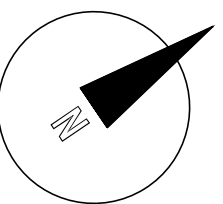
- DUKE ENERGY IS CURRENTLY DESIGNING THE LIGHTING PLAN FOR THE SITE.
- COORDINATION WILL BE MADE FOR RELOCATION OF EXISTING POWER AND LIGHTING POLES IN THE RIGHT-OF-WAY THAT WILL NEED TO BE RELOCATED.
- CONTRACTOR TO LOCATE AND VERIFY ALL EXISTING UTILITIES, INCLUDING FIBER OPTIC AND CABLE IN RIGHT-OF-WAY AND COORDINATE WITH EACH UTILITY COMPANY FOR RELOCATION IF REQUIRED.
- ANY EXISTING COMPONENT NOT TO BE USED MUST BE ABANDONED PER THE CORPUD STANDARDS HANDBOOK, PGS 473-475.
- UNDERGROUND STORMWATER RETENTION SYSTEM IS CAPABLE OF SUPPORTING THE WEIGHT OF THE FIRE APPARATUS.

**DRAWING INFORMATION**



C:\LOCAL DESKTOP\BEAM\_PROJECTS\018181001\_341 I HILLSBOROUGH STREET\018181001\_341 I HILLSBOROUGH STREET PLAN SET.DWG UTILITY PLAN 12/18/2018 12:26:43 PM HPD.CTB AMW\AMWORTH





SCALE 1" = 20'  
DATE AUGUST 14, 2018  
PROJECT # 18102

PROPOSED CONDOMINIUM DEVELOPMENT  
**University Park Condos**  
Raleigh, North Carolina

LANDSCAPE PLAN

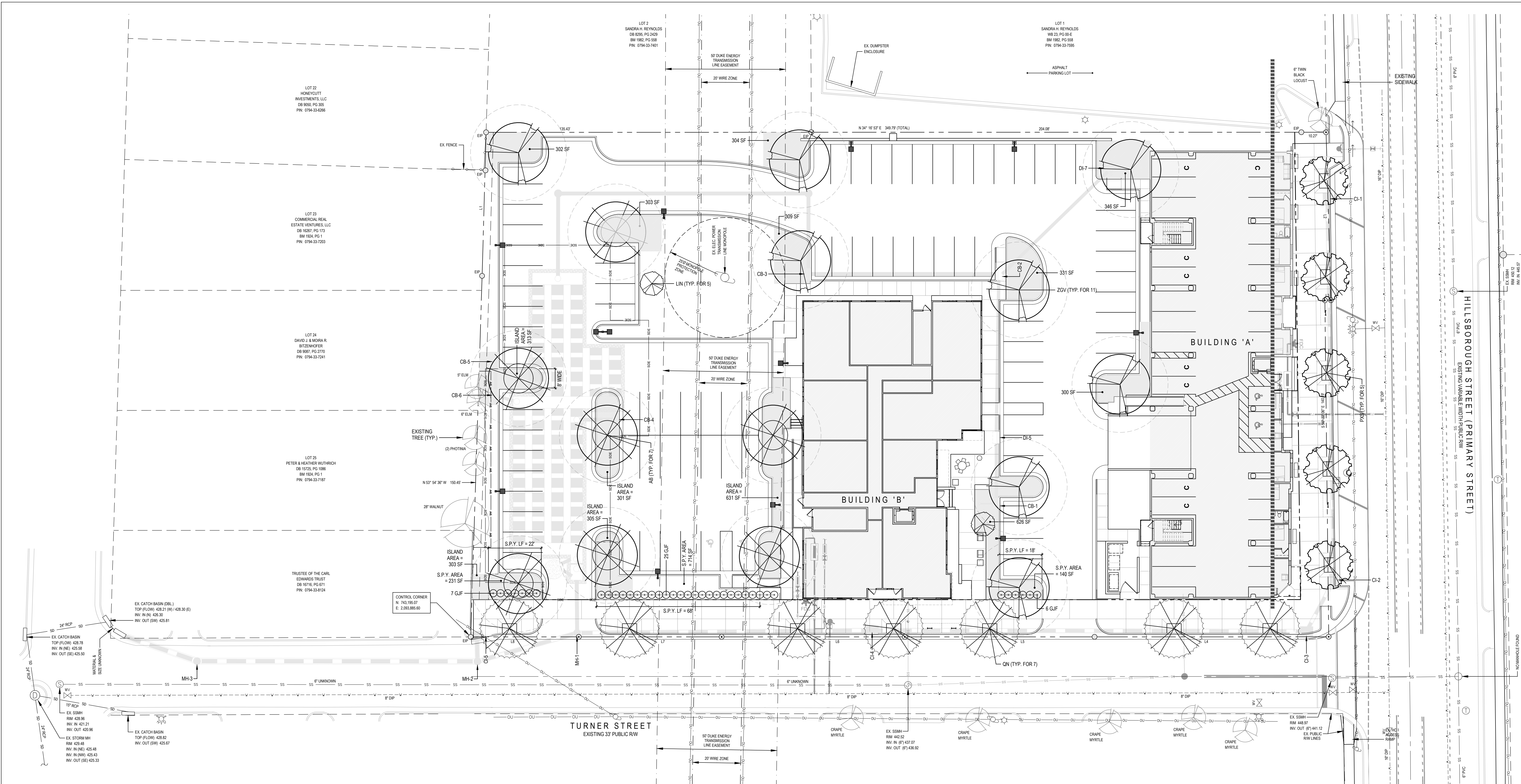
DATE	DESCRIPTION
10.08.18	ASR 2nd Submittal
12.18.18	ASR 3rd Submittal

REVISIONS

FOR REVIEW ONLY   
FOR PERMIT   
FOR CONSTRUCTION   
RE-ISSUE

SHEET

LA4.0



LANDSCAPE CALCULATIONS & NOTES

TREE CONSERVATION		STREET PROTECTIVE YARD		VEHICLE PARKING LOT	
THE 1.705 ACRES OF GROSS SITE AREA IS NOT SUBJECT TO THE TREE CONSERVATION REQUIREMENTS OF THE CITY OF RALEIGH UNIFIED DEVELOPMENT ORDINANCE AS SPECIFIED UNDER ARTICLE 9.1.2.		TURNER STREET PARKING AREAS		PARKING LOT AREA	
STREETScape		TYPE		SHADE TREES	
HILLSBOROUGH & TURNER STREETS		TYPE		1 / 2000 SF = 15	
TYPE	MIXED USE	TYPE	C3	PROVIDED 15	
WIDTH (MAX)	REQUIRED 35'	WIDTH (AVG. MIN.)	10'		
STREETScape SIDEWALK	PROVIDED 14'	PROTECTIVE YARD LENGTH	108 LF		
STREETScape PLANTING AREA	REQUIRED 8' MIN.	PROTECTIVE YARD AREA	1080 SF		
WALKWAY TYPE	PROVIDED 6'	SHRUBS (30' / 100 LF)	REQUIRED 32.40		
PLANTING TYPE	PROVIDED 6'		PROVIDED 38		
TREE SPACING	REQUIRED 40' O.C. AVG.				
LENGTH OF STREETScape					
HILLSBOROUGH STREET	195 LF				
TURNER STREET	345 LF				
DRIVEWAY LENGTH	-46 LF				
POWER ESMT. LENGTH	-60 LF				
SUBJECT STREETScape	249 LF				
STREET TREES					
HILLSBOROUGH STREET	REQUIRED 195 / 40 = 4.88				
TURNER STREET	PROVIDED 5				
	REQUIRED 249 / 40 = 6.23				
	PROVIDED 7				

- ALL LANDSCAPE PRODUCTS AND INSTALLATION WORK SHALL CONFORM TO CITY OF RALEIGH STANDARDS AND SPECIFICATIONS.
- UTILITY AND STORM WATER DESIGNS SHOWN ARE PRELIMINARY AND SUBJECT TO CHANGE. ALL POTENTIAL CONFLICTS BETWEEN PROPOSED PLANTS AND PROPOSED UTILITY OR STORM WATER SYSTEMS SHALL BE RESOLVED PRIOR TO BUILDING PERMIT APPLICATION.
- FIELD VERIFY THE LOCATION AND DEPTH OF ALL UTILITIES BY HAND PRIOR TO INSTALLATION WORK.
- SCREEN FROM OFF-SITE VIEWS ALL OUTDOOR UTILITY DEVICES INCLUDING TRANSFORMERS AND BACKFLOW DEVICE ENCLOSURES WITH EVERGREEN SHRUBS, FENCE, OR WALL.
- ALL HVAC EQUIPMENT SHALL BE LOCATED ON THE ROOFS OF PROPOSED BUILDINGS AND SCREENED BY THE PARAPET WALL.
- PRIOR TO THE ISSUANCE OF BUILDING PERMITS, A TREE IMPACT PERMIT IS REQUIRED.
- PROPOSED TREES TO MAINTAIN A MINIMUM CLEARANCE OF 30' FROM STOP SIGNS AND 10 FEET FROM DRIVEWAYS.
- ALL PLANTS TO CONFORM TO THE AMERICAN STANDARD FOR NURSERY STOCK BY THE AMERICAN ASSOCIATION OF NURSERYMEN, INC. ALL PLANTS TO BE UNIFORM IN SHAPE AND WELL GROWN WITH DEVELOPED ROOT SYSTEMS.
- NO SUBSTITUTIONS SHALL BE PERMITTED WITHOUT WRITTEN NOTICE BY THE CONTRACTOR AND WRITTEN APPROVAL OF THE LANDSCAPE ARCHITECT.
- INSTALL AND MAINTAIN STREET TREES IN ACCORDANCE WITH CHAPTER 2 OF THE CITY OF RALEIGH TREE MANUAL.
- BACKFILL MATERIAL FOR PROPOSED TREES WITHIN PUBLIC RIGHT-OF-WAY SHALL CONTAIN NO MORE THAN 50% NATIVE SOIL. BLEND NATIVE SOIL WITH A MIXTURE CONSISTING OF 50% COMPOST, 10% SLT+ LOAM SOIL, 10% FINE BARK SOIL CONDITIONER, AND 20% SANDY LOAM SOIL. COMPOST USED SHOULD CARRY U.S. COMPOST COUNCIL SEAL OF ASSURANCE.
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- MULCH ALL PLANT BEDS WITH A 2" MIN. AND 3" MAX. LAYER OF DOUBLE SHREDDED HARDWOOD MULCH. DO NOT USE PINE STRAW.
- ALL PROPOSED LAWN AREAS TO BE ESTABLISHED WITH SOO.

PLANT SPECIFICATIONS LIST

Key	Qty.	Botanical Name	Common Name	Caliper	Height	Spread	Spacing	Root
AB	7	<i>Acer buergerianum</i>	Trident Maple	3"	10'			B&B
GJF	38	<i>Gardenia jasminoides 'Frostproof'</i>	Frostproof Gardenia		18"-24"	18"	3'	3 Gallon
LIN	4	<i>Lagerstroemia indica 'Natchez' STD</i>	Natchez Crape Myrtle	2"	8'			25 Gallon
PXS	5	<i>Prunus x 'Snowgoose'</i>	Snowgoose Cherry	3"	10'			B&B
QN	7	<i>Quercus nuttallii</i>	Nuttall Oak	3"	10'			B&B
ZGV	8	<i>Zelkova serrata 'Green Vase'</i>	Green Vase Japanese Zelkova	3"	10'			B&B

SR-79-18

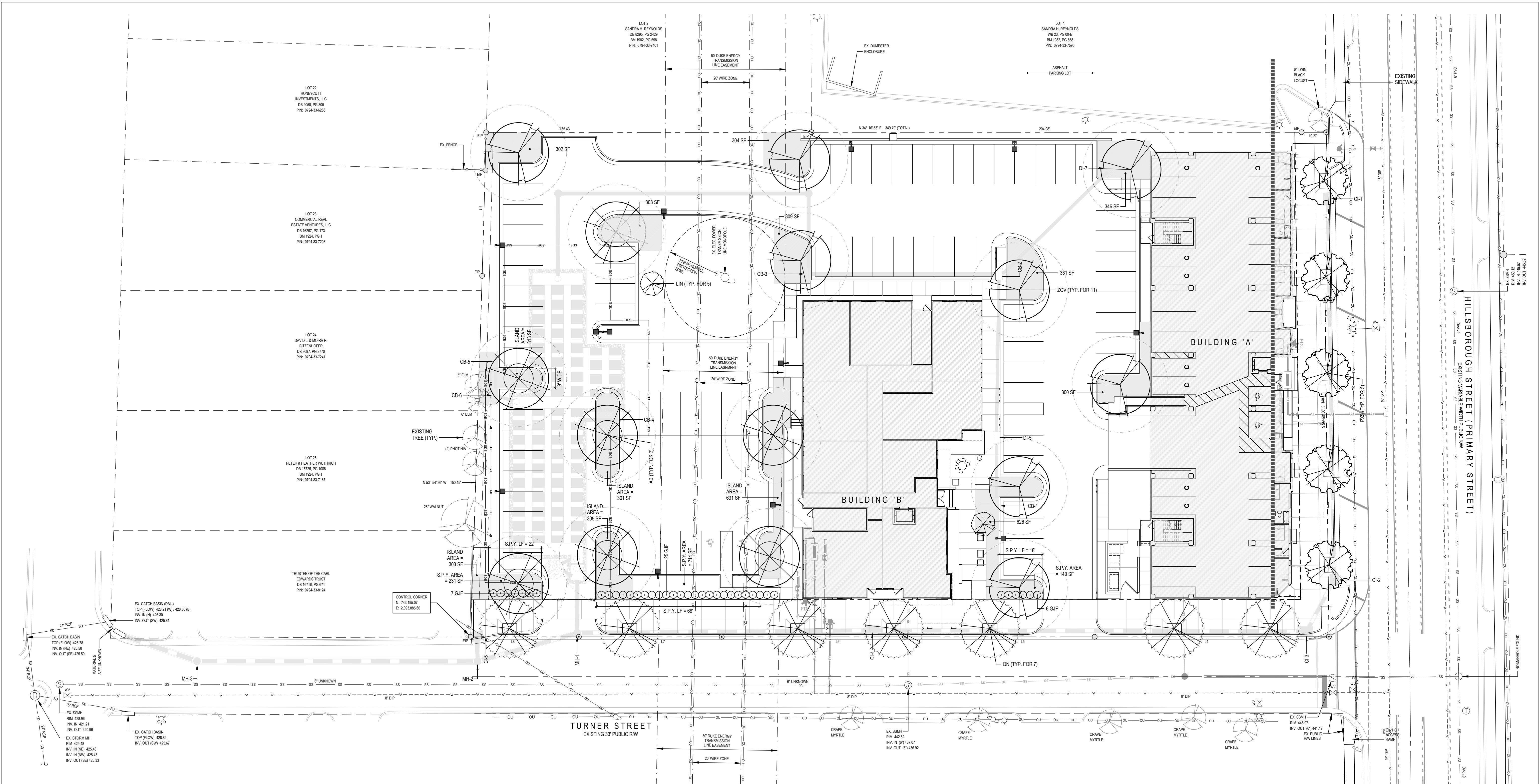


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**University Park Condos**  
Raleigh, North Carolina

LANDSCAPE PLAN

DATE	DESCRIPTION
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LANDSCAPE CALCULATIONS & NOTES

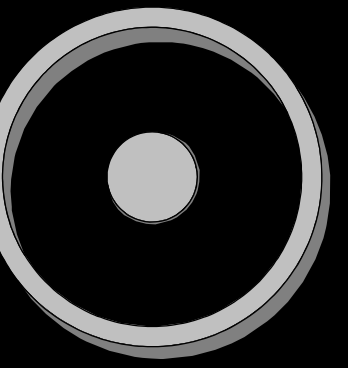
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SR-79-18





SUBGRADES	
WALL	18"
1	18"
2	60"
3	18"
4	60"

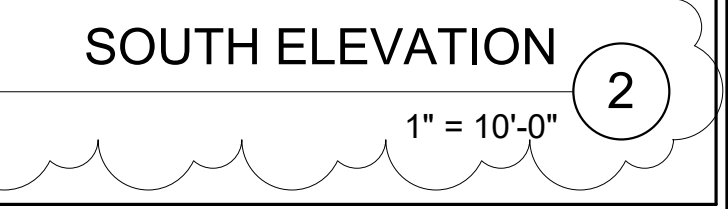
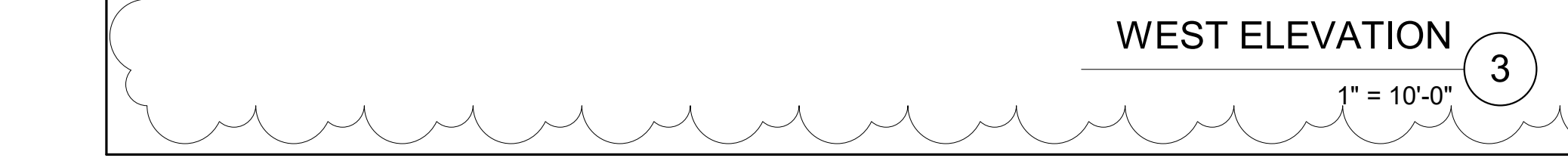
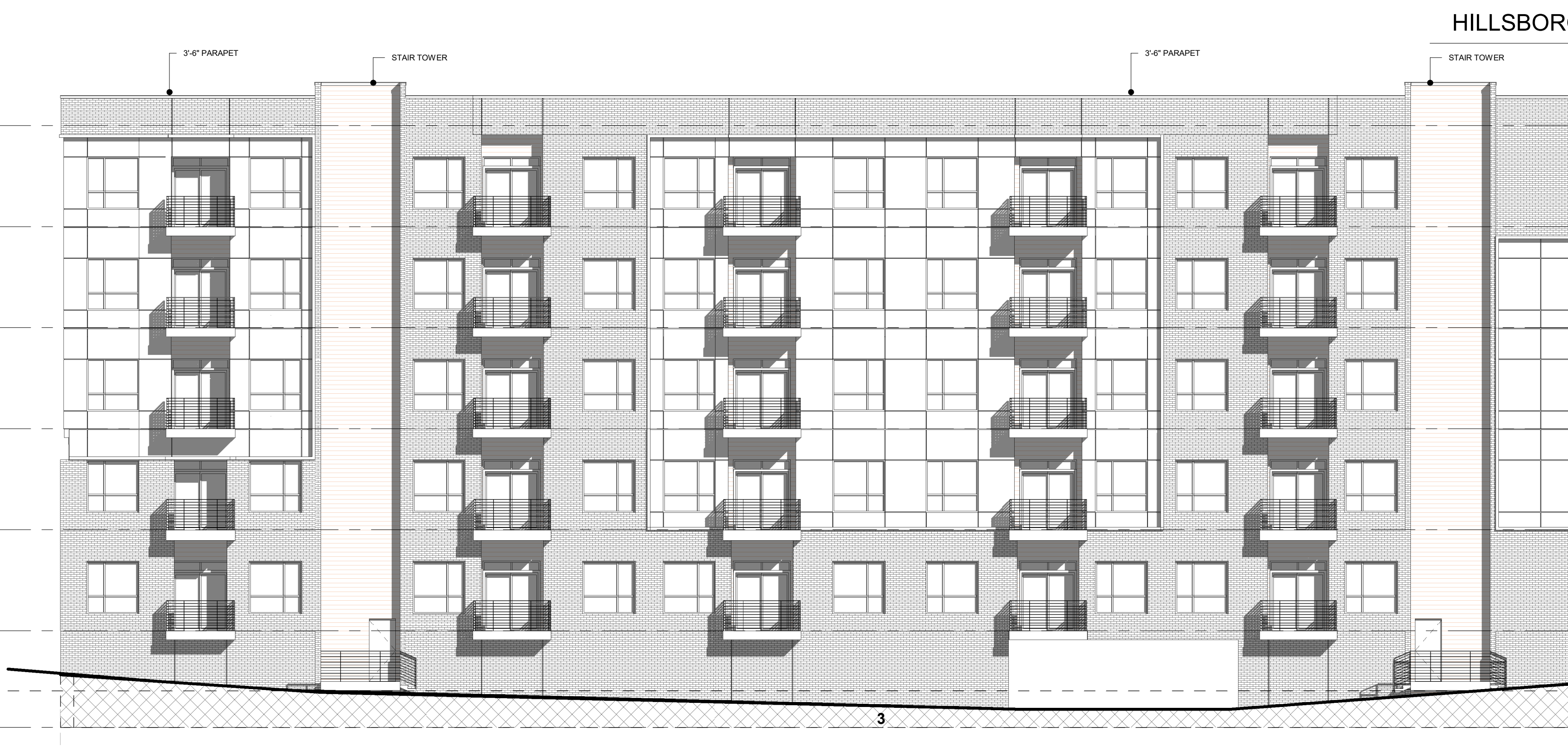
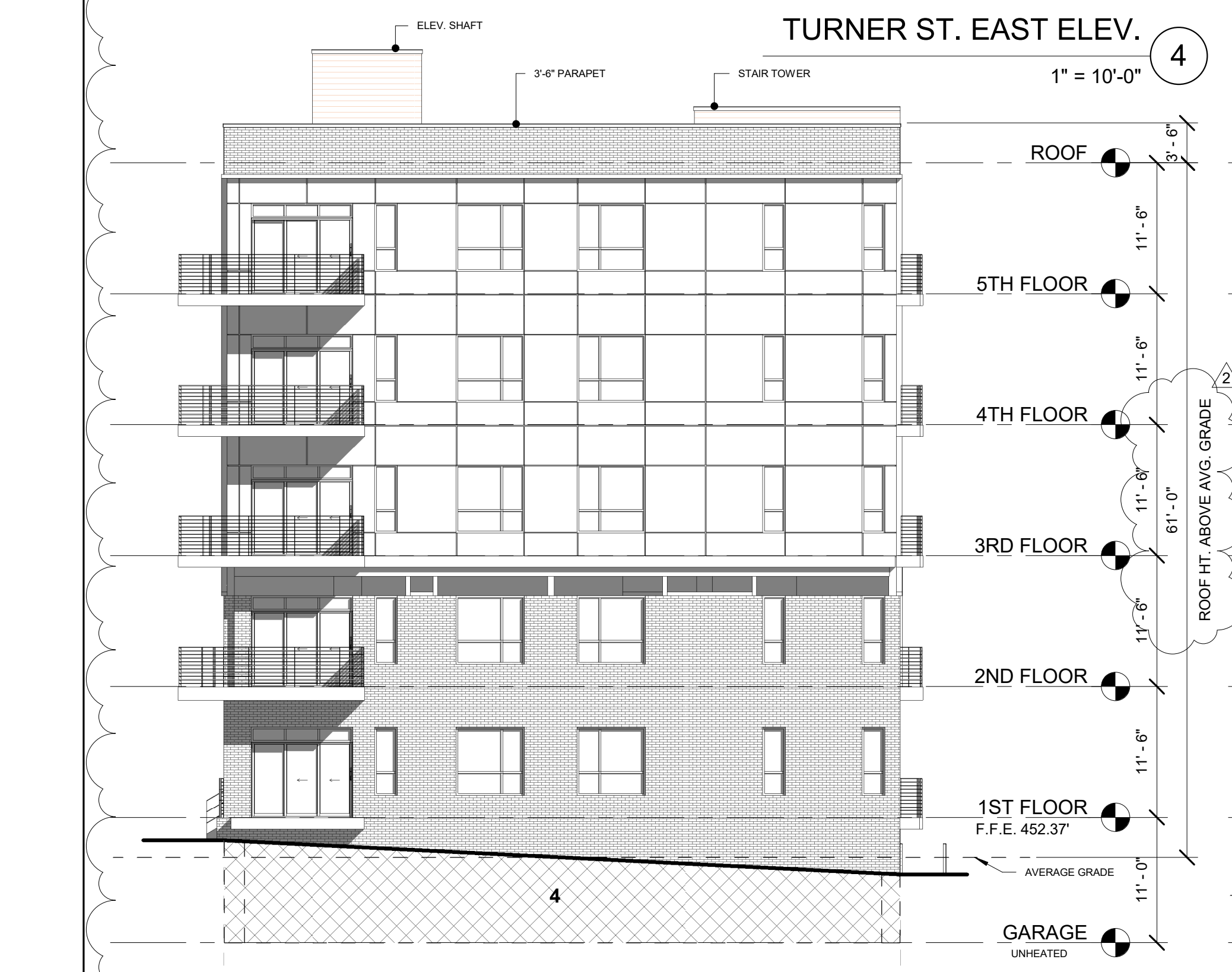
ELEVATIONS	
GRADE	5'
	16'
	44'
	68'
	44'
	32'

BUILDING	
ELEV.	11'
NORTH	5'
SOUTH	6'
EAST	6'
WEST	6'

GROUND FLOOR  
 BLDG A - 1  
 (O.C. ELEV.  
 NORTH 448.83  
 SOUTH 446.75)

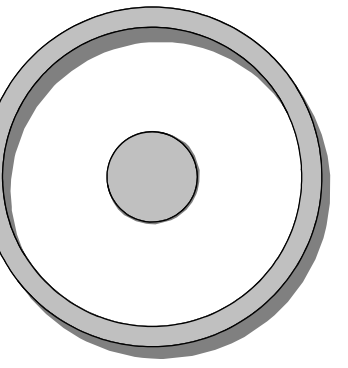
FLOOR CA  
 HILLSBORO  
 AVG.  
 449.9

(OR)  
 AVG. GRADE



ADMIN. SITE REVIEW  
 PROPOSED CONDO DEVELOPMENT  
 HILLSBOROUGH ST.  
 H, NC





**OLIVE**  
ARCHITECTURE  
WWW.OLIVE-ARCH.COM

436 N. Harrington St. Ste. 140 Raleigh, NC 27603  
p 919.858.9934 f 919.858.9995

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**ADMIN. SITE REVIEW**

**PROPOSED CONDO DEVELOPMENT**

3411 HILLSBOROUGH ST.  
RALEIGH, NC

**issue date:**

ISSUE	NAME	DATE
1ST	SITE SUBMITTAL	08/13/2018
2ND	RESUBMITTAL 1	10/05/2018
3RD	RESUBMITTAL 2	11/15/2018

**revisions:**

Revision	Date	Description
1	09/28/18	ASR COMMENTS

**drawn by:**  
JBD  
**checked by:**  
AOL  
**project no:**

BUILDING ELEVATIONS

**A2.0**

11/15/2018 3:46:13 PM

PAGE INTENTIONALLY LEFT BLANK  
SEE A1.0 FOR ELEVATIONS AND BASEMENT  
CALCULATIONS



**BUILDING (B) NORTH ELEVATION** 1  
1/8" = 1'-0"

BUILDING HEIGHT SUMMARY BUILDING B	
ELEV.	HEIGHT ABOVE AVG. GRADE
NORTH	58'-1"
SOUTH	60'-4"
EAST	59'-6"
WEST	58'-4"
59'-1" AVG. HT. ABOVE GRADE	



**BUILDING (B) EAST ELEVATION** 2  
**TURNER ST. ELEVATION** 1/8" = 1'-0"

**issue date:**

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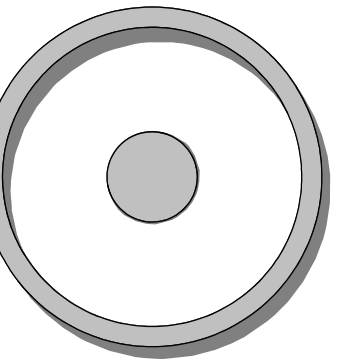
**revisions:**

Revision	Date	Description
1	9/29/18	ASR COMMENTS
2	11/15/18	ASR COMM. 2

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JBD  
**checked by:**  
AOL  
**project no:**

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ADMIN. SITE REVIEW

PROPOSED CONDO DEVELOPMENT

3411 HILLSBOROUGH ST.  
RALEIGH, NC

issue date:

ISSUE	NAME	DATE
1ST	SITE SUBMITTAL	06/13/2018
2ND	RESUBMITTAL 1	10/08/2018
3RD	RESUBMITTAL 2	11/15/2018

revisions:

Revision	Date	Description
1	9/29/18	ASR COMMENTS
2	11/15/18	ASR COMM. 2

drawn by:  
JBD  
checked by:  
AOL  
project no:

BUILDING ELEVATIONS

A4.0

11/15/2018 3:49:42 PM



BUILDING HEIGHT SUMMARY BUILDING B	
ELEV.	HEIGHT ABOVE AVG. GRADE
NORTH	58'-1"
SOUTH	60'-4"
EAST	59'-6"
WEST	58'-4"
59'-1" AVG. HT. ABOVE GRADE	



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