



Administrative Approval Action

SR-63-18, Southgate Shopping Center, Phase 2
AA # 3851 / Transaction # 559862

City of Raleigh
Development Services Department
One Exchange Plaza
Raleigh, NC 27602
(919) 996-2495
DS.help@raleighnc.gov
www.raleighnc.gov

LOCATION: This site is located on the south side of Cross Link Road at the intersection of Cross Link Road and Merrick Street at 1600 Cross Link Road.

REQUEST: A tenant upfit (Change of Use) from previously approved retail uses to 3,000 square feet of restaurant uses within a 9,000 square foot shell building under construction and previously approved as case SR-82-16 (originally for seven individual retail suites).

**DESIGN
ADJUSTMENT(S)/
ALTERNATES, ETC:**

One Administrative Alternate (AAD-11-16) has been approved by the Planning Director for this project, noted below.

1. An alternative design allowing the reduction of the Build To requirement (1.5.6)

One Design Adjustment has been approved for this project, noted below.

1. One Design Adjustment has been approved allowing an alternative streetscape cross section for both Cross Link road, and Lyndhurst Drive. This design adjustment allows a reduction in the required 6' tree lawn behind the back of curb for both streets, as well as the existing 5' sidewalk to remain, portions of which will be removed and replaced due to condition. The remaining 1' of required width will be met via a fee in lieu.

FINDINGS: City Administration finds that this request, with the below conditions of approval being met, conforms to the Unified Development Ordinance. This approval is based on a preliminary plan submitted by John A. Edwards & Co.

CONDITIONS OF APPROVAL and NEXT STEPS:

Note: *This document must be applied to the second sheet of all future submittals with the exception of final plats.*

PRIOR TO THE ISSUANCE OF ANY SITE PERMITS OR APPROVAL OF REVISED CONCURRENT REVIEW PROCESS, WHICHEVER IS APPLICABLE:

ENGINEERING

1. Next Step: A right-of-way obstruction permit must be obtained from Right-of-way Services prior to the commencement of any construction activities within the right-of-way.

STORMWATER

2. Next Step: A stormwater control plan with a stormwater operations and maintenance manual and budget shall be approved by the Stormwater Engineer in compliance with Part 10A Chapter 9 of the Unified Development Ordinance.



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Next Step: In accordance with Part 10A Section 9.4.4 of the Unified Development Ordinance, a surety equal to of the cost of clearing, grubbing and reseeding a site, shall be paid to the City.

URBAN FORESTRY

3. Obtain required tree impact permits from the City of Raleigh.

PRIOR TO ISSUANCE OF BUILDING PERMITS:

ENGINEERING

1. The required right of way for proposed and/or existing streets shall be dedicated to the City of Raleigh and is shown on a plat approved for recordation.
2. A 5' general utility easement and associated deed of easement shall be approved by the City and the location of the easement shall be shown on the map approved for recordation. The deed of easement shall be recorded at Wake County Register of Deeds within one (1) day of recordation of the recorded plat. A recorded copy of these documents must be provided to the Development Services Department.
3. In accordance with Part 10A Section 8.1.10, a fee-in-lieu for 1' in sidewalk width across the frontage shall be paid to the City of Raleigh.
4. That in accordance with Part 10A Section 8.1.3, a surety equal to 125% of the cost of development related improvements, including 5' sidewalk and street trees is paid to the City of Raleigh.
5. Next Step: A right-of-way obstruction permit shall be obtained from Right-of-way Services for any construction activity within the right-of-way.

PUBLIC UTILITIES

6. A Final Plat must be recorded at the Wake County Register of Deeds office for all necessary Subdivisions / Recombinations, Right-of-Way, Utility / Stormwater Easement Dedications and/or Tree Save Areas

STORMWATER

7. Next Step: In accordance with Part 10A Section 8.1.3, a public infrastructure surety shall be provided to the City of Raleigh Development Services – Development Engineering program.
8. Next Step: The developer shall pay to the City a stormwater facility replacement fund payment equal to twenty-four percent (24%) of the estimated cost of constructing all stormwater control facilities shown on the development plans.



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9. Next Step: The City form document entitled Declaration of Maintenance Covenant and Grant of Protection Easement for Stormwater Control Facilities shall be approved by the City and recorded with the county register of deeds office.
10. Next Step: All stormwater control measures and means of transporting stormwater runoff to and from any nitrogen and stormwater runoff control measures shall be shown on all plats for recording as private drainage easements.
11. Next Step: In accordance with Part 10A Section 9.2.2, a surety equal to 125% of the cost of the construction of a stormwater device shall be paid to the Engineering Services Department.

URBAN FORESTRY

12. A tree impact permit must be obtained for the approved streetscape tree installation in the right of way.

Prior to issuance of building occupancy permit:

1. All Water, Sanitary Sewer and Reuse facilities shall be installed, inspected, tested and accepted by the City of Raleigh Public Utilities Department for operations and maintenance.
2. Proof of an offsite parking lease agreement or easement. The applicant shall provide a signed agreement indicating that required off-street parking shall be provided as long as the principal use continues and the principal use shall be discontinued should the required off-street parking no longer be provided on these off-site parcels or their equivalent as required by Part 10A Section 7.1.5 of the Unified Development Ordinance.
3. Next Step: Required public right-of-way infrastructure improvements shall be, at a minimum, sufficiently completed to provide the necessary, safe emergency and vehicular access.
4. Next Step: Required underground storm drainage improvements shall be completed and as-built plan(s) and certification(s) reviewed and accepted by the City of Raleigh Development Services – Development Engineering program.
5. Next Step: All street lights and street signs required as part of the development approval are installed.
6. Next Step: Copies of certified inspection reports for alleys and internal access ways are submitted to the City of Raleigh Development Services – Development Engineering program.
7. Next Step: As-built drawings and associated forms for all Stormwater devices are accepted by the Engineering Services Department
8. Next Step: Final inspection of all required right of way tree plantings by Urban Forestry Staff.



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EXPIRATION DATES: The expiration provisions of UDO Section 10.2.8 E, including the ability to request extensions in the expiration date, apply to this site plan. If significant construction has not taken place on a project after administrative site review approval, that approval may expire and be declared void, requiring re-approval before permits may be issued. To avoid allowing this plan approval to expire the following must take place by the following dates:

3-Year Expiration Date: 9-5-2021

Obtain a valid building permit for the total area of the project, or a phase of the project.

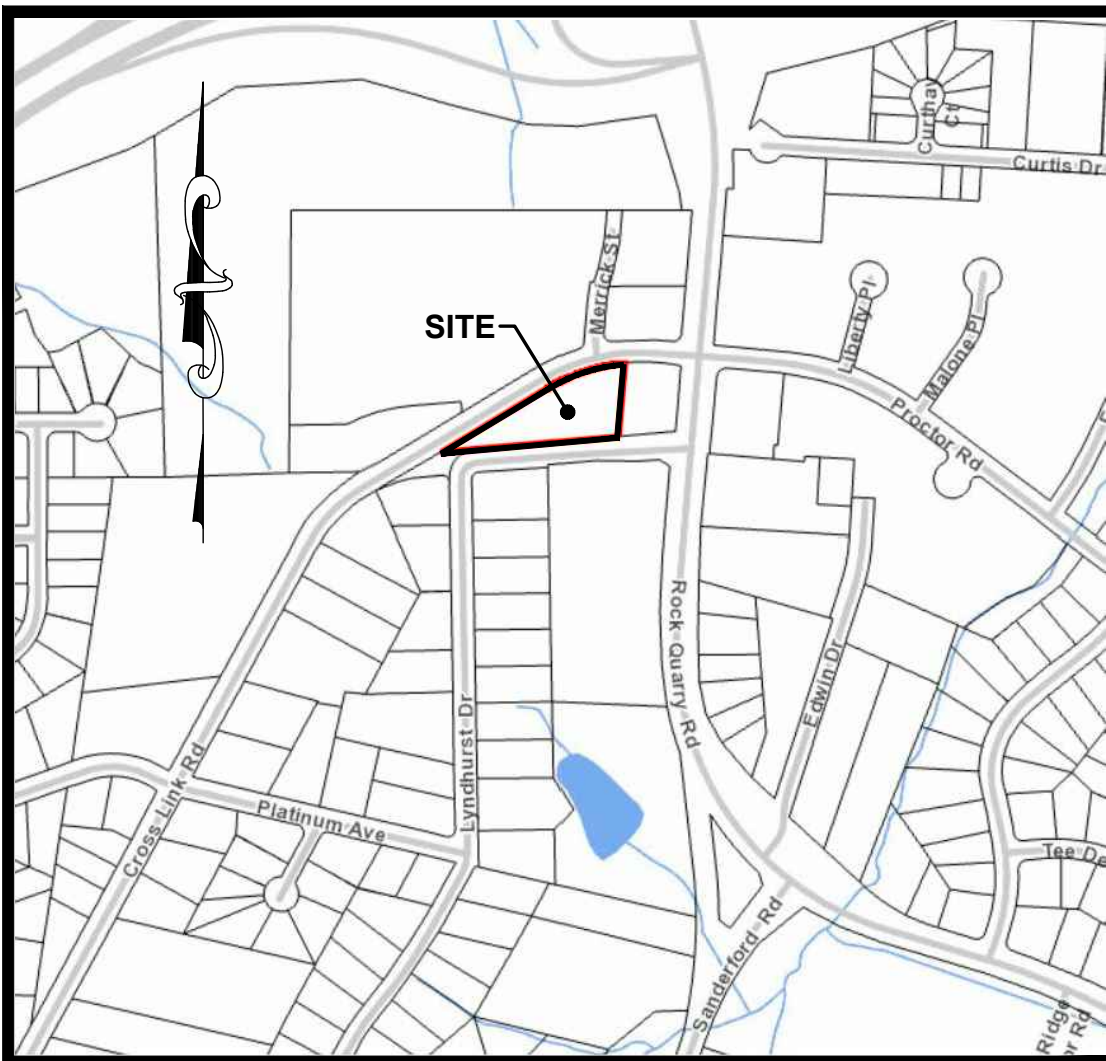
4-Year Completion Date:

Within four years after issuance of the first building permit for the site plan, the construction of the entire site plan must be completed unless an applicant has been granted vested rights. Failure to complete construction within this specified time frame shall automatically void the approved site plan for which no building permits have been issued.

I hereby certify this administrative decision.

Signed:(Planning Dir./Designee) *Angie Billy Z...* Date: 9/5/2018

Staff Coordinator: Michael Walters



VICINITY MAP
1" = 500'

SITE DATA

OWNER: JOSEPH M SANSOM
2701 LITTLE JOHN ROAD
RALEIGH, NC 27610-4227

ADDRESS: 1600 CROSS LINK ROAD
RALEIGH, NC 27610-4967

PIN: 1712.06-49-6539

LOT AREA: 53,035.4145 SF (1.2175 AC)

ZONING: CX-3-PL

CURRENT LAND USE: UNDER CONSTRUCTION

REFERENCE: BM 2017, PG 1004
WAKE COUNTY REGISTRY

| AMMENITY AREA | |
|---------------|--------------------|
| REQUIRED AREA | 5,304 S.F. (10%) |
| PROVIDED AREA | 7,538 S.F. (14.2%) |

| VEHICLE PARKING SUMMARY | |
|---------------------------|---|
| REQUIRED PARKING: | |
| RETAIL | 6,000 S.F. @ 1 SPACE / 300 S.F. GROSS = 20 SPACES |
| RESTAURANT | 3,000 S.F. @ 1 SPACE / 150 S.F. GROSS = 20 SPACES |
| TOTAL PARKING REQUIRED | 40 SPACES |
| TOTAL PARKING PROVIDED | 40 SPACES |
| | 30 SPACES ON-SITE |
| | 10 SPACES REMOTE |
| (INCLUDES) | 1 HANDICAP SPACE REGULAR |
| | 1 HANDICAP VAN ACCESSIBLE SPACE |
| BICYCLE PARKING REQUIRED: | |
| RETAIL - SHORT TERM @ | 1 SPACE / 5,000 S.F. (4 MINIMUM) |
| RESTAURANT - SHORT TERM @ | 1 SPACE / 50,000 S.F. (4 MINIMUM) |
| RESTAURANT - LONG TERM @ | 1 SPACE / 25,000 S.F. (4 MINIMUM) |
| BICYCLE PARKING PROVIDED | 12 SPACES |

FRONTAGE BUILD-TO (PARKING LIMITED):
REQUIRED: 0'-100' - 50% PRIMARY STREET

PROVIDED: CROSS LINK ROAD - 56%

ADMINISTRATIVE ALTERNATE WAS APPROVED BY CITY OF RALEIGH APPEARANCE COMMISSION

INDEX

- CE-1 EXISTING CONDITIONS
- CE-1.1 OFF-SITE PARKING EXHIBIT
- CE-2 SITE PLAN
- CE-3 UTILITY PLAN
- CE-4 GRADING & DRAINAGE PLAN
- L-1 LANDSCAPE PLAN
- L-2 LANDSCAPE DETAILS AND NOTES
- LA-1 LANDSCAPE PLAN - NEIGHBORHOOD TRANSITION YARD
- A-2 SCHEMATIC ELEVATIONS
- SL1 PARKING LOT LIGHTING PLAN
- SL2 PARKING LOT LIGHTING PLAN

SOUTHGATE SHOPPING CENTER PHASE 2

ADMINISTRATIVE SITE REVIEW

SR-63-18

TRANS. #559862

RALEIGH, NORTH CAROLINA

JUNE 21, 2018

REVISED AUGUST 6, 2018

DEVELOPER:

YORK PROPERTIES, INC.

2108 Clark Avenue
Raleigh, N.C. 27605
919-863-8080

halworth@yorkproperties.com

CIVIL ENGINEER:

JOHN A. EDWARDS & COMPANY

Consulting Engineers
NC License F-0289

333 Wade Ave., Raleigh, N.C. 27605

Phone: (919) 828-4428

Fax: (919) 828-4711

E-mail: info@jaeco.com



PURPOSE OF SUBMITTAL

THIS PROJECT WAS PREVIOUSLY APPROVED AS SR-82-16 AND IS CURRENTLY UNDER CONSTRUCTION. ALL PERMITS HAVE BEEN ISSUED. THIS SUBMITTAL IS FOR A TENANT UP-FIT FROM A PREVIOUSLY APPROVED RETAIL USE TO A NEW RESTAURANT USE. REMOTE PARKING WILL PROVIDE FOR THE ADDITIONAL REQUIRED PARKING SPACES. ADDITIONAL REQUIRED BICYCLE PARKING HAS BEEN INCLUDED.

SOLID WASTE INSPECTIONS STATEMENT DEVELOPER IS IN COMPLIANCE WITH THE REQUIREMENTS SET FORTH IN THE SOLID WASTE DESIGN MANUAL. PRIVATE SERVICE TO BE PROVIDED.

ALL CONSTRUCTION SHALL BE IN ACCORDANCE WITH CITY OF RALEIGH AND / OR NCDOT STANDARDS AND SPECIFICATIONS.

HORIZONTAL DATUM: NAD83
VERTICAL DATUM: NAVD88

**Administrative Site Review Application
(for UDO Districts only)**



Development Services Customer Service Center | 1 Exchange Plaza, Suite 400 | Raleigh, NC 27601 | 919-996-2495 | ext 919-996-1831
Litchford Satellite Office | 8320 - 130 Litchford Road | Raleigh, NC 27601 | 919-996-4200

When submitting plans, please check the appropriate building type and include the Plan Checklist document.

| BUILDING TYPE | FOR OFFICE USE ONLY |
|--|--|
| <input type="checkbox"/> Detached <input type="checkbox"/> Attached <input type="checkbox"/> Apartment <input type="checkbox"/> Townhouse | <input checked="" type="checkbox"/> General <input type="checkbox"/> Mixed Use <input type="checkbox"/> Open Lot |
| Transaction Number | |
| Assigned Project Coordinator | |
| Assigned Team Leader | |

Has your project previously been through the Due Diligence or Sketch Plan Review process? If yes, provide the transaction #

GENERAL INFORMATION

Development Name: Southgate Shopping Center - Phase 2

Zoning District: CX-3-PL Overlay District (if applicable) Inside City Limits? Yes No

Proposed Use: Retail / Restaurant

Property Address(es): 1600 Cross Link Road Major Street Locator:

Wake County Property Identification Number(s) for each parcel to which these guidelines will apply:

| P.I.N. | P.I.N. | P.I.N. | P.I.N. |
|------------|--------|--------|--------|
| 1712496539 | | | |

What is your project type? Apartment Elderly Facilities Hospitals Hotels/Motels Office
 Mixed Residential Non-Residential Condo School Shopping Center Banks Industrial Building
 Duplex Telecommunication Tower Religious Institutions Residential Condo Retail Cottage Court
 Other: If other, please describe: Restaurant

WORK SCOPE Per City Code Section 10.2.8.D.1, summarize the project work scope. For additions, changes of use, or occupancy (per Chapter 6 of the UDO), indicate impacts on parking requirements.
3,000 S.F. Restaurant Building, 6,000 S.F. Restaurant Building, 10 Off-Site Parking Spaces Proposed

DESIGN ADJUSTMENT OR ADMIN ALTERNATE Per City Code Chapter 8, summarize if your project requires either a design adjustment, or Section 10 - Alternate Administrative AE

CLIENT/DEVELOPER/OWNER Company: York Properties, Inc. Name(s): Hal Worth
Address: 2108 Clark Avenue, Raleigh, NC 27605
Phone: 919-863-8080 Email: halworth@yorkproperties.com Fax:

CONSULTANT (Contact Person for Plans) Company: JAECO Name(s): Johnny Edwards
Address: 333 Wade Ave, Raleigh, NC 27605
Phone: 919-828-4428 Email: johnny@jaeco.com Fax:

PAGE 1 OF 3 WWW.RALEIGHNC.GOV REVISION 05.13.16

| DEVELOPMENT TYPE & SITE DATA TABLE (Applicable to all developments) | |
|---|---|
| Zoning Information | Building Information |
| Zoning District(s): CX-3-PL | Proposed building use(s): RETAIL / RESTAURANT |
| If more than one district, provide the acreage of each: | Existing Building(s) sq. ft. gross: 0 |
| Overlay District: | Proposed Building(s) sq. ft. gross: 9,000 |
| Total Site Acres: Inside City Limits <input checked="" type="checkbox"/> Yes <input type="checkbox"/> No: 1.2175 AC | Total sq. ft. gross (existing & proposed): 9,000 |
| Off street parking: Required: 40 Provided: 40 | Proposed height of building(s): 20' - 6" |
| COA (Certificate of Appropriateness) case #: | # of stories: 1 |
| BDA (Board of Adjustment) case # A-: | Ceiling height of 1 st floor: 11' |
| CUD (Conditional Use District) case # Z-: | |
| Stormwater Information | |
| Existing Impervious Surface: 0.00 AC acres/square feet | Flood Hazard Area <input type="checkbox"/> Yes <input checked="" type="checkbox"/> No |
| Proposed Impervious Surface: 0.67 AC acres/square feet | If Yes, please provide: Altitude: FEMA Map Panel # Flood Study |
| Neuse River Buffer <input type="checkbox"/> Yes <input checked="" type="checkbox"/> No | Wetlands <input type="checkbox"/> Yes <input checked="" type="checkbox"/> No |

| FOR RESIDENTIAL DEVELOPMENTS | |
|---|--|
| 1. Total # Of Apartment, Condominium or Residential Units | 5. Bedroom Units: 1br 2br 3br 4br or more |
| 2. Total # Of Congregate Care Or Life Care Dwelling Units | 6. Infill Development 2.2.7 |
| 3. Total Number of Hotel Units | 7. Open Space (only) or Amenity |
| 4. Overall Total # Of Dwelling Units (1-6 Above) | 8. Is your project a cottage court? <input type="checkbox"/> Yes <input type="checkbox"/> No |

SIGNATURE BLOCK (Applicable to all developments)

In filing this plan as the property owner(s), I/we do hereby agree and firmly bind ourselves, my/our heirs, executors, administrators, successors and assigns jointly and severally to construct all improvements and make all dedications as shown on this proposed development plan as approved by the City.

I hereby designate Johnny Edwards to serve as my agent regarding this application, to receive and respond to administrative comments, to resubmit plans on my behalf and to represent me in any public meeting regarding this application.

I/we have read, acknowledge and affirm that this project is conforming to all application requirements applicable June 21, 2018

Signed: Hal Worth Date: 6/21/18

Printed Name: Hal Worth

Signed: _____ Date: _____

Printed Name: _____

PAGE 2 OF 3 WWW.RALEIGHNC.GOV REVISION 05.13.16

| LEGEND | |
|------------------------------|------------------------------------|
| BM | BOOK OF MAPS |
| DB | DEED BOOK |
| PG | PAGE |
| R/W | RIGHT-OF-WAY |
| AC | ACREAGE |
| S.F. | SQUARE FEET |
| EP | EXISTING IRON PIPE |
| IP | IRON PIPE SET |
| NF | NOW OR FORMERLY |
| ELEV. | ELEVATION |
| EX | EXISTING |
| EQP | EDGE OF PAVEMENT |
| CB | CATCH BASIN |
| DI | DROP INLET |
| D.I. | DUCTILE IRON |
| CMP | CORRUGATED METAL PIPE |
| JB | JUNCTION BOX |
| HW | HEADWALL |
| SS | SANITARY SEWER |
| FES | FLARED END SECTION |
| FFE | FINISHED FLOOR ELEVATION |
| PVC | POLYVINYL CHLORIDE PIPE |
| FDC | FIRE DEPARTMENT CONNECTION |
| RCP | REINFORCED CONCRETE PIPE |
| RPZ | REDUCED PRESSURE ZONE |
| DCVA | DOUBLE CHECK VALVE ASSEMBLY |
| RPDA | REDUCED PRESSURE DETECTOR ASSEMBLY |
| MH | MANHOLE |
| WL | WATER LINE |
| WM | WATER METER |
| WV | WATER VALVE |
| WS | WATER SERVICE |
| FH | FIRE HYDRANT |
| FL | FIRE LINE |
| BO | BLOWOFF |
| HC | HANDICAP |
| TC | TOP OF CURB |
| TW | TOP OF WALL |
| BW | BOTTOM OF WALL |
| HB | HANDICAP BOTTOM |
| HT | HANDICAP TOP |
| MN | MINIMUM |
| TYP | TYPICAL |
| INV. | INVERT |
| SW | SIDEWALK |
| SP | SPACES |
| C/O. | CLEANOUT |
| YI | YARD INLET |
| ESMT. | EASEMENT |
| CONC. | CONCRETE |
| C&G | CURB AND GUTTER |
| TSP | TRAFFIC SIGNAL POLE |
| CONCRETE | CONCRETE |
| PROPERTY LINE | PROPERTY LINE |
| RIGHT-OF-WAY LINE | RIGHT-OF-WAY LINE |
| LOT LINE | LOT LINE |
| EASEMENT LINE | EASEMENT LINE |
| EXISTING WATER LINE | EXISTING WATER LINE |
| EXISTING SANITARY SEWER | EXISTING SANITARY SEWER |
| EXISTING STORM DRAINAGE | EXISTING STORM DRAINAGE |
| EXISTING CONTOUR LINE | EXISTING CONTOUR LINE |
| EX. WATER VALVE | EX. WATER VALVE |
| EX. FIRE HYDRANT | EX. FIRE HYDRANT |
| EX. WATER METER | EX. WATER METER |
| EX. SANITARY SEWER MANHOLE | EX. SANITARY SEWER MANHOLE |
| EX. SANITARY SEWER CLEANOUT | EX. SANITARY SEWER CLEANOUT |
| EX. STORM CATCH BASIN | EX. STORM CATCH BASIN |
| EX. STORM DROP INLET | EX. STORM DROP INLET |
| EX. STORM FLARED END SECTION | EX. STORM FLARED END SECTION |
| EX. LIGHT POLE | EX. LIGHT POLE |
| EX. POWER POLE | EX. POWER POLE |



JOHN A. EDWARDS & COMPANY
Consulting Engineers
and Land Surveyors

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Phone: (919) 828-4428
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1600 CROSS LINK RD.

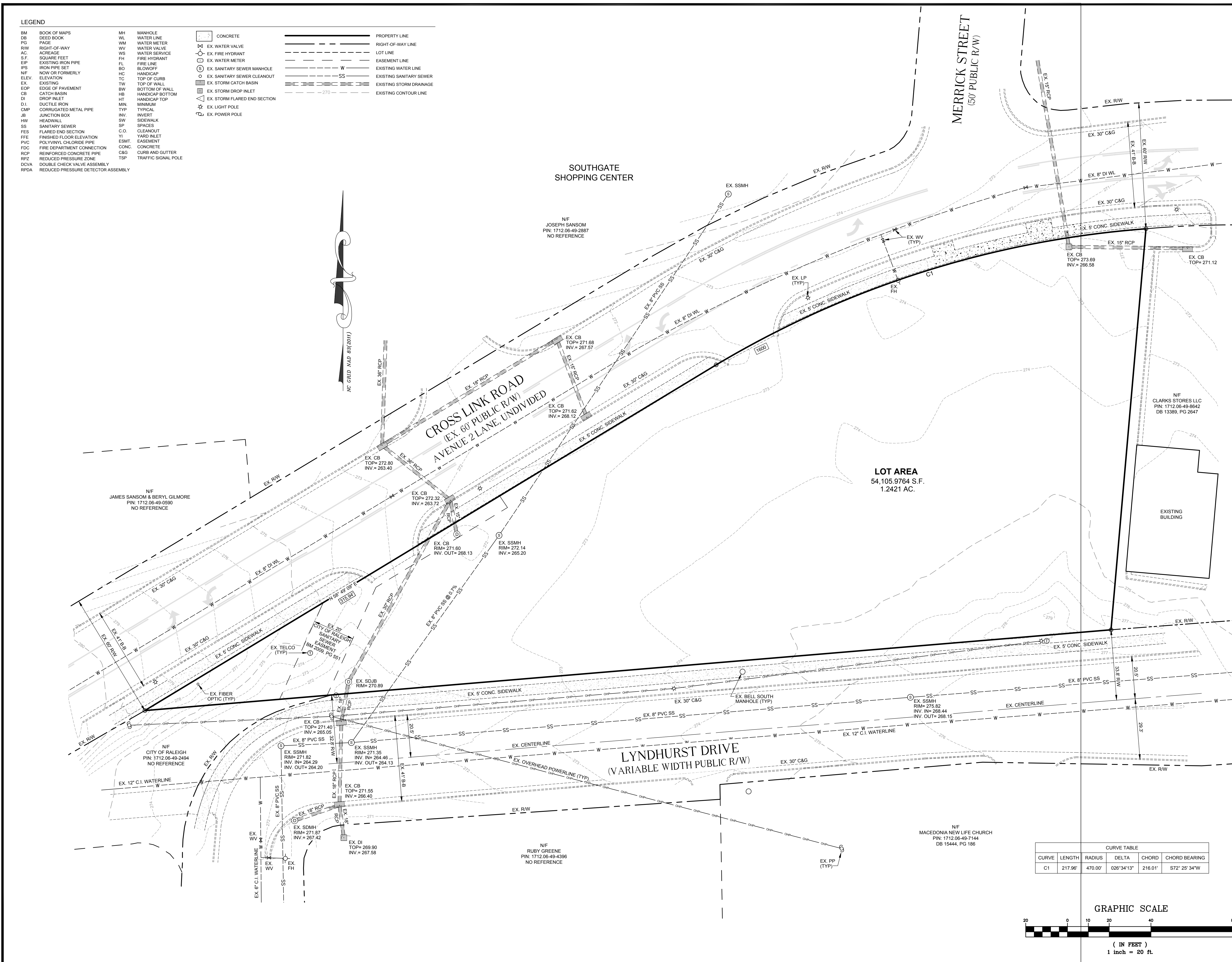
YORK PROPERTIES, INC.

ALL CONSTRUCTION SHALL BE IN ACCORDANCE WITH CITY OF RALEIGH AND / OR NCDOT STANDARDS AND SPECIFICATIONS.

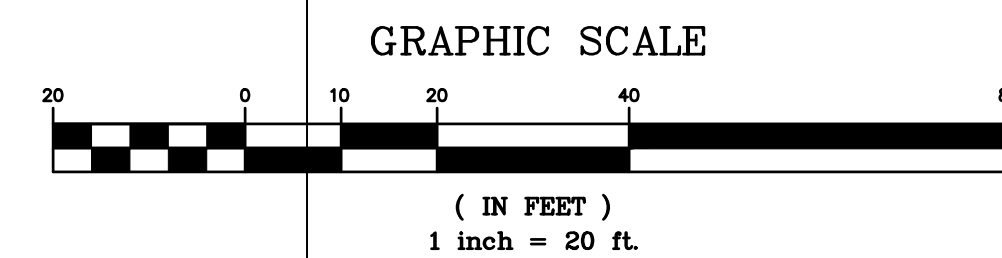
EXISTING CONDITIONS

| Number | Description | Date |
|--------|----------------------|--------|
| 1 | CITY REVIEW COMMENTS | 8/6/18 |

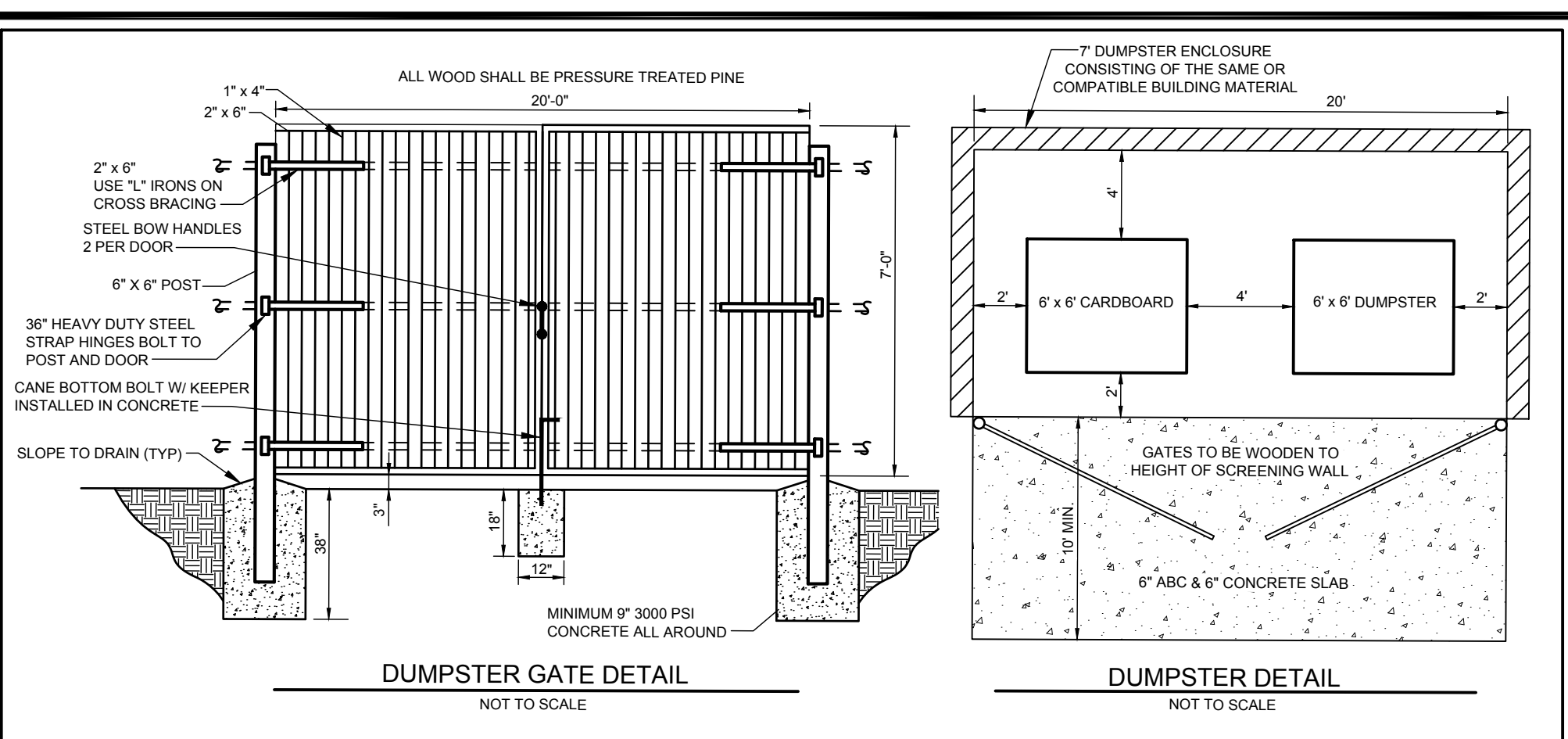
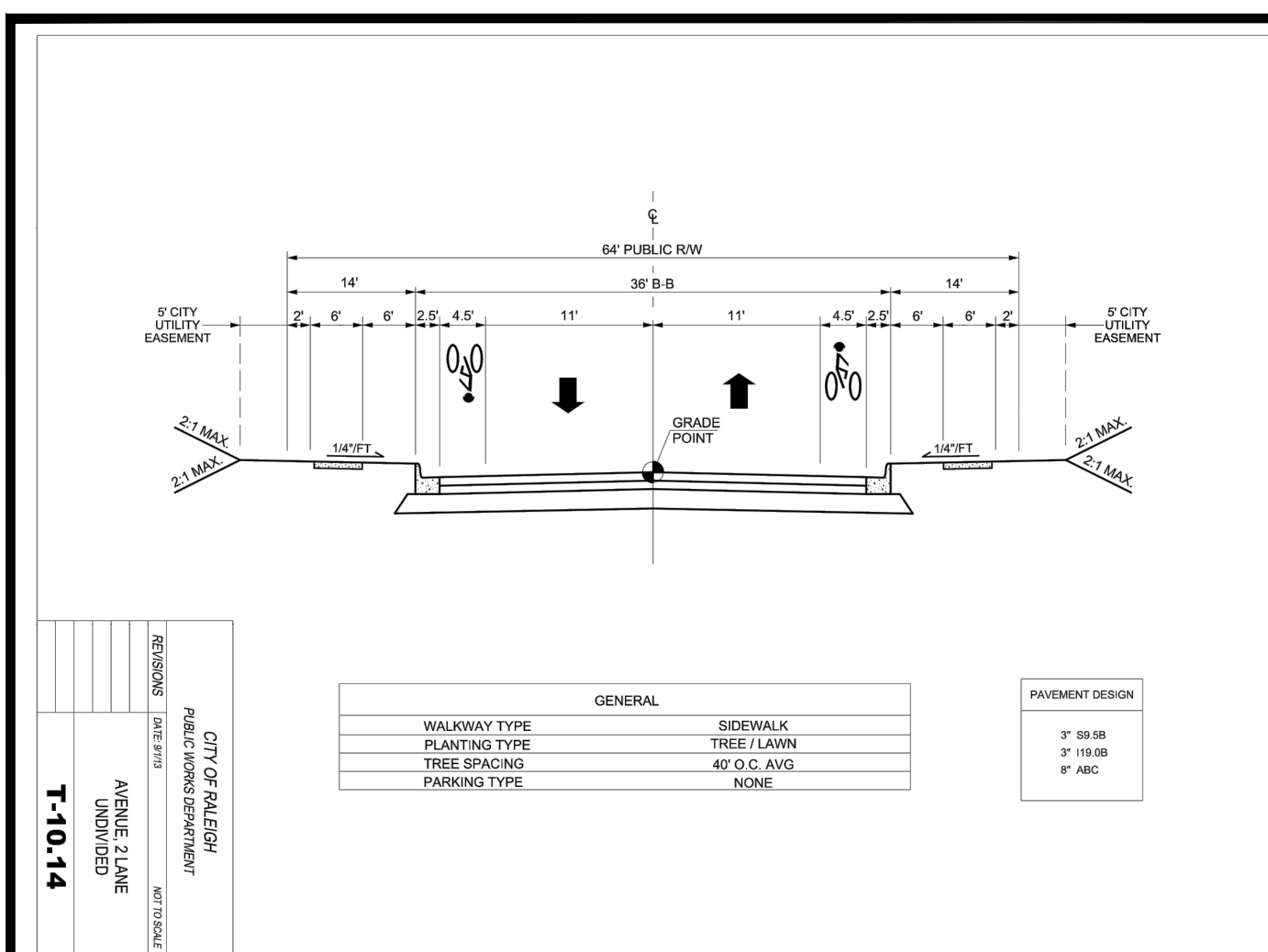
Drawing Scale: 1" = 20'
Drawn By: BF
Checked By: JAE, JR
Date Issued: 6/20/18



| CURVE TABLE | | | | |
|-------------|---------|---------|------------|---------------|
| CURVE | LENGTH | RADIUS | DELTA | CHORD BEARING |
| C1 | 217.96' | 470.00' | 026°34'13" | S72°25'34"W |



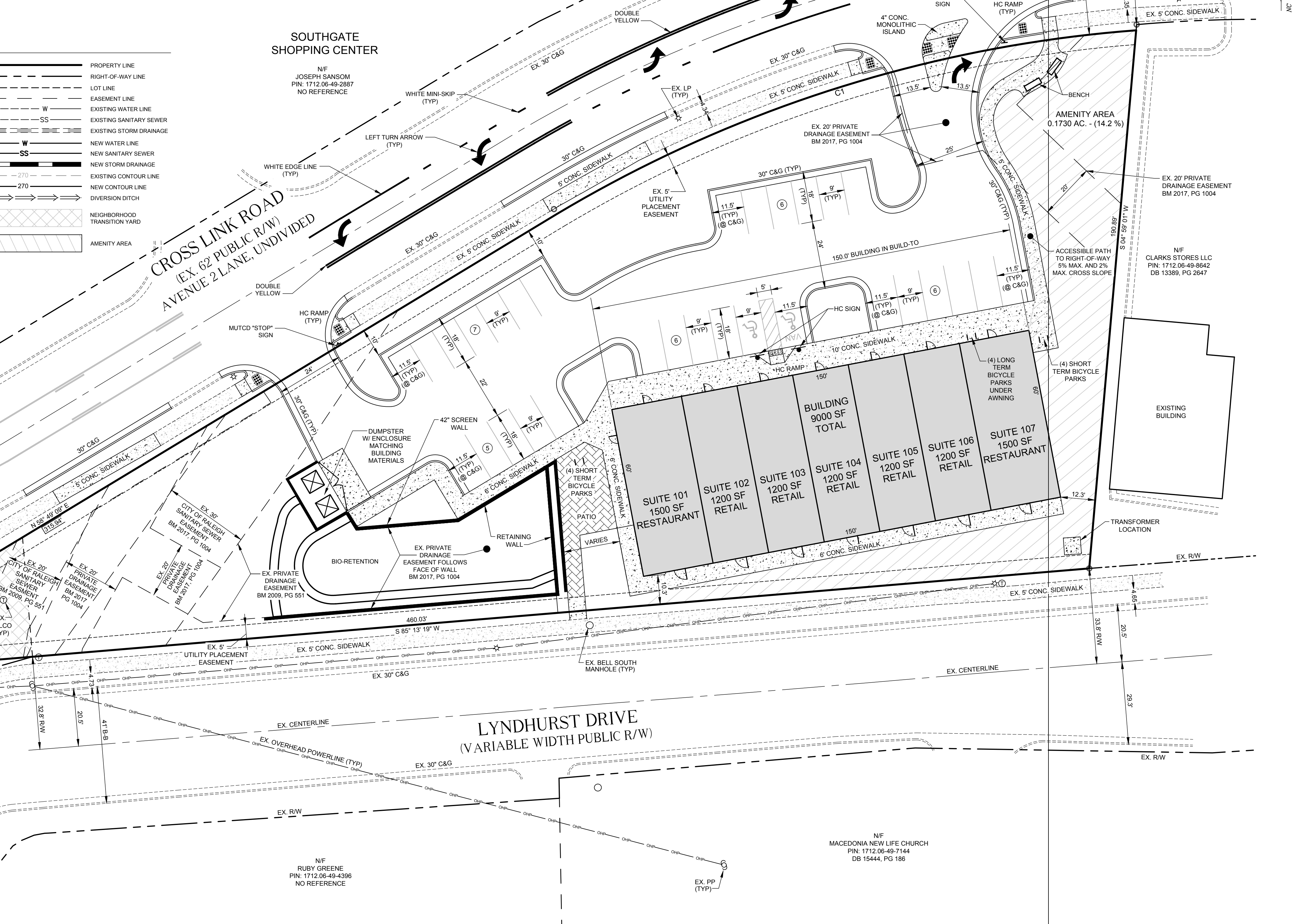
X:\dgs\2018\04\04\04\04\Cross Link Road - 1.dwg 7/19/2018 11:55:35 AM



| CURVE TABLE | | | | | |
|-------------|---------|---------|------------|---------|-----------------|
| CURVE | LENGTH | RADIUS | DELTA | CHORD | CHORD BEARING |
| C1 | 216.70' | 468.00' | 026°31'47" | 214.77' | S72° 24' 23\"/> |

LEGEND

| | | | |
|---|-------------------------|----------------------------------|------------------------------|
| BM BOOK OF MAPS | WH WATER LINE | CONCRETE | PROPERTY LINE |
| DB DEED BOOK | WM WATER METER | EX. WATER VALVE | RIGHT-OF-WAY LINE |
| PG PAGE | WS WATER SERVICE | EX. FIRE HYDRANT | LOT LINE |
| RW RIGHT-OF-WAY | FH FIRE HYDRANT | EX. WATER METER | EASEMENT LINE |
| AC ACREAGE | FL FIRE LINE | EX. SANITARY SEWER MANHOLE | EXISTING WATER LINE |
| S.F. SQUARE FEET | BO BLOWOFF | EX. SANITARY SEWER CLEANOUT | EXISTING SANITARY SEWER |
| EXIP EXISTING IRON PIPE | HC HANDICAP | EX. STORM CATCH BASIN | EXISTING STORM DRAINAGE |
| IPIS IRON PIPE SET | TC TOP OF CURB | EX. STORM FLARED END SECTION | NEW WATER LINE |
| NF NOW OR FORMERLY | TW TOP OF WALL | EX. STORM DROP INLET | NEW SANITARY SEWER |
| ELEV. ELEVATION | HW HANDICAP BOTTOM | EX. LIGHT POLE | NEW STORM DRAINAGE |
| EX. EXISTING | HT HANDICAP TOP | EX. POWER POLE | EXISTING CONTOUR LINE |
| EOP EDGE OF PAVEMENT | MIN MINIMUM | EX. NEW WATER VALVE | NEW CONTOUR LINE |
| CB CATCH BASIN | TYP TYPICAL | EX. NEW WATER REDUCER | DIVERSION DITCH |
| DI DROP INLET | SP SPACES | EX. NEW FIRE HYDRANT | NEIGHBORHOOD TRANSITION YARD |
| D.I. DUCTILE IRON | SW SIDEWALK | EX. NEW WATER METER | AMENITY AREA |
| CMP CORRUGATED METAL PIPE | SP SPACES | EX. NEW SANITARY SEWER MANHOLE | |
| JB JUNCTION BOX | ESMT. EASEMENT | EX. NEW SANITARY SEWER CLEANOUT | |
| HW HEADWALL | YI YARD INLET | EX. NEW STORM CATCH BASIN | |
| SS SANITARY SEWER | CONC. CONCRETE | EX. NEW STORM FLARED END SECTION | |
| FES FLARED END SECTION | C&G CURB AND GUTTER | | |
| FFE FINISHED FLOOR ELEVATION | TSP TRAFFIC SIGNAL POLE | | |
| PVC POLYVINYL CHLORIDE PIPE | | | |
| FDC FIRE DEPARTMENT CONNECTION | | | |
| RCF REINFORCED CONCRETE PIPE | | | |
| RPZ REDUCED PRESSURE ZONE | | | |
| DCVA DOUBLE CHECK VALVE ASSEMBLY | | | |
| RPDA REDUCED PRESSURE DETECTOR ASSEMBLY | | | |



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 www.jaeco.com

Project
1600 CROSS LINK RD.

Client
CROSS LINK ASSOCIATES, LLC

Revisions

| Number | Description | Date |
|--------|----------------------|--------|
| 1 | CITY REVIEW COMMENTS | 8/6/18 |

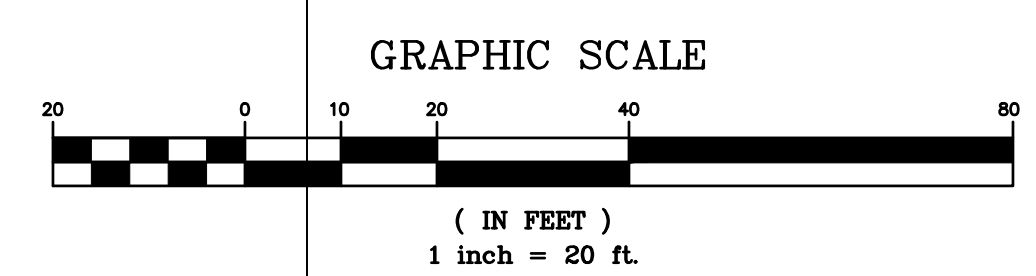
Approvals

ALL CONSTRUCTION SHALL BE IN ACCORDANCE WITH CITY OF RALEIGH AND / OR NCDOT STANDARDS AND SPECIFICATIONS.

Drawing Title
SITE PLAN

Job Number: 219.02
 Drawn By: BF
 Checked By: JAE, JR
 Date Issued: 6/20/18

CE-2



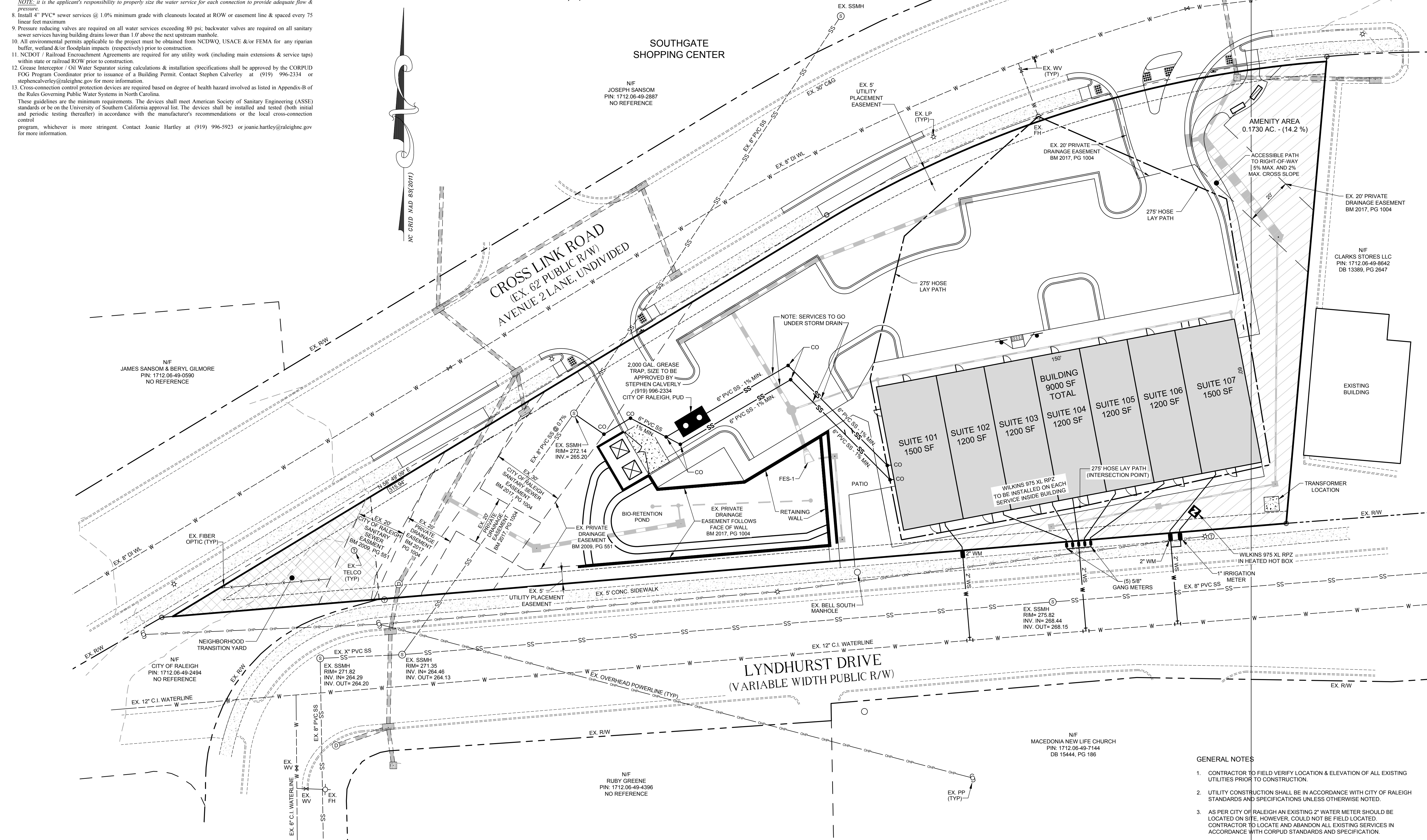
X:\dgs\2018\1600CrossLinkRoad - 1.dwg 7/19/2018 10:15:19 AM NEW ASR Submittal\219-02 CROSS LINK RD ASR UPDATE.dwg 8/2/2018 12:41:47 PM

STANDARD UTILITY NOTES (as applicable):

- All materials & construction methods shall be in accordance with City of Raleigh design standards, details & specifications (reference: CORPUD Handbook, current edition).
- Utility separation requirements:
 - A distance of 100' shall be maintained between sanitary sewer & any private or public water supply source such as an impounded reservoir used as a source of drinking water. If adequate lateral separation cannot be achieved, ferrous sanitary sewer pipe shall be specified & installed to waterline specifications. However, the minimum separation shall not be less than 25' from a private well or 50' from a public well.
 - When installing water &/or sewer mains, the horizontal separation between utilities shall be 10'. If this separation cannot be maintained due to existing conditions, the variation allowed is the water main in a separate trench with the elevation of the water main at least 18" above the top of the sewer & must be approved by the Public Utilities Director. All distances are measured from outside diameter to outside diameter.
 - Where it is impossible to obtain proper separation, or anytime a sanitary sewer passes over a watermain, DIP materials or steel encasement extended 10' on each side of crossing must be specified & installed to waterline specifications.
 - 5.0' minimum horizontal separation is required between all sanitary sewer & storm sewer facilities, unless DIP material is specified for sanitary sewer.
 - Maintain 18" min. vertical separation at all watermain & RCP storm drain crossings; maintain 24" min. vertical separation at all sanitary sewer & RCP storm drain crossings. Where adequate separations cannot be achieved, specify DIP materials & a concrete cradle having 6" min. clearance (per CORPUD details W-41 & S-49).
 - All other underground utilities shall cross water & sewer facilities with 18" min. vertical separation required.
- Any necessary field revisions are subject to review & approval of an amended plan &/or profile by the City of Raleigh Public Utilities Department prior to construction.
- Contractor shall maintain continuous water & sewer service to existing residences & businesses throughout construction of project. Any necessary service interruptions shall be preceded by a 24 hour advance notice to the City of Raleigh Public Utilities Department.
- 3.0' minimum cover is required on all water mains & sewer force mains. 4.0' minimum cover is required on all reuse mains.
- It is the developer's responsibility to abandon or remove existing water & sewer services not being used in redevelopment of a site unless otherwise directed by the City of Raleigh Public Utilities Department. This includes abandoning tap at main & removal of service from ROW or easement per CORPUD Handbook procedure.
- Install 1/2" copper water services with meters located at ROW or within a 2x2 Waterline Easement immediately adjacent. *NOTE: it is the applicant's responsibility to properly size the water service for each connection to provide adequate flow & pressure.*
- Install 4" PVC* sewer services @ 1.0% minimum grade with cleanouts located at ROW or easement line & spaced every 75 linear feet maximum.
- Pressure reducing valves are required on all water services exceeding 80 psi; backwater valves are required on all sanitary sewer services having building drains lower than 1.0' above the next upstream manhole.
- All environmental permits applicable to the project must be obtained from NCDWQ, USACE &/or FEMA for any riparian buffer, wetland &/or floodplain impacts (respectively) prior to construction.
- NCDOT / Railroad Encroachment Agreements are required for any utility work (including main extensions & service taps) within state or railroad ROW prior to construction.
- Grease Interceptor / Oil Water Separator sizing calculations & installation specifications shall be approved by the CORPUD FOG Program Coordinator prior to issuance of a Building Permit. Contact Stephen Calverley at (919) 996-2334 or stephencalverley@raleighnc.gov for more information.
- Cross-connection control protection devices are required based on degree of health hazard involved as listed in Appendix-B of the Rules Governing Public Water Systems in North Carolina. These guidelines are the minimum requirements. The devices shall meet American Society of Sanitary Engineering (ASSE) standards or be on the University of Southern California approval list. The devices shall be installed and tested (both initial and periodic testing thereafter) in accordance with the manufacturer's recommendations or the local cross-connection control program, whichever is more stringent. Contact Joanie Hartley at (919) 996-5923 or joanie.hartley@raleighnc.gov for more information.

LEGEND

- | | | | |
|---|-------------------------|------------------------------|-------------------------|
| BM BOOK OF MAPS | MH MANHOLE | CONCRETE | PROPERTY LINE |
| DB DEED BOOK | WL WATER LINE | EX. WATER VALVE | RIGHT-OF-WAY LINE |
| PG PAGE | WM WATER METER | EX. FIRE HYDRANT | LOT LINE |
| R/W RIGHT-OF-WAY | WS WATER SERVICE | EX. WATER METER | EASEMENT LINE |
| AC ACREAGE | FH FIRE HYDRANT | EX. SANITARY SEWER MANHOLE | EXISTING WATER LINE |
| S.F. SQUARE FEET | FL FIRE LINE | EX. STORM SEWER CLEANOUT | EXISTING SANITARY SEWER |
| EX. IRON PIPE | BO BLOWOFF | EX. STORM DRAIN INLET | EXISTING STORM DRAINAGE |
| IPF IRON PIPE SET | HC HANDICAP | EX. STORM CATCH BASIN | NEW WATER LINE |
| EX. NOW OR FORMERLY | TC TOP OF CURB | EX. STORM FLARED END SECTION | NEW SANITARY SEWER |
| ELEV. ELEVATION | TW TOP OF WALL | EX. LIGHT POLE | NEW STORM DRAINAGE |
| EX. EXISTING | BT BOTTOM OF WALL | EX. POWER POLE | EXISTING CONTOUR LINE |
| EBP EDGE OF PAVEMENT | HW HANDICAP BOTTOM | NEW WATER VALVE | NEW CONTOUR LINE |
| CATCH BASIN | HT HANDICAP TOP | NEW WATER REDUCER | DIVERSION DITCH |
| DI DROP INLET | MIN. MINIMUM | NEW WATER HYDRANT | |
| D.I. DUCTILE IRON | TYP. TYPICAL | NEW WATER METER | |
| CMP CORRUGATED METAL PIPE | INV. INVERT | NEW SANITARY SEWER MANHOLE | |
| J.B. JOINT BOX | SW SIDEWALK | NEW SANITARY SEWER CLEANOUT | |
| HW HEADWALL | SP SPACES | NEW STORM CATCH BASIN | |
| SS SANITARY SEWER | C.O. CLEANOUT | NEW STORM FLARED END SECTION | |
| FES FLARED END SECTION | YI YARD INLET | | |
| FFE FINISHED FLOOR ELEVATION | EMT. EASEMENT | | |
| PVC POLYVINYL CHLORIDE PIPE | CONC. CONCRETE | | |
| FDC FIRE DEPARTMENT CONNECTION | C&G CURB AND GUTTER | | |
| RCP REINFORCED CONCRETE PIPE | TSP TRAFFIC SIGNAL POLE | | |
| RPZ REDUCED PRESSURE ZONE | | | |
| DCVA DOUBLE CHECK VALVE ASSEMBLY | | | |
| RPDA REDUCED PRESSURE DETECTOR ASSEMBLY | | | |



JOHN A. EDWARDS & COMPANY
 Consulting Engineers
 and Land Surveyors

NC License F-0289
 333 Wade Ave., Raleigh, N.C. 27605
 Phone: (919) 828-4428
 Fax: (919) 828-4711
 E-mail: info@jaeco.com

www.jaeco.com

Project
1600 CROSS LINK RD.

Client
CROSS LINK ASSOCIATES, LLC

Revisions

| Number | Description | Date |
|--------|----------------------|--------|
| 1 | CITY REVIEW COMMENTS | 8/6/18 |

Approvals

ALL CONSTRUCTION SHALL BE IN ACCORDANCE WITH CITY OF RALEIGH AND / OR NCDOT STANDARDS AND SPECIFICATIONS.

Drawing Title
UTILITY PLAN

Job Number: 219.02
 Drawn By: BF
 Checked By: JAE, JR
 Date Issued: 6/20/18

CE-3

GENERAL NOTES

- CONTRACTOR TO FIELD VERIFY LOCATION & ELEVATION OF ALL EXISTING UTILITIES PRIOR TO CONSTRUCTION.
- UTILITY CONSTRUCTION SHALL BE IN ACCORDANCE WITH CITY OF RALEIGH STANDARDS AND SPECIFICATIONS UNLESS OTHERWISE NOTED.
- AS PER CITY OF RALEIGH AN EXISTING 2" WATER METER SHOULD BE LOCATED ON SITE. HOWEVER, COULD NOT BE FIELD LOCATED. CONTRACTOR TO LOCATE AND ABANDON ALL EXISTING SERVICES IN ACCORDANCE WITH CORPUD STANDARDS AND SPECIFICATION.

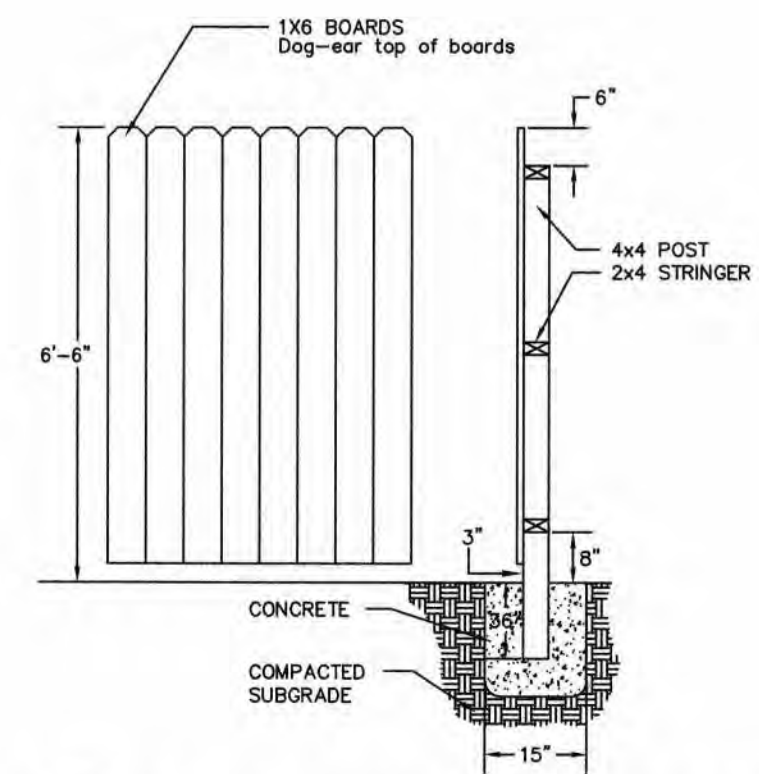
GRAPHIC SCALE

(IN FEET)
 1 inch = 20 ft.

X:\dgs\2018\04\04\04\Cross_Link_Road - Cit 7\PRELIMINARY\2018-6-19 NEW ASR Submittal\219-02 CROSSLINK RD ASR UPDATE.dwg 8/2/2018 1:05:48 PM

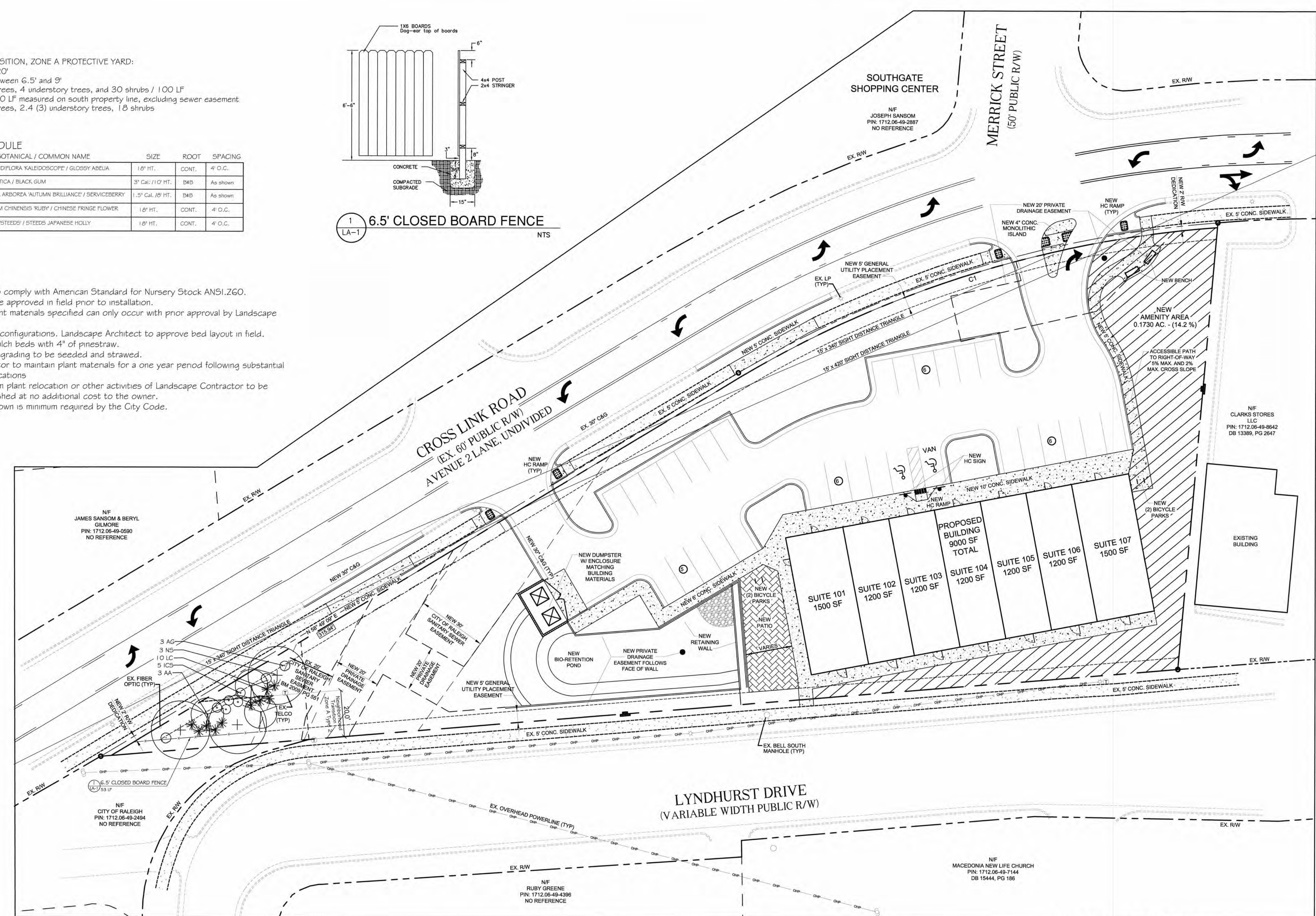
NEIGHBORHOOD TRANSITION, ZONE A PROTECTIVE YARD:
 Type 2 - Medium - 20'
 Required: Fence between 6.5' and 9'
 5 shade trees, 4 understory trees, and 30 shrubs / 100 LF
 Provided: Average 60 LF measured on south property line, excluding sewer easement.
 3 shade trees, 2.4 (3) understory trees, 18 shrubs

| QTY | KEY | BOTANICAL / COMMON NAME | SIZE | ROOT | SPACING |
|-----|-----|--|--------------------|-------|----------|
| 3 | AG | ABELIA X GRANDIFLORA 'KALEIDOSCOPE' / GLOSSY ABELIA | 18" HT. | CONT. | 4' O.C. |
| 3 | NS | NYSSA SYLVATICA / BLACK GUM | 3" Cal. / 11' HT. | B&B | As shown |
| 3 | AA | AMELANCHIER ARBOREA 'AUTUMN BRILLIANCE' / SERVICEBERRY | 1.5" Cal. / 8' HT. | B&B | As shown |
| 10 | LC | LOROPETALUM CHINENSIS 'RUBY' / CHINESE FRINGE FLOWER | 18" HT. | CONT. | 4' O.C. |
| 5 | ICS | ILEX CRENATA 'STEEDS' / STEEDS JAPANESE HOLLY | 18" HT. | CONT. | 4' O.C. |



1 6.5' CLOSED BOARD FENCE
 LA-1 NTS

- PLANTING NOTES:
- All plant materials to comply with American Standard for Nursery Stock ANSI.Z60.
 - Plant locations to be approved in field prior to installation.
 - Substitutions of plant materials specified can only occur with prior approval by Landscape Architect.
 - Establish plant bed configurations. Landscape Architect to approve bed layout in field.
 - Install plants and mulch beds with 4" of pinestraw.
 - Areas disturbed by grading to be seeded and strawed.
 - Landscape Contractor to maintain plant materials for a one year period following substantial completion per specifications.
 - Areas damaged from plant relocation or other activities of Landscape Contractor to be re-seeded and established at no additional cost to the owner.
 - All plant material shown is minimum required by the City Code.



LANDSCAPE PLAN FOR
 NEIGHBORHOOD TRANSITION

1600
CROSSLINK ROAD
 RALEIGH, NC

LANDSCAPE PLAN

Consultants

| Professional Seals | |
|--------------------|--|
| | |

| Revisions | | | | | |
|-----------|-------------|------|----|--------|--------------|
| N.O. | Description | Date | By | Scale | Date issued: |
| | | | | | 1.9.17 |
| | | | | 1"=20' | |
| | | | | RBS | |
| | | | | KJW | |

LA-1



CRAIG DEAN ARCHITECTURE

305 Grand Avenue
Raleigh, North Carolina 27606
919-754-1400

SEALS
NOT FOR CONSTRUCTION
21 NOVEMBER 2016

PROJECT
NEW RETAIL SHELL BUILDING:
**Southgate Plaza
Shopping Center
Phase II**

Cross Link Road
Raleigh, North Carolina 27610

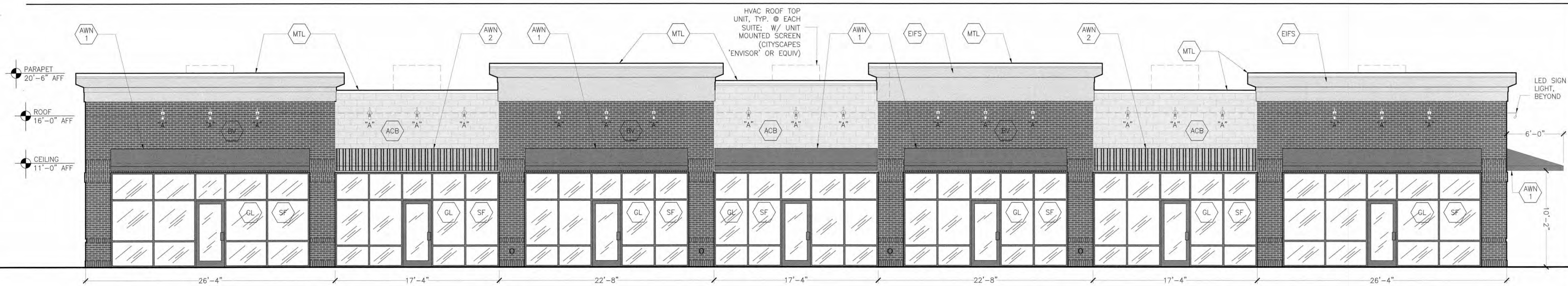
BUILDING OWNER
JOESPH M. SANSOM
VIVIAN M. SANSOM
1521 CROSS LINK RD
RALEIGH NC 27610-4909

REVISIONS

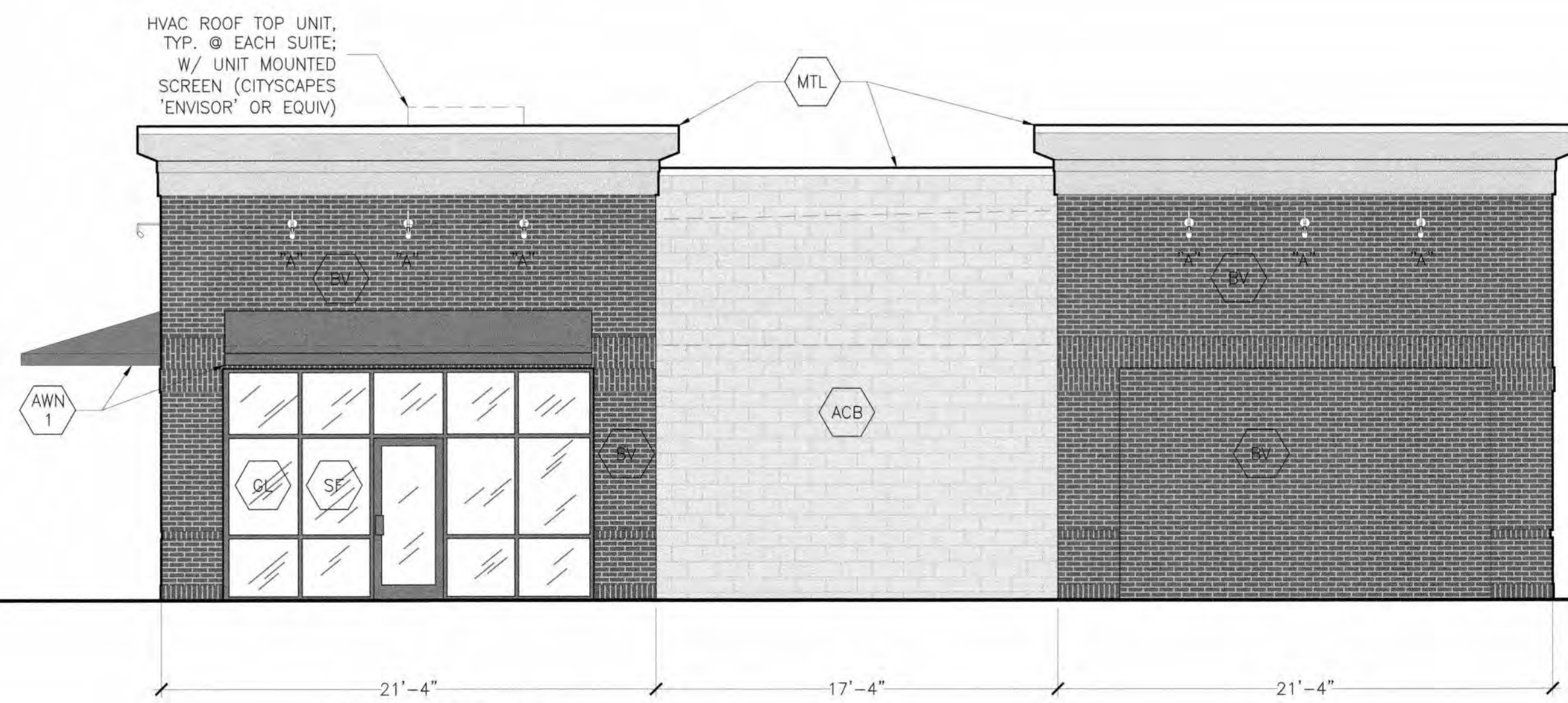
DRAWING NAME + NUMBER
**SCHEMATIC
ELEVATIONS**

A-2
14 JULY 2016

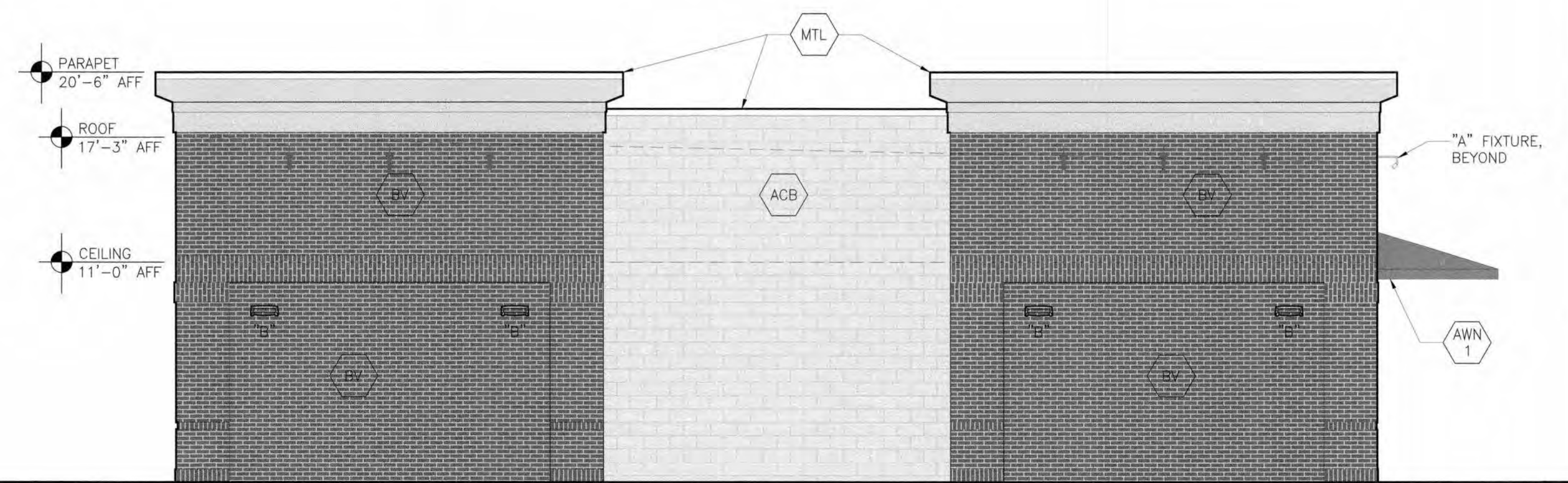
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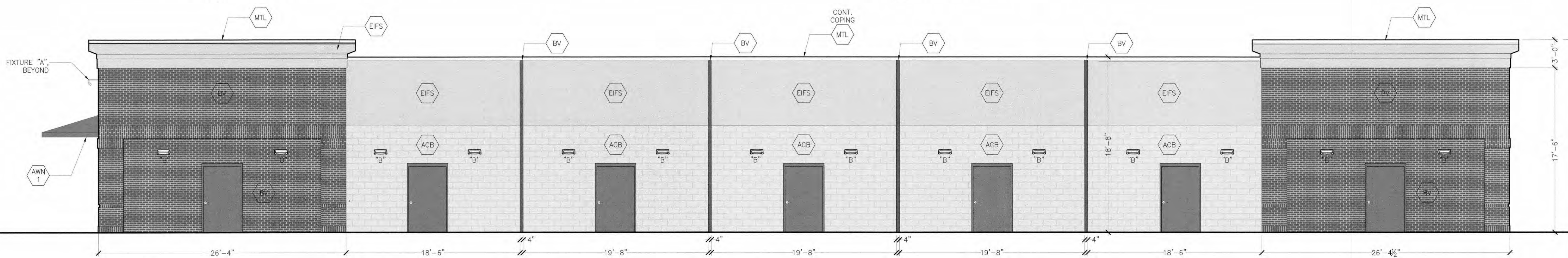
2 NORTH ELEVATION
A-2
Scale: 3/16" = 1'-0"



3 WEST ELEVATION
A-2
Scale: 3/16" = 1'-0"



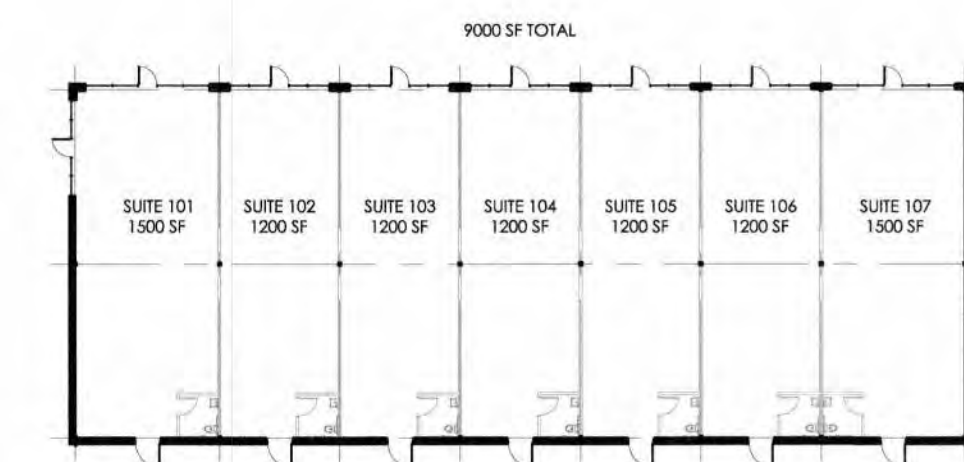
4 EAST ELEVATION
A-2
Scale: 3/16" = 1'-0"



5 SOUTH ELEVATION
A-2
Scale: 3/16" = 1'-0"

| TAG | TYPE | MFG | MODEL | NOTES |
|-----|------------|---------------|-------|--------------------------------|
| "A" | SIGN LIGHT | ACCULITE | S313 | AIM TOWARDS BUILDING |
| "B" | WALL PACK | H.E. WILLIAMS | VWMH | FULL CUTOFF/DARK-SKY COMPLIANT |

| TAG | TYPE | MFG | COLOR | NOTES |
|---------|--------------------|-----------------------|-----------------|----------------|
| "BV" | BRICK VENEER | LEE | PINEHURST #610 | MATCH EXISTING |
| "ACB" | ARCHITECTURAL | OLDCASTLE 'QUIK BRIK' | EARTHTONE BLEND | MATCH EXISTING |
| "EIFS" | EIFS | STO CORP | MATCH EXISTING | MATCH EXISTING |
| "SF" | ALUM STOREFRONT | KAWNEER | MATCH EXISTING | MATCH EXISTING |
| "GL" | GLAZING | GUARDIAN, OR EQ. | MATCH EXISTING | MATCH EXISTING |
| "MTL" | KYNAR COATED METAL | BERRIDGE, OR EQ. | MATCH EXISTING | MATCH EXISTING |
| "AWN 1" | AWNING | SUNBRELLA | BLACK | |
| "AWN 2" | AWNING | SUNBRELLA | 4798-0000 | BURG/BLK/WHT |
| "PT 1" | PAINT | SHERWIN-WILLIAMS | BLACK | |



1 KEY PLAN
A-2
Scale: 1/32" = 1'-0"

PLAN NORTH

