



Administrative Approval Action

AA # 3904 / SR-68-18, Beacon Ridge
Transaction# 563527

City of Raleigh
Development Services Department
One Exchange Plaza
Raleigh, NC 27602
(919) 996-2495
DS.help@raleighnc.gov
www.raleighnc.gov

LOCATION: This site is located at the end of Promise Beacon Circle to the west of the intersection of Promise Beacon Circle and Rock Quarry at 2003 S. State Street (original address).

REQUEST: Development of a 6.05-acre tract zoned CX-5-PL and within the Special Highway Overlay District-1 (SHOD-1) into three apartment buildings (multi-unit living) totaling 149,276 square feet and associated infrastructure. This is an affordable housing development.

DESIGN ADJUSTMENT(S)/ALTERNATES, ETC: One Design Adjustment has been approved by the Public Works Director for this project, noted below.

1. A design adjustment has been submitted to the block perimeter standards of Article 8.3 of the UDO. Design Adjustment case DA-91-2018.

One hardship variance has been approved by the City of Raleigh Board of Adjustment for this project, noted below. (Case A-86-18)

1. variance waving the Parking Limited frontage requirements (3.4.5)
2. Relief from Floor height standards (3.2.4 F1)
3. Protective yard, planting and fence requirements (3.5.3)

FINDINGS: City Administration finds that this request, with the below conditions of approval being met, conforms to the Unified Development Ordinance. This approval is based on a preliminary plan dated 11/1/2018 by JDavis Architects.

CONDITIONS OF APPROVAL and NEXT STEPS:

This document must be applied to the second sheet of all future submittals except for final plats. This is a preliminary plan and as such no permits have been issued with this approval. To obtain permits and/or completion of the project, the following steps are required:

CONCURRENT SITE REVIEW - For land disturbance of 12,000 square feet or greater, public or private infrastructure, shared stormwater devices, etc. Concurrent Site Review may be submitted upon receipt of this signed approval document.

The following items are required prior to approval of Concurrent Site Review plans:

Engineering

1. A right-of-way obstruction permit must be obtained from Right-of-way Services prior to the commencement of any construction activities within the right-of-way.



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Stormwater

2. The State of North Carolina shall approve any proposed disturbance within the riparian buffer if applicable prior to the issuance of any grading or site permit (UDO 9.2.3.E).
3. A stormwater control plan demonstrating compliance with impervious surface allocation and for all stormwater conveyance and structures shall be provided (UDO 9.2).
4. A surety equal to of the cost of clearing, grubbing and reseeding a site, shall be paid to the City (UDO 9.4.4).

Urban Forestry

5. Submit a final tree conservation plan that includes metes and bounds descriptions of all tree conservation areas and tree protection fencing as required (UDO 9.1.5).
6. Tree protection fence must be inspected by Urban Forestry staff prior to the issuance of a grading permit.

LEGAL DOCUMENTS - Email to legaldocumentreview@raleighnc.gov. Legal documents must be approved, executed, and recorded prior to or in conjunction with the recorded plat on which the associated easements are shown. Copies of recorded documents must be returned to the City within one business day of recording to avoid withholding of further permit issuance.

<input type="checkbox"/>	City Code Covenant	<input type="checkbox"/>	Slope Easement
<input type="checkbox"/>	Stormwater Maintenance Covenant	<input type="checkbox"/>	Transit Easement
<input checked="" type="checkbox"/>	Utility Placement Easement	<input type="checkbox"/>	Cross Access Easement
<input type="checkbox"/>	Sidewalk Easement	<input type="checkbox"/>	Public Access Easement
		<input type="checkbox"/>	Other:

BUILDING PERMITS – For buildings and structures shown on the approved plans. Commercial building permit plans must include the signed, approved Concurrent Site Review plans attached, if applicable. Permit sets may be reviewed prior to the recordation of required plats, but cannot be approved.

The following items must be approved prior to the issuance of building permits:

General

1. Street names/building addresses for this development shall be approved by the Raleigh GIS Division and by Wake County.



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2. Provide fire flow analysis.

Engineering

3. Utility placement easements were not recorded with the subdivision that included this parcel (S-21-17.) As such, a 5' general utility easement and associated deed of easement shall be approved by the City along Promise Beacon Circle and Rock Quarry Road and the location of the easements shall be shown on the map approved for recordation. The deed of easement shall be recorded at Wake County Register of Deeds within one day of recordation of the recorded plat. A recorded copy of this document must be provided to the Development Services Department within one day from authorization of lot recordation. If a recorded copy of the document is not provided within this time, further recordings and building permit issuance will be withheld.
4. A right-of-way obstruction permit shall be obtained from Right-of-way Services for any construction activity within the right-of-way.

Public Utilities

5. A plat must be recorded at the Wake County Register of Deeds office for all utility easement dedications.

Stormwater

6. An encroachment agreement for Stormwater pipes within the public right-of-way shall be approved by City Council and the City Council approved encroachment agreement shall be filed with the Development Services Department, and the encroachment agreement shall be recorded with the Wake County Register of Deeds. A recorded copy of these documents must be provided to the Development Services Department.

The following are required prior to issuance of building occupancy permit:

1. All Water, Sanitary Sewer and Reuse facilities shall be installed, inspected, tested and accepted by the City of Raleigh Public Utilities Department for operations and maintenance.
2. Required public right-of-way infrastructure improvements shall be, at a minimum, sufficiently completed to provide the necessary, safe emergency and vehicular access.
3. All street lights and street signs required as part of the development approval are installed.
4. Copies of certified inspection reports for alleys and internal access ways are submitted to the City of Raleigh Development Services – Development Engineering program.
5. As-built Impervious surface survey is accepted by the Engineering Services Department.
6. Final inspection of all tree conservation areas and right of way street trees by Urban Forestry Staff.



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EXPIRATION DATES: The expiration provisions of UDO Section 10.2.8 E, including the ability to request extensions in the expiration date, apply to this site plan. If significant construction has not taken place on a project after administrative site review approval, that approval may expire and be declared void, requiring re-approval before permits may be issued. To avoid allowing this plan approval to expire the following must take place by the following dates:

3-Year Expiration Date: 11-28-2021

Obtain a valid building permit for the total area of the project, or a phase of the project.

4-Year Completion Date:

Within four years after issuance of the first building permit for the site plan, the construction of the entire site plan must be completed unless an applicant has been granted vested rights. Failure to complete construction within this specified time frame shall automatically void the approved site plan for which no building permits have been issued.

I hereby certify this administrative decision.

Signed:(Planning Dir./Designee) _____

Date: 11/28/15

Staff Coordinator: Michael Walters

Design Adjustment Staff Response



**DEVELOPMENT
SERVICES
DEPARTMENT**

Per Section 10.2.18.C of the Unified Development Ordinance, the Development Services Director, or designee, shall consult with the heads of other City Departments regarding the review of the request. The Development Services Director, or designee, shall approve, approve with conditions or deny the request, but must do so within 60 days of the receipt of a completed application. Additional time may be necessary if a municipal or state entity is incorporated in the review process or if a detailed engineering study is submitted in conjunction with the request.

PROJECT	Project Name	Beacon Ridge	
	Development Case Number	SR-68-2018	
	Transaction Number	563527	
	Design Adjustment Number	DA - 91 - 2018	
STAFF RESPONSE	Staff recommendation based upon the findings in the applicable code(s):		
	<input checked="" type="checkbox"/> UDO Art. 8.3 Blocks, Lots, Access	<input type="checkbox"/> UDO Art. 8.5 Existing Streets	
	<input type="checkbox"/> UDO Art. 8.4 New Streets	<input type="checkbox"/> Raleigh Street Design Manual	
	Staff SUPPORTS <input checked="" type="checkbox"/> DOES NOT SUPPORT <input type="checkbox"/> the design adjustment request.		
	DEPARTMENTS		
	<input type="checkbox"/> Dev. Services Planner	<input type="checkbox"/> City Planning	
	<input checked="" type="checkbox"/> Development Engineering <i>[Signature]</i>	<input type="checkbox"/> Transportation	
	<input type="checkbox"/> Engineering Services	<input type="checkbox"/> Parks & Recreation and Cult. Res.	
	<input type="checkbox"/> Public Utilities		
	CONDITIONS:		
Development Services Director or Designee Action: <input checked="" type="checkbox"/> APPROVE <input type="checkbox"/> APPROVE WITH CONDITIONS <input type="checkbox"/> DENY			

Authorized Signature

HOUGHTON W. RITCHIE, PE, MPA
ENGINEERING AND INFRASTRUCTURE MANAGER

Date

11/28/2018

*The Development Services Director may authorize a designee to sign in his/her stead. Please print name and title next to signature. Appeal of the decision from the Development Services Director, or his or her designee, shall be made in writing within 30 days to the Board of Adjustment (see Section 10.2.18.C3b).

Staff Response

Article 8.3 Blocks Lots, Access



DEVELOPMENT
SERVICES
DEPARTMENT

The Development Services Director may in accordance with *Sec. 10.2.18*. approve a design adjustment, subject to all of the following findings.

- A. The requested design adjustment meets the intent of this Article;
YES NO
- B. The requested design adjustment conforms with the Comprehensive Plan and adopted City plans;
YES NO
- C. The requested design adjustment does not increase congestion or compromise Safety;
YES NO
- D. The requested design adjustment does not create any lots without direct street Frontage;
YES NO
- E. The requested design adjustment is deemed reasonable due to one or more of the following:
1. Topographic changes are too steep;
 2. The presence of existing buildings, stream and other natural features;
 3. Site layout of developed properties;
 4. Adjoining uses or their vehicles are incompatible;
 5. Strict compliance would pose a safety hazard; or
 6. Does not conflict with an approved or built roadway construction project
 7. adjacent to or in the vicinity of the site.
- YES NO

STAFF FINDINGS

The subdivision (S-21-17) and adjacent YMCA and school (SR-47-17) associated with Beacon Ridge (SR-68-18) included the approval of the public street and lot associated with the Beacon Ridge development. A design adjustment was not submitted with the subdivision approval.

Block perimeter compliance has not been shown as the surrounding topography, surrounding streams, environmental features inclusive of FEMA floodplain and Neuse Riparian Buffers inhibits additional public street connections. In addition, I-40 is adjacent to the site and prohibits a connection or crossing.

Design Adjustment Application



DEVELOPMENT SERVICES DEPARTMENT

The purpose of this request is to seek a Design Adjustment from the Development Services Director, or designee, for a specific project only and, if granted, may be approved with special conditions and provisions. This application and all further action shall be consistent with Section 10.2.18 in the Unified Development Ordinance (UDO). The consideration and decision of this request shall be based solely on the conformance of the findings, as outlined in Sec. 8.3.6, Sec. 8.4.1.E and Sec. 8.5.1.G of the UDO or the Raleigh Street Design Manual.

PROJECT	Project Name Beacon Ridge		
	Case Number SR-88-2018		
	Transaction Number 563527		
OWNER	Name DHIC, Inc. c/o Natalie Britt		
	Address 113 S Wilmington Street		City Raleigh
	State NC	Zip Code 27601	Phone 919-832-2206
CONTACT	Name Ken Thompson		Firm JDavis Architects
	Address 510 S. Wilmington St		City Raleigh
	State NC	Zip Code 27601	Phone 919-812-6997
REQUEST	I am seeking a Design Adjustment from the requirements set forth in the following:		
	<input checked="" type="checkbox"/> UDO Art. 8.3 Blocks, Lots, Access	- See page 2 for findings	
	<input type="checkbox"/> UDO Art. 8.4 New Streets	- See page 3 for findings	
	<input type="checkbox"/> UDO Art. 8.5 Existing Streets	- See page 4 for findings	
	<input type="checkbox"/> Raleigh Street Design Manual	- See page 5 for findings	
	Provide details about the request; (please attach a memorandum if additional space is needed):		
Applicant requests a design adjustment for block perimeter. The site has limited opportunity to provide vehicular or pedestrian access to the adjacent sites as it is bordered to the south by Interstate 40 and on all other sides by buffered streams and Walnut Creek. These water bodies are also within the floodway.			

It is the responsibility of the applicant to provide all pertinent information needed for the consideration of this request. Applicant must be the Property Owner.

By signing this document, I hereby acknowledge the information on this application is, to my knowledge, accurate.

Owner/Owner's Representative Signature *[Signature]* Date **2/30/14**

CHECKLIST	
Signed Design Adjustment Application	<input checked="" type="checkbox"/> Included
Page(s) addressing required findings	<input checked="" type="checkbox"/> Included
Plan(s) and support documentation	<input checked="" type="checkbox"/> Included
Notary page (page 6) filled out; Must be signed by property owner	<input checked="" type="checkbox"/> Included
First Class stamped and addressed envelopes with completed notification letter	<input checked="" type="checkbox"/> Included

Submit all documentation, with the exception of the required addressed envelopes and letters to designadjustments@raleighnc.gov.

Deliver the addressed envelopes and letters to:
 Development Services, Development Engineering
 One Exchange Plaza, Suite 500
 Raleigh NC, 27601

For Office Use Only	RECEIVED DATE:	DA -
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Article 8.3, Blocks, Lots, Access

Administrative Design Adjustment Findings



**DEVELOPMENT
SERVICES
DEPARTMENT**

The Development Services Director may in accordance with Sec. 10.2.18. approve a design adjustment, subject to all of the following findings. Describe how each item is met:

A. The requested design adjustment meets the intent of this Article;

The requested design adjustment meets the intent of Article 8.3, as noted below

B. The requested design adjustment conforms with the Comprehensive Plan and adopted City plans;

The requested design adjustment conforms with the Comprehensive Plan and adopted City plans

C. The requested design adjustment does not increase congestion or compromise Safety;

the lack of additional public streets to meet block perimeter requirements will not affect congestion or compromise safety

D. The requested design adjustment does not create any lots without direct street Frontage;

The requested design adjustment does not create any lots without direct street frontage

E. The requested design adjustment is deemed reasonable due to one or more of the following:

1. Topographic changes are too steep;
2. The presence of existing buildings, stream and other natural features;
3. Site layout of developed properties;
4. Adjoining uses or their vehicles are incompatible;
5. Strict compliance would pose a safety hazard; or
6. Does not conflict with an approved or built roadway construction project
7. adjacent to or in the vicinity of the site.

#2 The site is adjacent to buffered streams and Walnut Creek. These water bodies are also within the floodway

#3 Interstate 40 is to the south of the site

Individual Acknowledgement



DEVELOPMENT
SERVICES
DEPARTMENT

STATE OF NORTH CAROLINA
COUNTY OF Harnett

INDIVIDUAL

I, Penny Dupree Hall, a Notary Public do hereby certify that
Kenneth Thompson personally appeared before me this day and
acknowledged the due execution of the forgoing instrument.

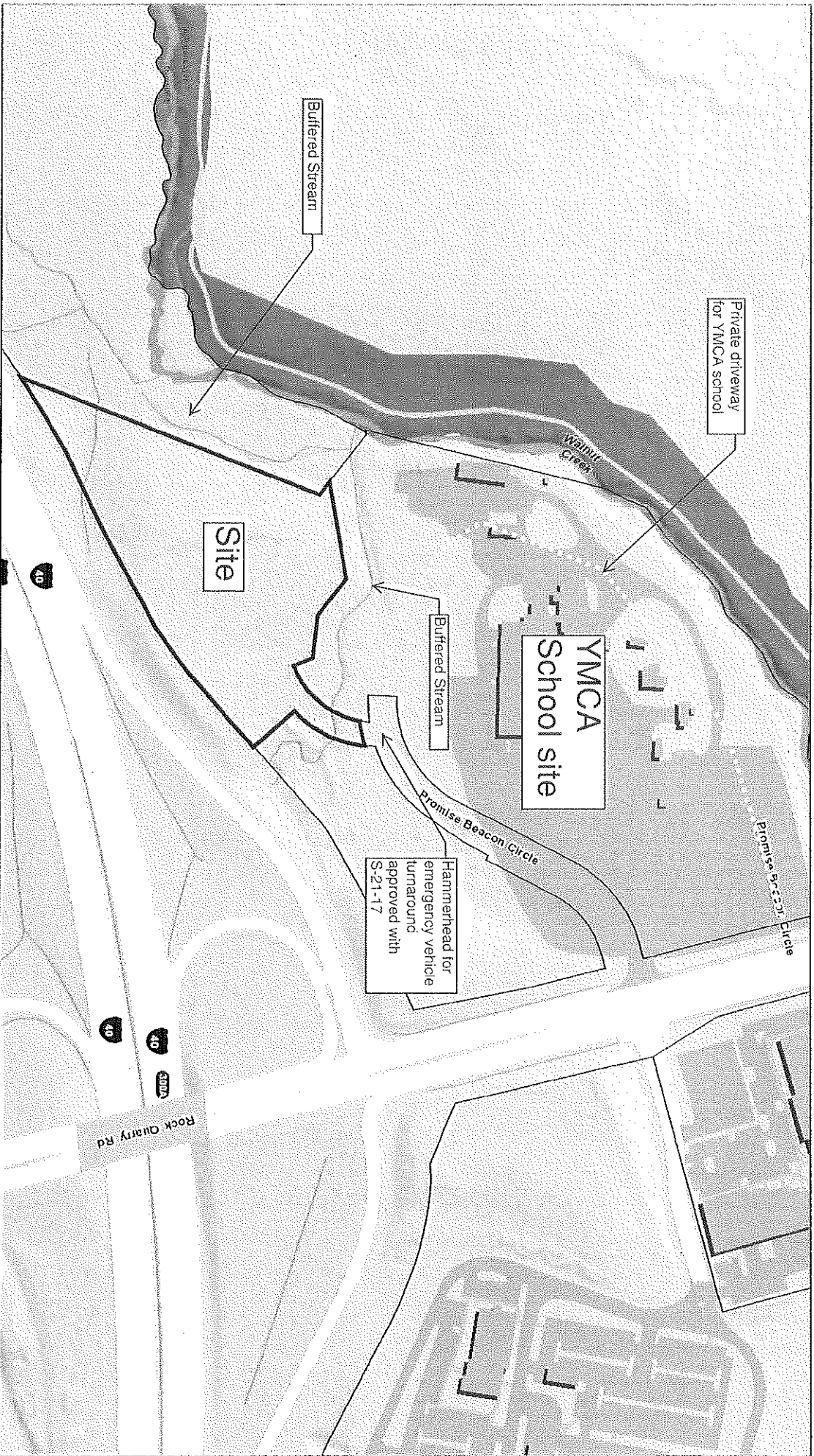
This the 30 day of August, 2018.

(SEAL)



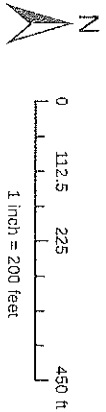
Notary Public Penny Dupree Hall

My Commission Expires: 07-14-19



Beacon's Ridge Site and Streams

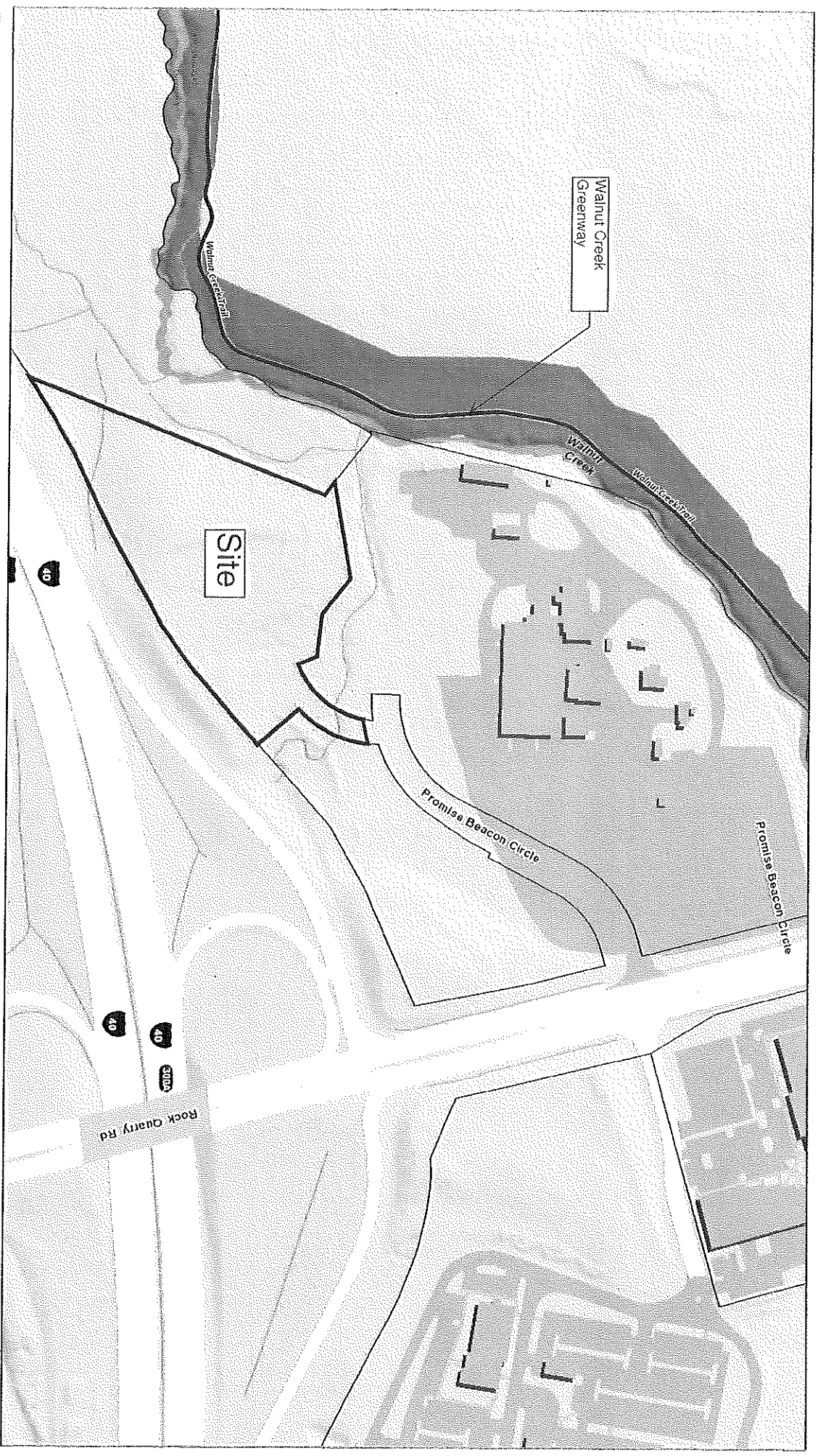
EXHIBIT A



Disclaimer
 Maps make every effort to produce and publish the most current and accurate information possible. However, the maps are produced for information purposes and are NOT surveys. No warranties, expressed or implied, are provided for the data therein, its use, or its interpretation.

EXHIBIT B

Bacon's Ridge Greenway



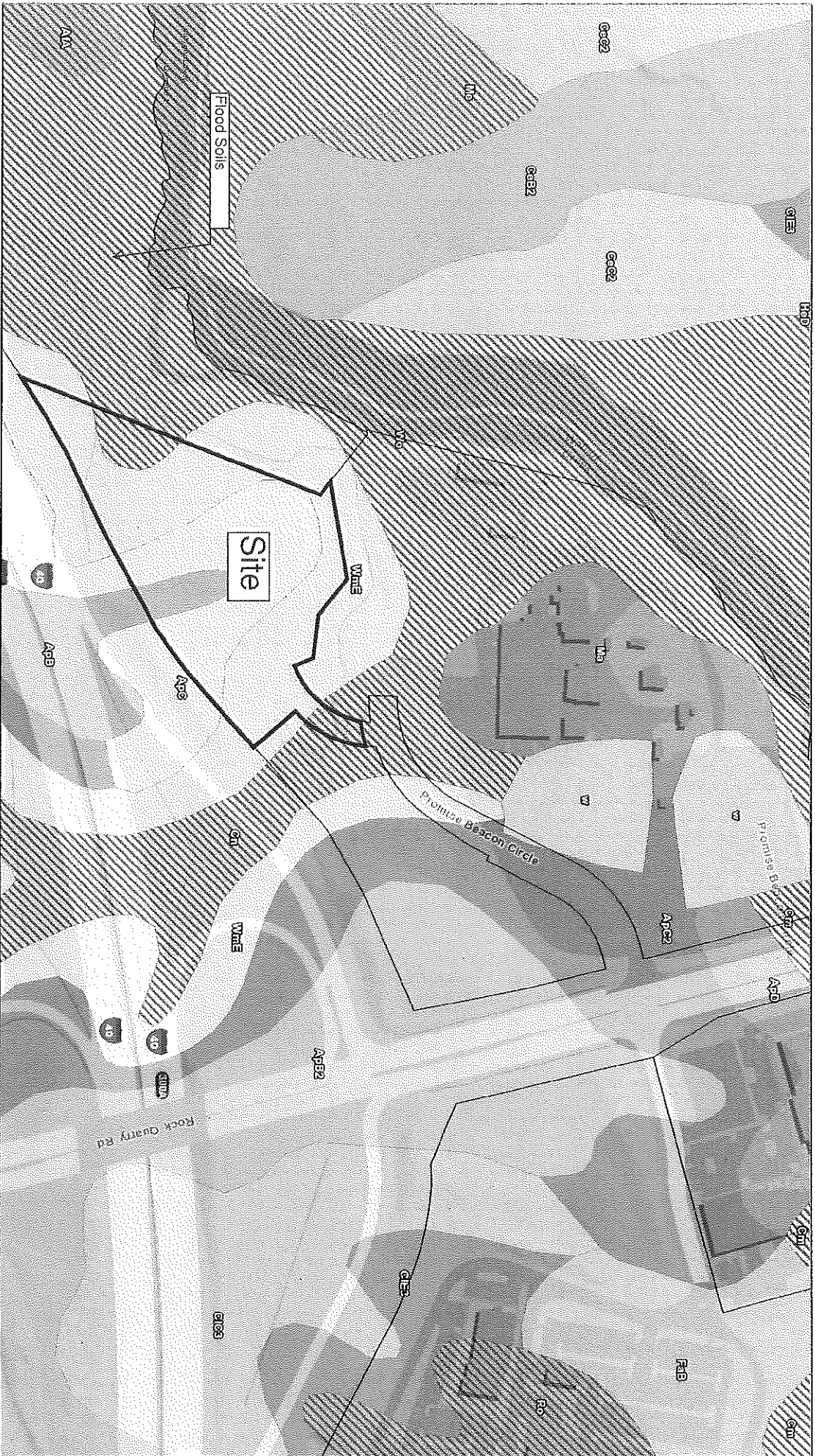
Disclaimer:
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EXHIBIT C

Beacon's Ridge Flood Plain

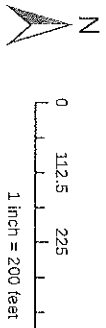


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Beacon's Ridge Flood Soils

EXHIBIT D



Disclaimer:
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YMCA MIXED-USE COMMUNITY
MASTER SITE PLAN
04/11/2018

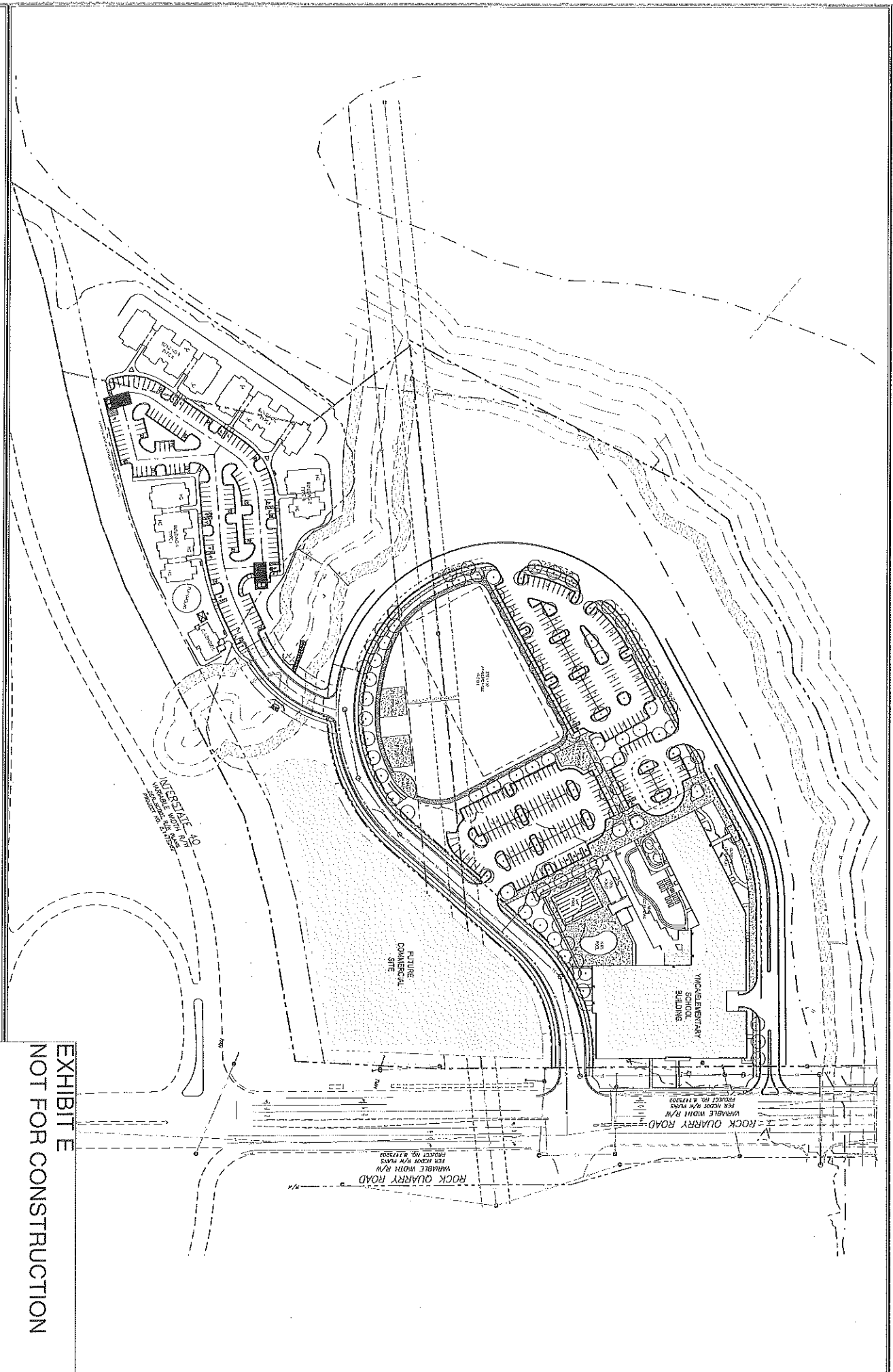


EXHIBIT E
NOT FOR CONSTRUCTION

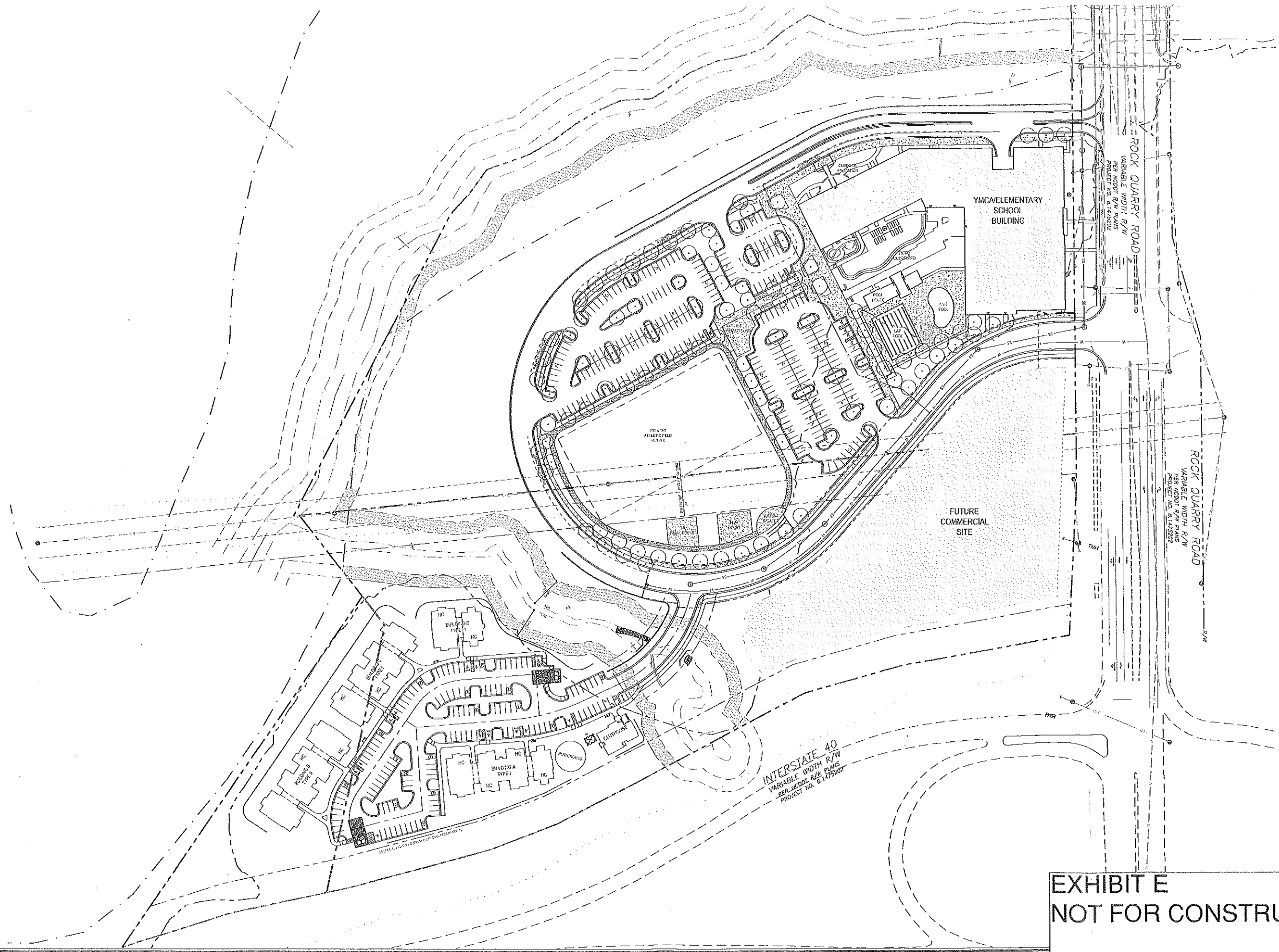
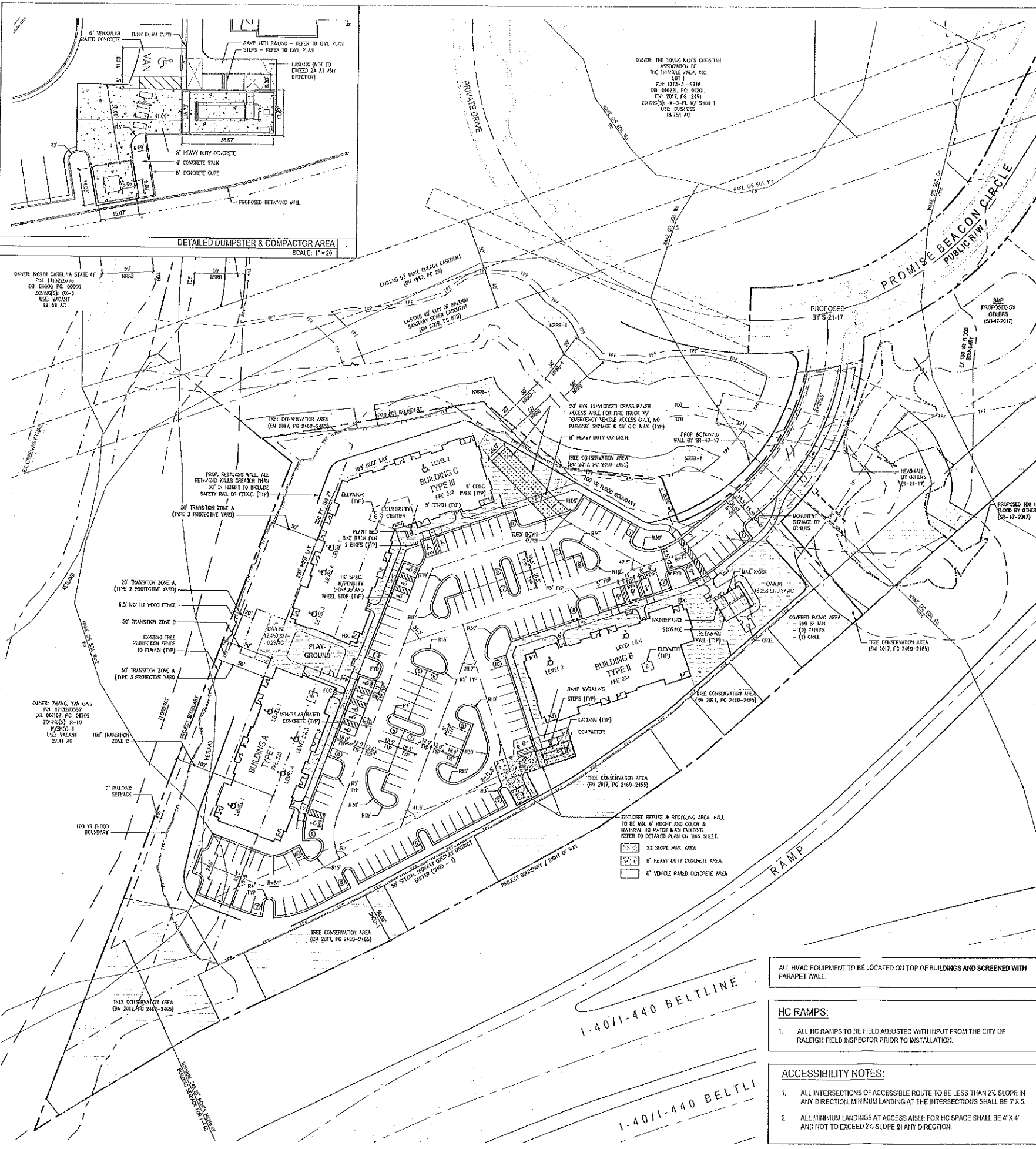


EXHIBIT E
NOT FOR CONSTRUCTION

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Overall Site Data
Project: Beacon Ridge Apartments
Date: 07.16.2018 (updated x.x.x.x.x.x)

Zoning	CXS-PL W/ SHOO-1
Section 3.2.4 Apartment	
A Lot Dimensions	18,000 SF
A1 Area (min)	n/a
A2 Width (min)	n/a
A3 Corner setback (min)	10 %
B Building / structure setbacks	See PL Frontage below, Item B3 FT
B1 From primary street (min)	See PL Frontage below, Item B3 FT
B2 From side street (min)	See PL Frontage below, Item B3 FT
B3 From side lot line (min)	0 or 6 FT
B4 From rear lot line (min)	0 or 6 FT
B5 From alley	4 or 20 FT
C Parking setbacks	
C1 From primary street (min)	10 FT
C2 From side street (min)	10 FT
C3 From side lot line (min)	0 or 3 FT
C4 From rear lot line (min)	0 or 3 FT
C5 From alley	4 FT
D. Build to	
D1 Primary street build to (minimum)	10 to 66 FT
D2 Building width in primary build to (min)	70%
D3 Side street build to (minimum)	10 to 55 FT
D4 Building width in side build to (min)	35%
E Height	(25 max) 5 Story
E1 Principal building (max)	(25 max) 5 Story
E2 Accessory structure (max)	25 FT
F Floor heights	
F1 Ground floor elevation (min)	2 FT
F2 Ground floor elevation (max)	n/a FT
F3 Upper story height, floor to floor (min)	n/a FT
F4 Upper story height, floor to floor (max)	n/a FT
G Transparency	
G1 Ground story (min)	20 %
G2 Upper story (min)	15 %
G3 Blank wall area (min)	35 FT
H. Attached building elements	
Roofs, stoops	
I. Balcony	Parking Limited (P/L)
J. Frontage requirements (sec. 3.4.5)	
J1 Primary street build to (minimum)	0 to 100 FT
J2 Building width in primary build to (min)	60 %
J3 Side street build to (minimum)	0 to 100 FT
J4 Building width in side build to (min)	25 %
K. Additional parking limitations	A maximum of 2 bays of on site parking with a single drive aisle is permitted between the building and the street
L. Pedestrian access	
L1 Primary street facing entrance required	minimum of 1 per building
L2 Pedestrian access	required from public sidewalk to the primary street facing entrance of the building
M. Streetscape requirement	180 by the Planning / Development Officer
N. Required parking (UDO section 7.1.2.C)	
N1 Multi-unit living	
N2 1 BR (1 space per unit UDO sec. 7.1.4.B)	1 per unit
N3 2 BR (1 space per unit UDO sec. 7.1.4.B)	1 per unit
N4 3 BR (1 space per unit UDO sec. 7.1.4.B)	1 per unit
N5 Maximum allowed parking	150% of required
O. Required bicycle parking (UDO section 7.1.2.C)	
O1 Multi-unit living	
O2 Long term	1 per 20 units (1 min)
O3 Short term	None
P. Site Data	
P1 Tract area (171314462)	6.048 AC
P2 Proposed use	Apartment
P3 Multi-unit living 1 BR	20 DU
P4 Multi-unit living 2 BR	22 DU
P5 Multi-unit living 3 BR	28 DU
P6 Total	70 DU
P7 Building matrix	
P8 Building A	42,248 SF
P9 Building B	41,836 SF
P10 Building C	55,192 SF
P11 Total	149,276 SF
P12 Proposed FAR	149,276 / 6,048 = 24.68
P13 Outdoor amenity area (UDO section 3.2.6.A.3)	
P14 Area required - 10% of net acreage	6,048 x 10% = 604.8 SF
P15 Area provided	26,345 SF
P16 OVA #1	16,298 SF
P17 OVA #2	12,450 SF
P18 Total	28,748 SF
P19 Building height	
P20 Allowed height	(15 max) 5 Story
P21 Proposed height	(25) 4 Story
P22 Neighborhood transition (UDO section 3.5)	
P23 Zone A provided	Both a Type 3 50' protective yard and a Type 2 20' protective yard with 8' L&B Fence have been provided
P24 Zone B provided	Provided only where a Type 2 protective yard was used
P25 Zone C provided	no building within 50' of property line Building proposed < 40' in height
P26 Required parking (UDO section 7.1.4.B.1.A.2)	
P27 Multi-unit living 1 BR	20 x 1.0 = 20.0 SP
P28 Multi-unit living 2 BR	22 x 1.0 = 22.0 SP
P29 Multi-unit living 3 BR	28 x 1.0 = 28.0 SP
P30 Visitor	120 x 10% = 12.0 SP
P31 Total required	82.0 SP
P32 Parking provided	
P33 Proposed surface space	152 SP
P34 Total spaces provided	152 SP
P35 Required bicycle parking (UDO section 7.1.2)	
P36 Multi-unit living	
P37 Short term (1 space per 20 rooms, min. 4)	120 / 20 = 6.0 SP
P38 Long term parking provided (0 outdoor, 0 in bldg)	6.0 SP
P39 Impervious area	
P40 Existing	0 SF
P41 Proposed	125,248 SF
P42 Total	125,248 SF
P43 Notes:	
P44 #1 A BOMA hardship has been filed for 3.4.5.C, D, and G, 3.4.6.G Streetscape Requirement since the Building is within the Neuse Riparian Buffer	

EXISTING SITE DATA

PAR NUMBER	1713-1-042
SITE ADDRESS	2003 S. STATE STREET, RALEIGH, NORTH CAROLINA 27610
RECORDED MAP	201201, PG 0240 - 2105
DEED	09 01621, PG 01205
ZONING(S)	CXS-PL (COMMERCIAL MIXED USE, 5 STORY PARKING LIMITED)
OVERLAY	SHOO-1 (SPECIAL HIGHWAY OVERLAY DISTRICT-1)
ADJACENT	6 025 AC
BUILDABLE ACREAGE	4.141 AC
EXISTING USE	VACANT
ALLIANCE NO.	1713
FEMA MAP PANEL #	1713

- GENERAL NOTES:**
- ALL CONSTRUCTION SHALL BE IN ACCORDANCE WITH CITY OF RALEIGH AND NC DCCO STANDARDS.
 - THE CONTRACTOR SHALL CONDUCT THE WORK IN A SAFE MANNER AND WITH AN MINIMUM AMOUNT OF INTERFERENCE TO TRAFFIC.
 - THE CONTRACTOR SHALL BE RESPONSIBLE FOR ALL TRAFFIC CONTROL AND SHALL ADHERE TO THE PROVISIONS OF THE MUTCD (MOST CURRENT EDITION).
 - PRIOR TO START OF WORK, A PRE-CONSTRUCTION MEETING MUST BE SET UP WITH THE CONTRACTOR AND CITY OF RALEIGH TRANSPORTATION FIELD SERVICES STAFF. CONTACT ENGINEERING INSPECTIONS AT 919-999-2499 TO SET UP THE MEETING.
 - THE CONTRACTOR SHALL OBTAIN A RIGHT-OF-WAY OBSTRUCTION PERMIT FOR ANY WORK WHICH REQUIRES THE TEMPORARY CLOSURE OF A STREET, TRAVEL LANE, PARKING SPACE OR SIDEWALK FROM THE CITY OF RALEIGH TRANSPORTATION FIELD SERVICES STAFF. THE RIGHT-OF-WAY OBSTRUCTION PERMIT TO OBTAIN FROM THE CITY OF RALEIGH TRANSPORTATION FIELD SERVICES STAFF.
 - ANY TEMPORARY STREET CLOSURE MUST BE SUBMITTED 7 DAYS PRIOR TO THE START OF THE WORK. SEE RIGHT-OF-WAY CLOSURE ORDINANCE (2014-01) FOR MORE INFORMATION.
 - ANY CONTRACTOR OR PROJECT MANAGER THAT IS WORKING ON A CITY PROJECT SHALL SUBMIT A NOTIFICATION TO THE CITY OF RALEIGH TRANSPORTATION FIELD SERVICES STAFF PRIOR TO THE START OF THE WORK.
 - PRIOR TO CONSTRUCTION BEGINS, ALL EXCHANGE AND TRAFFIC CONTROL SHALL BE IN PLACE.
 - THE CONTRACTOR SHALL REPAIR ALL DAMAGED INFRASTRUCTURE IN THE RIGHT-OF-WAY AND RESTORE IT TO PREVIOUS OR BETTER CONDITION.
 - THE CONTRACTOR SHALL REPAIR ANY DAMAGES TO ADJACENT PROPERTIES AND RESTORE IT TO PREVIOUS OR BETTER CONDITION.
 - ALL SIDEWALKS MUST BE ACCESSIBLE TO PERSONS WHO ARE VISUALLY IMPAIRED AND PEOPLE WITH MOBILITY DISABILITIES. PEDESTRIAN ROUTES SHALL BE MAINTAINED AND PEDESTRIAN ROUTES DURING CONSTRUCTION SHALL BE REQUIRED TO BE COMPLIANT WITH THE PUBLIC RIGHTS OF WAY ACCESSIBILITY GUIDELINES (PROVING) 2010 AS STANDARDS FOR ACCESSIBLE DESIGN AND THE MANUAL ON URBAN FORM TRAFFIC CONTROL DEVICES (MUTCD).
 - IF ANY OBSTRUCTION DEVELOPS DURING CONSTRUCTION, REFER TO CITY OF RALEIGH STREET DESIGN MANUAL AND CONTACT THE DEVELOPMENT SERVICES RIGHT-OF-WAY SERVICE PERMIT COORDINATOR AT (919) 955-2493.
 - PRIOR TO START OF CONSTRUCTION, THE CONTRACTOR SHALL SUBMIT A MEETING THE DEVELOPMENT SERVICES RIGHT-OF-WAY SERVICE PERMIT COORDINATOR AT (919) 955-2493.
 - IF CONSTRUCTION PLANS FOR PUBLIC AND PRIVATE STREETS OR UTILITIES SHOWN ON THIS PLAN ARE REQUIRED, THEY MUST BE APPROVED BY THE PUBLIC WORKS DEPARTMENT AND PUBLIC UTILITIES DEPARTMENT PRIOR TO ISSUANCE OF PERMITS OR RECORDS OF ANY PLAT FOR THE DEVELOPMENT.
 - FIELD ADJUSTMENTS TO THIS PLAN MAY BE REQUIRED BY CITY OF RALEIGH INSPECTOR AS NEEDED DURING CONSTRUCTION.
 - ALL SURVEY INFORMATION PROVIDED TO ANNS ARCHITECTS BY WITHERSWAVEL IN CAREY, NORTH CAROLINA IN DIGITAL FORMAT IN JANUARY, 2018, AND SUPPLEMENTAL INFORMATION HAS OBTAINED FROM THOSE COUNTY DATA IN JUNE, 2018.
 - UNLESS NOTED, ACCESS ROUTE FOR EMERGENCY VEHICLES SHALL PROVIDE AN INSIDE TURNING RADIUS OF 28 FEET MIN.
 - UNLESS NOTED, ALL DIMENSIONS SHOWN ARE TO FACE OF CURB.
 - TRASH AND CARPENTRY DUMPSTERS/CONTAINERS ENCLOSURE SHALL BE SOLID WALL AT MINIMUM 6 FEET HEIGHT AND SHALL BE COMPATIBLE WITH MATERIAL AND COLOR OF THE PROPERTY BUILDINGS.
 - ALL HVAC EQUIPMENT TO BE LOCATED ON TOP OF BUILDINGS AND SCREENED WITH PARAPET WALL.
 - CONTRACTOR TO FIELD LOCATE AND VERIFY ALL EXISTING UTILITIES PRIOR TO ANY CONSTRUCTION ACTIVITIES. CONTACT THE CITY OF RALEIGH FIELD LOCATION OF UNDERGROUND UTILITIES.
 - HANDICAPPED PARKING SPACES AND HC ACCESS ANGLES SHALL BE NO GREATER THAN 1/10 PERCENT (2%) PITCH IN ANY DIRECTION AS PER ADA STANDARDS.
 - PROVIDE SIGNAGE AND STRIPING OF HANDICAPPED SPACES AS PER ADA STANDARDS.
 - ALL RETAINING WALLS GREATER THAN 20" IN HEIGHT TO INCLUDE SAFETY RAIL OR FENCE.
 - THE MINIMUM CLEARANCE FROM THE CURB LINE OF INTERSECTING STREETS SHALL BE AT LEAST 20 FEET FROM THE POINT OF INTERSECTION OF THE CURB. NO DRIVEWAYS SHALL ENDOVERLAP THIS MINIMUM CLEARANCE.
 - NO ACCESS RAMPS WILL BE PROVIDED IN ACCORDANCE WITH CITY OF RALEIGH PUBLIC WORKS DEPARTMENT STANDARDS, PROVIDING STANDARDS AND ADAAG SPECIFICATIONS.
 - ALL RAMPS AND WALKWAYS SHALL BE COMPLIANT WITH ADA STANDARDS.
 - ALL ABOVE GROUND UTILITY DEVICES (TO INCLUDE BUT NOT LIMITED TO TELEPHONE AND CABLE FEEDBACKS, ELECTRICAL TRANSFORMERS, BACKLASH DEVICE HOTBOX, ETC) SHALL BE SCREENED FROM THE SITE WITH EVERGREEN SHRUBS, FENCE, OR WALL.
 - GENERAL UTILITY PLACEMENT EASEMENT IS FOR INSTALLATION OF PRIVATE UTILITIES.

REFERENCE: S-21-17 & SR-47-2017

SR-68-18

SITE PLAN

Know what's below. Call before you dig.

SCALE: 1" = 50'

0 25' 50' 100'

J. DAVIS & ASSOCIATES

310 South Wilmington Street | Raleigh, NC 27601 | 919.978.825 | 5350
1414 Walnut St., Suite 1020 | Philadelphia, PA 19102 | 761.212.545 | 2721

dhic
HOME TO OPPORTUNITY

Beacon Ridge
2003 S. State Street
Raleigh, North Carolina 27610

PRELIMINARY

FOR REVIEW ONLY
NOT FOR CONSTRUCTION

PROJECT:	DATE:
DHIC-18024	07.23.2018
ISSUE:	Administrative Site
REVISIONS:	1st Review Comments 08.20.2018
DRAWN BY:	AKT, SB, CHK
CHECKED BY:	AKT
CONTENT:	SITE PLAN

TRANSACTION NO: 563527 (Administrative Site)

LS1.1

SR-68-18 TA: 563527

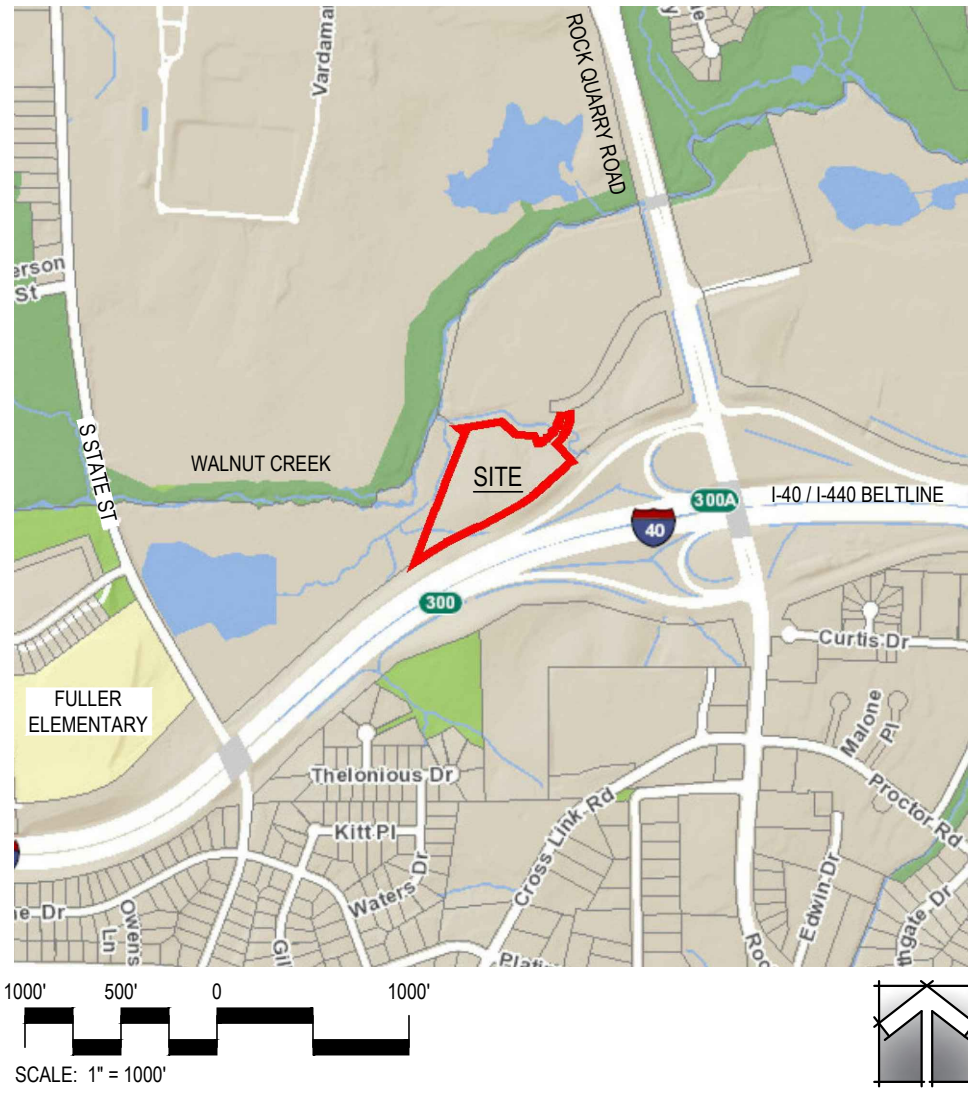
REFERENCE: S-21-17 & SR-47-17; A-86-18; DA-91-2018

Administrative Site Review

1st Submittal: July 23, 2018
2nd Submittal: August 20, 2018
3rd Submittal: October 08, 2018

Beacon Ridge

2003 S. State Street
Raleigh, North Carolina 27610



Sheet Index

Table listing sheet titles and corresponding drawing numbers, including COVER, EXISTING CONDITIONS PLAN, RECORDED MAP, etc.

Notes

- GENERAL NOTES: 1. ALL CONSTRUCTION SHALL BE IN ACCORDANCE WITH CITY OF RALEIGH AND/OR NCDOT STANDARDS. 2. THE CONTRACTOR SHALL CONDUCT THE WORK IN A SAFE MANNER... 15. FIELD ADJUSTMENTS TO THIS PLAN MAY BE REQUIRED BY CITY OF RALEIGH INSPECTOR...

- FIRE DEPARTMENT NOTES: 1. THE APPARATUS ROAD SURFACE IS REQUIRED TO BE WITHIN 200 FEET (NFPA 13R) TO ALL PORTIONS OF THE EXTERIOR WALL OF THE FIRST FLOOR OF THE BUILDING... 2. FIRE HYDRANT SHALL BE LOCATED WITHIN 400' AS MEASURED ALONG THE PATH OF APPARATUS ACCESS ROAD...

- SOLID WASTE INSPECTION STATEMENTS: 1. SOLID WASTE SERVICES ARE TO BE PROVIDED BY PRIVATE VENDOR. 2. THE DEVELOPER WILL COMPLY WITH ALL REQUIREMENTS SET FORTH IN THE SOLID WASTE MANUAL...

- TREE CONSERVATION NOTE: 1. THIS SITE HAS RECORDED EXISTING TREE CONSERVATION AREAS. REFER TO S-21-17 AND BM 2017, PG. 2464.

- AFFORDABLE HOUSING NOTE: 1. NC HOUSING FINANCE AGENCY AWARDED LOW-INCOME HOUSING TAX CREDIT ALLOCATIONS TO THIS PROJECT IN 2016. ALL UNITS AT BEACON RIDGE WILL BE RESTRICTED TO HOUSEHOLDS WITH INCOMES AT OR BELOW 60% OF THE AREA MEDIAN INCOME FOR 30 YEARS AS REQUIRED BY THE LOW-INCOME HOUSING TAX CREDIT PROGRAM...

Project Team

Table listing project team members: OWNER (The Young Mens Christian Association of the Triangle), DEVELOPER (DHIC, Inc.), LANDSCAPE ARCHITECT (JDavis Architects, PLLC), ARCHITECT (JDavis Architects, PLLC), ENGINEER (WithersRavenel), SURVEYOR (WithersRavenel).

Application

Administrative Site Review Application (for UDO Districts only) DEVELOPMENT SERVICES DEPARTMENT. Development Services Customer Service Center | Exchange Plaza, Suite 400 | Raleigh, NC 27601 | 919-996-2495 | ext. 919-996-1831

BUILDING TYPE: Detached, Attached, Apartment, Townhouse. FOR OFFICE USE ONLY: Transaction Number, Assigned Project Coordinator, Assigned Team Leader.

Has your project previously been through the Due Diligence or Sketch Plan Review process? If yes, provide the transaction #

GENERAL INFORMATION: Development Name: Beacon Ridge. Zoning District: CX-5-PL. Overlay District: SHOD-1. Proposed Use: Family Apartments. Property Address(es): 2003 S State Street.

WORK SCOPE: Per City Code Section 10.2.8.D.1, summarize the project work scope. For additions, changes of use, or occupancy (per Chapter 6 of the UDO), indicate impacts on parking requirements.

DESIGN ADJUSTMENT OR ADMIN ALTERNATE: Per City Code Chapter 6, summarize if your project requires either a design adjustment, or Section 10 - Alternate Administrative AE.

CLIENT/DEVELOPER/OWNER: Company DHIC, INC. Name (s) Natalie B. Connell. Address 113 S. Wilmington St., Raleigh, NC 27610.

CONSULTANT (Contact Person for Plans): Company JDavis Architects Name (s) Ken Thompson. Address 510 S. Wilmington St., Raleigh, NC 27601.

DEVELOPMENT TYPE & SITE DATA TABLE (Applicable to all developments). Zoning Information: Zoning District(s) CX-5-PL. Building Information: Proposed building use(s) Residential Apartments.

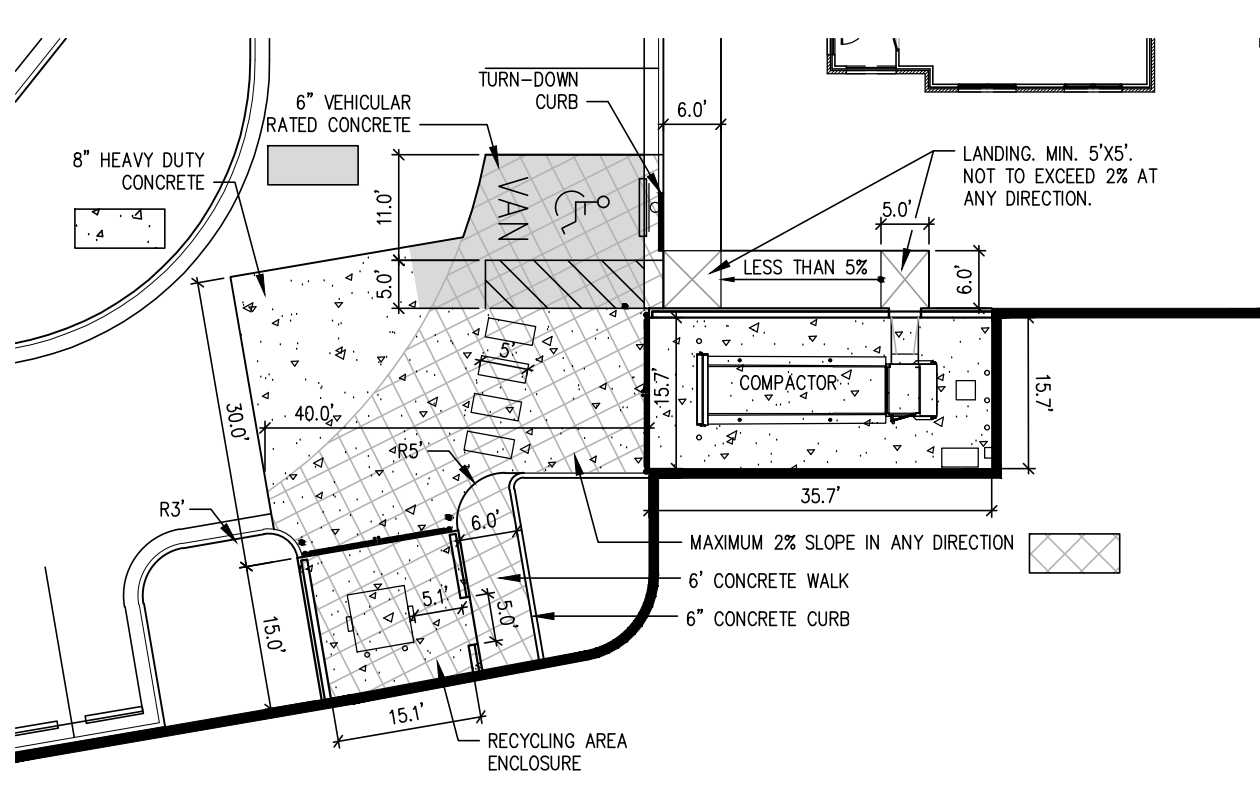
Stormwater Information: Existing Impervious Surface 0 sf. Proposed Impervious Surface 125,246 sf. Flood Hazard Area Yes No.

FOR RESIDENTIAL DEVELOPMENTS: 1. Total # of Apartment, Condominium or Residential Units 120. 2. Total # of Congregate Care or Life Care Dwelling Units 0. 3. Total Number of Hotel Units 0.

SIGNATURE BLOCK (Applicable to all developments): In filing this plan as the property owner(s), I/we do hereby agree and firmly bind ourselves, my/our heirs, executors, administrators, successors and assigns jointly and severally to construct all improvements and make all dedications as shown on this proposed development plan as approved by the City.

Signature block for Ken Thompson, dated 18 JUL 18. I hereby designate Ken Thompson to serve as my agent regarding this application, to receive and respond to administrative comments, to resubmit plans on my behalf and to represent me in any public meeting regarding this application.

Vertical sidebar containing logos for JDAVIS, dhic, and 811. Text includes 'ADMINISTRATIVE SITE REVIEW', 'PRELIMINARY', 'FOR REVIEW ONLY NOT FOR CONSTRUCTION', and 'TRANSACTION NO. 563527 (Administrative Site)'.



DETAILED DUMPSTER & COMPACTOR AREA
SCALE: 1" = 20'

OWNER: NORTH CAROLINA STATE OF
PIN: 171322876
DB: 00000, PG: 00000
ZONING(S): 03-3
USE: VACANT
191.69 AC

OWNER: THE YOUNG MEN'S CHRISTIAN ASSOCIATION OF THE TRIANGLE AREA, INC.
LOT 1
PIN: 1713-31-9948
DB: 016221, PG: 01201,
DM: 2017, PG: 2461
ZONING(S): 1K-1-P, W/ SHOD 1
USE: BUSINESS
18.758 AC

OWNER: ZHANG, YAN QING
PIN: 171320352
DB: 016127, PG: 01766
ZONING(S): R-10
W/SHOD-1
USE: VACANT
27.41 AC

OWNER: ZHANG, YAN QING
PIN: 171320352
DB: 016127, PG: 01766
ZONING(S): R-10
W/SHOD-1
USE: VACANT
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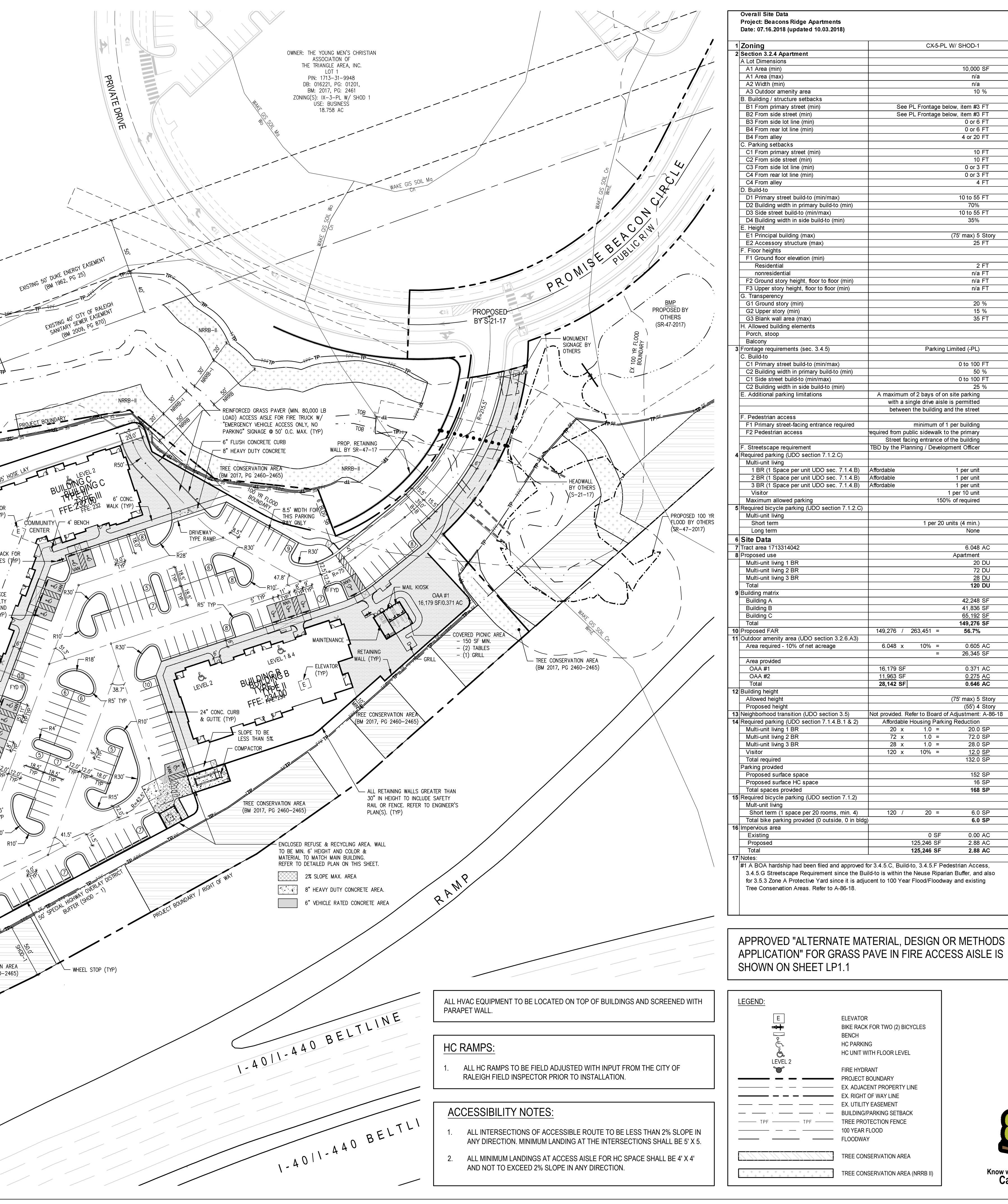
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USE: VACANT
27.41 AC



Overall Site Data
Project: Beacon Ridge Apartments
Date: 07.16.2018 (updated 10.03.2018)

1 Zoning	CX-5-PL W/ SHOD-1
2 Section 3.2.4 Apartment	
A Lot Dimensions	
A1 Area (min)	10,000 SF
A1 Area (max)	n/a
A2 Width (min)	n/a
A3 Outdoor amenity area	10 %
B Building / structure setbacks	
B1 From primary street (min)	See PL Frontage below, item #3 FT
B2 From side street (min)	See PL Frontage below, item #3 FT
B3 From side lot line (min)	0 or 6 FT
B4 From rear lot line (min)	0 or 6 FT
B4 From alley	4 or 20 FT
C Parking setbacks	
C1 From primary street (min)	10 FT
C2 From side street (min)	10 FT
C3 From side lot line (min)	0 or 3 FT
C4 From rear lot line (min)	0 or 3 FT
C4 From alley	4 FT
D Build-to	
D1 Primary street build-to (min/max)	10 to 55 FT
D2 Building width in primary build-to (min)	70 %
D3 Side street build-to (min/max)	10 to 55 FT
D4 Building width in side build-to (min)	35 %
E Height	
E1 Principal building (max)	(75' max) 5 Story
E2 Accessory structure (max)	25 FT
F Floor heights	
F1 Ground floor elevation (min)	
Residential	2 FT
nonresidential	n/a FT
F2 Ground story height, floor to floor (min)	n/a FT
F3 Upper story height, floor to floor (min)	n/a FT
G Transparency	
G1 Ground story (min)	20 %
G2 Upper story (min)	15 %
G3 Blank wall area (max)	35 FT
H Allowed building elements	
Porch, stoop	
I Signage	
3 Frontage requirements (sec. 3.4.5)	
Parking Limited (PL)	
C Build-to	
C1 Primary street build-to (min/max)	0 to 100 FT
C2 Building width in primary build-to (min)	50 %
C1 Side street build-to (min/max)	0 to 100 FT
C2 Building width in side build-to (min)	25 %
E Additional parking limitations	
A maximum of 2 bays of on site parking with a single drive aisle is permitted between the building and the street	
F Pedestrian access	
F1 Primary street-facing entrance required	minimum of 1 per building
F2 Pedestrian access	required from public sidewalk to the primary Street facing entrance of the building
F Streetscape requirement	
TBD by the Planning / Development Officer	
4 Required parking (UDO section 7.1.2 C)	
Multi-unit living	
1 BR (1 Space per unit UDO sec. 7.1.4 B)	Affordable 1 per unit
2 BR (1 Space per unit UDO sec. 7.1.4 B)	Affordable 1 per unit
3 BR (1 Space per unit UDO sec. 7.1.4 B)	Affordable 1 per unit
Visitor	1 per 10 unit
Maximum allowed parking	
150% of required	
5 Required bicycle parking (UDO section 7.1.2 C)	
Multi-unit living	
Short term	1 per 20 units (4 min)
Long term	None
6 Site Data	
7 Tract area 1713314042	6.048 AC
8 Proposed use	
Apartment	
Multi-unit living 1 BR	20 DU
Multi-unit living 2 BR	72 DU
Multi-unit living 3 BR	28 DU
Total	120 DU
9 Building matrix	
Building A	42,248 SF
Building B	41,836 SF
Building C	85,192 SF
Total	169,276 SF
10 Proposed FAR	
149,276 / 263,451 =	56.7%
11 Outdoor amenity area (UDO section 3.2.6.A.3)	
Area required - 10% of net acreage	6.048 x 10% = 0.605 AC
Area provided	26,345 SF
OAA #1	16,179 SF
OAA #2	11,963 SF
Total	28,142 SF
12 Building height	
Allowed height	(75' max) 5 Story
Proposed height	(55') 4 Story
13 Neighborhood transition (UDO section 3.5)	
Affordable Housing Parking Reduction	Not provided. Refer to Board of Adjustment: A-98-18
14 Neighborhood transition (UDO section 3.5)	
Affordable Housing Parking Reduction	Not provided. Refer to Board of Adjustment: A-98-18
Multi-unit living 1 BR	
20 x 1.0 =	20.0 SP
Multi-unit living 2 BR	72 x 1.0 =
72.0 SP	
Multi-unit living 3 BR	28 x 1.0 =
28.0 SP	
Visitor	120 x 10% =
12.0 SP	
Total required	132.0 SP
Parking provided	
Proposed surface space	152 SP
Proposed surface HC space	16 SP
Total spaces provided	168 SP
16 Required bicycle parking (UDO section 7.1.2)	
Multi-unit living	
Short term (1 space per 20 rooms, min. 4)	120 / 20 =
6.0 SP	
Total bike parking provided (0 outside, 0 in bldg)	6.0 SP
16 Impervious area	
Existing	0 SF
Proposed	125,246 SF
Total	125,246 SF
17 Notes:	
If A BDA hardship had been filed and approved for 3.4.5.C. Build-to, 3.4.5.F. Pedestrian Access, 3.4.5.G. Streetscape Requirement since the Build-to is within the Neuse Riparian Buffer, and also for 3.5.3 Zone A Protective Yard since it is adjacent to 100 Year Flood/Floodway and existing Tree Conservation Areas. Refer to A-86-18.	

EXISTING SITE DATA:

PIN NUMBER:	1713-31-4042
SITE ADDRESS:	2003 S. STATE STREET, RALEIGH, NORTH CAROLINA 27610
RECORDED MAP:	BM 2017, PG 02460-2465
DEED:	DB 016221, PG 01206
ZONING(S):	CX-5-PL (COMMERCIAL MIXED USE, 5 STORES, PARKING LIMITED)
OVERLAY:	SHOD-1 (SPECIAL HIGHWAY OVERLAY DISTRICT-1)
ACREAGE:	6.048 AC
BUILDABLE:	4.757 AC
EXISTING USE:	VACANT
ALLUVAL SOIL:	Wo
FEMA MAP PANEL #:	1713

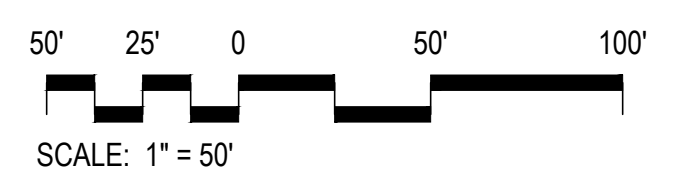
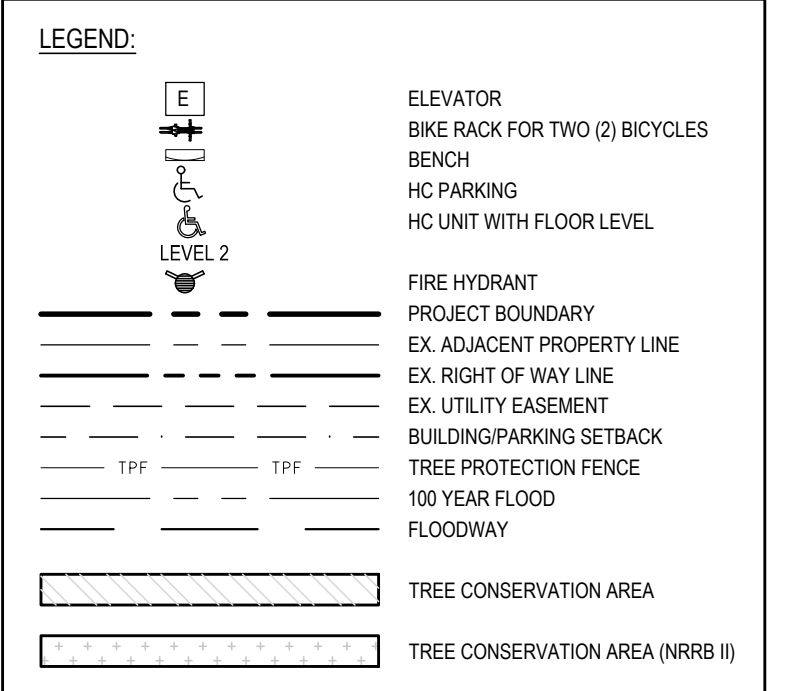
- GENERAL NOTES:
- ALL CONSTRUCTION SHALL BE IN ACCORDANCE WITH CITY OF RALEIGH AND/OR NCDOT STANDARDS.
 - THE CONTRACTOR SHALL CONDUCT THE WORK IN A SAFE MANNER AND WITH A MINIMUM AMOUNT OF INCONVENIENCE TO TRAFFIC.
 - THE CONTRACTOR SHALL BE RESPONSIBLE FOR ALL TRAFFIC CONTROL AND SHALL ADHERE TO THE PROVISIONS OF THE MUTCD (MOST CURRENT EDITION).
 - PRIOR TO START OF WORK A PRE-CONSTRUCTION MEETING MUST BE SET UP WITH THE CONTRACTOR AND CITY OF RALEIGH TRANSPORTATION FIELD SERVICES STAFF. CONTACT ENGINEERING INSPECTORS AT 919-996-2469 TO SET UP THE MEETING.
 - THE CONTRACTOR SHALL OBTAIN A RIGHT-OF-WAY CLOSURE PERMIT FOR ANY WORK WHICH REQUIRES THE TEMPORARY CLOSURE OF A STREET, TRAVEL LANE, PARKING SPACE OR SIDEWALK FROM RIGHT-OF-WAY SERVICES AT LEAST 48 HOURS IN ADVANCE.
 - ANY TEMPORARY STREET CLOSURE MUST BE SUBMITTED 2 WEEKS PRIOR MINIMUM TO THE START OF THE WORK. SEE "RIGHT-OF-WAY CLOSURES" ON WWW.RALEIGHNC.GOV AND SEND THE RIGHT-OF-WAY OBSTRUCTION PERMIT TO RIGHTOFWAYSERVICES@RALEIGHNC.GOV.
 - ANY CONTRACTOR OR PROJECT MANAGER THAT IS WORKING ON A CITY PROJECT SHALL SUBMIT A NOTIFICATION TO THE RW OBSTRUCTION APPLICATION FOR EMERGENCY MAINTENANCE WORK PRIOR TO THE START OF THE WORK.
 - PRIOR TO CONSTRUCTION BEGINNING, ALL SIGNAGE AND TRAFFIC CONTROL SHALL BE IN PLACE.
 - THE CONTRACTOR SHALL REPAIR ALL DAMAGED INFRASTRUCTURE IN THE RIGHT-OF-WAY AND RESTORE IT TO PREVIOUS OR BETTER CONDITION.
 - THE CONTRACTOR SHALL REPAIR ANY DAMAGES TO ADJACENT PROPERTIES AND RESTORE IT TO PREVIOUS OR BETTER CONDITION.
 - ALL SIDEWALKS MUST BE ACCESSIBLE TO PERSONS WHO ARE VISUALLY IMPAIRED AND PEOPLE WITH MOBILITY DISABILITIES. PEDESTRIAN EXISTING ROUTES AND ALTERNATE PEDESTRIAN ROUTES DURING CONSTRUCTION WILL BE REQUIRED TO BE COMPLIANT WITH THE PUBLIC RIGHTS OF WAY ACCESSIBILITY GUIDELINES (PROWAG), 2010 ADA STANDARDS FOR ACCESSIBLE DESIGN AND THE MANUAL ON UNIFORM TRAFFIC CONTROL DEVICES (MUTCD).
 - IF UNFORESEEN CONDITIONS DEVELOP DURING CONSTRUCTION, REFER TO "CITY OF RALEIGH STREET DESIGN MANUAL" AND CONTACT THE DEVELOPMENT SERVICES RIGHT-OF-WAY SERVICE PERMITTING COORDINATOR AT (919) 996-2483.
 - PRIOR TO START OF CONSTRUCTION, THE CONTRACTOR SHALL SCHEDULE A MEETING WITH THE DEVELOPMENT SERVICES RIGHT-OF-WAY SERVICE PERMITTING COORDINATOR AT (919) 996-2483.
 - IF CONSTRUCTION PLANS FOR PUBLIC AND PRIVATE STREETS OR UTILITIES SHOWN ON THIS PLAN ARE REQUIRED, THEY MUST BE APPROVED BY THE PUBLIC WORKS DEPARTMENT AND PUBLIC UTILITIES DEPARTMENT PRIOR TO ISSUANCE OF PERMITS OR RECORDING OF ANY PLAN FOR THIS DEVELOPMENT.
 - FIELD ADJUSTMENTS TO THIS PLAN MAY BE REQUIRED BY CITY OF RALEIGH INSPECTOR AS NEEDED DURING CONSTRUCTION.
 - ALL SURVEY INFORMATION PROVIDED TO JDAVIS ARCHITECTS BY WITHERSRAVELIN IN CARY, NORTH CAROLINA IN DIGITAL FORMAT IN JANUARY, 2018, AND SUPPLEMENTAL INFORMATION WAS OBTAINED FROM WAKE COUNTY GIS IN JUNE, 2018.
 - UNLESS NOTED, ACCESS ROUTE FOR EMERGENCY VEHICLES SHALL PROVIDE AN INSIDE TURNING RADIUS OF 28' MINIMUM.
 - UNLESS NOTED, ALL DIMENSIONS SHOWN ARE TO BACK OF CURB.
 - TRASH AND CARDBOARD DUMPSTER(S)/COMPACTOR(S) ENCLOSURE SHALL BE SOLID WALL AT MINIMUM 6 FEET HEIGHT AND SHALL BE COMPATIBLE WITH MATERIAL AND/OR COLOR OF THE PRINCIPAL BUILDING.
 - ALL HVAC EQUIPMENT TO BE LOCATED ON TOP OF BUILDINGS AND SCREENED WITH PARAPET WALL.
 - CONTRACTOR TO FIELD LOCATE AND VERIFY ALL EXISTING UTILITIES PRIOR TO CONSTRUCTION AND REPORT ANY DISCREPANCIES TO LANDSCAPE ARCHITECT PRIOR TO CONSTRUCTION ACTIVITIES. CONTACT NC ONE AT 811 FOR FIELD LOCATION OF UNDERGROUND UTILITIES.
 - HANDICAP PARKING SPACE(S) AND HC ACCESS AISLE(S) SHALL BE NO GREATER THAN TWO PERCENT (2%) PITCH IN ANY DIRECTION(S) AS PER ADA STANDARDS.
 - PROVIDE SIGNAGE AND STRIPING OF HANDICAP SPACES AS PER ADA STANDARDS.
 - ALL RETAINING WALLS GREATER THAN 30" IN HEIGHT TO INCLUDE SAFETY RAIL OR FENCE.
 - THE MINIMUM CORNER CLEARANCE FROM THE CURB LINE OF INTERSECTING STREETS SHALL BE AT LEAST 20 FEET FROM THE POINT OF TANGENCY OF THE CURB. NO DRIVEWAYS SHALL ENCRUSH ON THIS MINIMUM CORNER CLEARANCE.
 - WC ACCESS RAMPS WILL BE PROVIDED IN ACCORDANCE WITH CITY OF RALEIGH PUBLIC WORKS DEPARTMENT STANDARDS, PROWAG STANDARDS AND ADAAG SPECIFICATIONS.
 - ALL RAMPS AND HANDRAILS SHALL BE CONFORM TO ANSI STANDARDS.
 - ALL ABOVE GROUND UTILITY DEVICES TO INCLUDE BUT NOT LIMITED TO TELEPHONE AND CABLE PEDESTALS, ELECTRICAL TRANSFORMERS, BACKFLOW DEVICE HOTBOX, ETC) SHALL BE SCREENED FROM OFF-SITE VIEW BY EVERGREEN SHRUBS, FENCE, OR WALL.
 - GENERAL UTILITY PLACEMENT EASEMENT IS FOR INSTALLATION OF PRIVATE UTILITIES.

APPROVED "ALTERNATE MATERIAL, DESIGN OR METHODS APPLICATION" FOR GRASS PAVE IN FIRE ACCESS AISLE IS SHOWN ON SHEET LP.1

REFERENCE: S-21-17 & SR-47-17; A-86-18; DA-91-2018

SR-68-18

SITE PLAN



ALL HVAC EQUIPMENT TO BE LOCATED ON TOP OF BUILDINGS AND SCREENED WITH PARAPET WALL.

HC RAMPS:

- ALL HC RAMPS TO BE FIELD ADJUSTED WITH INPUT FROM THE CITY OF RALEIGH FIELD INSPECTOR PRIOR TO INSTALLATION.

ACCESSIBILITY NOTES:

- ALL INTERSECTIONS OF ACCESSIBLE ROUTE TO BE LESS THAN 2% SLOPE IN ANY DIRECTION. MINIMUM LANDING AT THE INTERSECTIONS SHALL BE 5' X 5'.
- ALL MINIMUM LANDINGS AT ACCESS AISLE FOR HC SPACE SHALL BE 4' X 4' AND NOT TO EXCEED 2% SLOPE IN ANY DIRECTION.

JDAVIS ARCHITECTS
 510 South Wilmington Street | Raleigh, NC 27601 | Tel: 919.835.1500
 1518 Walnut St. Suite 1308 | Philadelphia, PA 19102 | Tel: 215.545.0121
 SR-68-18
 TRANSACTION NO. 563527 (Administrative Site)

DHIC Inc.
 Beacon Ridge
 2003 S. State Street
 Raleigh, North Carolina 27610

PRELIMINARY

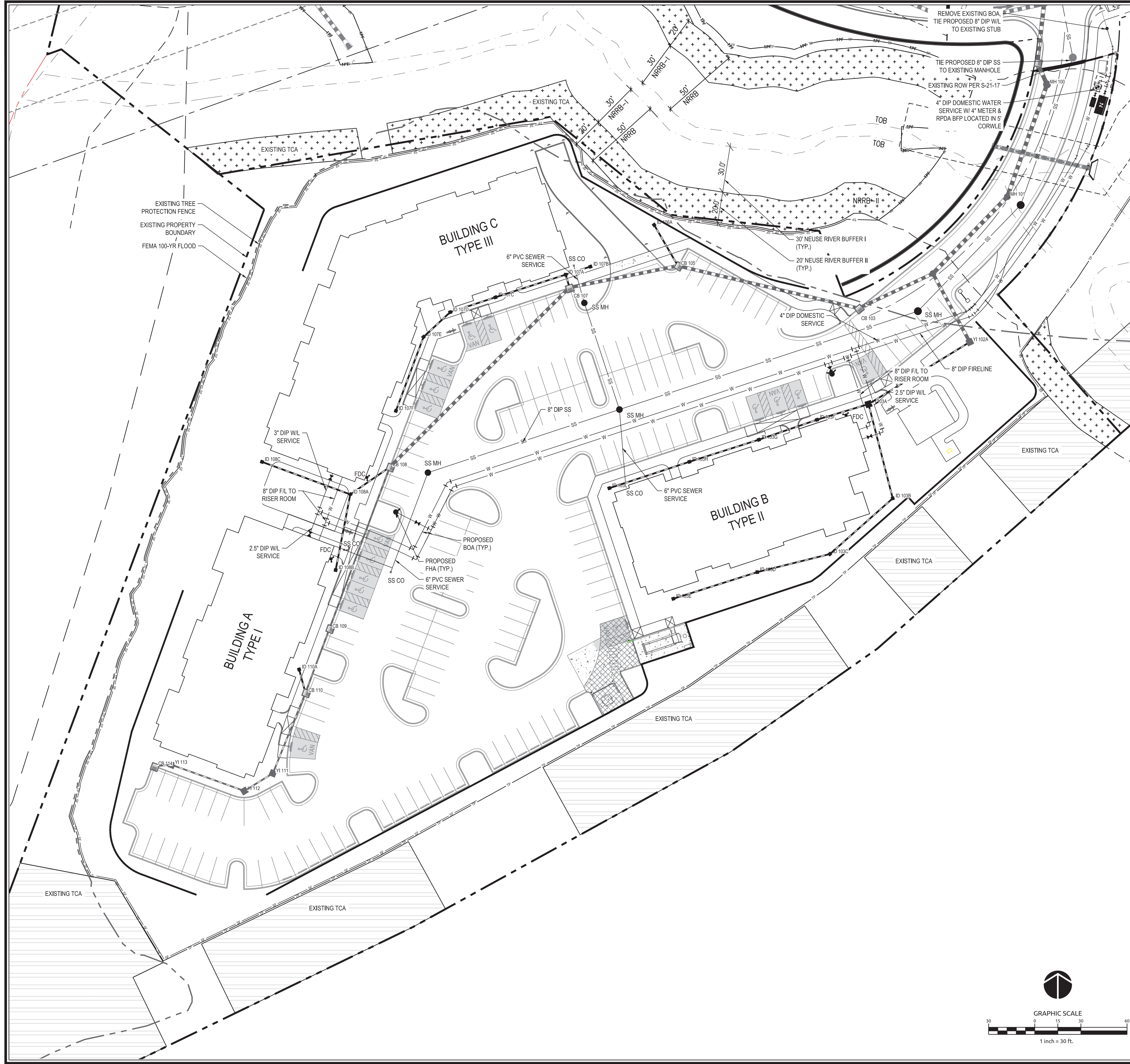
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PROJECT:	DATE
DHIC-18024	
ISSUE:	DATE
Administrative Site	07.23.2018
REVISIONS:	
1st Review Comments	08.20.2018
2nd Review Comments	10.08.2018
3rd Review Comments	11.01.2018
DRAWN BY:	KT, SB, CHK
CHECKED BY:	KT
CONTENT:	SITE PLAN

LS1.1

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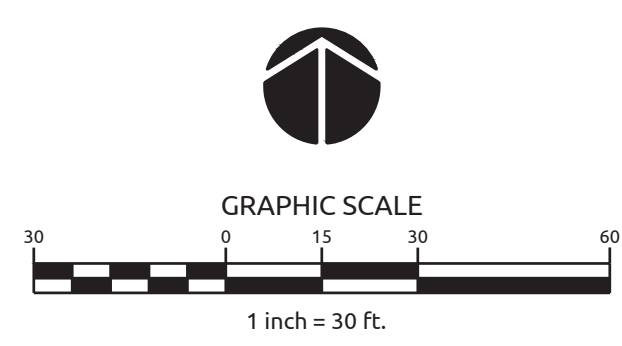
- STANDARD UTILITY NOTES (AS APPLICABLE):**
- ALL MATERIALS & CONSTRUCTION METHODS SHALL BE IN ACCORDANCE WITH CITY OF RALEIGH DESIGN STANDARDS, DETAILS & SPECIFICATIONS (REFERENCE: CORPUD HANDBOOK, CURRENT EDITION)
 - UTILITY SEPARATION REQUIREMENTS:
 - A DISTANCE OF 10' SHALL BE MAINTAINED BETWEEN SANITARY SEWER & ANY PRIVATE OR PUBLIC WATER SUPPLY SOURCE SUCH AS AN IMPROVED RESERVOIR USED AS A SOURCE OF DRINKING WATER. IF ADEQUATE LATERAL SEPARATION CANNOT BE ACHIEVED, FERROUS SANITARY SEWER PIPE SHALL BE SPECIFIED & INSTALLED TO WATERLINE SPECIFICATIONS. HOWEVER, THE MINIMUM SEPARATION SHALL NOT BE LESS THAN 2' FROM A PRIVATE WELL OR 50' FROM A PUBLIC WELL.
 - WHEN INSTALLING WATER &/OR SEWER MAINS, THE HORIZONTAL SEPARATION BETWEEN UTILITIES SHALL BE 10' IF THIS SEPARATION CANNOT BE MAINTAINED DUE TO EXISTING CONDITIONS, THE VARIATION ALLOWED IS THE WATER MAIN IN A SEPARATE TRENCH WITH THE ELEVATION OF THE WATER MAIN AT LEAST 18" ABOVE THE TOP OF THE SEWER & MUST BE APPROVED BY THE PUBLIC UTILITIES DIRECTOR.
 - WHERE IT IS IMPOSSIBLE TO OBTAIN PROPER SEPARATION, OR ANYTIME A SANITARY SEWER PASSES OVER A WATERMAIN, DP MATERIALS OR STEEL ENCASEMENT EXTENDED 10' ON EACH SIDE OF CROSSING MUST BE SPECIFIED & INSTALLED TO WATERLINE SPECIFICATIONS.
 - 5/2" MINIMUM HORIZONTAL SEPARATION IS REQUIRED BETWEEN ALL SANITARY SEWER & STORM SEWER FACILITIES UNLESS DP MATERIAL IS SPECIFIED FOR SANITARY SEWER.
 - MAINTAIN 18" MIN. VERTICAL SEPARATION AT ALL WATERMAIN & RCP STORM DRAIN CROSSINGS. MAINTAIN 24" MIN. VERTICAL SEPARATION AT ALL SANITARY SEWER & RCP STORM DRAIN CROSSINGS. WHERE ADEQUATE SEPARATIONS CANNOT BE ACHIEVED, SPECIFY DP MATERIALS & A CONCRETE CRADLE HAVING 6" MIN. CLEARANCE PER CORPUD DETAILS W-41 & S-49.
 - ALL OTHER UNDERGROUND UTILITIES SHALL CROSS WATER & SEWER FACILITIES WITH 18" MIN. VERTICAL SEPARATION REQUIRED.
 - ANY NECESSARY FIELD REVISIONS ARE SUBJECT TO REVIEW & APPROVAL OF AN AMENDED PLAN &/OR PROFILE BY THE CITY OF RALEIGH PUBLIC UTILITIES DEPARTMENT PRIOR TO CONSTRUCTION.
 - CONTRACTOR SHALL MAINTAIN CONTINUOUS WATER & SEWER SERVICE TO EXISTING RESIDENCES & BUSINESSES THROUGHOUT CONSTRUCTION OF PROJECT. ANY NECESSARY SERVICE INTERRUPTIONS SHALL BE PRECEDED BY A 24 HOUR ADVANCE NOTICE TO THE CITY OF RALEIGH PUBLIC UTILITIES DEPARTMENT.
 - 3/2" MINIMUM COVER IS REQUIRED ON ALL WATER MAINS & SEWER FOREMANS. 4/2" MINIMUM COVER IS REQUIRED ON ALL REUSE MAINS.
 - IT IS THE DEVELOPER'S RESPONSIBILITY TO ABANDON OR REMOVE EXISTING WATER & SEWER SERVICES NOT BEING USED IN REDEVELOPMENT OF A SITE UNLESS OTHERWISE DIRECTED BY THE CITY OF RALEIGH PUBLIC UTILITIES DEPARTMENT. THIS INCLUDES ABANDONING TAP AT MAIN & REMOVAL OF SERVICE FROM ROW OR EASEMENT PER CORPUD HANDBOOK PROCEDURE.
 - INSTALL 4" DUCTILE IRON WATER SERVICE WITH METER LOCATED AT ROW OR WITHIN A 2' X2' WATERLINE EASEMENT IMMEDIATELY ADJACENT. NOTE: IT IS THE APPLICANT'S RESPONSIBILITY TO PROPERLY SIZE THE WATER SERVICE FOR EACH CONNECTION TO PROVIDE ADEQUATE FLOW & PRESSURE.
 - INSTALL 6" PVC SEWER SERVICES @ 1.0% MINIMUM GRADE WITH CLEANOUTS LOCATED AT ROW OR EASEMENT LINE & SPACED EVERY 75' LINEAR FEET MAXIMUM.
 - PRESSURE REDUCING VALVES ARE REQUIRED ON ALL WATER SERVICES EXCEEDING 80 PSI. BACKFLOW VALVES ARE REQUIRED ON ALL SANITARY SEWER SERVICES HAVING BUILDING DRAINS LOWER THAN 1' ABOVE THE NEXT UPSTREAM MANHOLE.
 - ALL ENVIRONMENTAL PERMITS APPLICABLE TO THE PROJECT MUST BE OBTAINED FROM NCDOW, USACE & OR FEMA FOR ANY RRRIAN BUFFER, WETLAND &/OR FLOODPLAIN IMPACTS (RESPECTIVELY) PRIOR TO CONSTRUCTION.
 - NCDOT RAILROAD ENCROACHMENT AGREEMENTS ARE REQUIRED FOR ANY UTILITY WORK (INCLUDING MAIN EXTENSIONS & SERVICE TAPS) WITHIN STATE OR RAILROAD ROW PRIOR TO CONSTRUCTION.
 - GREASE INTERCEPTOR / OIL WATER SEPARATOR SIZING, CALCULATIONS & INSTALLATION SPECIFICATIONS SHALL BE APPROVED BY THE CORPUD FOG PROGRAM COORDINATOR PRIOR TO ISSUANCE OF A BUILDING PERMIT. CONTACT TIM BEASLEY AT (919) 996-9234 OR [TIMOTHY.BEASLEY@RALEIGHNC.GOV](mailto:timothy.beasley@raleighnc.gov) FOR MORE INFORMATION.
 - CROSS-CONNECTION CONTROL PROTECTION DEVICES ARE REQUIRED BASED ON DEGREE OF HEALTH HAZARD INVOLVED AS LISTED IN APPENDIX-B OF THE RULES GOVERNING PUBLIC WATER SYSTEMS IN NORTH CAROLINA. THESE GUIDELINES ARE THE MINIMUM REQUIREMENTS. THE DEVICES SHALL MEET AMERICAN SOCIETY OF SANITARY ENGINEERING (ASSE) STANDARDS OR BE ON THE UNIVERSITY OF SOUTHERN CALIFORNIA APPROVAL LIST. THE DEVICES SHALL BE INSTALLED & TESTED (BOTH INITIAL AND PERIODIC TESTING THEREAFTER) IN ACCORDANCE WITH THE MANUFACTURER'S RECOMMENDATIONS OR THE LOCAL CROSS-CONNECTION CONTROL PROGRAM, WHICHEVER IS MORE STRINGENT. CONTACT JOANNE HARTLEY AT (919) 996-9923 OR [JOANNE.HARTLEY@RALEIGHNC.GOV](mailto:joanne.hartley@raleighnc.gov) FOR MORE INFORMATION.

Project Water System Data:

1. Add the total # domestic water services ≥ 15 , OR the total # people served ≥ 257 .
2. Type of development* (select one):
 - Commercial projects
 - Residential Condominium Townhomes
 - Residential Apartments
3. NOTE: permitting by City of Raleigh on projects having ≥ 15 domestic water services, OR serving ≥ 25 people, requires Developer S022 for rec'd water use. Must have a WR designation from NCCOC for Apartment projects only.

LEGEND

WATER VALVE	
CATCH BASIN	
SANITARY MANHOLE	
BLOW OFF VALVE	
TREE GRATE	
PROJECT BOUNDARY LINE	
ADJACENT PROPERTY LINE	
RIGHT OF WAY	
SANITARY SEWER LINE	
STORM DRAINAGE LINE	
WATER LINE	
MAJOR CONTOUR LINE	
MINOR CONTOUR LINE	



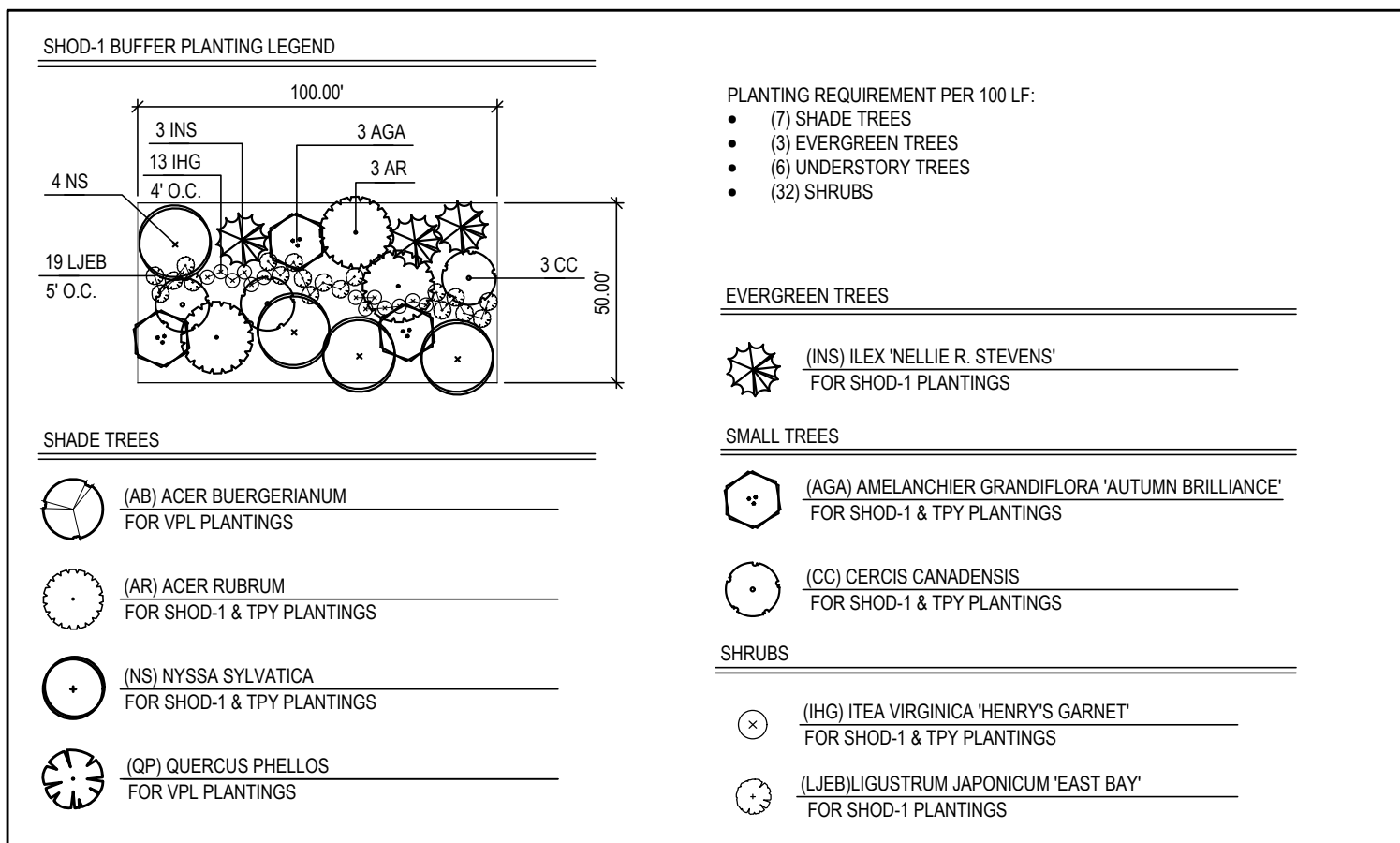
ALL CONSTRUCTION SHALL BE IN ACCORDANCE WITH CURRENT CITY OF RALEIGH STANDARDS AND SPECIFICATIONS AND NCDOT, IF APPLICABLE

Job No.	02180605.00	Drawn By	CDT
Date	07/23/18	Designer	CDT

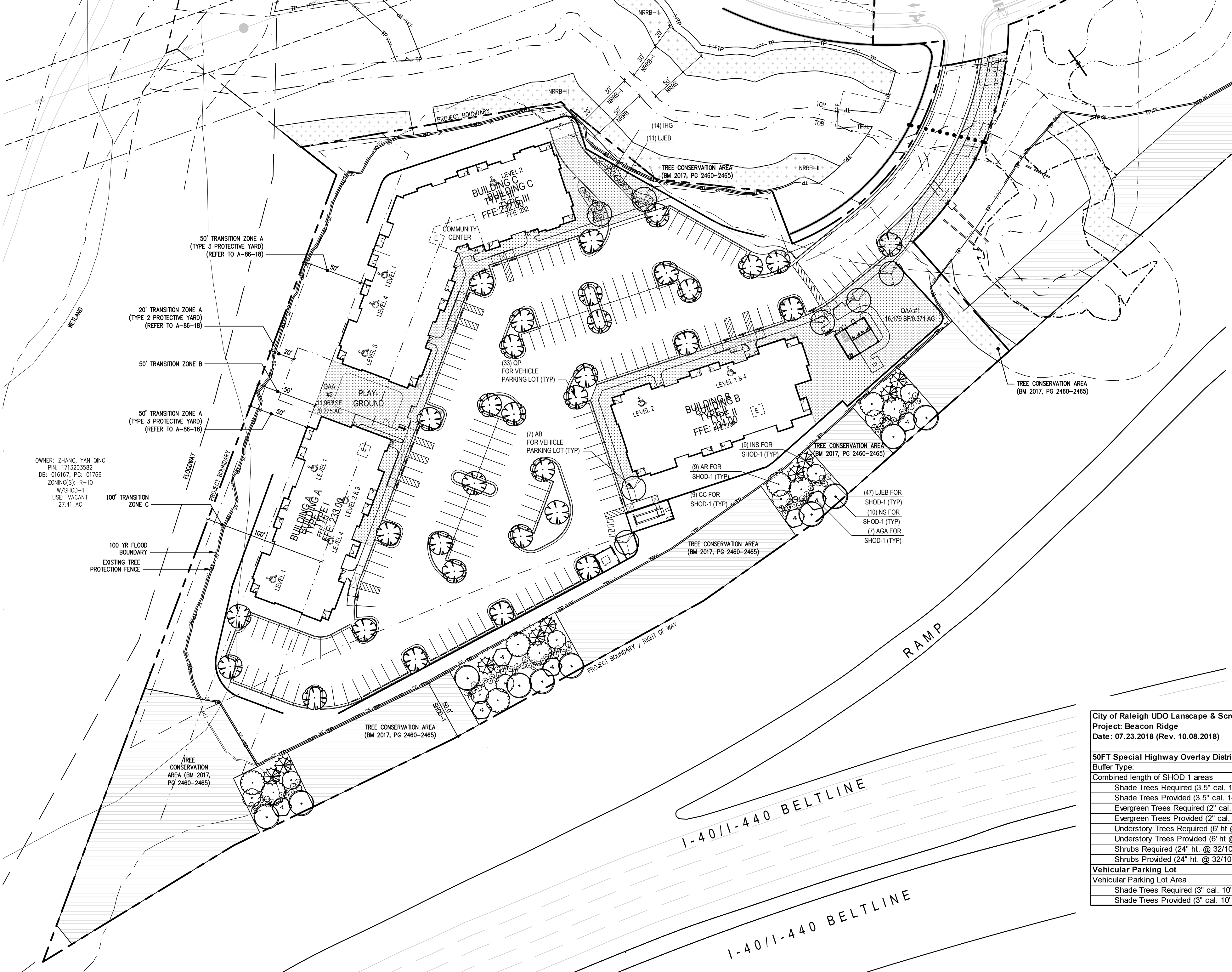
PRELIMINARY
NOT APPROVED FOR
CONSTRUCTION

Revisions

1	PER COR COMMENTS	08.20.18
2	PER COR COMMENTS	10.07.18
3	PER COR COMMENTS	10.31.18



OWNER: NORTH CAROLINA STATE OF
 PIN: 171322876
 DB: 00000, PG: 00000
 ZONING(S): OX-3
 USE: VACANT
 191.69 AC



- LANDSCAPE NOTES**
- CONTRACTOR TO FIELD VERIFY LOCATION AND DEPTH OF UTILITIES PRIOR TO INSTALLATION
 - THE PLAN DEPICTS REQUIRED PLANTINGS REQUIRED BY THE CITY OF RALEIGH
 - ALL PLANT MATERIAL TO COMPLY WITH AMERICAN STANDARD FOR NURSERY STOCK BY THE AMERICAN ASSOCIATION OF NURSERYMEN, INC.
 - LOCATION OF PLANT MATERIAL TO BE REVIEWED BY LANDSCAPE ARCHITECT PRIOR TO INSTALLATION.
 - ALL CONSTRUCTION TO CONFORM TO THE STANDARDS AND SPECIFICATIONS OF THE CITY OF RALEIGH.
 - ALL PLANTING BEDS ARE TO BE MULCHED TO A MINIMUM DEPTH OF 3". DOUBLE SHREDDED HARDWOOD MULCH, DYED BROWN, 2" MAXIMUM PARTICLE SIZE. NO PINE STRAW PERMITTED.
 - ALL LAWN AREAS TO BE SEEDED AS PER MANUFACTURE'S SEEDING SPECIFICATIONS OR SOODED. ALL DISTURBED AREA SHALL EITHER BE MULCH OR LAWN.
 - ALL PLANTS TO BE COMPACT, UNIFORM AND WELL GROWN.
 - WITHIN THE SIGHT TRIANGLES SHOWN ON THIS PLAN, NO OBSTRUCTION BETWEEN 2 FEET AND 8 FEET IN HEIGHT ABOVE THE CURB LINE ELEVATION SHALL BE LOCATED IN WHOLE OR PART. OBSTRUCTIONS INCLUDE BUT ARE NOT LIMITED TO ANY BERM, FOLIAGE, FENCE, WALL, SIGN, OR PARKED VEHICLE.
 - ALL UTILITY DEVICES (TO INCLUDE, BUT NOT LIMITED TO TELEPHONE AND CABLE PEDESTALS, ELECTRICAL TRANSFORMERS, BACKFLOW-DEVICE HOTBOX, ETC) SHALL BE SCREENED FROM OFF-SITE VIEW BY EVERGREEN SHRUBS, FENCE, OR WALL.
 - PLANTING SOIL MIXTURE (BACKFILL MATERIAL) FOR CITY TREES WITHIN PUBLIC RIGHT OF WAY, REFER TO CITY TREE MANUAL. NATIVE SOIL SHALL BE USED FOR NO MORE THAN 50% OF THE BACKFILL USED IN EXCAVATED PLANT PITS. 100% OF NATIVE SOIL IS ACCEPTABLE FOR CONSTRUCTION OF REQUIRED SAUCERS AROUND PLANTS. NATIVE BACKFILL MATERIAL SHALL BE BLENDED WITH A MIXTURE CONSISTING OF 50% COMPOST, 10% CLAY LOAM, 15% FINE BARK SOIL, CONDITIONER AND 25% SANDY LOAM. COMPOST SHALL CARRY U.S. COMPOST COUNCIL SEAL OF ASSURANCE.
 - ALL CONFLICTS BETWEEN PROPOSED LANDSCAPE, UTILITIES AND STORMWATER WILL BE RESOLVED PRIOR TO APPLICATION FOR BUILDING PERMITS. UTILITY AND STORMWATER PLANS DEPICTED IN THIS SUBMITTAL ARE PRELIMINARY AND ARE SUBJECT TO CHANGE WITH THE DEVELOPMENT OF CONSTRUCTION DOCUMENTS.
 - A TREE IMPACT PERMIT IS REQUIRED PRIOR TO ISSUANCE OF ANY BUILDING PERMITS.
 - STREET TREES SHALL BE INSTALLED AND MAINTAINED IN ACCORDANCE WITH THE REQUIREMENTS OF CHAPTER 2 OF THE RALEIGH CITY TREE MANUAL.
 - MIN. 20' DISTANCE SHALL BE PROVIDED BETWEEN LIGHT POLES AND TREE TRUNKS.
 - TREES SHOULD NOT BE IN THE CURVE TRANSITIONING FROM ONE STREET TO ANOTHER.
 - TREES WITHIN 20 FT. TO POWER LINE(S) SHOULD BE UNDERSTORY TREES.
 - WHEREVER THERE IS A STOP SIGN, THE FIRST TREE SHOULD BE 30 FT. BACK, AND 10 FT. FROM DRIVEWAYS & UTILITY POLES.



PLANT LIST - THIS SHEET ONLY

QTY	SYM	BOTANICAL NAME	COMMON NAME	CALIPER	HEIGHT	REMARKS
TREES						
7	AB	Acer buergerianum	Trident Maple	3" MIN.	10'	VPL
7	AGA	Amelanchier grandiflora 'Autumn Brilliance'	Autumn Brilliance Serviceberry	1-1/2" MIN.	6' MIN.	SHOD-1, TYP
9	AR	Acer rubrum	Red Maple	3" MIN.	10'	SHOD-1, TYP
9	CC	Ceris canadensis	Eastern Redbud	1-1/2" MIN.	6' MIN.	SHOD-1, TYP
9	INS	Ilex 'Nellie R. Stevens'	Nellie R Stevens Holly	2" MIN.	8'	SHOD-1
10	NS	Nyssa sylvatica	Black Gum	3" MIN.	10'	SHOD-1, TYP
33	QP	Quercus phellos	Willow Oak	3" MIN.	10'	VPL
SHRUBS						
48	IHG	Itea virginica 'Henry's Garnet'	Henry's Garnet Sweetspire	24" MIN.	SHOD-1, TYP	
58	LJEB	Ligustrum japonicum 'East Bay'	East Bay Privet	24" MIN.	SHOD-1, TYP	

Raleigh Fire Department
 Office of the Fire Marshal
 310 W. Martin Street, Suite 200
 Raleigh, NC 27602
 Office: (919) 968-6392

Alternate Material, Design or Methods Application

Transaction No. 563527
 Design Professional: Ken Thompson Phone #: 919-835-1500

Signature: *[Signature]*

Building Address: 2003 S State Street

Alternate Material, Design or Methods Application requires 10 business days for review. In accordance with 2012 NORTH CAROLINA ADMINISTRATIVE CODE AND POLICIES Section 105 Alternative Material, Design or Methods.

I am requesting review of an alternate or modification to the provisions of Section 503.2.3 Surface of the 2012 North Carolina Fire Prevention CODE.

This code section requires: Fire apparatus access roads shall be designed and maintained to support the imposed loads of fire apparatus and shall be surfaced so as to provide all-weather driving capabilities.

Proposed Alternate: (Include drawings to clearly illustrate request, before and after if appropriate)

Minimum 80,000 LB load reinforced grass paver for Fire Truck Access Aisle is proposed. See attached plan.

Reason for Request:
To minimize impervious area and impact since this site has limited allowable impervious are remain, and since the proposed fire access aisle is encroaching into 100 year flood boundary.

Request For Alternate Material, Design or Methods

Staff Use Only
 Page 2 of 2

Date Received: 10/5/2018

Evaluation of Proposal by: RFD Office of the Fire Marshal

Suitability: _____

Strength: _____

Effectiveness: _____

Fire Resistance: _____

Durability: _____

Safety: _____

Sanitation: _____

Recommended Action: APPROVE DENY By: Asst. Fire Marshal S. Berry

Conditions: _____

Additional Information on Proposed Alternate: _____

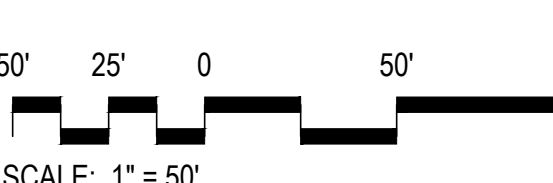
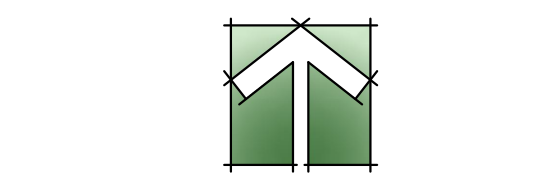
Approved by: *[Signature]* Date: 10/5/2018

ALL HVAC EQUIPMENT TO BE LOCATED ON TOP OF BUILDINGS AND SCREENED WITH PARAPET WALL.

REFERENCE: S-21-17 & SR-47-17; A-86-18; DA-91-2018

SR-68-18

LANDSCAPE PLAN



City of Raleigh UDO Landscape & Screening Requirements
 Project: Beacon Ridge
 Date: 07.23.2018 (Rev. 10.08.2018)

50FT Special Highway Overlay District 1 Buffer

Buffer Type:					SHOD-1
Combined length of SHOD-1 areas					255 LF
Shade Trees Required (3.5" cal. 14' ht @ 7/100 LF)	255 x 0.07 =				17.9 EA
Shade Trees Provided (3.5" cal. 14' ht @ 7/100 LF)					19 EA
Evergreen Trees Required (2" cal. 8' ht @ 3/100 LF)	255 x 0.03 =				7.7 EA
Evergreen Trees Provided (2" cal. 8' ht @ 3/100 LF)					9 EA
Understory Trees Required (8' ht @ 6/100 LF)	255 x 0.06 =				15.3 EA
Understory Trees Provided (8' ht @ 6/100 LF)					16 EA
Shrubs Required (24" ht. @ 32/100 LF)	255 x 0.32 =				81.6 EA
Shrubs Provided (24" ht. @ 32/100 LF)					82 EA
Vehicular Parking Lot					
Vehicular Parking Lot Area					72,345 SF
Shade Trees Required (3" cal. 10' ht per 2,000 sf)	72345 / 2000				36.2 EA
Shade Trees Provided (3" cal. 10' ht)					40 EA

JDAVIS
 510 South Wilmington Street | Raleigh, NC 27601 | Tel: 919.835.1500
 1518 Walnut St. Suite 1308 | Philadelphia, PA 19102 | Tel: 215.545.0121

dhic
 HOME TO OPPORTUNITY

DHIC Inc.
Beacon Ridge
 2003 S. State Street
 Raleigh, North Carolina 27610

PRELIMINARY

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PROJECT:	DATE
DHIC-18024	07.23.2018
ISSUE:	Administrative Site
REVISIONS:	
1st Review Comments	08.20.2018
2nd Review Comments	10.08.2018
3rd Review Comments	11.01.2018
DRAWN BY:	KT, SB, CHK
CHECKED BY:	KT
CONTENT:	LANDSCAPE PLAN

TRANSACTION NO. 563527 (Administrative Site)

DATE: 10/31/2018 2:02 PM P:\18024\18024_MW2BeaconRidge_LP1.dwg (P1) 8/24/2018 4:59:58 PM

ELEVATION NOTES:
 -PROVIDE CONTROL JOINTS (CJ) IN BRICK PER DETAIL 8/A9.07.
 COLOR OF SEALANT AT CONTROL JOINT SHALL MATCH MORTAR COLOR.
 -ANCHOR BOTH SIDES OF CONTROL JOINTS (CJ).
 -COORDINATE MECHANICAL INTAKE AND EXHAUST LOCATIONS
 W/ARCHITECT PRIOR TO INSTALLATION. EXTERIOR DRYER VENTS MUST
 BE MECHANICALLY SECURED TO SIDING AND BRICK VENEER.

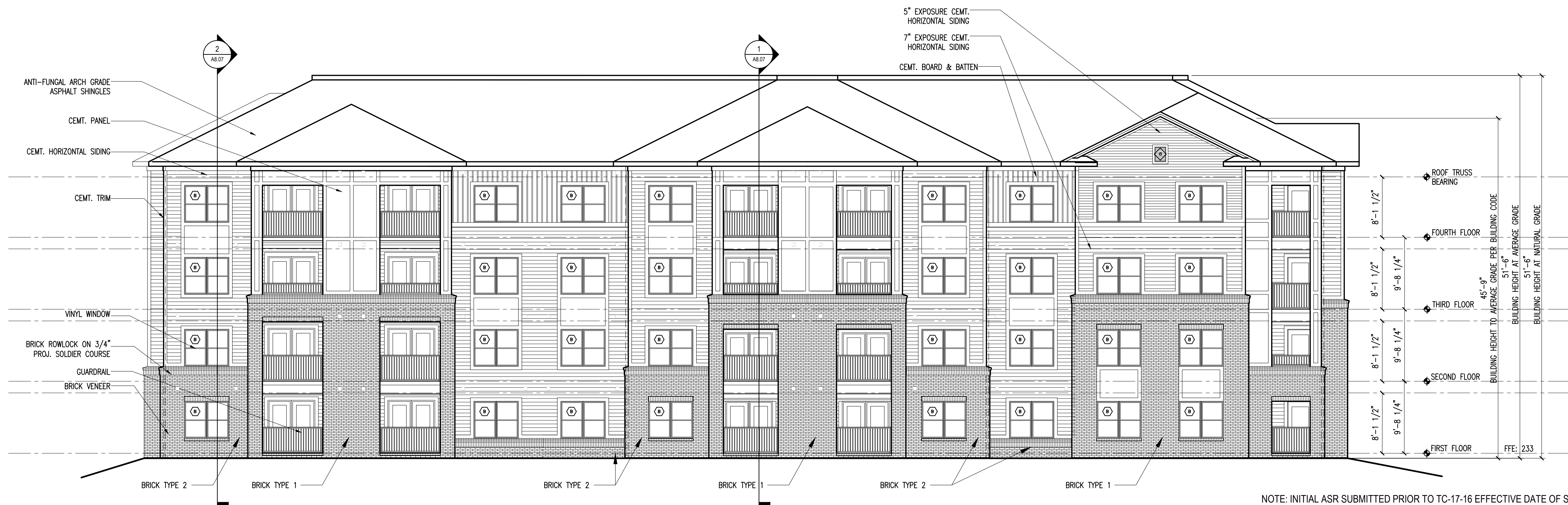
LOUVER VENT SCHEDULE:

- ◊ 18"x24" GABLE VENT
- ◊ 12"x18" GABLE VENT



BUILDING TYPE 1 FRONT ELEVATION
 SCALE: 1/8" = 1'-0"

2



NOTE: INITIAL ASR SUBMITTED PRIOR TO TC-17-16 EFFECTIVE DATE OF SEPTEMBER 1, 2018

BUILDING TYPE 1 REAR ELEVATION
 SCALE: 1/8" = 1'-0"

1

10/21/2018 4:14 PM P:\18024_MDC\Beacon45_ARCH\REVISED_Sheets\18024-A3.01-A3.07.dwg

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PROJECT:	18024	DATE
ISSUE:	1st Review Comments	08.20.2018
	2nd Review Comments	10.08.2018
	3rd Review Comments	11.01.2018

REVISIONS:

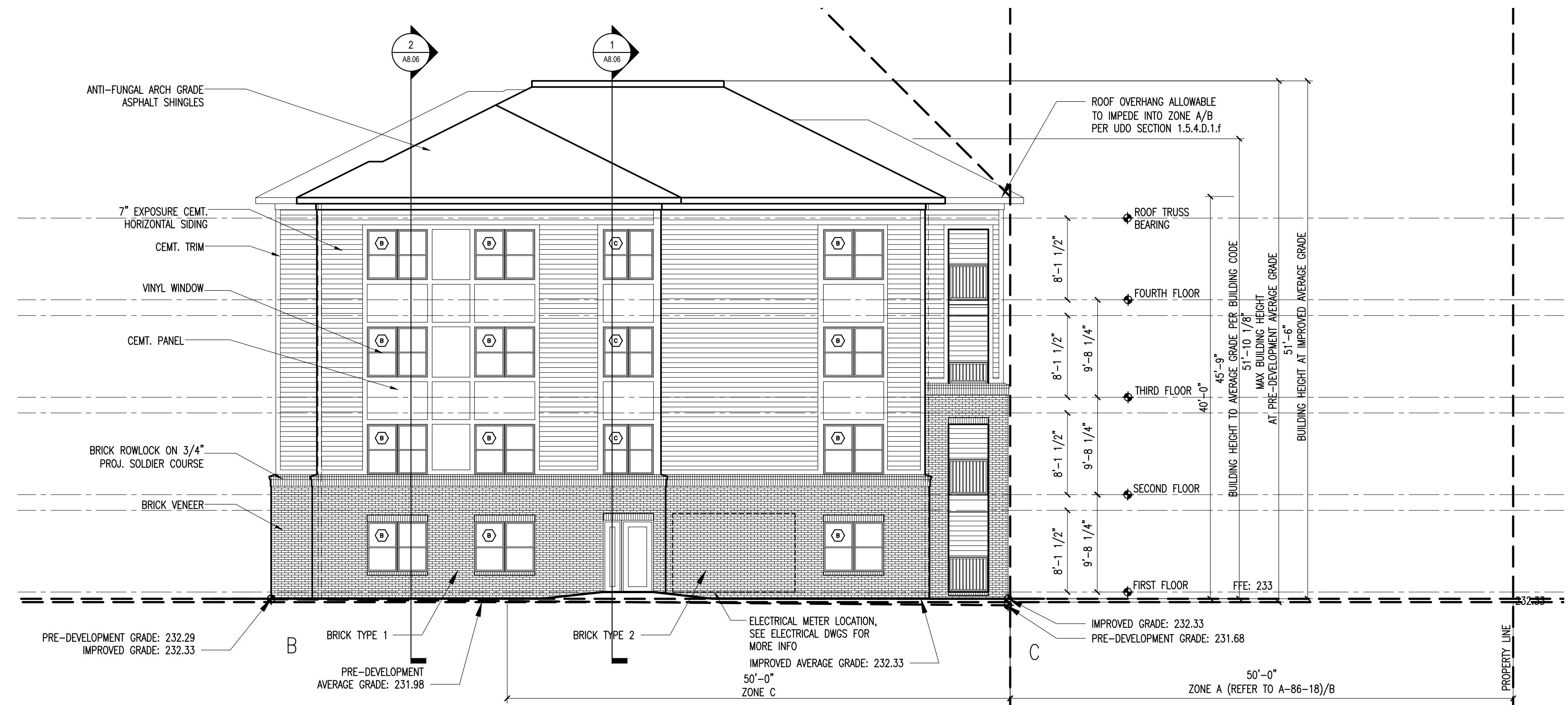
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 CONTENT: BUILDING TYPE 1
 EXTERIOR ELEVATIONS

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ELEVATION NOTES:
 -PROVIDE CONTROL JOINTS (CJ) IN BRICK PER DETAIL 8/A9.07.
 COLOR OF SEALANT AT CONTROL JOINT SHALL MATCH MORTAR COLOR.
 -ANCHOR BOTH SIDES OF CONTROL JOINTS (CJ).
 -COORDINATE MECHANICAL INTAKE AND EXHAUST LOCATIONS
 W/ARCHITECT PRIOR TO INSTALLATION. EXTERIOR DRYER VENTS MUST
 BE MECHANICALLY SECURED TO SIDING AND BRICK VENEER.

LOUVER VENT SCHEDULE:

- ◇ 18"x24" GABLE VENT
- ◇ 12"x18" GABLE VENT



BUILDING TYPE 1 RIGHT SIDE ELEVATION
 SCALE: 1/8" = 1'-0"

2



NOTE: INITIAL ASR SUBMITTED PRIOR TO TC-17-16 EFFECTIVE DATE OF SEPTEMBER 1, 2018

BUILDING TYPE 1 LEFT SIDE ELEVATION
 SCALE: 1/8" = 1'-0"

1

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	2nd Review Comments	10.08.2018
	3rd Review Comments	11.01.2018

REVISIONS:

DRAWN BY:
 CHECKED BY:
 CONTENT: BUILDING TYPE 1
 EXTERIOR ELEVATIONS

A3.02

ELEVATION NOTES:
 -PROVIDE CONTROL JOINTS (CJ) IN BRICK PER DETAIL 8/A9.07.
 COLOR OF SEALANT AT CONTROL JOINT SHALL MATCH MORTAR COLOR.
 -ANCHOR BOTH SIDES OF CONTROL JOINTS (CJ).
 -COORDINATE MECHANICAL INTAKE AND EXHAUST LOCATIONS
 W/ARCHITECT PRIOR TO INSTALLATION. EXTERIOR DRYER VENTS MUST
 BE MECHANICALLY SECURED TO SIDING AND BRICK VENEER.

LOUVER VENT SCHEDULE:

- ◊ 18"x24" GABLE VENT
- ◊ 12"x18" GABLE VENT



BUILDING TYPE 2 REAR ELEVATION
 SCALE: 1/8" = 1'-0"

2



BUILDING TYPE 2 FRONT ELEVATION
 SCALE: 1/8" = 1'-0"

1

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ISSUE: 1st Review Comments	08.20.2018
2nd Review Comments	10.08.2018
3rd Review Comments	11.01.2018

DRAWN BY:
 CHECKED BY:
 CONTENT: BUILDING TYPE 2
 EXTERIOR ELEVATIONS

A3.03

ELEVATION NOTES:
 -PROVIDE CONTROL JOINTS (CJ) IN BRICK PER DETAIL 8/A9.07.
 COLOR OF SEALANT AT CONTROL JOINT SHALL MATCH MORTAR COLOR.
 -ANCHOR BOTH SIDES OF CONTROL JOINTS (CJ).
 -COORDINATE MECHANICAL INTAKE AND EXHAUST LOCATIONS
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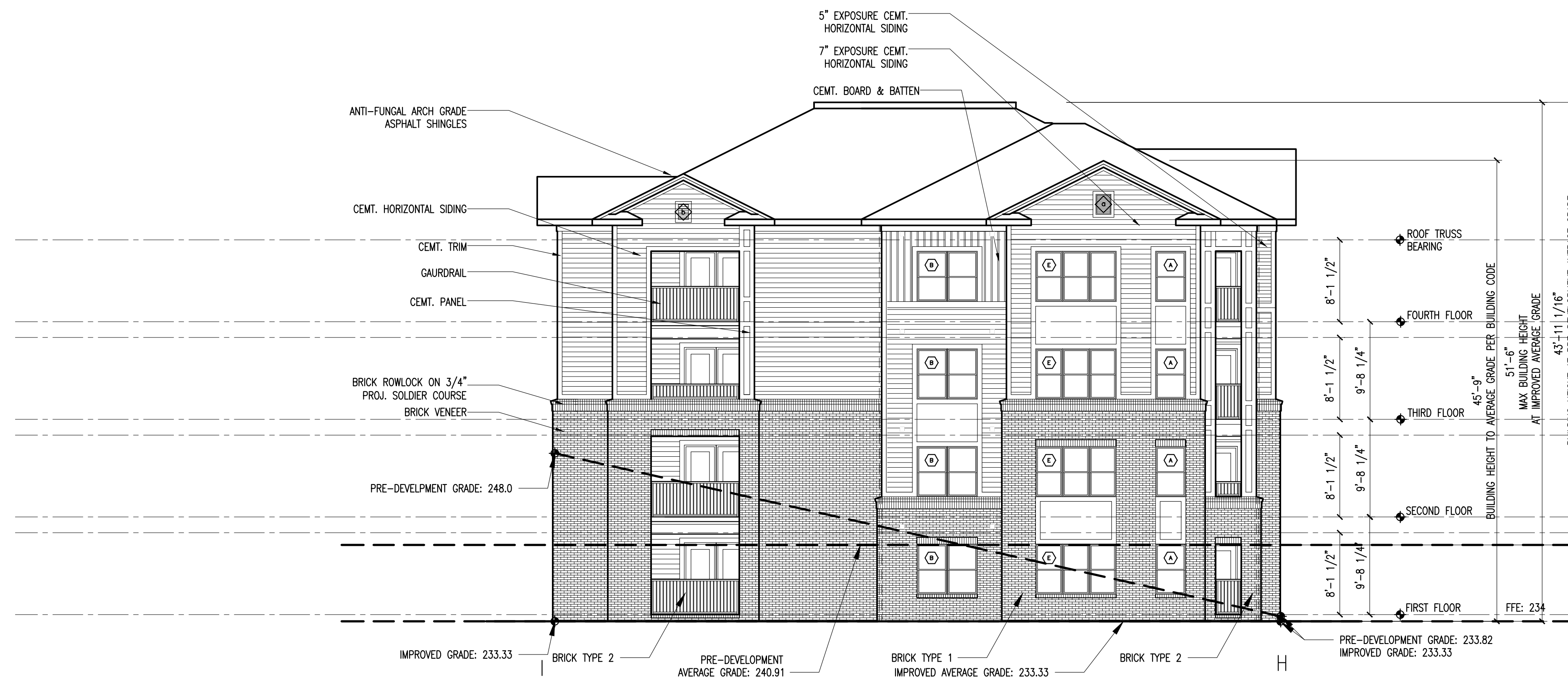
LOUVER VENT SCHEDULE:

- ◊ 18"x24" GABLE VENT
- ◊ 12"x18" GABLE VENT



BUILDING TYPE 2 RIGHT SIDE ELEVATION
 SCALE: 1/8" = 1'-0"

2



BUILDING TYPE 2 LEFT SIDE ELEVATION
 SCALE: 1/8" = 1'-0"

1

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ISSUE:	1st Review Comments	08.20.2018
	2nd Review Comments	10.08.2018
	3rd Review Comments	11.01.2018

REVISIONS:

NO.	DESCRIPTION	DATE

DRAWN BY: _____
 CHECKED BY: _____
 CONTENT: BUILDING TYPE 2
 EXTERIOR ELEVATIONS

A3.04

ELEVATION NOTES:
 -PROVIDE CONTROL JOINTS (CJ) IN BRICK PER DETAIL 8/A9.07.
 COLOR OF SEALANT AT CONTROL JOINT SHALL MATCH MORTAR COLOR.
 -ANCHOR BOTH SIDES OF CONTROL JOINTS (CJ).
 -COORDINATE MECHANICAL INTAKE AND EXHAUST LOCATIONS
 W/ARCHITECT PRIOR TO INSTALLATION. EXTERIOR DRYER VENTS MUST
 BE MECHANICALLY SECURED TO SIDING AND BRICK VENEER.

LOUVER VENT SCHEDULE:

- ◇ 18"x24" GABLE VENT
- ◇ 12"x18" GABLE VENT



BUILDING TYPE 3 FRONT AT ANGLE WALL ELEVATION
 SCALE: 1/8" = 1'-0"

2



NOTE: INITIAL ASR SUBMITTED PRIOR TO TC-17-16 EFFECTIVE DATE OF SEPTEMBER 1, 2018

BUILDING TYPE 3 FRONT ELEVATION
 SCALE: 1/8" = 1'-0"

1

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REVISIONS:		
DRAWN BY:		
CHECKED BY:		
CONTENT:	BUILDING TYPE 3	
	EXTERIOR ELEVATIONS	

A3.05

ELEVATION NOTES:
 -PROVIDE CONTROL JOINTS (CJ) IN BRICK PER DETAIL 8/A9.07.
 COLOR OF SEALANT AT CONTROL JOINT SHALL MATCH MORTAR COLOR.
 -ANCHOR BOTH SIDES OF CONTROL JOINTS (CJ).
 -COORDINATE MECHANICAL INTAKE AND EXHAUST LOCATIONS
 W/ARCHITECT PRIOR TO INSTALLATION. EXTERIOR DRYER VENTS MUST
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LOUVER VENT SCHEDULE:

- ◇ 18"x24" GABLE VENT
- ◇ 12"x18" GABLE VENT



BUILDING TYPE 3 REAR AT ANGLE WALL ELEVATION
 SCALE: 1/8" = 1'-0"

2



NOTE: INITIAL ASR SUBMITTED PRIOR TO TC-17-16 EFFECTIVE DATE OF SEPTEMBER 1, 2018

BUILDING TYPE 3 REAR ELEVATION
 SCALE: 1/8" = 1'-0"

1

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 CONSTRUCTION

PROJECT:	18024	DATE
ISSUE:	1st Review Comments	08.20.2018
	2nd Review Comments	10.08.2018
	3rd Review Comments	11.01.2018

REVISIONS:

DRAWN BY:
 CHECKED BY:
 CONTENT: BUILDING TYPE 3
 EXTERIOR ELEVATIONS

A3.06

ELEVATION NOTES:
 -PROVIDE CONTROL JOINTS (CJ) IN BRICK PER DETAIL 8/A9.07.
 COLOR OF SEALANT AT CONTROL JOINT SHALL MATCH MORTAR COLOR.
 -ANCHOR BOTH SIDES OF CONTROL JOINTS (CJ).
 -COORDINATE MECHANICAL INTAKE AND EXHAUST LOCATIONS
 W/ARCHITECT PRIOR TO INSTALLATION. EXTERIOR DRYER VENTS MUST
 BE MECHANICALLY SECURED TO SIDING AND BRICK VENEER.

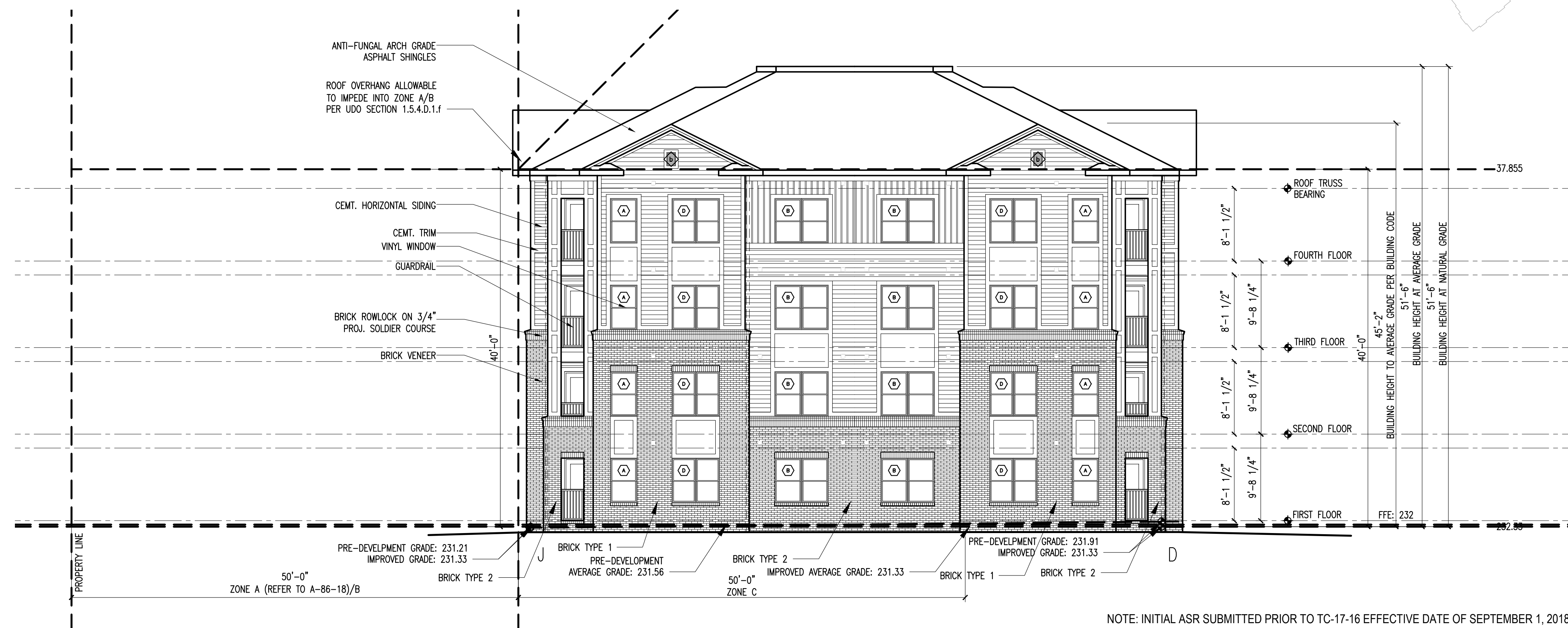
LOUVER VENT SCHEDULE:

- ◊ 18"x24" GABLE VENT
- ◊ 12"x18" GABLE VENT



BUILDING TYPE 3 RIGHT SIDE ELEVATION
 SCALE: 1/8" = 1'-0"

2



NOTE: INITIAL ASR SUBMITTED PRIOR TO TC-17-16 EFFECTIVE DATE OF SEPTEMBER 1, 2018

BUILDING TYPE 3 LEFT SIDE ELEVATION
 SCALE: 1/8" = 1'-0"

1

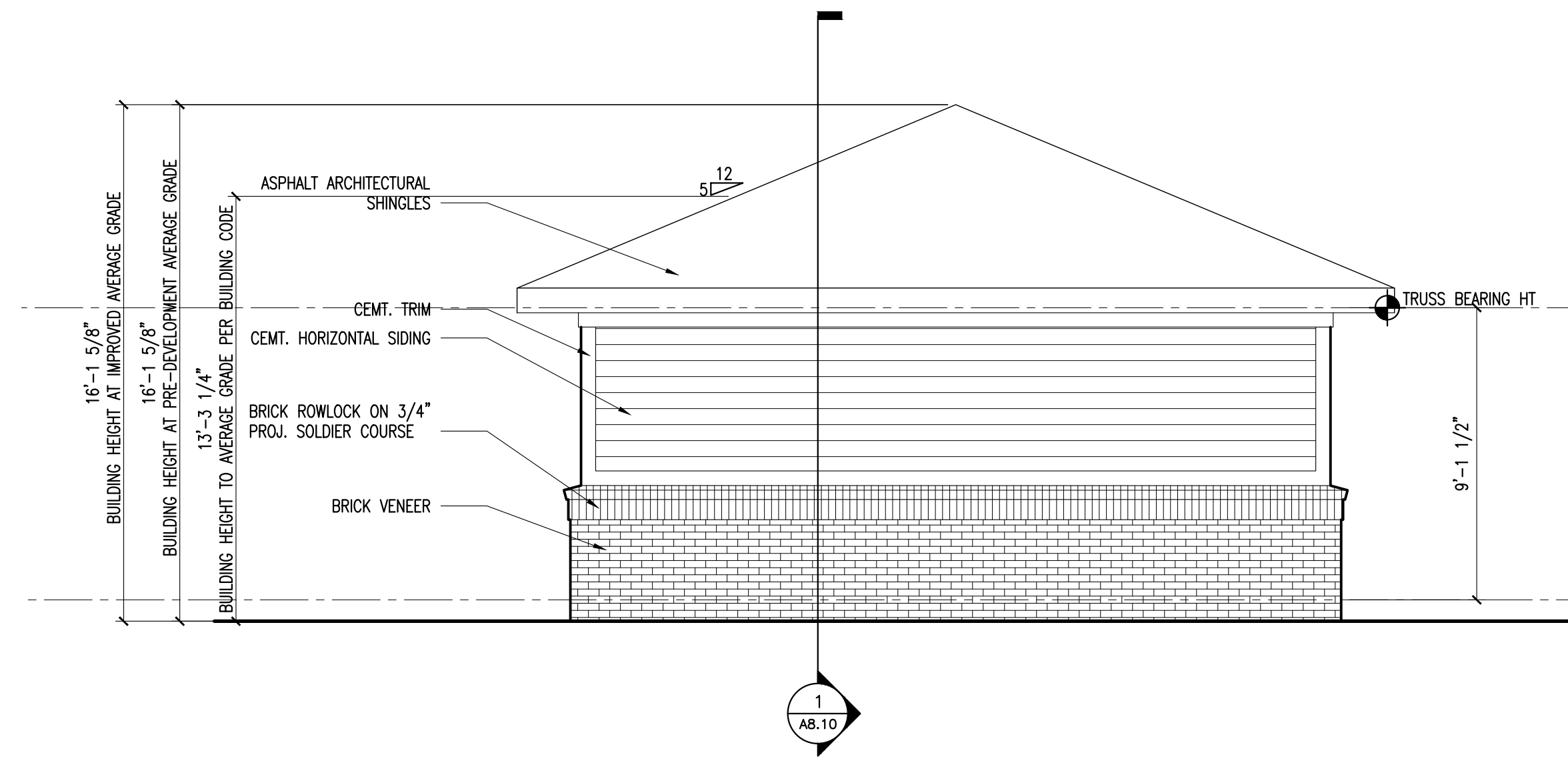
PRELIMINARY

FOR REVIEW ONLY
 NOT FOR
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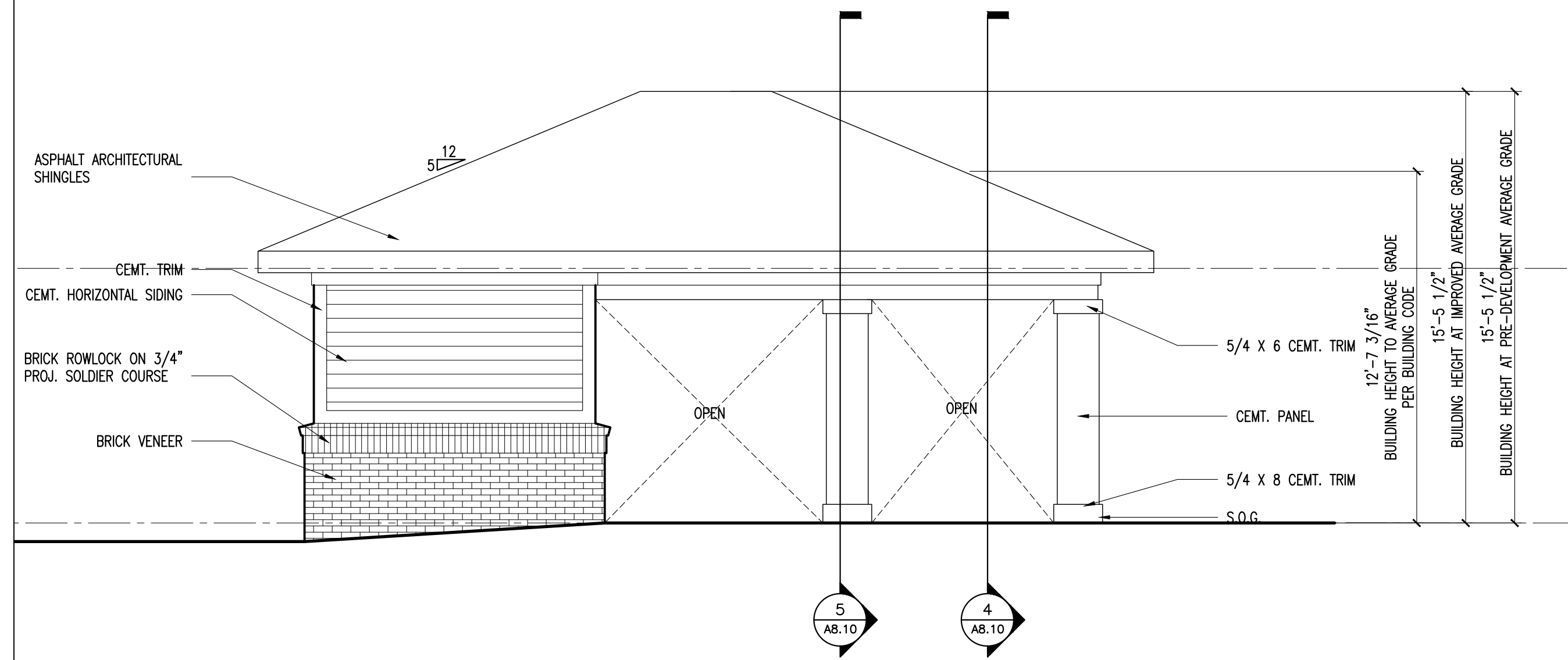
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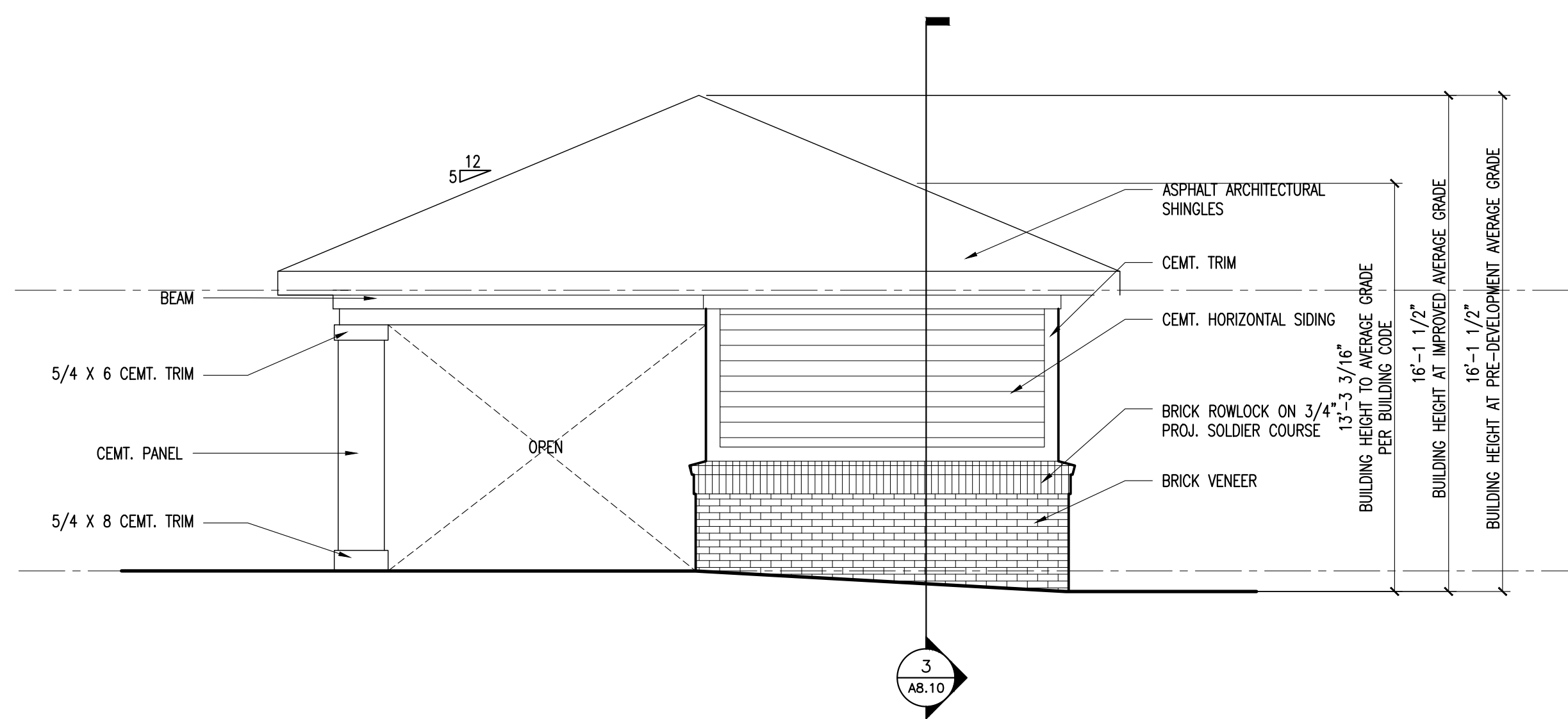
PICNIC - MAIL - MAINT. SHELTER ELEVATIONS
SCALE: 1/4" = 1'-0"

4



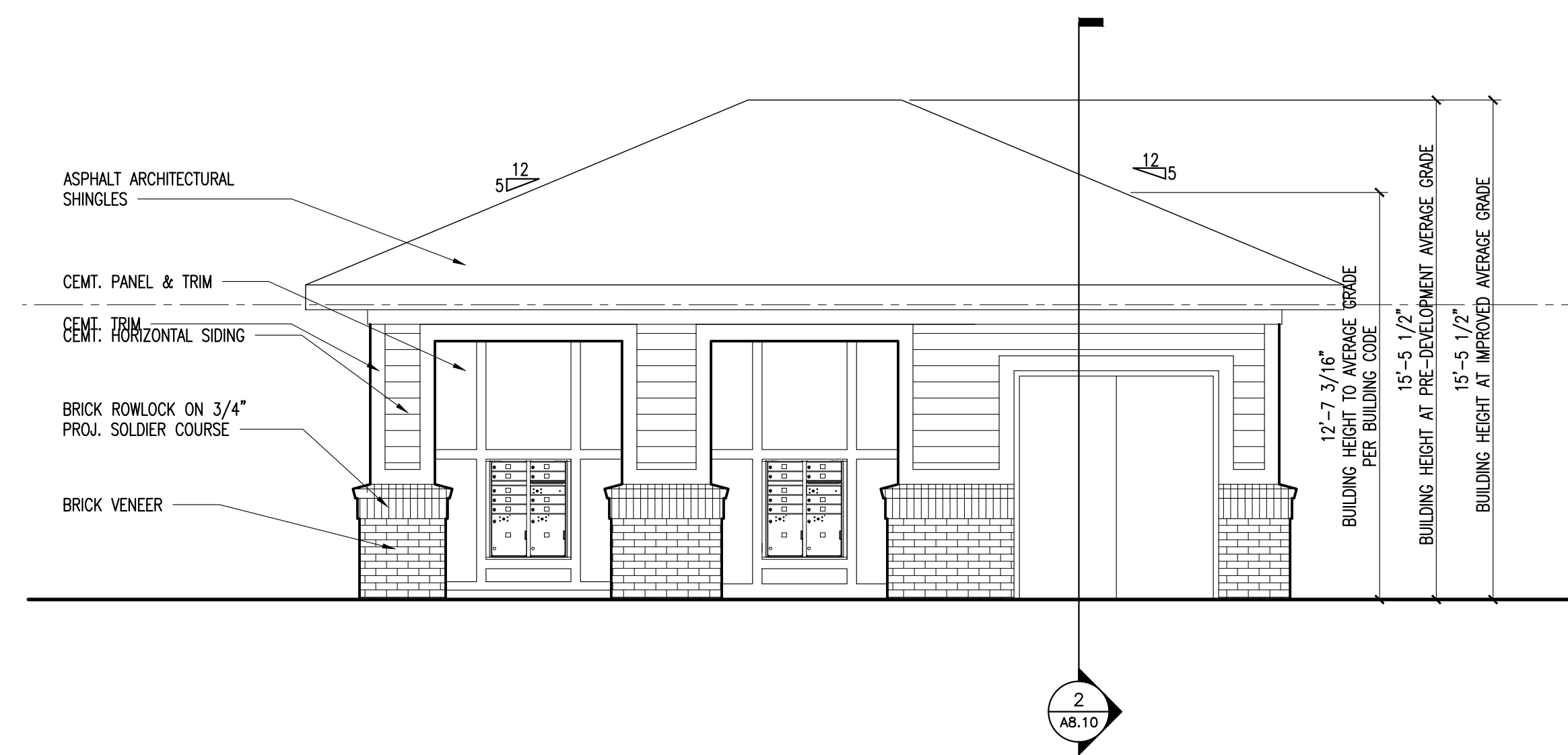
PICNIC - MAIL - MAINT. SHELTER ELEVATIONS
SCALE: 1/4" = 1'-0"

3



PICNIC - MAIL - MAINT. SHELTER ELEVATIONS
SCALE: 1/4" = 1'-0"

2



PICNIC - MAIL - MAINT. SHELTER ELEVATIONS
SCALE: 1/4" = 1'-0"

1

NOTE: INITIAL ASR SUBMITTED PRIOR TO TC-17-16 EFFECTIVE DATE OF SEPTEMBER 1, 2018

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