



Administrative Approval Action

**Nova Six Forks Medical Office (Revision): SR-77-18
Transaction# 566307 AA#3868**

City of Raleigh
Development Services Department
One Exchange Plaza
Raleigh, NC 27602
(919) 996-2495
DS.help@raleighnc.gov
www.raleighnc.gov

LOCATION: This site is located on the west side of Six Forks Road and south of the intersection of Windel Drive and Six Forks Road. The addresses and pin numbers are 5241 Six Forks Road/1706556492, 5261 Six Forks Road/1706557524 and 5221 Six Forks Road/1706556371.

REQUEST: Development of a 1.93-acre tract zoned Office Mixed Use with a Parking Limited Frontage (OX-3-PL-CU). Reference Z-28-15 for zoning conditions. The applicant is proposing a 2 story 18,672 square foot medical office building (general building type) with 63 parking spaces. Note a previous site plan was approved in this location with case SR-79-17 which has been withdrawn.

**DESIGN
ADJUSTMENT(S)/
ALTERNATES, ETC:**

One Design Adjustment has been approved by the Development Services Designee for this project, noted below.

1. A Design Adjustment waiving the block perimeter requirement in the UDO Section 8.3, has been approved.
2. A Design Adjustment to UDO Section 8.3 reducing the cross-access locations to adjacent properties has been approved. There is one cross access location remaining with a stub and offer of cross access to be made with associated easements.

FINDINGS: City Administration finds that this request, with the below conditions of approval being met, conforms to the Unified Development Ordinance. This approval is based on a preliminary plan dated 9/19/2018 by Patrick Barbeau of Timmons Group.

CONDITIONS OF APPROVAL and NEXT STEPS:

This document must be applied to the second sheet of all future submittals except for final plats. This is a preliminary plan and as such no permits have been issued with this approval. To obtain permits and/or completion of the project, the following steps are required:

CONCURRENT SITE REVIEW NOT REQUIRED AT THIS TIME – However, plan revisions or further development that includes land disturbance of 12,000 square feet or greater, public or private infrastructure, shared stormwater devices, etc. will require concurrent site review.

CONCURRENT SITE REVIEW - For land disturbance of 12,000 square feet or greater, public or private infrastructure, shared stormwater devices, etc. Concurrent Site Review may be submitted upon receipt of this signed approval document.



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The following items are required prior to approval of Concurrent Site Review plans:

Engineering

1. Required NCDOT encroachment and/or driveway permits must be approved and copies provided to Development Services – Development Engineering prior to concurrent review approval.
2. A right-of-way obstruction permit must be obtained from Right-of-way Services prior to the commencement of any construction activities within the right-of-way.

Stormwater

3. A stormwater control plan with a stormwater operations and maintenance manual and budget shall be approved (UDO 9.2).
4. A surety equal to of the cost of clearing, grubbing and reseeding a site, shall be paid to the City (UDO 9.4.4).

RECORDED MAP(S) - Submit plat to record new property lines, easements, tree conservation areas, etc.). Plats may be submitted for review when the Concurrent Site Review plans, if required, have been deemed ready for mylar signature.

The following items must be approved prior to recording the plat:

Engineering

1. The required right of way for proposed and/or existing streets shall be dedicated to the City of Raleigh and be shown on the map approved for recordation.
2. A 5' general utility easement and associated deed of easement shall be approved by the City and the location of the easement shall be shown on the map approved for recordation. The deed of easement shall be recorded at Wake County Register of Deeds within one day of recordation of the recorded plat. A recorded copy of these documents must be provided to the Development Services Department within one day from authorization of lot recordation. If recorded copies of the documents are not provided, further recordings and building permit issuance will be withheld.
3. A 5' slope easement and associated deed of easement shall be approved by the City and the location of the easement shall be shown on the map approved for recordation. The deed of easement shall be recorded at Wake County Register of Deeds within one day of recordation of the recorded plat. A recorded copy of these documents must be provided to the Development Services Department within one day from authorization of recordation. If recorded copies of the documents are not provided, further recordings and building permit issuance will be withheld.
4. An offer of cross access easement between the subject site (the SR-77-2018 development) and the lot identified as PIN 1706556169 shall be approved by the Development Services Department for recording in the Wake County Registry, and a copy of the recorded offer of cross access easement shall be returned to the Development Services Department within one day of plat



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recording. If a recorded copy of the document is not provided within this time, further recordings and building permit issuance will be withheld.

Stormwater

5. A payment equal to twenty-four percent (24%) of the estimated cost of constructing all stormwater control facilities shown on the development plans shall be paid by the developer to the City stormwater facility replacement fund (UDO 9.2.2.G.3).
6. All stormwater control measures and means of transporting stormwater runoff to and from any nitrogen and stormwater runoff control measures shall be shown on all plats for recording as private drainage easements (UDO 9.2).
7. A surety equal to 125% of the cost of the construction of a stormwater device shall be paid to the Engineering Services Department (UDO 9.2.2.D.1.d).

BUILDING PERMITS – For buildings and structures shown on the approved plans. Commercial building permit plans must include the signed, approved Concurrent Site Review plans attached, if applicable. Permit sets may be reviewed prior to the recording of required plats, but cannot be approved.

The following items must be approved prior to the issuance of building permits:

General

1. Comply with all conditions of Z-28-15.
2. A recombination map shall be recorded to recombine the existing lots into a single tract.
3. A demolition permit shall be obtained.
4. Provide fire flow analysis.

Engineering

5. A fee-in-lieu for 1' of sidewalk and ½ of a 98' street section across the frontage shall be paid to the City of Raleigh (UDO 8.1.10).
6. A public infrastructure surety shall be provided to the City of Raleigh Development Services – Development Engineering (UDO 8.1.3).
7. Required NCDOT encroachment and/or driveway permits must be approved and copies provided to Development Services – Development Engineering.
8. A right-of-way obstruction permit shall be obtained from Right-of-way Services for any construction activity within the right-of-way.



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Stormwater

9. A payment equal to twenty-four percent (24%) of the estimated cost of constructing all stormwater control facilities shown on the development plans shall be paid by the developer to the City stormwater facility replacement fund (UDO 9.2.2.G.3).
10. All stormwater control measures and means of transporting stormwater runoff to and from any nitrogen and stormwater runoff control measures shall be shown on all plats for recording as private drainage easements (UDO 9.2).
11. A surety equal to 125% of the cost of the construction of a stormwater device shall be paid to the Engineering Services Department (UDO 9.2.2.D.1.d).

The following are required prior to issuance of building occupancy permit:

1. All Water, Sanitary Sewer and Reuse facilities shall be installed, inspected, tested and accepted by the City of Raleigh Public Utilities Department for operations and maintenance.
2. Required public right-of-way infrastructure improvements shall be, at a minimum, sufficiently completed to provide the necessary, safe emergency and vehicular access.
3. Required underground storm drainage improvements shall be completed and as-built plan(s) and certification(s) reviewed and accepted by the City of Raleigh Development Services – Development Engineering program.
4. All street lights and street signs required as part of the development approval are installed.
5. Copies of certified inspection reports for alleys and internal access ways are submitted to the City of Raleigh Development Services – Development Engineering program.
6. As-built drawings and associated forms for all Stormwater devices are accepted by the Engineering Services Department (UDO 9.2.2.D.3).
7. Final inspection of all tree conservation areas and right of way street trees by Urban Forestry Staff.



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EXPIRATION DATES: The expiration provisions of UDO Section 10.2.8 E, including the ability to request extensions in the expiration date, apply to this site plan. If significant construction has not taken place on a project after administrative site review approval, that approval may expire and be declared void, requiring re-approval before permits may be issued. To avoid allowing this plan approval to expire the following must take place by the following dates:

3-Year Expiration Date: 9-25-2021

Obtain a valid building permit for the total area of the project, or a phase of the project.

4-Year Completion Date:

Within four years after issuance of the first building permit for the site plan, the construction of the entire site plan must be completed unless an applicant has been granted vested rights. Failure to complete construction within this specified time frame shall automatically void the approved site plan for which no building permits have been issued.

I hereby certify this administrative decision.

Signed:(Planning Dir./Designee)

Date: 9/25/2018

Staff Coordinator: Daniel L. Stegall

PRELIMINARY SITE PLAN REVIEW NOVA SIX FORKS MEDICAL OFFICE BLDG

TRANSACTION #566307 (SR-77-18)

5241 SIX FORKS ROAD (SR-1005)
RALEIGH, NORTH CAROLINA 27616
WAKE COUNTY

ARCHITECT:
RON COX ARCHITECTURE
RON COX
2003 PROGRESS COURT
RALEIGH, NC 27608
PH. (919) 829-0026
RONC@RONCOXARCHITECTURE.COM

OWNER/DEVELOPER:
NOVA CAPITAL PARTNERS, LLC
3717 NATIONAL DRIVE (SUITE 104)
RALEIGH, NC 27612
PH: (704) 964-8988
JASON@NOVACAP.NET

CIVIL ENGINEER:
TIMMONS GROUP
PATRICK BARBEAU, P.E.
5410 TRINITY ROAD; SUITE 102
RALEIGH, NC 27607
PH: (919) 866-4512
PATRICK.BARBEAU@TIMMONS.COM

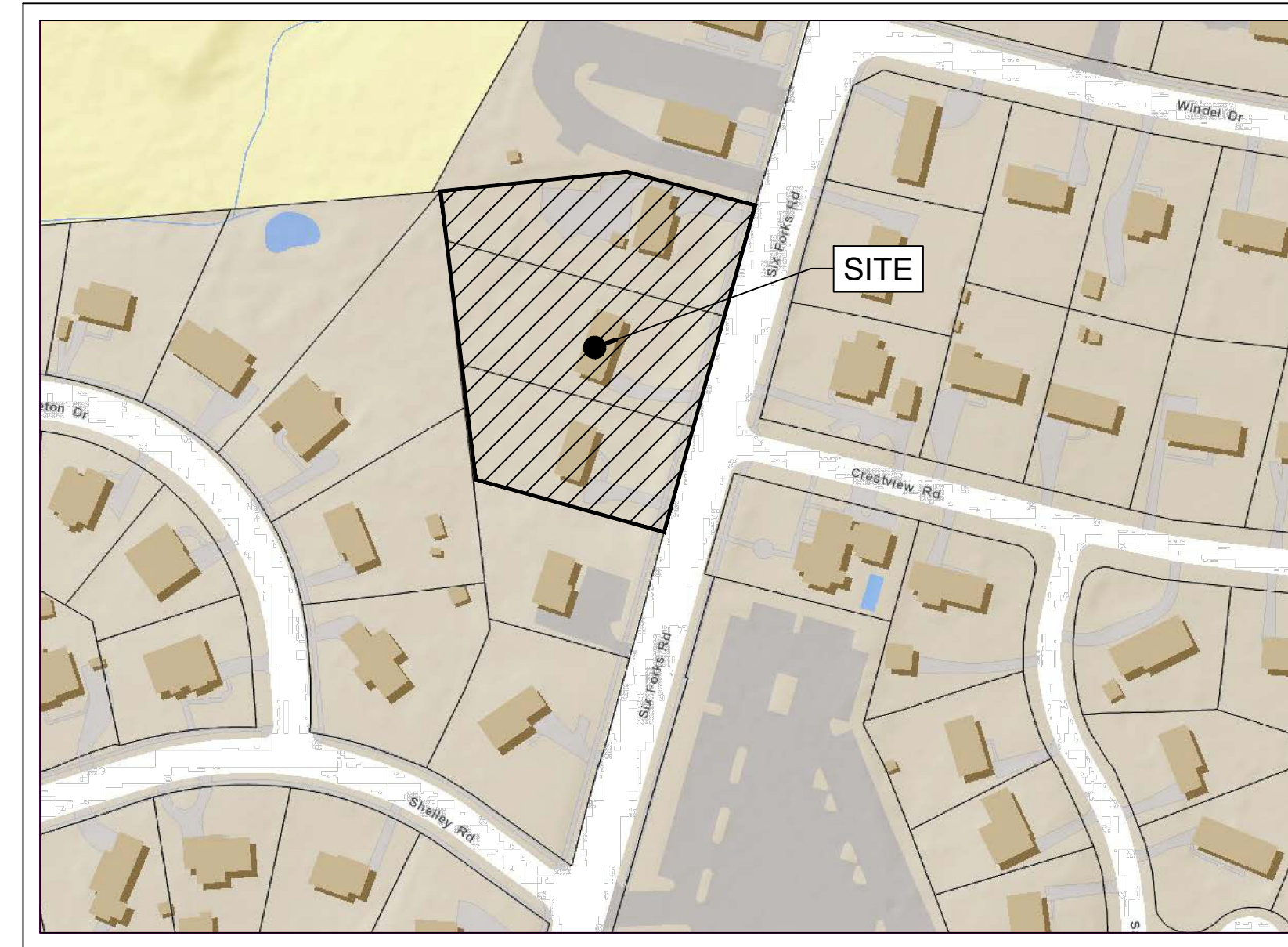
RIGHT OF WAY OBSTRUCTION NOTES:

- LANE AND SIDEWALK CLOSURES OR DETOURS: PRIOR TO ANY LANE OR SIDEWALK OBSTRUCTION, THE CONTRACTOR OR ENGINEER SHALL SUBMIT A TRAFFIC CONTROL AND/OR PEDESTRIAN PLAN ALONG WITH A RIGHT-OF-WAY SERVICES APPLICATION TO REQUEST THE OBSTRUCTION PRIOR TO THE START OF WORK. RIGHTOFWAYSERVICES@RALEIGHNC.GOV FOR APPROVAL.
- THE CITY OF RALEIGH REQUIRES AN APPROVED RIGHT-OF-WAY OBSTRUCTION PERMIT FOR WORK ON ANY PUBLIC STREET OR SIDEWALK AND NCDOT ROAD WITHIN RALEIGH'S JURISDICTION.
- ALL TRAFFIC CONTROL SIGNAGE AND PRACTICES SHALL ADHERE TO THE MANUAL ON UNIFORM TRAFFIC CONTROL, AND THE LATEST EDITION OF THE NCDOT "STANDARD SPECIFICATION FOR ROADWAY STRUCTURES", NCDOT "ROADWAY STANDARD DRAWING MANUAL", AND THE NCDOT SUPPLEMENT TO THE MUTCD.
- ALL PUBLIC SIDEWALKS MUST BE ACCESSIBLE TO PEDESTRIANS WHO ARE VISUALLY IMPAIRED AND/OR PEOPLE WITH MOBILITY CONCERNS. EXISTING AND ALTERNATIVE PEDESTRIAN ROUTES DURING CONSTRUCTION SHALL BE REQUIRED TO BE COMPLIANT WITH THE PUBLIC RIGHTS OF WAY ACCESSIBILITY GUIDELINES (PROWAG), THE ADA STANDARDS FOR ACCESSIBLE DESIGN AND THE MANUAL ON UNIFORM TRAFFIC CONTROL DEVICES (MUTCD).
- PRIOR TO THE START OF WORK, THE CLIENT SHALL SCHEDULE A PRE-CONSTRUCTION MEETING WITH THE ENGINEERING INSPECTIONS COORDINATOR TO REVIEW THE SPECIFIC COMPONENTS OF THE APPROVED PLAN, AND ENSURE ALL PERMITS ARE ISSUED.
- ALL PERMITS MUST BE AVAILABLE AND VISIBLE ON SITE DURING THE OPERATION.

ZONING CONDITIONS

Z-28-15 - SIX FORKS ROAD: 5221, 5241, AND 5261 SIX FORKS ROAD, APPROXIMATELY 1.93 ACRES REZONED TO OFFICE MIXED USE-3 STORIES-PARKING LIMITED FRONTAGE, CONDITIONAL USE (OX-3-PL-CU), BEING WAKE COUNTY PIN'S 1706556371, 1706556492, AND 1706557524. CONDITIONS DATED: OCTOBER 22, 2015

- SUBJECT TO OTHER PROVISIONS OF UDO SECTION 9.2.2, THE PEAK STORMWATER LEAVING THE SITE FOR THE 2-YEAR, 10-YEAR, AND 25-YEAR STORMS SHALL BE NO GREATER AT ALL POINTS OF DISCHARGE FOR POST DEVELOPMENT CONDITIONS THAN PRE-DEVELOPMENT CONDITIONS.
- ALL LIGHTS IN THE PARKING AREAS SHALL HAVE FULL CUT-OFF FIXTURES ON POLES WITH A MAXIMUM HEIGHT OF TWENTY (20) FEET, UNLESS A MORE RESTRICTIVE STANDARD IS REQUIRED IN THE UDO.
- NO GROUND-MOUNTED FLOOD LAMPS AIMED AT THE BUILDING FOR THE PURPOSE OF ILLUMINATING THE BUILDING SHALL BE PERMITTED ON THE SIDE AND REAR OF THE BUILDING.
- SUBJECT TO OTHER PROVISIONS OF UDU SECTION 6/14, IN THE EVENT ANY PORTION OF THE PROPERTY IS DEVELOPED FOR OFFICE OR RETAIL USES, SUCH USES SHALL BE LIMITED TO HOURS OF OPERATION BETWEEN 6:00 A.M. AND 11:00 P.M. NO 24-HOUR COMMERCIAL USES SHALL BE PERMITTED ON THIS PROPERTY.
- THE TRASH ENCLOSURE SHALL BE LOCATED NO MORE THAN 50 FEET FROM THE FOLLOWING PROPERTIES: PIN 1706557659 (DB: 11476/PAGE: 228), PIN 1706553455 (DB: 8125/PAGE: 1680), PIN 1706554357 (DB: 13605/PAGE: 2474) & PIN 1706554292 (DB: 15675/PAGE: 1351).



VICINITY MAP
NTS

Sheet Number	Sheet Title
C0.0	COVER SHEET
C1.0	EXISTING CONDITIONS
C2.0	SITE PLAN
C2.1	FIRE TRUCK ACCESS PLAN
C2.2	WASTE SERVICES ACCESS PLAN
C2.3	SIGHT DISTANCE TRIANGEL PLAN
C3.0	GRADING AND DRAINAGE PLAN
C3.2	SPOT GRADING PLAN
C3.3	STORM PROFILES
C3.4	STORM PROFILES
C3.5	GRADING AND DRAINAGE PLAN - FUTURE SIX FORKS RD. BUILD OUT
C5.0	UTILITY PLAN
C6.0	LANDSCAPE PLAN
C7.0	DETAIL SHEET
C7.1	DETAIL SHEET
C7.2	DETAIL SHEET
C7.3	DETAIL SHEET
C7.4	DETAIL SHEET
C7.5	DETAIL SHEET
A2.1	ARCHITECTURAL ELEVATION
L1.0	LIGHTING PLAN

SITE PLAN SUMMARY

PROJECT: NOVA SIX FORKS MEDICAL OFFICE BLDG
OWNER: NOVA CAPITAL PARTNERS, LLC
PROJECT ADDRESS: 5241 SIX FORKS RD, RALEIGH, NC 27616
PIN #: 1706-55-6371, 1706-55-6492, 1706-55-7524
DEED: DB 14679 PG 2405
ZONING: OX-3-PL-CU
EXISTING USE: RESIDENTIAL
PROPOSED USE: MEDICAL OFFICE BUILDING
FLOOD ZONE: NOT LOCATED IN FLOOD HAZARDS AREA PER FEMA MAP #3720170600J (05-02-2006)

EXISTING SITE AREA: 1.93 ACRES
PROPOSED SITE AREA: 1.51 ACRES (AFTER ROW DEDICATION)

BUILDING TYPE: GENERAL BUILDING (UDO SEC 3.2.5)
BUILDING AREA: 18,672 SF (2 STORIES X 9,336 SF)

VEHICLE PARKING SUMMARY:
REQ'D: 63 SPACES
(1 SPACE/300 SF) PER UDO SEC 7.1.2.C
PROVD: 63 SPACES
(ADA: 3 PROV'D W/ 1 VAN ACCESSIBLE)

BICYCLE PARKING SPACES:
REQ'D: 4 SPACES REQ'D
PROVD: 4 SPACES PROV'D

AMENITY AREA (10% MIN):
REQ'D: 6,578 SF (1.51 Ac x 10%)
PROVD: 6,744 SF

PUBLIC IMPROVEMENT QUANTITY TABLE

PHASE NUMBER(S)	PHASE 1	PHASE 2	PHASE 3
NUMBER OF LOT(S)	1	0	0
LOT NUMBER(S) BY PHASE	0	0	0
NUMBER OF UNITS	1	0	0
LIVABLE BUILDINGS	0	0	0
OPEN SPACE?	0	0	0
NUMBER OF OPEN SPACE LOTS	0	0	0
PUBLIC WATER (LF)	76	0	0
PUBLIC SEWER (LF)	0	0	0
PUBLIC STREET (LF) - FULL	42	0	0
PUBLIC STREET (LF) - PARTIAL	0	0	0
PUBLIC SIDEWALK (LF)	29	0	0
STREET SIGNS (LF)	0	0	0
WATER SERVICE STUBS	1	0	0
SEWER SERVICE STUBS	0	0	0

Administrative Site Review Application
(for UDD Districts only)

Development Services Customer Service Center | 1 Doughty Plaza, Suite 400 | Raleigh, NC 27601 | 919.976.2011 | 919.976.2011

When submitting plans, please check the appropriate building type and include the Plan Checklist document.

GENERAL INFORMATION
Development Name: Nova Six Forks Medical Office Building
Zoning District: OX-3-PL-CU
Proposed Use: Medical Offices
Address: 5241, 5221, & 5261 Six Forks Rd.
P.I.N.: 1706-55-6371, 1706-55-6492, 1706-55-7524

FOR OFFICE USE ONLY
Building Type: General Office Retail Industrial Other
Use: Office Retail Industrial Other

FOR RESIDENTIAL DEVELOPMENTS
1. Total # of Apartments, Condominiums or Residential Units: 0
2. Total # of Congregate Care or Life Care Dwelling Units: 0
3. Total Number of Hotel Units: 0

FOR COMMERCIAL DEVELOPMENTS
1. Total # of Restaurants, Bars, Taverns, or Nightclubs: 0
2. Total # of Amusement, Entertainment, or Recreational Facilities: 0
3. Total # of Drive-Through Banks, Post Offices, or Other Drive-Through Facilities: 0

FOR INDUSTRIAL DEVELOPMENTS
1. Total # of Industrial Units: 0
2. Total # of Warehouse Units: 0
3. Total # of Manufacturing Units: 0

FOR SPECIAL USE DEVELOPMENTS
1. Total # of Special Use Units: 0
2. Total # of Other Special Use Units: 0

FOR OTHER DEVELOPMENTS
1. Total # of Other Special Use Units: 0
2. Total # of Other Special Use Units: 0

DESIGN ADJUSTMENT OR ADMINISTRATION
Design Adjustment for Block Parameter Requirement: No Yes
Design Adjustment for Block Parameter Requirement: No Yes

DESIGNER/DEVELOPER/OWNER
Name: Jason Tuttle
Address: 3717 National Drive (Suite 104) Raleigh, NC 27612
Phone: (704) 964-8988
Email: jason@novacap.net

CONSTANT ENGINEER (Professional Seal)
Name: Patrick Barbeau, P.E.
Address: 5410 Trinity Road (Suite 102) Raleigh, NC 27607
Phone: (919) 866-4512
Email: patrick.barbeau@timmons.com

DATE: 08/13/2018
REVISION: 05.13.16

DEVELOPMENT TYPE & SITE DATA TABLE (Applicable to all developments)

Development Information	Building Information
Zoning District: OX-3-PL-CU	Proposed Building Use: Medical Offices
Site Area: 1.51 Acres	Proposed Building Area: 18,672 SF
Lot Area: 1.51 Acres	Proposed Building Height: 32'-0"
Proposed Impervious Surface: 0.28 Acres	Proposed Impervious Surface: 124,000 SF
Proposed Impervious Surface: 0.28 Acres	Proposed Impervious Surface: 124,000 SF
Proposed Impervious Surface: 0.28 Acres	Proposed Impervious Surface: 124,000 SF

FOR RESIDENTIAL DEVELOPMENTS
1. Total # of Apartments, Condominiums or Residential Units: 0
2. Total # of Congregate Care or Life Care Dwelling Units: 0
3. Total Number of Hotel Units: 0

FOR COMMERCIAL DEVELOPMENTS
1. Total # of Restaurants, Bars, Taverns, or Nightclubs: 0
2. Total # of Amusement, Entertainment, or Recreational Facilities: 0
3. Total # of Drive-Through Banks, Post Offices, or Other Drive-Through Facilities: 0

FOR INDUSTRIAL DEVELOPMENTS
1. Total # of Industrial Units: 0
2. Total # of Warehouse Units: 0
3. Total # of Manufacturing Units: 0

FOR SPECIAL USE DEVELOPMENTS
1. Total # of Special Use Units: 0
2. Total # of Other Special Use Units: 0

FOR OTHER DEVELOPMENTS
1. Total # of Other Special Use Units: 0
2. Total # of Other Special Use Units: 0

DESIGNER/DEVELOPER/OWNER
Name: Jason Tuttle
Address: 3717 National Drive (Suite 104) Raleigh, NC 27612
Phone: (704) 964-8988
Email: jason@novacap.net

CONSTANT ENGINEER (Professional Seal)
Name: Patrick Barbeau, P.E.
Address: 5410 Trinity Road (Suite 102) Raleigh, NC 27607
Phone: (919) 866-4512
Email: patrick.barbeau@timmons.com

DATE: 08/13/2018
REVISION: 05.13.16

PRELIMINARY
NOT FOR
CONSTRUCTION

REVISION DESCRIPTION	DATE
REVISIONS PER CITY OF RALEIGH	08/13/2018

YOUR VISION ACHIEVED THROUGH OURS.
DRAWN BY: P. BARBEAU
DESIGNED BY: P. BARBEAU
CHECKED BY: R. BAKER
SCALE: AS SHOWN

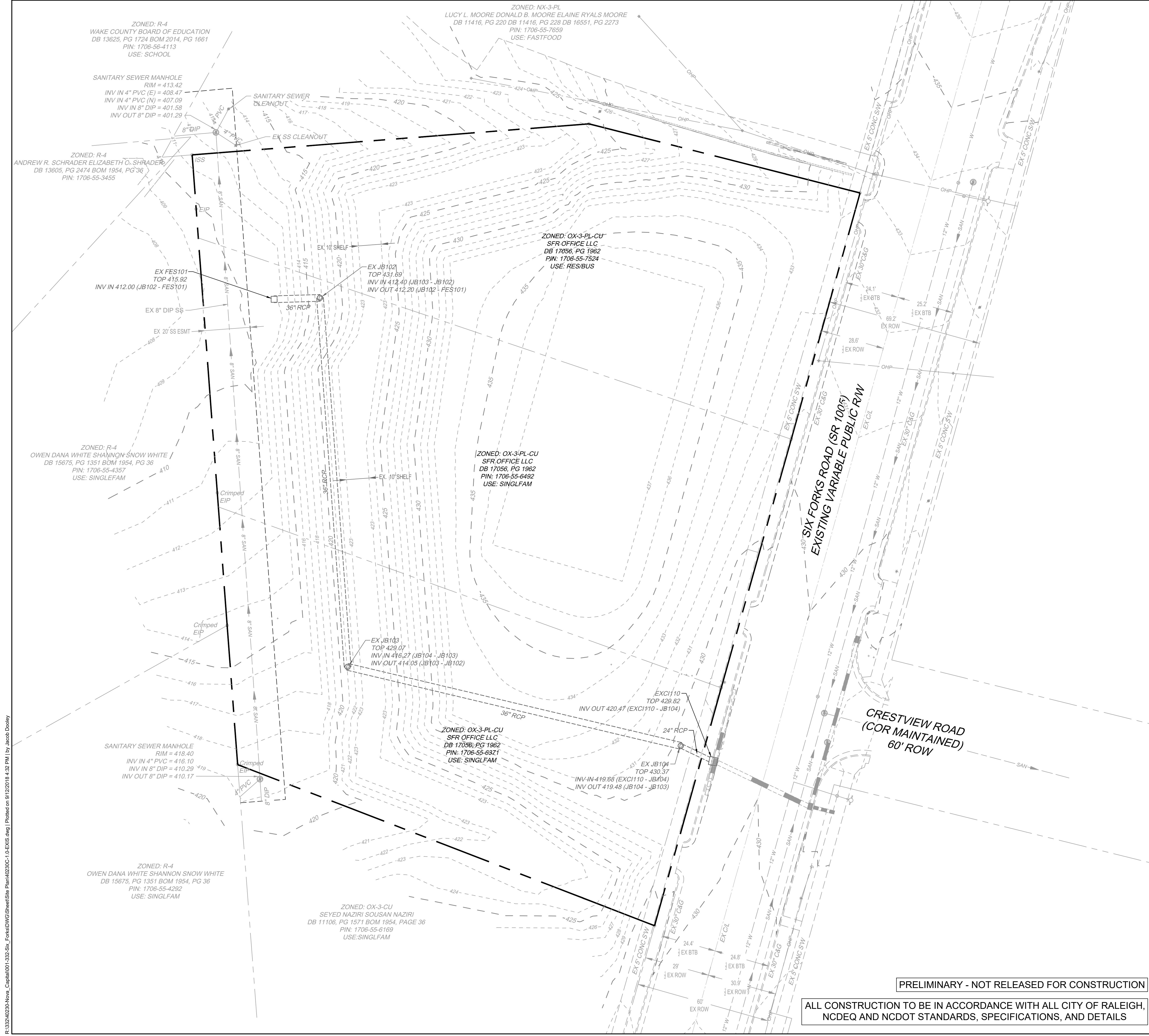
TIMMONS GROUP
NORTH CAROLINA LICENSE NO. C-1652
NOVA SIX FORKS MEDICAL OFFICE BLDG
RALEIGH - WAKE COUNTY - NORTH CAROLINA
COVER SHEET

JOB NO.: 40230.001
SHEET NO.: CO.0



PRELIMINARY - NOT RELEASED FOR CONSTRUCTION
ALL CONSTRUCTION TO BE IN ACCORDANCE WITH ALL CITY OF RALEIGH, NCDEQ AND NCDOT STANDARDS, SPECIFICATIONS, AND DETAILS

These plans and associated documents are the exclusive property of TIMMONS GROUP and may not be reproduced in whole or in part and shall not be used for any purpose whatsoever, including, but not limited to construction, bidding, and/or construction staking without the express written consent of TIMMONS GROUP.



SURVEY NOTES

- ON SITE BOUNDARY, TOPOGRAPHY AND PLANIMETRIC INFORMATION IS TAKEN FROM A SURVEY BY STANCOIL & ASSOCIATES PROFESSIONAL LAND SURVEYING. OFFSITE TOPOGRAPHY AND PLANIMETRIC INFORMATION FROM WAKE COUNTY GIS AND OTHER SOURCES AND HAS NOT BEEN FIELD VERIFIED BY TIMMONS GROUP.
- ALL DISTANCES SHOWN ON SURVEY ARE HORIZONTAL GROUND DISTANCES UNLESS OTHERWISE NOTED.
- THIS SURVEY DOES NOT REPRESENT A TITLE SEARCH.
- BASIS OF BEARING SHOWN HEREON IS NC GRID NAD 83 (NSRS 2007).
- VERTICAL DATUM SHOWN HEREON IS NAVD88.
- OTHER SOURCES OF INFORMATION INCLUDE WAKE COUNTY GIS AND AERIAL IMAGERY.
- NOT LOCATED IN FLOOD HAZARD AREA PER FEMA MAP #3720170600J (05-02-2006)
- EXISTING IMPERVIOUS AREA = 0.29 ACRES

EXISTING CONDITIONS NOTES

- ALL UTILITIES OR STRUCTURES NOT INDICATED FOR REMOVAL OR MODIFICATION ARE TO REMAIN AND BE PROTECTED FROM DAMAGE.
- ALL WASTE MATERIAL GENERATED FROM CLEARING AND DEMOLITION ACTIVITIES SHALL BE DISPOSED OF OFF-SITE IN ACCORDANCE WITH ALL APPLICABLE RULES AND REGULATIONS.
- REMOVE TOPSOIL AND STOCKPILE APPROPRIATELY ON-SITE. ON-SITE TEMPORARY STOCKPILES SHALL BE LOCATED WITHIN CONSTRUCTION LIMITS.
- ALL PAVEMENT OR CONCRETE TO BE REMOVED SHALL BE SAW CUT TO PROVIDE A STRAIGHT AND UNIFORM JOINT WITH NEW CONSTRUCTION. ANY EXISTING PAVEMENT, SIDEWALK, CURB & GUTTER, ETC. THAT MUST BE REMOVED TO ALLOW NEW CONSTRUCTION SHALL BE REMOVED TO ALLOW NEW CONSTRUCTION SHALL BE REMOVED AND REPAIRED PER THE SPECIFICATIONS AND DETAILS OR TO MATCH EXISTING CONDITIONS (WETHER OR NOT SHOWN ON THE DRAWINGS TO BE REMOVED). UTILITY INSTALLATIONS MAY UTILIZE OPEN CUT OF PAVEMENTS UNLESS INDICATED OTHERWISE. TRENCH IN EXISTING ASPHALT SHALL BE PATCHED PER PAVEMENT REPAIR DETAIL.
- PROTECT ALL ADJACENT PROPERTIES, THE GENERAL PUBLIC AND ALL OF THE OWNER'S FACILITIES. SHOULD DAMAGE OCCUR, NOTIFY ARCHITECT IMMEDIATELY.
- THE CONTRACTOR SHALL USE NC ONE CALL (811) TO LOCATE ALL UNDERGROUND UTILITIES.
- CONTRACTOR IS RESPONSIBLE FOR REMOVING OR ABANDONING ALL EXISTING UTILITIES AND STRUCTURES REQUIRED TO COMPLETE SITE CONSTRUCTION, EITHER ONSITE OR IN PUBLIC ROW, IN ACCORDANCE WITH LOCAL, STATE AND FEDERAL REGULATIONS.
- ANY EXISTING UNIDENTIFIED SEPTIC SYSTEMS AND WELLS FOUND ON SITE SHALL BE REMOVED OR ABANDONED IN ACCORDANCE WITH LOCAL, STATE AND FEDERAL REGULATIONS AT NO CHARGE TO THE OWNER
- VERIFY ALL ILLUSTRATED KNOWN UNDERGROUND ELEMENTS. EXERCISE REASONABLE EFFORTS TO PROTECT ANY UNKNOWN UNDERGROUND ELEMENTS. NOTIFY THE ARCHITECT IMMEDIATELY IF UNKNOWN ELEMENTS ARE DISCOVERED THAT WOULD NECESSITATE MODIFICATION TO THE PROPOSED DESIGN.
- CONTRACTOR SHALL COORDINATE ALL CONNECTIONS, RELOCATION AND DEMOLITION WORK WITH THE APPROPRIATE COMPANY OR JURISDICTION HAVING AUTHORITY AND SHALL OBTAIN ANY PERMITS AS REQUIRED.
- ALL WORK SHALL BE PERFORMED IN ACCORDANCE WITH APPLICABLE LOCAL, STATE AND OSHA REGULATIONS.
- EXISTING MANHOLES, VALVE BOXES, VAULTS, CLEANOUTS, UTILITY POLES ETC. TO REMAIN WITHIN THE GRADING LIMITS SHALL BE ADJUSTED AS NEEDED TO FUNCTION PROPERLY WITH THE PROPOSED FINISHED GRADES (WETHER OR NOT INDICATED TO BE MODIFIED).
- GENERAL CONTRACTOR TO COORDINATE ALL PEDESTRIAN ACCESS PATHS, LOCATIONS, LIGHTING ETC. WITH THE OWNER.

**PRELIMINARY
NOT FOR
CONSTRUCTION**

THIS DRAWING PREPARED AT THE RALEIGH OFFICE 5410 Trinity Road, Suite 02 Raleigh, NC 27607 TEL 919.866.9551 FAX 919.833.8124 www.timmons.com	
REVISION DESCRIPTION	REVISIONS PER CITY OF RALEIGH

YOUR VISION ACHIEVED THROUGH OURS.	DATE	08/13/2018
	DRAWN BY	J. DOOLEY
	DESIGNED BY	J. DOOLEY
	CHECKED BY	P. BARBEAU
	SCALE	AS SHOWN

DATE	08/13/2018
DRAWN BY	J. DOOLEY
DESIGNED BY	J. DOOLEY
CHECKED BY	P. BARBEAU
SCALE	AS SHOWN

TIMMONS GROUP

NORTH CAROLINA LICENSE NO. C-1652

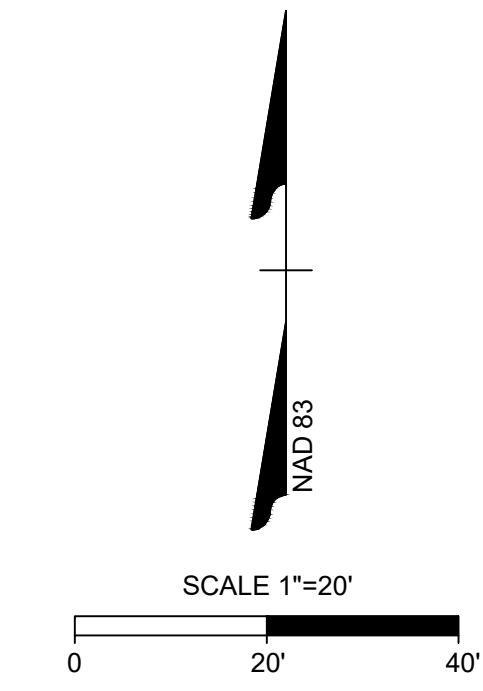
NOVA SIX FORKS MEDICAL OFFICE BLDG
RALEIGH - WAKE COUNTY - NORTH CAROLINA

EXISTING CONDITIONS

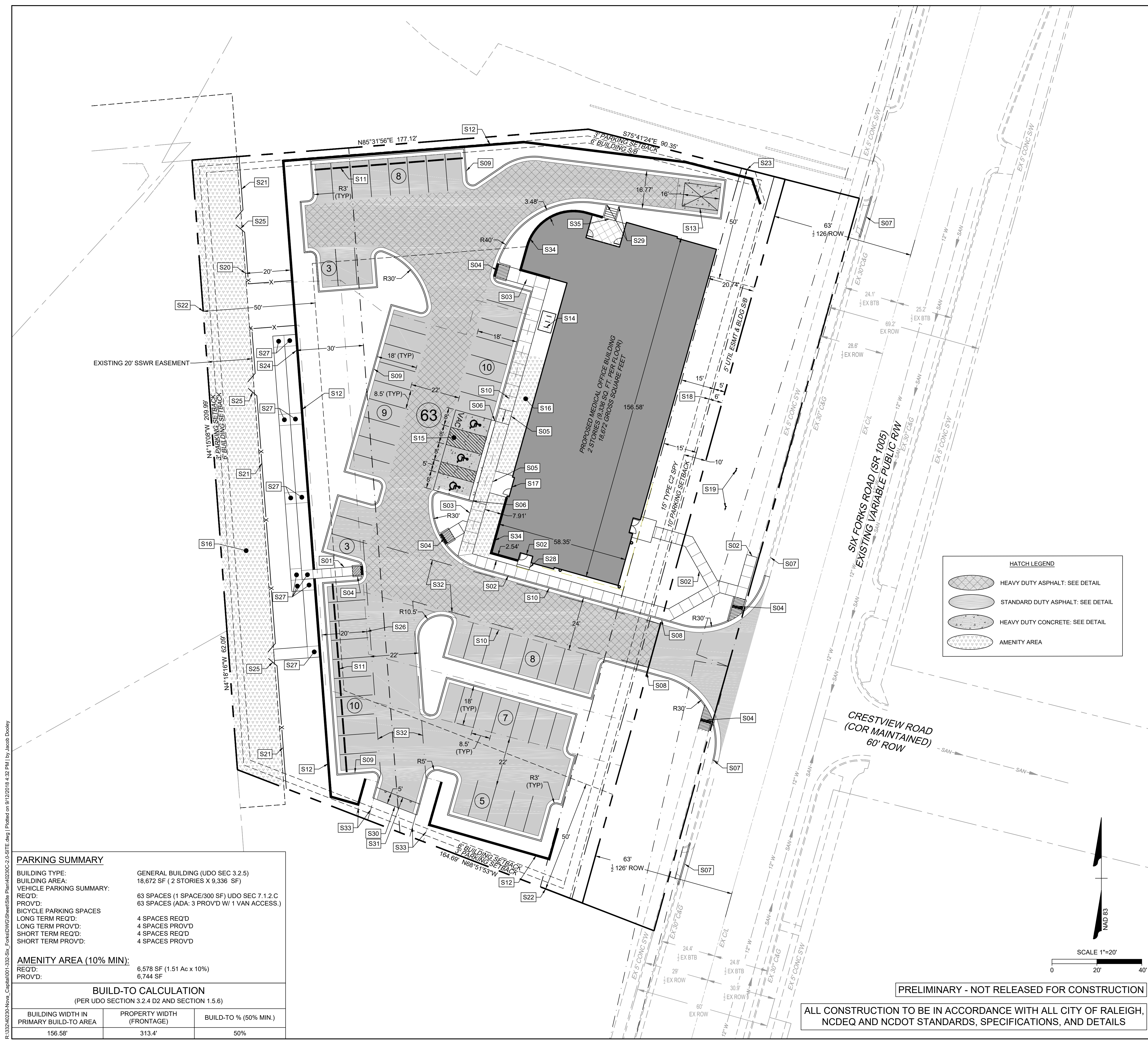
JOB NO. 40230.001
SHEET NO. C1.0

PRELIMINARY - NOT RELEASED FOR CONSTRUCTION

ALL CONSTRUCTION TO BE IN ACCORDANCE WITH ALL CITY OF RALEIGH, NCDEQ AND NCDOT STANDARDS, SPECIFICATIONS, AND DETAILS



R:\332\0230\Nova_Capitol\001-332-Six_Forks\DWG\SheetSite_Plan\40230C-1.0-EX18.dwg [Plotted on 9/12/2018 4:32 PM] by Jacob Dooley



- ### SITE LAYOUT NOTES
- ALL CONSTRUCTION SHALL BE IN ACCORDANCE WITH THE CITY OF RALEIGH AND NCDOT STANDARDS AND SPECIFICATIONS.
 - ALL DIMENSIONS ARE TO FACE OF CURB, EDGE OF PAVING, BUILDING WALL FACE OR PROPERTY LINE.
 - CONTRACTOR SHALL FIELD VERIFY ALL DIMENSIONS, UTILITIES AND GRADES PRIOR TO CONSTRUCTION. CONTRACTOR SHALL NOTIFY THE ENGINEER OF ANY EXISTING DISCREPANCIES PRIOR TO COMMENCING ANY RELATED CONSTRUCTION.
 - AT LEAST 72 HOURS PRIOR TO CONSTRUCTION OR EXCAVATION THE CONTRACTOR SHALL NOTIFY "NORTH CAROLINA ONE CALL" (811) OR (1-800-632-4949) TO HAVE EXISTING UTILITIES LOCATED.
 - PARKING SPACES ARE 9'0" WIDE X 18' LONG MINIMUM EXCEPT HANDICAP SPACES WHICH ARE 8'0" WIDE MINIMUM WITH 8'0" VAN ACCESS AND 5'0" STANDARD ACCESS AISLES.
 - REFER TO ARCHITECTURAL DRAWINGS FOR DIMENSIONS OF THE BUILDING.
 - CONTRACTOR SHALL NOTIFY THE ENGINEER OF ANY DIMENSIONAL CONFLICTS PRIOR TO THE BEGINNING OF CONSTRUCTION.
 - ALL CURB AND GUTTER ON-SITE SHALL BE 24" WIDE. ALL CURB AND GUTTER IN THE PUBLIC RIGHT OF WAY SHALL BE 30" WIDE.
 - TRANSITION FROM 30" TO 24" CURB AND GUTTER IS TO OCCUR ON-SITE. THIS TRANSITION SHALL BE 10' LONG IMMEDIATELY ADJACENT TO PUBLIC RIGHT OF WAY.
 - ALL DISTURBED CURB & GUTTER AND ASPHALT SHALL BE REPLACED PER CITY OF RALEIGH OR NCDOT STANDARDS AND SPECIFICATIONS.
 - ALL DRIVEWAY DESIGN AND CONSTRUCTION MUST COMPLY WITH THE RALEIGH STREET DESIGN MANUAL. DRIVEWAYS SHALL BE PERMITTED SEPARATELY.
 - NO SIGHT OBSTRUCTING OR PARTIALLY OBSTRUCTING WALL, FENCE, FOLIAGE, BERMING, PARKED VEHICLES OR SIGN BETWEEN THE HEIGHTS OF TWENTY-FOUR (24) INCHES AND EIGHT (8) FEET ABOVE THE CURB LINE ELEVATION, OR THE NEAREST TRAVELED WAY IF NO CURBING EXISTS, SHALL BE PLACED WITHIN A SIGHT TRIANGLE OF A PUBLIC STREET, PRIVATE STREET OR DRIVEWAY CONTAINED EITHER ON THE PROPERTY OR ON AN ADJOINING PROPERTY.
 - PER SECTION A-1 OF THE COR SOLID WASTE COLLECTION DESIGN MANUAL, ALL PARKING AREAS TO BE DIRECTLY ACCESSED BY SOLID WASTE COLLECTION VEHICLES MUST MAINTAIN ALL INTERNAL INSIDE CURB RADII AT A MIN. 30'. ALL PARKING LOT AISLES THAT WILL BE TRAVERSED BY SOLID WASTE COLLECTION VEHICLES MUST MEET THE RESIDENTIAL STREET STANDARD OF 8" SUB-BASE AND 2.5" ASPHALT SURFACE. SITE PLANS MUST DESIGNATE THE INGRESS AND EGRESS ROUTES FOR SOLID WASTE COLLECTION VEHICLES.

- ### TRANSPORTATION CONTRUCTION NOTES
- ALL CONSTRUCTION SHALL BE IN ACCORDANCE WITH CITY OF RALEIGH AND/OR NCDOT STANDARDS.
 - THE CONTRACTOR SHALL CONDUCT THE WORK IN A SAFE MANNER AND WITH A MINIMUM AMOUNT OF INCONVENIENCE TO TRAFFIC.
 - THE CONTRACTOR SHALL BE RESPONSIBLE FOR TRAFFIC CONTROL AND SHALL ADHERE TO THE PROVISIONS OF THE MUTCH (MOST CURRENT EDITION).
 - PRIOR TO START OF WORK, A PRE-CONSTRUCTION MEETING MUST BE SET UP WITH THE CONTRACTOR AND CITY OF RALEIGH TRANSPORTATION FIELD SERVICES STAFF. CONTACT ENGINEERING INSPECTIONS AT 919-996-2409 TO SET UP THE MEETING.
 - THE CONTRACTOR SHALL OBTAIN A RIGHT-OF-WAY OBSTRUCTION PERMIT FOR ANY WORK WHICH REQUIRES THE TEMPORARY CLOSURE OF A STREET, TRAVEL LANE, PARKING SPACE OR SIDEWALK FROM RIGHT-OF-WAY SERVICES AT LEAST 48 HOURS IN ADVANCE.
 - ANY TEMPORARY STREET CLOSURE MUST BE SUBMITTED A MINIMUM OF 2 WEEKS PRIOR TO START OF WORK. SEE "RIGHT-OF-WAY CLOSURES" ON WWW.RALEIGHNC.GOV. COMPLETE AND SEND THE RIGHT-OF-WAY OBSTRUCTION PERMIT TO RIGHTOFWAYSERVICES@RALEIGHNC.GOV.
 - ANY CONTRACTOR OR PROJECT MANAGER THAT IS WORKING ON A CITY PROJECT SHALL SUBMIT A NOTIFICATION TO THE RW OBSTRUCTION APPLICATION FOR EMERGENCY/MAINTENANCE WORK PRIOR TO THE START OF WORK.
 - PRIOR TO CONSTRUCTION BEGINNING, ALL SIGNAGE AND TRAFFIC CONTROL SHALL BE IN PLACE.
 - THE CONTRACTOR SHALL REPAIR ALL DAMAGED INFRASTRUCTURE IN THE RIGHT-OF-WAY AND RESTORE IT TO PREVIOUS OR BETTER CONDITION.
 - THE CONTRACTOR SHALL REPAIR ANY DAMAGES TO ADJACENT PROPERTIES AND RESTORE IT TO PREVIOUS OR BETTER CONDITION.
 - ALL SIDEWALKS MUST BE ACCESSIBLE TO PERSONS WHO ARE VISUALLY IMPAIRED AND PEOPLE WITH MOBILITY DISABILITIES. PEDESTRIAN EXISTING ROUTES AND ALTERNATE PEDESTRIAN ROUTES DURING CONSTRUCTION WILL BE REQUIRED TO BE COMPLIANT WITH THE PUBLIC RIGHTS OF WAY ACCESSIBILITY GUIDELINES (PROWAG), 2010 ADA STANDARDS FOR ACCESSIBLE DESIGN AND THE MANUAL ON UNIFORM TRAFFIC CONTROL DEVICES (MUTCD).

HATCH LEGEND

	HEAVY DUTY ASPHALT: SEE DETAIL
	STANDARD DUTY ASPHALT: SEE DETAIL
	HEAVY DUTY CONCRETE: SEE DETAIL
	AMENITY AREA

SITE PLAN KEYNOTES

NUMBER	DESCRIPTION
S01	4' CONCRETE SIDEWALK
S02	5' CONCRETE SIDEWALK
S03	6' CONCRETE SIDEWALK
S04	ADA ACCESSIBLE RAMP (TYP). SEE RAMP DETAILS
S05	INLINE ADA ACCESSIBLE ADA RAMP (TYP). SEE RAMP DETAILS
S06	24" FLUSH CONCRETE STRIP
S07	30" C&G, TIE TO EXISTING
S08	TRANSITION FROM 30" TO 24" C&G WITHIN 10' OF PROPERTY LINE
S09	24" C&G (TYP)
S10	SCM ACCESS AND MAINTENANCE EASEMENT
S11	PARKING BUMPER (TYP)
S12	RETAINING WALL WITH 42" SAFETY FENCE
S13	SINGLE CONTAINER CONC DUMPSTER PAD W/ ENCLOSURE & GATE (SEE DETAIL SHEET)
S14	LONG TERM BIKE PARKING; (4 BIKES MIN) 8.75' L X 6.0' W X 4' T; CONC PAD (TYP), MUST BE COVERED & WEATHER RESISTANT
S15	1 VAN ACC HIC; 2 STANDARD HIC
S16	AMENITY AREA
S17	PRIMARY BUILDING ENTRANCE
S18	6' SLOPE EASEMENT
S19	SHORT TERM BIKE PARKING; (4 BIKES MIN)
S20	NEIGHBORHOOD TRANSITION YARD - ZONE A TYPE (2) MEDIUM
S21	6.5' HIGH FENCE LOCATED 1' AWAY FROM EXISTING SANITARY SEWER ESMT
S22	50' MINIMUM TRASH ENCLOSURE SETBACK PER ZONING CONDITION #8
S23	50' MAXIMUM TRASH ENCLOSURE SETBACK PER ZONING CONDITION #5
S24	NEIGHBORHOOD TRANSITION YARD - ZONE B;
S25	30' RESTRICTED USE PROTECTIVE YARD PER COR U.D.O. SEC 3.5.4
S26	20' PRIVATE DRAINAGE EASEMENT FOR BYPASS PIPE
S27	5' CONCRETE RAMP; RAILING ON BOTH SIDES PLACED 1' OFF OF EDGE; 5'X5' CONCRETE LANDING PLACED AT MAXIMUM 30'. SEE DETAILS ON SHEET C7.5
S28	2' STEPS
S29	CURB CUT; FLUSH WITH PAVEMENT
S30	PROPOSED CROSS ACCESS STUBBED 10' FROM PROPERTY LINE
S31	PROPOSED CONCRETE BARRIER; SEE DETAIL
S32	PROPOSED 20' CROSS ACCESS EASEMENT
S33	PROPOSED SLOPE EASEMENT ALONG CROSS ACCESS STUB; ADJACENT TO THE FACE OF CURB AND 10' EASE OF RETAINING WALL
S34	STEM WALL
S35	(5) 6" STEPS

PARKING SUMMARY

BUILDING TYPE:	GENERAL BUILDING (UDO SEC 3.2.5)
BUILDING AREA:	18,672 SF (2 STORIES X 9,336 SF)
VEHICLE PARKING SUMMARY:	
REQ'D:	63 SPACES (1 SPACE/300 SF) UDO SEC 7.1.2.C
PROV'D:	63 SPACES (ADA: 3 PROV'D W/ 1 VAN ACCESS.)
BIKE PARKING SPACES:	
LONG TERM REQ'D:	4 SPACES REQ'D
LONG TERM PROV'D:	4 SPACES PROV'D
SHORT TERM REQ'D:	4 SPACES REQ'D
SHORT TERM PROV'D:	4 SPACES PROV'D

AMENITY AREA (10% MIN):

REQ'D:	6,578 SF (1.51 Ac x 10%)
PROV'D:	6,744 SF

BUILD-TO CALCULATION

(PER UDO SECTION 3.2.4 D2 AND SECTION 1.5.6)

BUILDING WIDTH IN PRIMARY BUILD-TO AREA	PROPERTY WIDTH (FRONTAGE)	BUILD-TO % (50% MIN.)
156.58'	313.4'	50%

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5410 Trinity Road, Suite 102 | Raleigh, NC 27607
TEL 919.866.9551 FAX 919.833.8124 www.timmons.com

YOUR VISION ACHIEVED THROUGH OURS.

REVISION DESCRIPTION	DATE
REVISIONS PER CITY OF RALEIGH	08/13/18

DATE	DRAWN BY	DESIGNED BY	CHECKED BY	SCALE
08/13/2018	P. BARBEAU	P. BARBEAU	R. BAKER	AS SHOWN

TIMMONS GROUP

NORTH CAROLINA LICENSE NO. C-1652

NOVA SIX FORKS MEDICAL OFFICE BLDG

RALEIGH - WAKE COUNTY - NORTH CAROLINA

SITE PLAN

JOB NO. 40230.001
SHEET NO. C2.0

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SANITARY SEWER MANHOLE
RIM = 413.42
INV IN 4" PVC (E) = 408.47
INV IN 4" PVC (N) = 407.09
INV IN 8" DIP = 401.59
INV OUT 8" DIP = 401.29

EXISTING SANITARY
SEWER CLEANOUT

RETAINING WALL

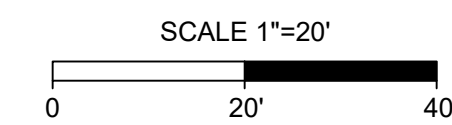
EX 8" DIP SS
EX 20" SS ESMT

SANITARY SEWER MANHOLE
RIM = 418.40
INV IN 4" PVC = 416.10
INV IN 8" DIP = 410.29
INV OUT 8" DIP = 410.17

CONTRACTOR SHALL COORDINATE RELOCATION OF ALL OVERHEAD UTILITIES ATTACHED TO UTILITY POLES TO BE RELOCATED WITH APPROPRIATE COMPANY. LOCATION OF RELOCATED UTILITIES AND UTILITY POLES SHOWN MAY NOT MATCH LOCATION REQUIRED BY UTILITY COMPANY

ALL CONSTRUCTION TO BE IN ACCORDANCE WITH ALL CITY OF RALEIGH, NCDEQ AND NCDOT STANDARDS, SPECIFICATIONS, AND DETAILS

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UTILITY NOTES

- CONTRACTOR SHALL HAVE NORTH CAROLINA ONE CALL (811) LOCATE ALL EXISTING UTILITIES PRIOR TO BEGINNING CONSTRUCTION.
- ALL UNDERGROUND FEATURES INDICATED ON THE PLANS SHOULD BE CONSIDERED APPROXIMATE IN LOCATION AND SHOULD BE VERIFIED IN THE FIELD PRIOR TO CONSTRUCTION. NOTIFY THE DESIGN ENGINEER IMMEDIATELY IF ANY CONFLICTS OR DISCREPANCIES ARE NOTED.
- CONTRACTOR SHALL COORDINATE THE LOCATION OR RELOCATION OF ALL OVERHEAD AND UNDERGROUND COMMUNICATION LINES, ELECTRIC AND GAS SERVICE WITH THE APPROPRIATE UTILITY COMPANY AND/OR THE CITY PRIOR TO BEGINNING CONSTRUCTION. CONTRACTOR SHALL PROVIDE CONDUITS AS REQUIRED FOR THESE UTILITIES UNDER PAVED AREAS.
- ALL MATERIALS AND METHODS OF CONSTRUCTION SHALL BE IN ACCORDANCE WITH THE CITY OF RALEIGH AND THE STATE OF NORTH CAROLINA STANDARDS AND SPECIFICATIONS.
- CURB STOPS ARE REQUIRED AND SHALL BE LOCATED 1 FOOT FROM THE METER BOX. CURB STOPS SHALL BE INSTALLED IN A CURB STOP BOX AS MANUFACTURED BY FORD, A.Y. MCDONALD, OR TRUMBULL.
- SERVICE SADDLES SHALL BE ALL BRONZE WITH DOUBLE BRONZE STRAPS WITH A NEOPRENE "O" RING GASKET ATTACHED TO THE BODY.
- ALL WATER METERS SHALL BE PROVIDED AND INSTALLED BY THE CITY OF RALEIGH PUBLIC UTILITIES DEPARTMENT METERS DIVISION.
- METERS WILL BE THE SAME SIZE IN DIAMETER AS THE SERVICE.
- A 3' CLEAR SPACE SHALL BE MAINTAINED AROUND ALL WATER METERS.
- ALL 6" SANITARY SEWER SERVICES CONNECTIONS SHALL BE MADE INTO MANHOLES ONLY.
- UTILITY TRENCHES SHALL BE CUT AND PAVEMENT REPAIRED TO CITY OF RALEIGH STANDARDS.
- ALL DISTURBED HARDSCAPE AND LANDSCAPING (CONCRETE, ASPHALT, BRICK, TREES, SHRUBS, ETC) SHALL BE REPLACED ACCORDING TO CITY OF RALEIGH AND NCDOT STANDARDS AND SPECIFICATIONS.
- ALL OVERHEAD UTILITY LINES SHALL BE ADJUSTED TO MAINTAIN ACCEPTABLE CLEARANCES FOR FIRE APPARATUS, CONSTRUCTION EQUIPMENT, AND VEHICULAR ACCESS.
- CONTRACTOR TO MAINTAIN APPROPRIATE COVER AND SEPARATION ON UTILITIES; ANY UTILITY CROSSINGS ARE SUBJECT TO COR MINIMUM REQUIREMENTS.

UTILITY PLAN KEYNOTES	
NUMBER	DESCRIPTION
U01	2" TYPE K SOFT COPPER DOMESTIC WATER LINE
U02	2" DOMESTIC WATER METER PER COR DETAIL W-35
U03	1" X 2" X 2" X 2" CROSS FOR DOMESTIC & IRRIGATION SERVICES PER COR DETAIL W-34
U04	1" IRRIGATION WATER METER PER COR DETAIL W-35
U05	2" BACKFLOW PREVENTER (WILKINS 375 RP2) IN HOT BOX. LOCATE DOMESTIC HOTBOX WITHIN 50' OF METER (MAX).
U06	1" BACKFLOW PREVENTER (WILKINS 375 RP2) IN HOTBOX. LOCATE IRRIGATION HOTBOX WITHIN 10' OF METER (MAX).
U07	CONNECT TO EX 12" WATER LINE W/ 2" X 12" TS&V WITH SADDLE, BORE & JACK UNDER ROAD USING 2" DIP SERVICE FROM TAP TO ROW IN DIP SLEEVE PER COR DETAIL W-14.
U08	SANITARY SEWER SERVICE FOR BLDG CLEAN OUT (TYP)
U09	6" PVC SAN. SEWER SERVICE MIN. SLOPE 1.0%. CLEAN OUT EVERY 75' MAX.
U11	12" DIP SLEEVE FOR SS SERVICE UNDER RET WALL
U12	TIE BLDG SERVICE TO EX SSMH
U13	RELOCATED UTILITY POLE
U14	RELOCATED OVERHEAD UTILITY LINES
U15	TRANSFORMER LOCATION TO BE COORDINATED WITH DUKE POWER & OWNER
U16	PROPOSED FIRE HYDRANT ASSEMBLY

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REVISIONS PER CITY OF RALEIGH	09/13/18
	08/13/2018
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DESIGNED BY
P. BARBEAU

CHECKED BY
R. BAKER

SCALE
AS SHOWN

TIMMONS GROUP

NORTH CAROLINA LICENSE NO. C-1652

NOVA SIX FORKS MEDICAL OFFICE BLDG

RALEIGH - WAKE COUNTY - NORTH CAROLINA

UTILITY PLAN

JOB NO.
40230.001

SHEET NO.
C5.0

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ZONED: R-4
WAKE COUNTY BOARD OF EDUCATION
DB 13625, PG 1724 BOM 2014, PG 1661
PIN: 1706-55-4113
USE: SCHOOL

ZONED: NX-3-PL
LUCY L. MOORE DONALD B. MOORE ELAINE RYALS MOORE
DB 11416, PG 220 DB 11416, PG 228 DB 16551, PG 2273
PIN: 1706-55-7659
USE: FASTFOOD

ZONED: R-4
OWEN DANA WHITE SHANNON SNOW WHITE
DB 15675, PG 1351 BOM 1954, PG 36
PIN: 1706-55-4357
USE: SINGLEFAM

ZONED: R-4
OWEN DANA WHITE SHANNON SNOW WHITE
DB 15675, PG 1351 BOM 1954, PG 36
PIN: 1706-55-4357
USE: SINGLEFAM

ZONED: OX-3-CU
SEYED NAZIRI SOUSAN NAZIRI
DB 11106, PG 1571 BOM 1954, PAGE 36
PIN: 1706-55-6169
USE: SINGLEFAM

PLANT SCHEDULE

TREES	QTY	BOTANICAL NAME	COMMON NAME	MINIMUM INSTALLED SIZE	ROOT	REMARKS
BLG	15	NYSSA SYLVATICA	BLACK GUM	3.5" CALIPER	B&B	
PNO	18	QUERCUS PALUSTRIS	PIN OAK	3.5" CALIPER	B&B	VSABUFFER
WLO	7	QUERCUS PHELLOS	WILLOW OAK	3.5" CALIPER	B&B	VSABUFFER
ERB	5	CERCIS CANADENSIS	EASTERN RED BUD	1.5" CAL., 6' HEIGHT	B&B	PROT. YARD
ARB	8	THUJA "GREEN GIANT"	ARBORVITAE	2" CALIPER, 8' HEIGHT	B&B	PROT. YARD
SHRUBS	QTY	BOTANICAL NAME	COMMON NAME	MINIMUM INSTALLED SIZE	ROOT	SPACING
CLJ	54	CLEYERA JAPONICA	JAPANESE CLYERA	18" HT.	CONTAINER	4' OC
WLL	83	LIGUSTRUM JAPONICUM 'RECURVIFOLIUM'	WAX LEAF LIGUSTRUM	36" HT.	CONTAINER	5' OC
DWP	41	PITTIOSPORUM TOBIRA 'WHEELER'S DWARF'	DWARF PITTIOSPORUM	18" HT.	CONTAINER	4' OC
PIH	15	RHAPHIOLEPIS UMBELLATA 'PINKIE'	PINK INDIAN HAWHORNE	18" HT.	CONTAINER	4' OC
SWR	6	RHAPHIOLEPIS UMBELLATA 'SNOW WHITE'	SNOW WHITE RHAPHIOLEPIS	18" HT.	CONTAINER	4' OC

GENERAL NOTES

PRE-CONSTRUCTION

- PRIOR TO THE COMMENCEMENT OF ANY ACTIVITIES REQUIRING A BUILDING OR ZONING PERMIT AN ON-SITE PRE CONSTRUCTION CONFERENCE SHALL TAKE PLACE WITH THE DEVELOPER AND THE ADMINISTRATOR TO REVIEW PROCEDURES FOR THE PROTECTION AND MANAGEMENT OF ALL LANDSCAPE ELEMENTS THAT ARE TO REMAIN AS IDENTIFIED ON THE LANDSCAPE PLAN.
- CALL 811 FOR LOCATION OF ALL UTILITY LINES. TREES SHALL BE LOCATED A MINIMUM OF 5 FEET FROM SEWER/WATER CONNECTIONS. NOTIFY LANDSCAPE ARCHITECT OF CONFLICTS.
- VERIFY ALL PLANT MATERIAL QUANTITIES ON THE PLAN PRIOR TO BIDDING. PLANT LIST TOTALS ARE FOR CONVENIENCE ONLY AND SHALL BE VERIFIED PRIOR TO BIDDING.
- PROVIDE PLANT MATERIALS OF QUANTITY, SIZE, GENUS, SPECIES, AND VARIETY INDICATED ON PLANS. ALL PLANT MATERIALS AND INSTALLATION SHALL COMPLY WITH RECOMMENDATIONS AND REQUIREMENTS OF ANSI Z60.1 "AMERICAN STANDARD FOR NURSERY STOCK". IF SPECIFIED PLANT MATERIAL IS NOT OBTAINABLE, SUBMIT PROOF OF NON AVAILABILITY TO THE ARCHITECTS, TOGETHER WITH PROPOSAL FOR USE OF EQUIVALENT MATERIAL.
- PROVIDE AND INSTALL ALL PLANTS AS IN ACCORDANCE WITH DETAILS AND CONTRACT SPECIFICATIONS.

INSTALLATION

- LANDSCAPE ARCHITECT RESERVES THE RIGHT TO REJECT ANY PLANTS AND MATERIALS THAT ARE IN AN UNHEALTHY OR UNSIGHTLY CONDITION, AS WELL AS PLANTS AND MATERIALS THAT DO NOT CONFORM TO ANSI Z60.1 "AMERICAN STANDARD FOR NURSERY STOCK".
- LABEL AT LEAST ONE TREE AND ONE SHRUB OF EACH VARIETY AND CALIPER WITH A SECURELY ATTACHED WATERPROOF TAG BEARING THE DESIGNATION OF BOTANICAL AND COMMON NAME.
- INSTALL LANDSCAPE PLANTINGS AT ENTRANCES/EXITS AND PARKING AREAS ACCORDING TO PLANS SO THAT MATERIALS WILL NOT INTERFERE WITH SIGHT DISTANCES.
- CONTRACTOR IS RESPONSIBLE FOR WATERING ALL PLANT MATERIAL DURING INSTALLATION AND UNTIL FINAL INSPECTION AND ACCEPTANCE BY OWNER. CONTRACTOR SHALL NOTIFY OWNER OF CONDITIONS WHICH AFFECTS THE GUARANTEE.

INSPECTIONS AND GUARANTEE

- UPON COMPLETION OF LANDSCAPE INSTALLATION, THE LANDSCAPE CONTRACTOR SHALL NOTIFY THE GENERAL CONTRACTOR WHO WILL VERIFY COMPLETENESS, INCLUDING THE REPLACEMENT OF ALL DEAD PLANT MATERIAL. CONTRACTOR IS RESPONSIBLE FOR SCHEDULING A ONE YEAR INSPECTION BY THE LANDSCAPE ARCHITECT.
- ALL EXTERIOR PLANT MATERIALS SHALL BE GUARANTEED FOR ONE FULL YEAR AFTER DATE OF FINAL INSPECTION AGAINST DEFECTS INCLUDING DEATH AND UNSATISFACTORY GROWTH, DEFECTS RESULTING FROM NEGLIGENCE BY THE OWNER, ABUSE OR DAMAGE BY OTHERS, OR UNUSUAL PHENOMENA OR INCIDENTS WHICH ARE BEYOND THE CONTRACTORS CONTROL ARE NOT THE RESPONSIBILITY OF THE CONTRACTOR.
- PLANT MATERIAL QUANTITIES AND SIZES WILL BE INSPECTED FOR COMPLIANCE WITH APPROVED PLANS BY A SITE PLAN REVIEW AGENT OF THE PLANNING DEPARTMENT PRIOR TO THE RELEASE OF THE CERTIFICATE OF OCCUPANCY.
- REMOVE ALL GUY WIRES AND STAKES 12 MONTHS AFTER INSTALLATION.

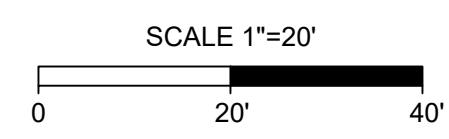
LANDSCAPE NOTES

- KEY REFERS TO PLANT LIST. WHERE THERE IS ONLY A KEY, THE QUANTITY IS ONE. WHERE THE KEY IS FOLLOWED BY A NUMBER, THE NUMBER IS THE QUANTITY REQUIRED FOR THE INDICATED PLANT BED.
- LOCATE PLANTS AND PLANTING BEDS BY USING SCALED DIMENSIONS FROM STREET, PROPERTY LINES, ETC. DIMENSIONS ON STREET YARDS, BUFFERS AND LANDSCAPE AREAS ARE A MINIMUM WIDTH AND SHALL NOT BE REDUCED.
- ALL PLANTS SHALL MEET OR EXCEED THE MINIMUM STANDARDS SET BY THE U.S.D.A. STANDARD FOR NURSERY STOCK SPONSORED BY THE AMERICAN ASSOCIATION OF NURSERYMEN, INC., WASHINGTON, D.C.
- MULCH ALL TREES AND PLANTING BEDS AS NOTED ON DRAWING. ALL PLANT GROUPINGS ARE CONSIDERED PLANTING BEDS.
- LANDSCAPE CONTRACTOR SHALL VERIFY UTILITY AND STORM DRAINAGE LOCATIONS IN THE FIELD PRIOR TO BEGINNING CONSTRUCTION. ANY CONFLICTS WITH UTILITIES SHALL BE MOVED.
- APPLY PRE-EMERGENT HERBICIDE TO ALL PLANTING BEDS PER MANUFACTURER'S SPECIFICATIONS.
- LANDSCAPE CONTRACTOR SHALL SEED AREAS DESIGNATED ON PLAN WITH STATESMAN BLEND FESCUE BY SOUTHERN STATES SEED, OR APPROVED EQUAL.
- THE SITE SHALL BE STABILIZED AND SEEDED PRIOR TO THE ISSUANCE OF A CERTIFICATE OF OCCUPANCY.
- THE SIZE OF THE PLANTING AREA AND SIZE OF PLANT MATERIAL AT MATURITY SHALL ALLOW FOR A 2.5' BUMPER OVERHANG FROM THE BACK OF CURB.
- ALL TREE PROTECTION FENCING SHALL BE MAINTAINED UNTIL ALL SITE WORK IS COMPLETED. THE FENCING SHALL BE REMOVED PRIOR TO THE FINAL SITE INSPECTION FOR THE CERTIFICATE OF OCCUPANCY (CO).
- REQUIRED STREET TREES THAT ARE LOCATED WITHIN A SIGHT DISTANCE TRIANGLE SHALL BE LIMBED UP TO 8' TO PREVENT THE OBSTRUCTION OF VISION.
- NO CANOPY TYPE TREES ARE TO BE PLACED IN PUBLIC UTILITY EASEMENTS.
- SCREEN WALLS ARE NON-STRUCTURAL WALLS THAT PROVIDE A VISUAL BARRIER BETWEEN ADJACENT PROPERTIES.
- RETAINING WALL TOP OF WALL (TW) GRADES ARE 0.5 FT ABOVE THE ADJACENT GRADE.

SIGHT DISTANCE

- NO SIGHT OBSTRUCTING OR PARTIALLY OBSTRUCTING WALL, FENCE, FOLIAGE, BERMING, PARKED VEHICLES OR SIGN BETWEEN THE HEIGHTS OF TWENTY-FOUR INCHES AND EIGHT FEET ABOVE THE CURB LINE, ELEVATION, OR THE NEAREST TRAVELED WAY IF NO CURBING EXISTS, SHALL BE PLACED WITHIN A SIGHT TRIANGLE OF A PUBLIC STREET, PRIVATE STREET OR DRIVEWAY CONTAINED EITHER ON THE PROPERTY OR ON AN ADJOINING PROPERTY.
 - SIGHT DISTANCE IS DETERMINED AS PER THE NCDOT'S POLICY ON STREET AND DRIVEWAY ACCESS TO NORTH CAROLINA HIGHWAYS MANUAL.
- THE INTERSECTION SIGHT DISTANCE IS CALCULATED BY THE FOLLOWING:
SITE ENTRANCES (CITY OF RALEIGH MANUAL CALCULATION)
ISD = 100 x V/mph (Design Speed) Per 10 mph
ISD = 100 x 10 / 10 = 100 FEET

TCA NOTE
SITE IS UNDER 2.0 ACRES;
NO TCA REQUIREMENTS



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SCALE	AS SHOWN

TIMMONS GROUP

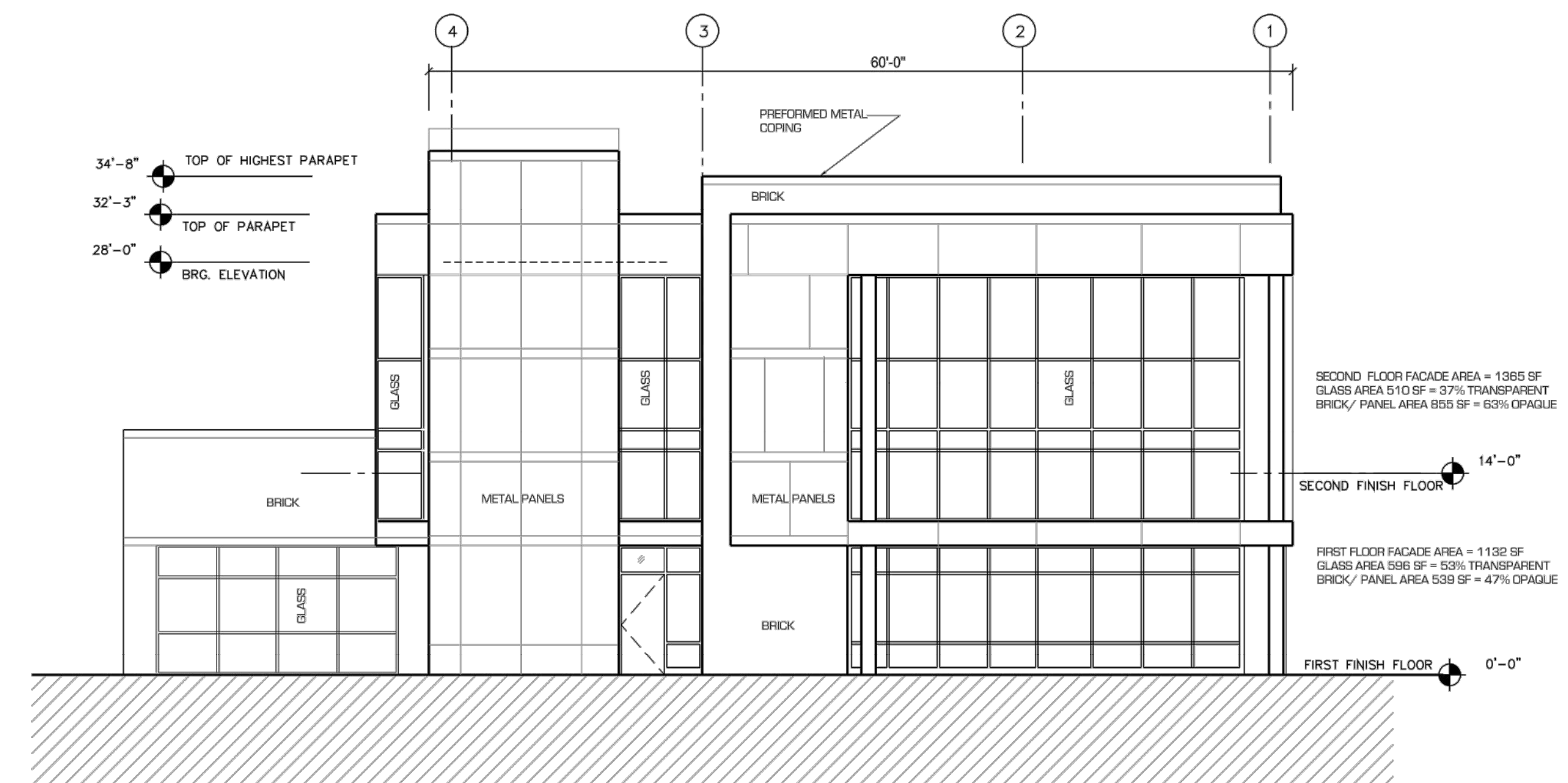
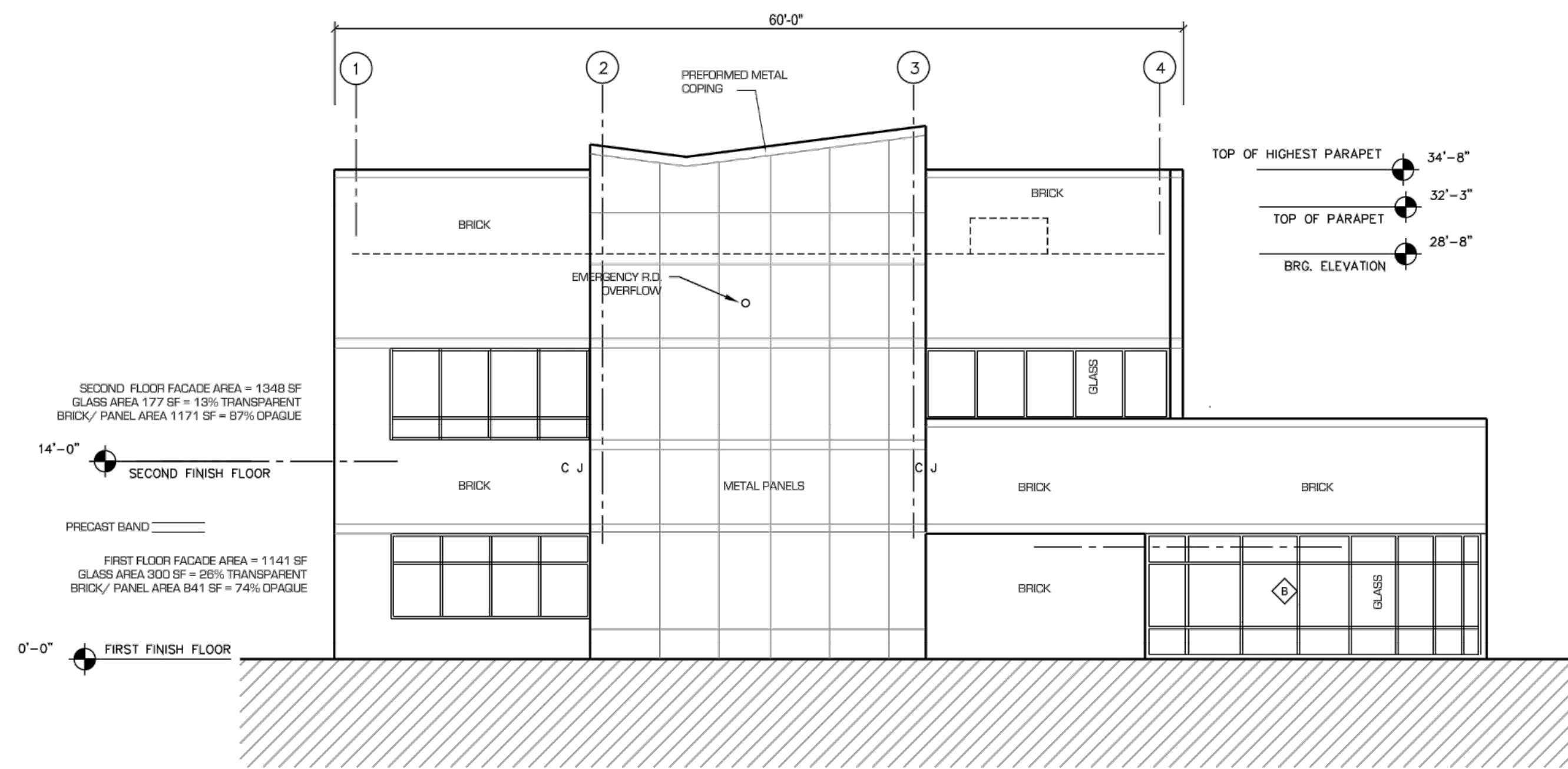
NOVA SIX FORKS MEDICAL OFFICE BLDG
RALEIGH - WAKE COUNTY - NORTH CAROLINA
NORTH CAROLINA LICENSE NO. C-1652

LANDSCAPE PLAN

JOB NO. 40230.001
SHEET NO. C6.0

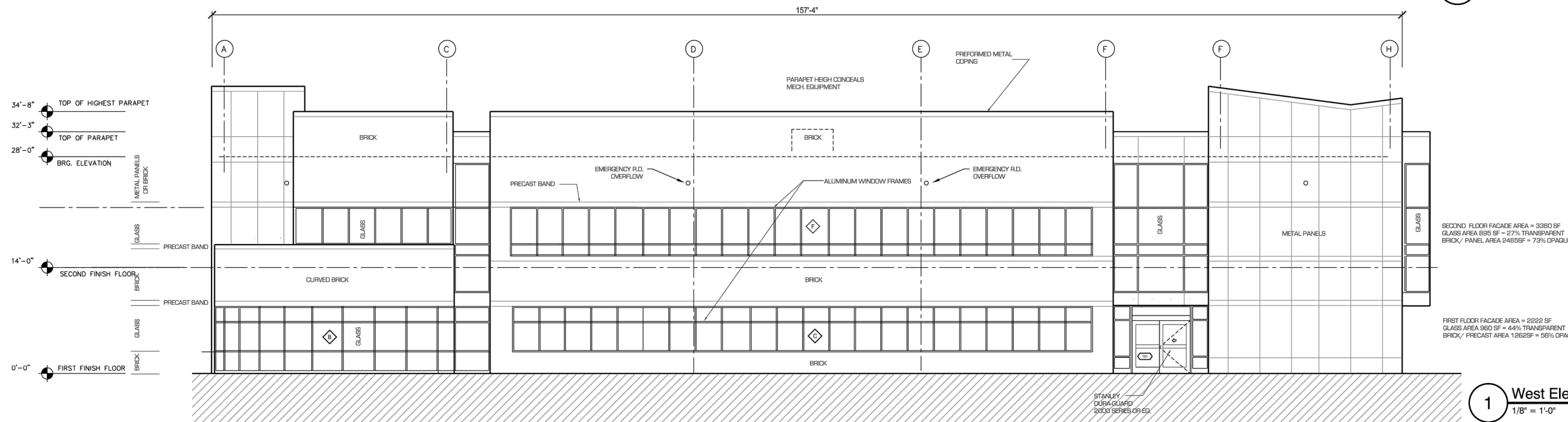
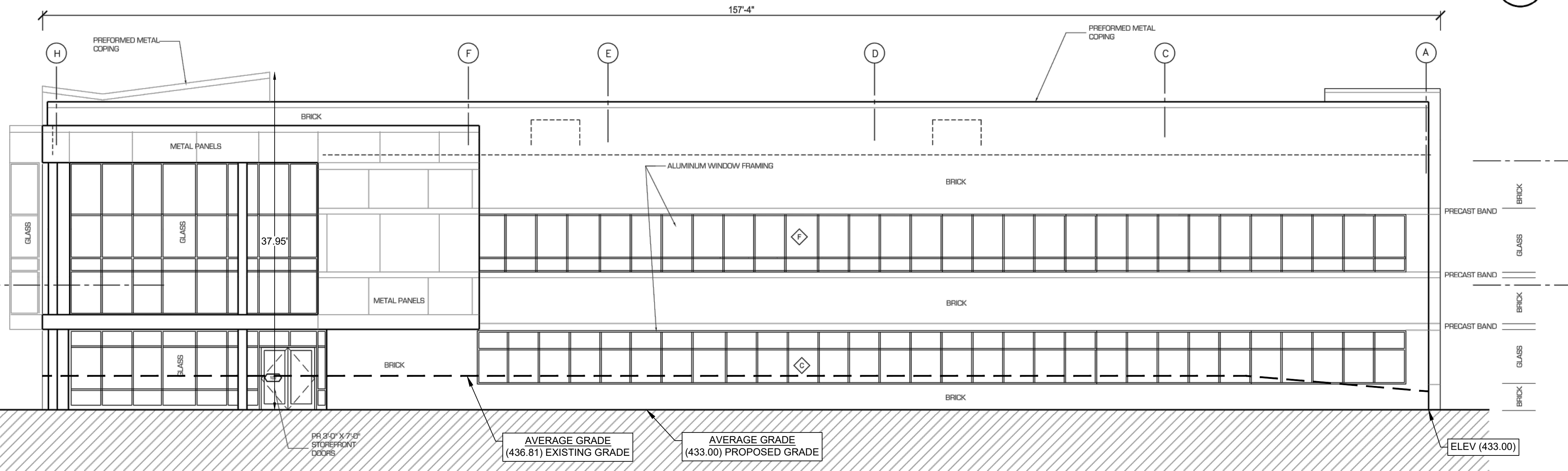
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Proposed Building
for
Nova Six Forks Medical Office Building
Six Forks Road
Raleigh, North Carolina



- ELEV (470.95)
- ELEV (467.67)
- ELEV (465.25)
- ELEV (461.00)

- ELEV (447.00) SECOND FINISH FLOOR
- ELEV (433.00) FIRST FINISH FLOOR
- ELEV (433.00)



REV.	
PROJECT NO:	NCSF.18
DRAWN BY:	
CHECKED BY:	
SHEET TITLE:	ELEVATIONS

A2.1