



# Administrative Approval Action

**SR-62-18 Highland Express Shuttle Services  
Transaction# 559729 AA#3892**

**City of Raleigh**  
Development Services Department  
One Exchange Plaza  
Raleigh, NC 27602  
(919) 996-2495  
DS.help@raleighnc.gov  
www.raleighnc.gov

**LOCATION:** This site is located west of New Hope Rd, on the north side of Willow Oak Rd. at 4209 Willow Oak Rd.

**REQUEST:** Development of a 0.55 acre tract zoned OX-3 with a 872 square foot addition to an existing 1,664 gross sf building for office uses.

**DESIGN ADJUSTMENT(S)/ALTERNATES, ETC:** A design adjustment to the block perimeter requirements of UDO Article 8.3 has been approved.

**FINDINGS:** City Administration finds that this request, with the below conditions of approval being met, conforms to the Unified Development Ordinance. This approval is based on a preliminary plan dated 10/10/2018 by *MacConnell & Associates, PC*.

## CONDITIONS OF APPROVAL and NEXT STEPS:

*This document must be applied to the second sheet of all future submittals except for final plats. This is a preliminary plan and as such no permits have been issued with this approval. To obtain permits and/or completion of the project, the following steps are required:*

**CONCURRENT SITE REVIEW NOT REQUIRED AT THIS TIME** – However, plan revisions or further development that includes land disturbance of 12,000 square feet or greater, public or private infrastructure, shared stormwater devices, etc. will require concurrent site review.

**CONCURRENT SITE REVIEW** - For land disturbance of 12,000 square feet or greater, public or private infrastructure, shared stormwater devices, etc. Concurrent Site Review may be submitted upon receipt of this signed approval document.

***The following items are required prior to approval of Concurrent Site Review plans:***

**Engineering**

1. A right-of-way obstruction permit must be obtained from Right-of-way Services prior to the commencement of any construction activities within the right-of-way.

**LEGAL DOCUMENTS** - Email to [legaldocumentreview@raleighnc.gov](mailto:legaldocumentreview@raleighnc.gov). Legal documents must be approved, executed, and recorded prior to or in conjunction with the recorded plat on which the associated easements are shown. Copies of recorded documents must be returned to the City within one business day of recording to avoid withholding of further permit issuance.

<input type="checkbox"/>	City Code Covenant	<input checked="" type="checkbox"/>	Slope Easement
<input type="checkbox"/>	Stormwater Maintenance Covenant	<input type="checkbox"/>	Transit Easement
<input checked="" type="checkbox"/>	Utility Placement Easement	<input checked="" type="checkbox"/>	Cross Access Easement



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<input type="checkbox"/>	Sidewalk Easement	<input type="checkbox"/>	Public Access Easement
		<input type="checkbox"/>	Other:

**RECORDED MAP(S)** - Submit plat to record new property lines, easements, tree conservation areas, etc.). Plats may be submitted for review when the Concurrent Site Review plans, if required, have been deemed ready for mylar signature.

*The following items must be approved prior to recording the plat:*

## Engineering

1. A 5' general utility easement and associated deed of easement shall be approved by the City and the location of the easement shall be shown on the map approved for recordation. The deed of easement shall be recorded at Wake County Register of Deeds within one day of recordation of the recorded plat. A recorded copy of these documents must be provided to the Development Services Department within one day from authorization of lot recordation. If recorded copies of the documents are not provided, further recordings and building permit issuance will be withheld.
2. A 20' slope easement and associated deed of easement shall be approved by the City and the location of the easement shall be shown on the map approved for recordation. The deed of easement shall be recorded at Wake County Register of Deeds within one day of recordation of the recorded plat. A recorded copy of these documents must be provided to the Development Services Department within one day from authorization of lot recordation. If recorded copies of the documents are not provided, further recordings and building permit issuance will be withheld.
3. A cross access agreement among the lots identified as PINs 1724887751 and 1724889712 shall be approved by the Development Services Department for recording in the Wake County Registry, and a copy of the recorded cross access easement shall be returned to the Development Services Department within one day of plat recordation. If a recorded copy of the document is not provided within this time, further recordings and building permit issuance will be withheld.

**BUILDING PERMITS** – For buildings and structures shown on the approved plans. Commercial building permit plans must include the signed, approved Concurrent Site Review plans attached, if applicable. Permit sets may be reviewed prior to the recordation of required plats, but cannot be approved.

*The following items must be approved prior to the issuance of building permits:*

## Engineering

1. A fee-in-lieu for ½ of the street improvements and 6' sidewalks along the entire frontage shall be paid to the City of Raleigh (UDO 8.1.10).
2. A public infrastructure surety shall be provided to the City of Raleigh Development Services – Development Engineering (UDO 8.1.3).
3. A right-of-way obstruction permit shall be obtained from Right-of-way Services for any construction activity within the right-of-way.



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## Public Utilities

4. A plat must be recorded at the Wake County Register of Deeds office for all utility easement dedications.

## Urban Forestry

5. A tree impact permit must be obtained for the approved streetscape tree installation in the right of way. This development proposes 3 street trees along Willow Oak Rd.

### *The following are required prior to issuance of building occupancy permit:*

1. Required public right-of-way infrastructure improvements shall be, at a minimum, sufficiently completed to provide the necessary, safe emergency and vehicular access
2. Required underground storm drainage improvements shall be completed and as-built plan(s) and certification(s) reviewed and accepted by the City of Raleigh Development Services – Development Engineering program
3. Copies of certified inspector reports for alleys and internal access ways are submitted to the City of Raleigh Development Services – Development Engineering program.
4. As-built drawings and associated forms for all Stormwater devices are accepted by the Engineering Services Department (UDO 9.2.2.D.3).
5. Final inspection of all right of way street trees by Urban Forestry Staff.

**EXPIRATION DATES:** The expiration provisions of UDO Section 10.2.8 E, including the ability to request extensions in the expiration date, apply to this site plan. If significant construction has not taken place on a project after administrative site review approval, that approval may expire and be declared void, requiring re-approval before permits may be issued. To avoid allowing this plan approval to expire the following must take place by the following dates:

**3-Year Expiration Date:** 11-15-2021

Obtain a valid building permit for the total area of the project, or a phase of the project.

I hereby certify this administrative decision.

Signed:(Planning Dir./Designee)

Date: 11/15/18

Staff Coordinator: Jermont Purifoy


# Design Adjustment Staff Response



**DEVELOPMENT  
SERVICES  
DEPARTMENT**

Per Section 10.2.18.C of the Unified Development Ordinance, the Development Services Director, or designee, shall consult with the heads of other City Departments regarding the review of the request. The Development Services Director, or designee, shall approve, approve with conditions or deny the request, but must do so within 60 days of the receipt of a completed application. Additional time may be necessary if a municipal or state entity is incorporated in the review process or if a detailed engineering study is submitted in conjunction with the request.

<b>PROJECT</b>	<b>Project Name</b>	Highland Express Shuttle Services	
	<b>Development Case Number</b>	SR-62-2018	
	<b>Transaction Number</b>	559729	
	<b>Design Adjustment Number</b>	DA - 97 - 2018	
<b>Staff recommendation based upon the findings in the applicable code(s):</b>			
<input checked="" type="checkbox"/> <b>UDO Art. 8.3 Blocks, Lots, Access</b>		<input type="checkbox"/> <b>UDO Art. 8.5 Existing Streets</b>	
<input type="checkbox"/> <b>UDO Art. 8.4 New Streets</b>		<input type="checkbox"/> <b>Raleigh Street Design Manual</b>	
Staff <b>SUPPORTS</b> <input checked="" type="checkbox"/> <b>DOES NOT SUPPORT</b> <input type="checkbox"/> the design adjustment request.			
<b>DEPARTMENTS</b>			
<input type="checkbox"/> <b>Dev. Services Planner</b>		<input type="checkbox"/> <b>City Planning</b>	
<input checked="" type="checkbox"/> <b>Development Engineering</b> <i>K. H. 10-26-18</i>		<input type="checkbox"/> <b>Transportation</b>	
<input type="checkbox"/> <b>Engineering Services</b>		<input type="checkbox"/> <b>Parks &amp; Recreation and Cult. Res.</b>	
<input type="checkbox"/> <b>Public Utilities</b>			
<b>STAFF RESPONSE</b>	<b>CONDITIONS:</b>		
<b>Development Services Director or Designee Action:</b> <input checked="" type="checkbox"/> <b>APPROVE</b> <input type="checkbox"/> <b>APPROVE WITH CONDITIONS</b> <input type="checkbox"/> <b>DENY</b>			


**Authorized Signature**
**KENNETH W. RITCHIE, PE, MPA**
**11/15/2018**
**Date**

\*The Development Services Director may authorize a designee to sign in his/her stead. Please print name and title next to signature. Appeal of the decision from the Development Services Director, or his or her designee, shall be made in writing within 30 days to the Board of Adjustment (see Section 10.2.18.C3b).

# Staff Response

## Article 8.3 Blocks Lots, Access



DEVELOPMENT  
SERVICES  
DEPARTMENT

The Development Services Director may in accordance with *Sec. 10.2.18*. approve a design adjustment, subject to all of the following findings.

- A. The requested design adjustment meets the intent of this Article;  
YES  NO
- B. The requested design adjustment conforms with the Comprehensive Plan and adopted City plans;  
YES  NO
- C. The requested design adjustment does not increase congestion or compromise Safety;  
YES  NO
- D. The requested design adjustment does not create any lots without direct street Frontage;  
YES  NO
- E. The requested design adjustment is deemed reasonable due to one or more of the following:
1. Topographic changes are too steep;
  2. The presence of existing buildings, stream and other natural features;
  3. Site layout of developed properties;
  4. Adjoining uses or their vehicles are incompatible;
  5. Strict compliance would pose a safety hazard; or
  6. Does not conflict with an approved or built roadway construction project
  7. adjacent to or in the vicinity of the site.
- YES  NO

### STAFF FINDINGS

The developer is requesting a design adjustment to the block perimeter requirements found in Raleigh UDO Article 8.3. Staff is in support of the request due to the site layout of developed properties, adjoining uses are incompatible and the development does not conflict with an approved or built construction project.

The site is situated in a neighborhood setting and is an office use (allowed use.) The plan is for a proposed 872 square foot building addition. The proximity to an established neighborhood with single family homes is not conducive to a public street connection. In addition, the proximity to the intersection with New Hope Road does not allow for a scenario where a public street connection would create a logical block length. A stub from this parcel would result in a future block of less than 1500 feet connecting Pin Oak and Willow Oak Roads. Pin Oak and Willow Oak Roads tie into New Hope Road approximately 300 feet apart.

# Design Adjustment Application



**DEVELOPMENT SERVICES DEPARTMENT**

The purpose of this request is to seek a Design Adjustment from the Development Services Director, or designee, for a specific project only and, if granted, may be approved with special conditions and provisions. This application and all further action shall be consistent with Section 10.2.18 in the Unified Development Ordinance (UDO). The consideration and decision of this request shall be based solely on the conformance of the findings, as outlined in Sec. 8.3.6, Sec. 8.4.1.E and Sec. 8.5.1.G of the UDO or the Raleigh Street Design Manual.

<b>PROJECT</b>	<b>Project Name</b> Highland Express Shuttle Services		
	<b>Case Number</b> SR-62-18		
	<b>Transaction Number</b> 559729		
<b>OWNER</b>	<b>Name</b> Kent Shelton		
	<b>Address</b> 4209 Willow Oak Rd		<b>City</b> Raleigh
	<b>State</b> NC	<b>Zip Code</b> 27604	<b>Phone</b> 919-231-3080
<b>CONTACT</b>	<b>Name</b> Josh Halsey		<b>Firm</b> MacConnell & Associates
	<b>Address</b> 1101 Nowell Rd. Suite 118		<b>City</b> Raleigh
	<b>State</b> NC	<b>Zip Code</b> 27607	<b>Phone</b> 919-467-1239
<b>REQUEST</b>	I am seeking a Design Adjustment from the requirements set forth in the following:		
	<input checked="" type="checkbox"/> UDO Art. 8.3 Blocks, Lots, Access	- See page 2 for findings	
	<input type="checkbox"/> UDO Art. 8.4 New Streets	- See page 3 for findings	
	<input type="checkbox"/> UDO Art. 8.5 Existing Streets	- See page 4 for findings	
	<input type="checkbox"/> Raleigh Street Design Manual	- See page 5 for findings	
	Provide details about the request; (please attach a memorandum if additional space is needed):		
<p>We are requesting a Design Adjustment for the block perimeter requirement. The existing block, which is fully developed, is approximately 3,574 linear feet. OX-3 zoning allows for a block perimeter of up to 3,000 linear feet. It is not feasible to provide a stub through our clients property because the properties to the rear (on Pin Oak Rd.) have existing houses, accessory buildings, driveways and fences that would make a connection to Pin Oak Rd. impractical as such would require loss of an existing single family dwelling fronting on Pin Oak Rd.</p>			

It is the responsibility of the applicant to provide all pertinent information needed for the consideration of this request. Applicant must be the Property Owner.

By signing this document, I hereby acknowledge the information on this application is, to my knowledge, accurate.

  
Owner/Owner's Representative Signature

8/30/19  
Date

## CHECKLIST

Signed Design Adjustment Application	<input checked="" type="checkbox"/> Included
Page(s) addressing required findings	<input checked="" type="checkbox"/> Included
Plan(s) and support documentation	<input checked="" type="checkbox"/> Included
Notary page (page 6) filled out; Must be signed by property owner	<input checked="" type="checkbox"/> Included
First Class stamped and addressed envelopes with completed notification letter	<input checked="" type="checkbox"/> Included

Submit all documentation, with the exception of the required addressed envelopes and letters to [designadjustments@raleighnc.gov](mailto:designadjustments@raleighnc.gov).

Deliver the addressed envelopes and letters to:  
Development Services, Development Engineering  
One Exchange Plaza, Suite 500  
Raleigh NC, 27601

For Office Use Only	RECEIVED DATE:	DA -	-
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# Article 8.3, Blocks, Lots, Access

## Administrative Design Adjustment Findings



DEVELOPMENT  
SERVICES  
DEPARTMENT

The Development Services Director may in accordance with *Sec. 10.2.18*. approve a design adjustment, subject to all of the following findings. Describe how each item is met:

A. The requested design adjustment meets the intent of this Article;

According to 8.3.1.D, an Administrative Design Adjustment "may be appropriate where man made obstructions or site layout of developed properties prevent cross access". There are houses, accessory buildings, driveways and fences on the properties fronting Pin Oak Rd. which would prevent cross access.

B. The requested design adjustment conforms with the Comprehensive Plan and adopted City plans;

The requested Design Adjustment conforms with the Comprehensive Plan and adopted City plans because there is an allowance for the Public Works Director to waive block perimeter requirements due to per-existing development.

C. The requested design adjustment does not increase congestion or compromise Safety;

The requested design adjustment will not increase congestion because the proposed office expansion will add, at most, 1 to 2 extra vehicles travelling on Willow Oak Rd. The adjustment will keep the street safer because adding a "cut through" at such a close proximity to the intersection of New Hope Rd. could cause safety concern for cars turning on to Willow Oad from New Hope Rd.

D. The requested design adjustment does not create any lots without direct street Frontage;  
No street frontage is impacted.

E. The requested design adjustment is deemed reasonable due to one or more of the following:

1. Topographic changes are too steep;
2. The presence of existing buildings, stream and other natural features;
3. Site layout of developed properties;
4. Adjoining uses or their vehicles are incompatible;
5. Strict compliance would pose a safety hazard; or
6. Does not conflict with an approved or built roadway construction project
7. adjacent to or in the vicinity of the site.

The presence of existing residential houses, out buildings, driveways and fences adjacent to the property make it impracticable to provide a stub out through the property. Also, due to the proximity of the lot to the intersection of New Hope Rd, this is not an ideal location for the block to be intersected. Strict compliance with the block perimeter requirement at this location could cause a safety hazard due to the proximity of the lot to New Hope Rd. Maintaining the block "as is" does not conflict with any approved or built roadway construction project to our knowledge.

# Individual Acknowledgement



DEVELOPMENT  
SERVICES  
DEPARTMENT

STATE OF NORTH CAROLINA  
COUNTY OF JOHNSTON

INDIVIDUAL

I, KATHERINE A. CLUFF, a Notary Public do hereby certify that  
KENY SHELTON personally appeared before me this day and  
acknowledged the due execution of the forgoing instrument.

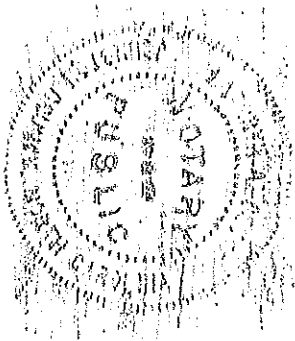
This the 20<sup>th</sup> day of OCTOBER, 2018.

(SEAL)

Notary Public

Handwritten signature of Katherine A. Cluff in cursive script.

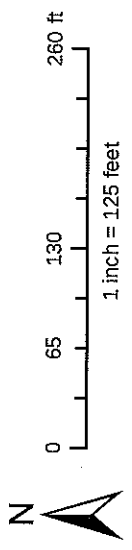
My Commission Expires: 23 MARCH 2019

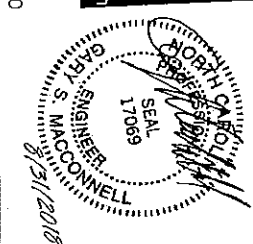
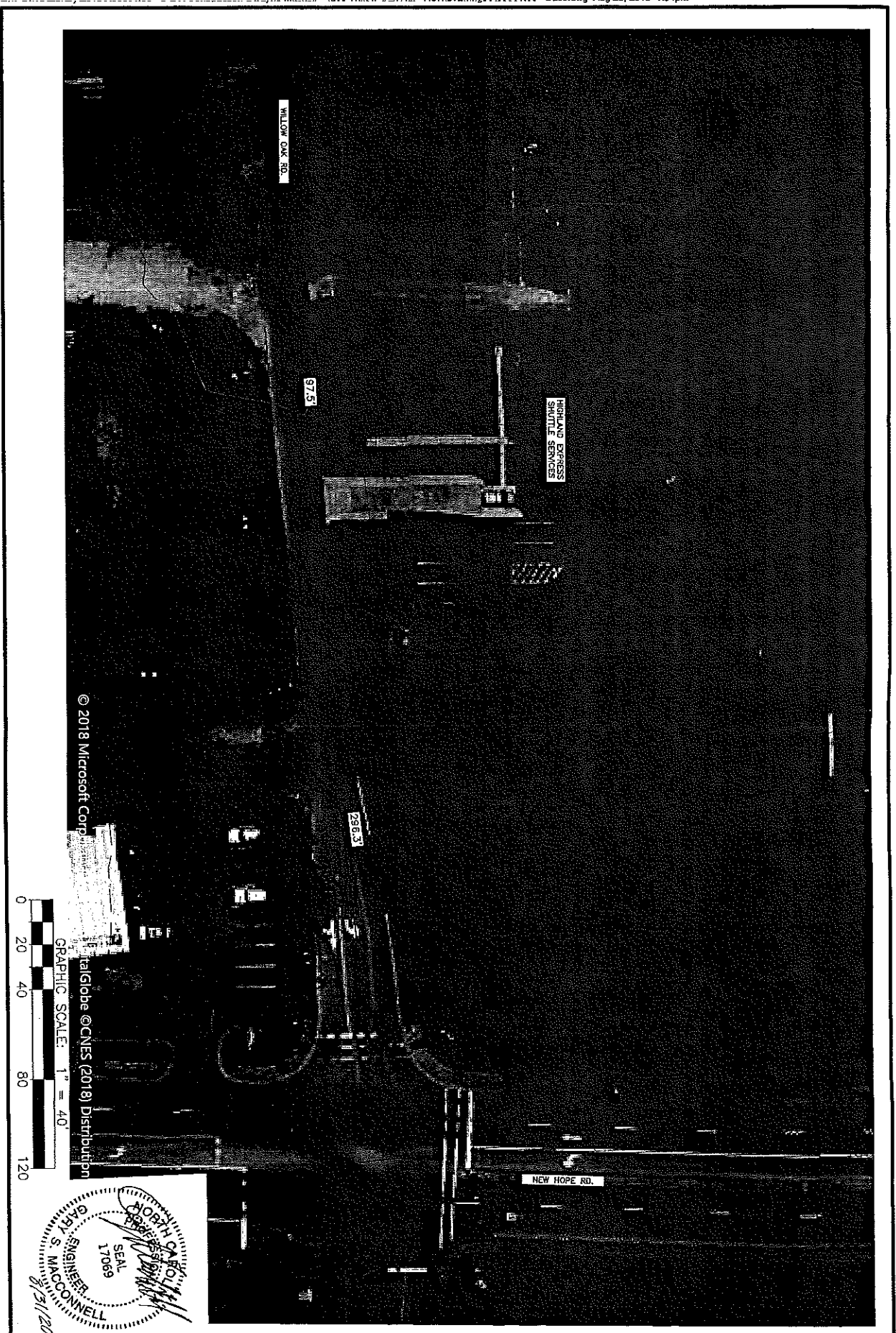






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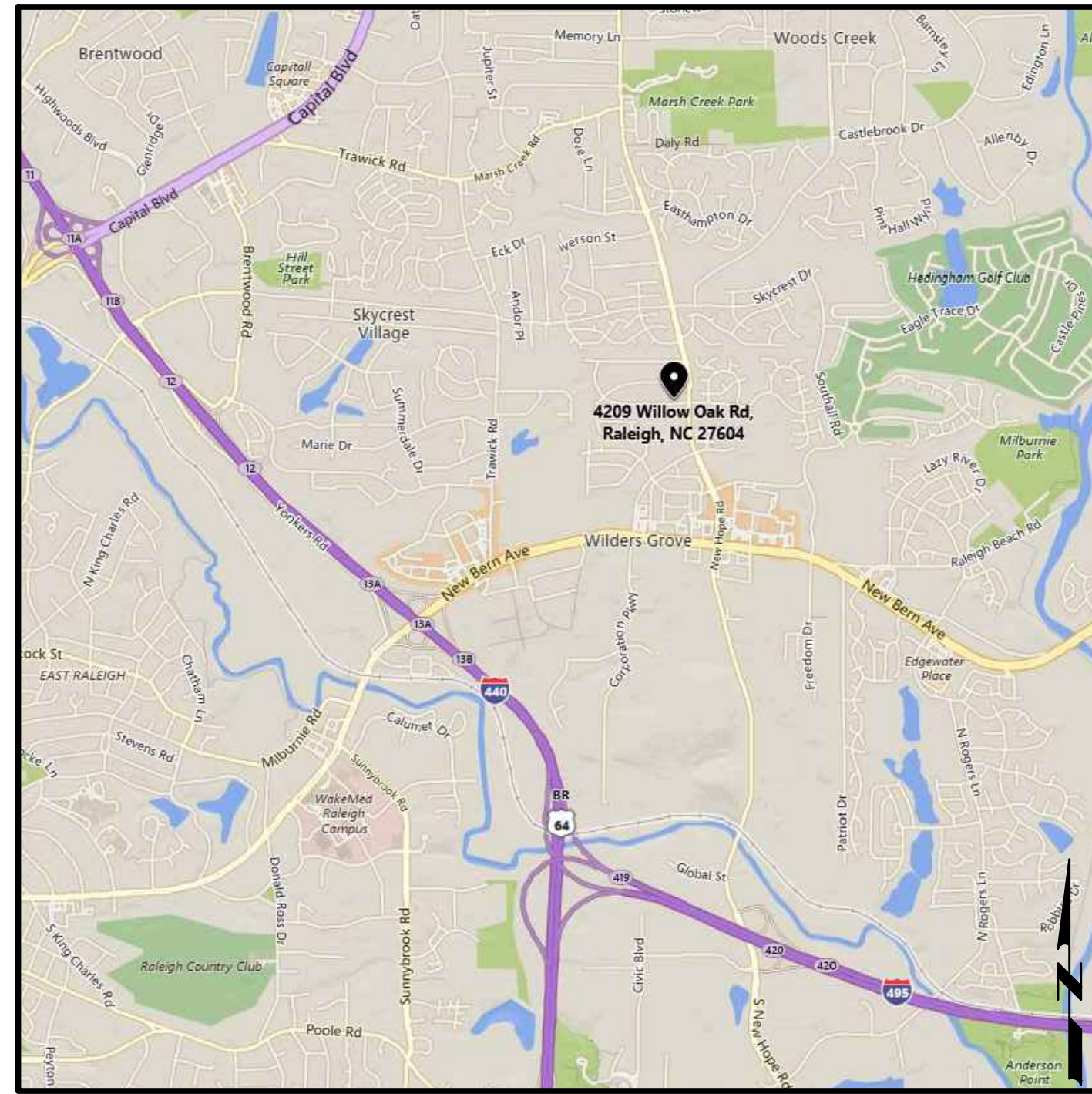
	1101 NOWELL ROAD, SUITE 118 RALEIGH, NORTH CAROLINA 27607 P. O. BOX 129 MORRISVILLE, NORTH CAROLINA 27560 TEL: (919) 467-1239 FAX: (919) 319-6510	BY: JDH JOB #: A64001.00 DATE: 8/31/18	PROJECT: HIGHLAND EXPRESS SHUTTLE SERVICES  RALEIGH, NC	DESIGN ADJUSTMENT EXHIBIT  FIGURE 1
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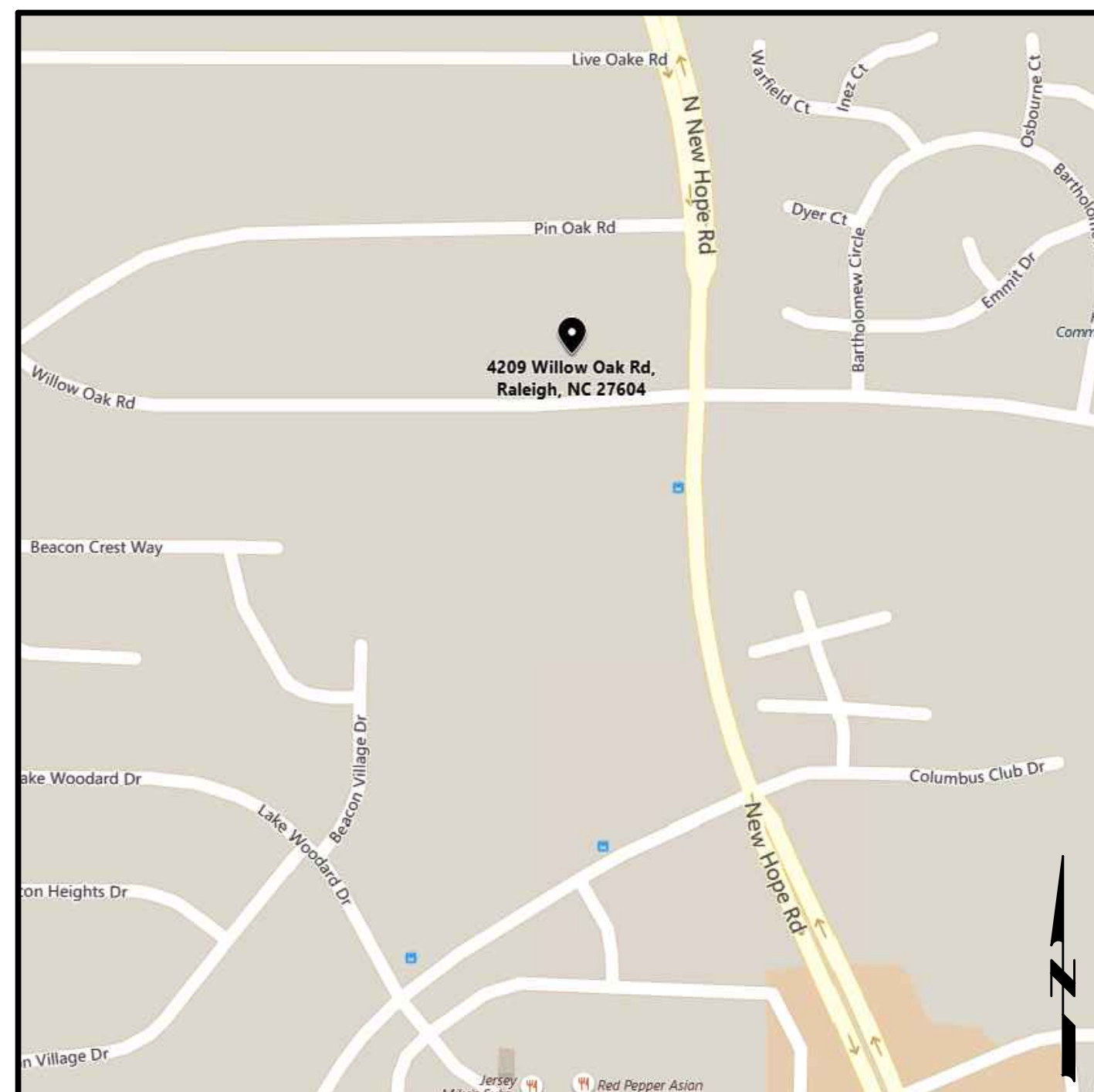
# HIGHLAND EXPRESS SHUTTLE SERVICES

## ADMINISTRATIVE SITE REVIEW

### RALEIGH, NC - PROJECT No. A66001.00



VICINITY MAP



LOCATION MAP

4209 WILLOW OAK RD.  
RALEIGH, NC 27604

PIN: 1724887751

LO25 OAK HAVEN SEC. 4 BM2010-01148

CASE #: SR-62-18

TRANSACTION # 559729

#### SITE SUMMARY INFORMATION

PRESENT OWNER: WILLOW OAK 9, LLC  
301 MCDANIEL LN  
SHENADOAH VA 22849-3631

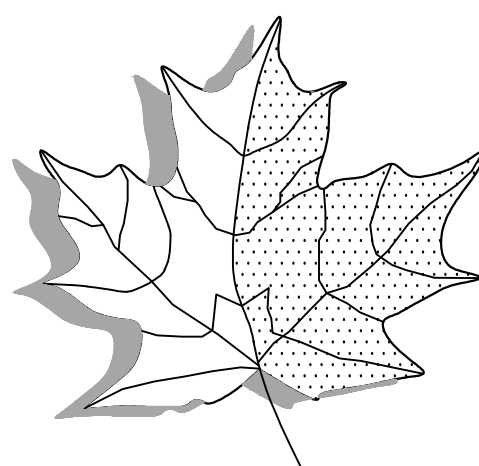
CONTACT: JOSH HALSEY (MACCONNELL & ASSOCIATES)  
(919) 467-1239  
PO BOX 129  
MORRISVILLE, NC 27560  
JDHMCASSOC@BELLSOUTH.NET

ZONING: OX-3  
CURRENT USE: OFFICE  
PROPOSED USE: OFFICE

CURRENT ACREAGE: .55 AC (23,965.5 SF)

#### SCHEDULE OF DRAWINGS:

- |       |                              |
|-------|------------------------------|
| C-101 | EXISTING CONDITIONS          |
| C-102 | PROPOSED SITE PLAN           |
| C-103 | PROPOSED LANDSCAPE PLAN      |
| C-104 | PROPOSED STORMWATER PLAN     |
| D-101 | PROPOSED BUILDING ELEVATIONS |
| D-102 | DETAILS                      |



**MacCONNELL & Associates, P. C.**

1101 NOWELL ROAD, SUITE 118  
RALEIGH, NORTH CAROLINA 27607  
P. O. BOX 129

LICENSE No. C-1039 MORRISVILLE, NORTH CAROLINA 27560  
TEL: (919) 467-1239 FAX: (919) 319-6510

**Administrative Site Review Application (for UDO Districts only)**

Development Services Customer Service Center | Exchange Plaza, Suite 400 | Raleigh, NC 27601 | 919-996-2495 | fax 919-996-1301  
Litchford Satellite Office | 1320 - 130 Litchford Road | Raleigh, NC 27601 | 919-996-6200

When submitting plans, please check the appropriate building type and include the Plan Checklist document.

BUILDING TYPE	FOR OFFICE USE ONLY
<input type="checkbox"/> Detached <input type="checkbox"/> Attached <input type="checkbox"/> Apartment <input type="checkbox"/> Townhouse	<input type="checkbox"/> General <input type="checkbox"/> Mixed Use <input type="checkbox"/> Open Lot

Transaction Number: \_\_\_\_\_  
Assigned Project Coordinator: \_\_\_\_\_  
Assigned Team Leader: \_\_\_\_\_

Has your project previously been through the Due Diligence or Sketch Plan Review process? If yes, provide the transaction # \_\_\_\_\_

**GENERAL INFORMATION**

Development Name: Highland Express Shuttle Services  
Zoning District: OX-3 Overlay District (if applicable): N/A Inside City Limits?  Yes  No  
Proposed Use: Office Major Street Location: 1/2 N. of New Hope/New Bern

Property Address(es): 4209 Willow Oak Rd. Wake County Property Identification Number(s) for each parcel to which these guidelines will apply:

P.I.N.	P.I.N.	P.I.N.	P.I.N.
1724887751			

What is your project type?  Apartment  Elderly Facilities  Hospitals  Hotels/Motels  Office  
 Mixed Residential  Non-Residential Condo  School  Shopping Center  Banks  Industrial Building  
 Duplex  Transmission Tower  Religious Institution  Residential Condo  Retail  Carriage Court  
 Other: if other, please describe: \_\_\_\_\_

**WORK SCOPE** Per City Code Section 10.2.8.D.1, summarize the project work scope. For additions, changes of use, or occupancy (per Chapter 6 of the UDO), indicate impacts on parking requirements.  
Building addition including 2 offices, 1 storage room, and 1 bathroom (±584 sf of heated space ± 2288 sf of screened porch. 2 parking spaces required (these spaces are already existing).

**DESIGN ADJUSTMENT OR ADMIN ALTERNATE** Per City Code Chapter 8, summarize if your project requires either a design adjustment, or Section 10 - Alternate Administrative AE

**CLIENT/DEVELOPER/OWNER** Company: Willow Oak 9, LLC Name (S): Kent Shelton (P.O.A. for owner Steven Shelton)  
Address: 4209 Willow Oak Rd, Raleigh, NC 27604  
Phone: 919-231-3080 Email: kent.shelton@highlandexpress.us Fax: 919-231-1662

**CONSULTANT (Contact Person for Plans)** Company: MacConnell & Associates Name (S): Josh Halsey  
Address: 1101 Nowell Rd, Suite 118  
Phone: 919-467-1239 Email: jdhmaccassoc@bellsouth.net Fax: \_\_\_\_\_

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**DEVELOPMENT TYPE & SITE DATA TABLE (Applicable to all developments)**

Zoning Information		Building Information	
Zoning District(s): OX-3	Proposed building use(s): Office	Existing Building(s) sq. ft. gross: 1,664 sf	
If more than one district, provide the acreage of each:		Proposed Building(s) sq. ft. gross: 872 sf	
Overlay District:	Proposed Building(s) sq. ft. gross: 872 sf	Total sq. ft. gross (existing & proposed): 2,536 sf	
Total Site Acres: Inside City Limits: <input checked="" type="checkbox"/> Yes <input type="checkbox"/> No .54 ac	Provided: 8 + 1 HC	Proposed height of building(s): 17'-0"	
Off street parking: Required: 6 + 1 HC		Proposed height of building(s): 17'-0"	
CDA (Certificate of Appropriateness) case #:		# of stories: 1	
BOA (Board of Adjustment) case # A-:		Ceiling height of 1 <sup>st</sup> Floor: 8'-0"	
CUO (Conditional Use District) case # Z-:			

**Stormwater Information**

Existing Impervious Surface: 7,245 sf acres/square feet Flood Hazard Area:  Yes  No  
 Proposed Impervious Surface: 872 sf acres/square feet If Yes, please provide: Alluvial Soils FEMA Map Panel # Flood Study  
 Nonuse River Buffer:  Yes  No Wetlands:  Yes  No

**FOR RESIDENTIAL DEVELOPMENTS**

1. Total # of Apartment, Condominium or Residential Units	5. Bedroom Units: 1br 2br 3br 4br or more
2. Total # of Congregate Care or Life Care Dwelling Units	6. Infill Development 2.2.7
3. Total Number of Hotel Units	7. Open Space (only) or Amenity
4. Overall Total # of Dwelling Units (1-6 Above)	8. Is your project a cottage court? <input type="checkbox"/> Yes <input type="checkbox"/> No

**SIGNATURE BLOCK (Applicable to all developments)**

In filing this plan as the property owner(s), I/we do hereby agree and firmly bind ourselves, my/our heirs, executors, administrators, successors and assigns jointly and severally to construct all improvements and make all dedications as shown on this proposed development plan as approved by the City.

I hereby designate: **Josh Halsey (MacConnell & Associates)** as agent for my behalf and to represent me in any public meeting regarding this application.

I/We have read, acknowledge and affirm that this project is conforming to all application requirements applicable with the proposed development use.

Signed: \_\_\_\_\_ Date: 4/30/18  
 Printed Name: JOSH HALSEY  
 Signed: \_\_\_\_\_ Date: \_\_\_\_\_  
 Printed Name: \_\_\_\_\_

PAGE 1 OF 3 WWW.RALEIGHNC.GOV REVISION 05.13.16

#### PARKING CALCULATIONS:

PER UDO SEC 7.1.2. THE REQUIRED SPACES FOR AN OFFICE ARE 1 PER 400 SF.

EXISTING OFFICE BLDG. = 1,664 SF (1664/400=4.16) 4 SPACES REQUIRED  
 PROPOSED OFFICE BLDG. = 872 SF (872/400=2.18) 2 SPACES REQUIRED

TOTAL SPACES REQUIRED = 6+1 HC (PLUS 4 SHORT-TERM AND 4 LONG-TERM BIKE SPACES)  
 TOTAL SPACES EXISTING = 8+1 HC  
 TOTAL SPACES PROPOSED = 0 VEHICLE SPACES, 4 SHORT-TERM BIKE SPACES AND 4 LONG-TERM BIKE SPACES

#### NOTES:

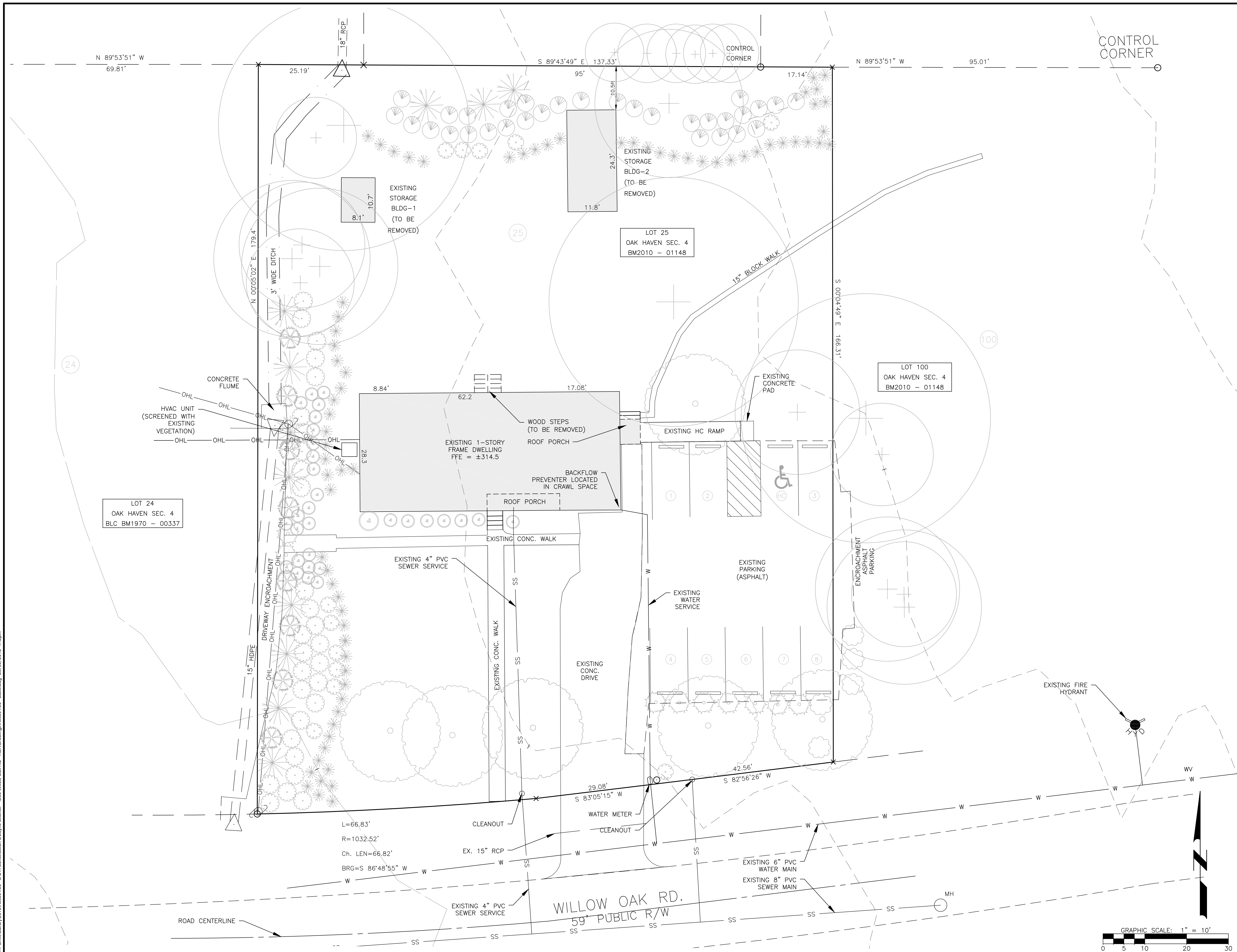
- NO TREE CONSERVATION PLAN PER 9.1.2 RALEIGH U.D.O.
- NO GRADING WILL TAKE PLACE. GRADE TAKEN FROM EXISTING GRADE AS THE RESTRICTIVE GRADE.
- THIS OFFICE IS DEDICATED TO MANAGEMENT OF THE FIELD STAFF THAT MANAGES AND PROVIDES FIXED ROUTE TRANSPORTATION TO THE US ARMED FORCES. THEY ALSO PROVIDE QUOTES AND DIRECTIVES TO THEIR TICKETING AGENT IN JACKSONVILLE, FL. NO VEHICLES ARE DISPATCHED OR STORED FROM/AT THIS HEADQUARTERS BUILDING (4209 WILLOW OAK RD, RALEIGH NC 27604).

JUNE 20, 2018

REVISIONS			
NO.	DATE	DESCRIPTION	SHEET
1	09/07/18	REV. PER CITY OF RALEIGH	ALL
2	10/10/18	REV. PER CITY COMMENTS	ALL

PROJECT MANAGEMENT





**NOTES**

1. BASE MAP INFORMATION COMPILED FROM SURVEY BY JOHN S. COLLIER, PROFESSIONAL LAND SURVEYOR, WAKE COUNTY GIS, AND AERIAL PHOTOGRAPHY.

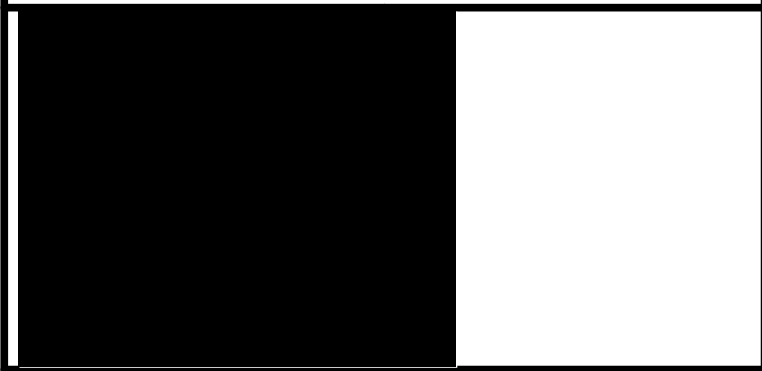
**LEGEND**

- 110 — EX. INDEX CONTOUR
- - - 108 - - EX. INTERMEDIATE CONTOUR
- 110 — PRO. INDEX CONTOUR
- 108 — PROPOSED INTERMEDIATE CONTOUR
- — — — — PROPERTY LINE
- - - - - ADJOINING PROPERTY LINES
- - - - - EXISTING ROAD
- - - - - WATER FEATURE
- — — — — OVERHEAD UTILITY
- EXISTING IRON PIPE OR REBAR
- NO POINT FOUND OR SET
- EXISTING SEWER CLEANOUT
- WATER METER
- POWER POLE

REVISIONS		
NO.	DATE	DESCRIPTION
1	09/7/18	PER CITY OF RALEIGH

PROJECT MANAGER: GSM	PROJECT ENGINEER: GSM/TAP
DRAWN BY: JDH	CHECKED BY: GSM

DATE:  
JUNE 20, 2018

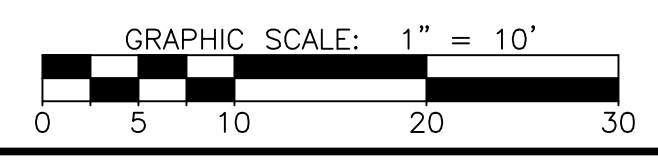


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 P. O. BOX 129  
 MORRISVILLE, NORTH CAROLINA 27560  
 LICENSE No. C-1039 TEL: (919) 467-1239 FAX: (919) 319-6510

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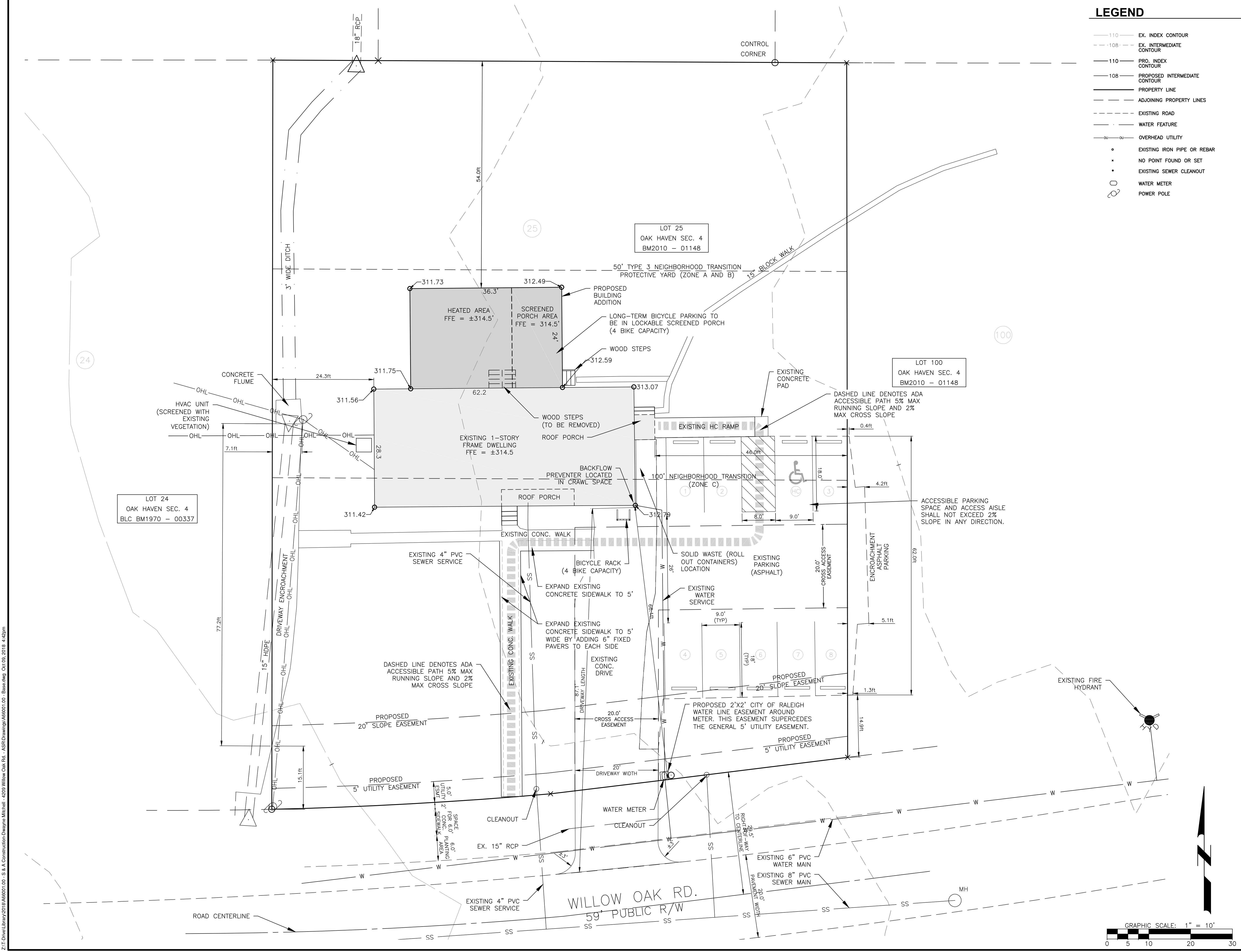
**ADMIN. SITE REVIEW**  
**CASE # SR-62-18**  
**TRANSACTION # 559729**  
**RALEIGH, NC**

PROJECT NUMBER <b>A66001.00</b>	DRAWING NUMBER <b>C-101</b>
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**LEGEND**

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- WATER METER
- POWER POLE

**NOTES**

1. BASE MAP INFORMATION COMPILED FROM SURVEY BY JOHN S. COLLIER, PROFESSIONAL LAND SURVEYOR, PREVIOUS SITE PLAN BY COALY DESIGN — LANDSCAPE ARCHITECTURE, WAKE COUNTY GIS, AND AERIAL PHOTOGRAPHY.
2. NO GRADING WILL TAKE PLACE. GRADE TAKEN FROM EXISTING GRADE AS THE RESTRICTIVE GRADE.
2. ALL WASTE MATERIAL GENERATED FROM DEMOLITION ACTIVITIES SHALL BE DISPOSED OF OFF-SITE IN ACCORDANCE WITH ALL APPLICABLE RULES AND REGULATIONS.
3. VERIFY ALL ILLUSTRATED KNOWN UNDERGROUND ELEMENTS. EXERCISE REASONABLE EFFORTS TO PROTECT ANY UNKNOWN UNDERGROUND ELEMENTS. NOTIFY THE ENGINEER IMMEDIATELY IF UNKNOWN ELEMENTS ARE DISCOVERED THAT WOULD NECESSITATE MODIFICATION TO THE PROPOSED DESIGN.
4. PROTECT ALL ADJACENT PROPERTIES, THE GENERAL PUBLIC AND ALL OF THE OWNERS FACILITIES. SHOULD DAMAGES OCCUR, REPAIR IMMEDIATELY AS DIRECTED BY THE ENGINEER.
5. COMPLY WITH REQUIREMENTS FOR FIRE SAFETY DURING CONSTRUCTION AND DEMOLITION (CHAPTER 14, 2012 NC FIRE CODE, NFPA 241 AND CHAPTER 33, 2012 NC BUILDING CODE).
6. FIRE FLOW ANALYSIS MUST BE PROVEN AT TIME OF BUILDING PERMITS PER THE AVAILABLE FIRE FLOW CALCULATION FROM 2012 NCFPC APPENDIX B OR OTHER APPROVED METHOD.

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DRAWN BY: JDH	CHECKED BY: GSM

DATE:  
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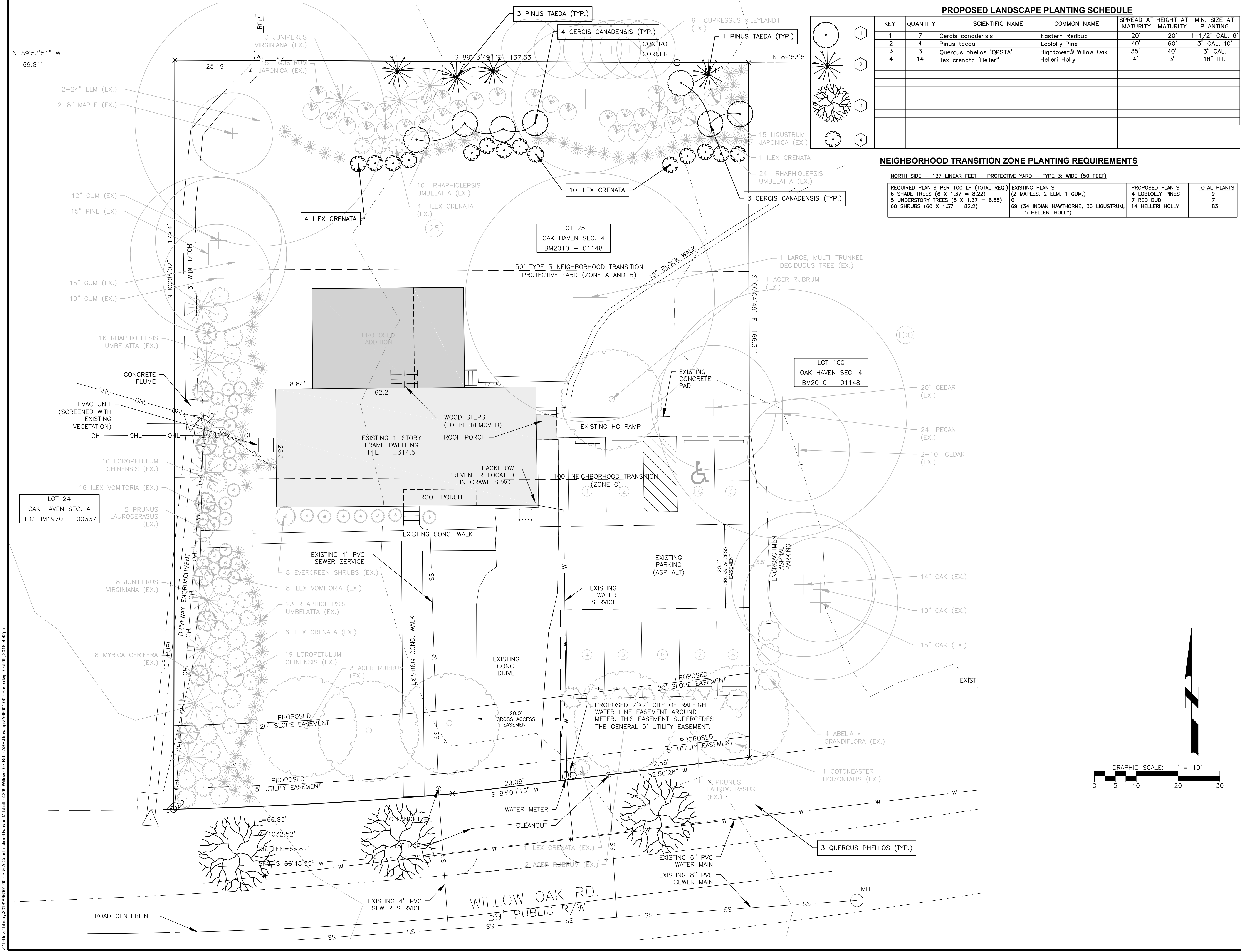
**ADMIN. SITE REVIEW**  
**CASE # SR-62-18**  
**TRANSACTION # 559729**  
**RALEIGH, NC**

<b>PROPOSED SITE PLAN</b>	
PROJECT NUMBER <b>A66001.00</b>	DRAWING NUMBER <b>C-102</b>

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**PROPOSED LANDSCAPE PLANTING SCHEDULE**

KEY	QUANTITY	SCIENTIFIC NAME	COMMON NAME	SPREAD AT MATURITY	HEIGHT AT MATURITY	MIN. SIZE AT PLANTING
1	7	Cercis canadensis	Eastern Redbud	20'	20'	1-1/2" CAL, 6'
2	4	Pinus taeda	Loblolly Pine	40'	60'	3" CAL, 10'
3	3	Quercus phellos 'QPSTA'	Hightower® Willow Oak	35'	40'	3" CAL.
4	14	Ilex crenata 'Helleri'	Helleri Holly	4'	3'	18" HT.

**NEIGHBORHOOD TRANSITION ZONE PLANTING REQUIREMENTS**

NORTH SIDE - 137 LINEAR FEET - PROTECTIVE YARD - TYPE 3: WIDE (50 FEET)

REQUIRED PLANTS PER 100 LF (TOTAL REQ.)	EXISTING PLANTS	PROPOSED PLANTS	TOTAL PLANTS
6 SHADE TREES (6 X 1.37 = 8.22)	(2 MAPLES, 2 ELM, 1 GUM,)	4 LOBLOLLY PINES	9
5 UNDERSTORY TREES (5 X 1.37 = 6.85)	0	7 RED BUD	7
60 SHRUBS (60 X 1.37 = 82.2)	69 (34 INDIAN HAWTHORNE, 30 LIGUSTRUM, 5 HELLERI HOLLY)	14 HELLERI HOLLY	83

**NOTES**

- SEE SHEET C-102 FOR GENERAL NOTES.
- STREET TREES SHALL BE PLANTED 40' O.C. IN A 6' WIDE PLANTING STRIP ADJACENT TO THE ROAD IN THE RIGHT-OF-WAY.
- STREET TREES SHALL BE INSTALLED AND MAINTAINED IN ACCORDANCE WITH THE REQUIREMENTS OF CHAPTER 2 OF THE CITY TREE MANUAL.

**LEGEND**

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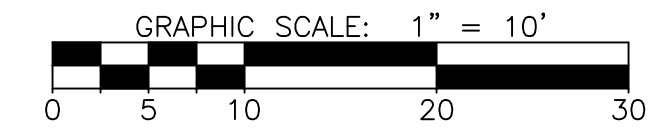
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**HIGHLAND EXPRESS SHUTTLE SERVICES**

**ADMIN. SITE REVIEW**  
**CASE # SR-62-18**  
**TRANSACTION # 559729**  
**RALEIGH, NC**

**PROPOSED LANDSCAPE PLAN**

PROJECT NUMBER <b>A66001.00</b>	DRAWING NUMBER <b>C-103</b>
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PLANS DESIGNED TO THE 2012 NORTH CAROLINA BUILDING CODE  
 DESIGNED FOR 100 MPH 3 SECOND GUST (85 FASTEST WIND), EXPOSURE B

ANCHOR BOLTS SHALL BE MIN. 1/2" DIAMETER & SHALL EXTEND A MINIMUM 7" INTO MASONRY OR CONCRETE. ANCHOR BOLTS TO BE NO MORE THAN 6' O.C. AND WITHIN 12" OF THE CORNER.

MEAN ROOF HEIGHT - 14'-8"

WALL BRACING IS REQUIRED. SEE BRACING PER SECTION R602 (NC 2012 BUILDING CODE) AND STRUCTURAL PAGES FOR DETAIL.

COMPONENT & CLADDING DESIGNED FOR THE FOLLOWING LOADS

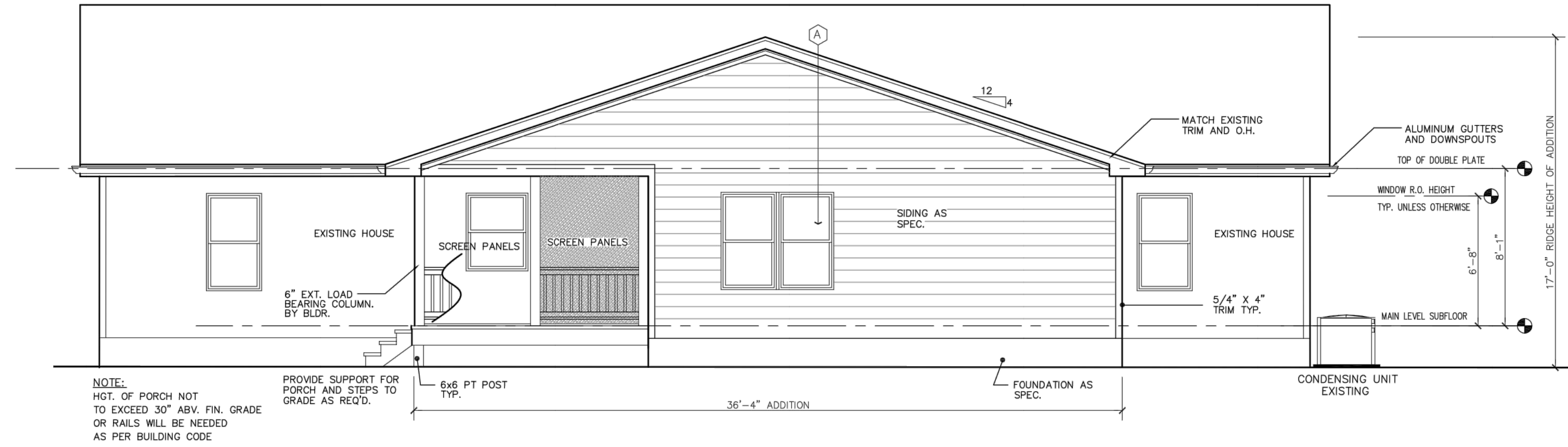
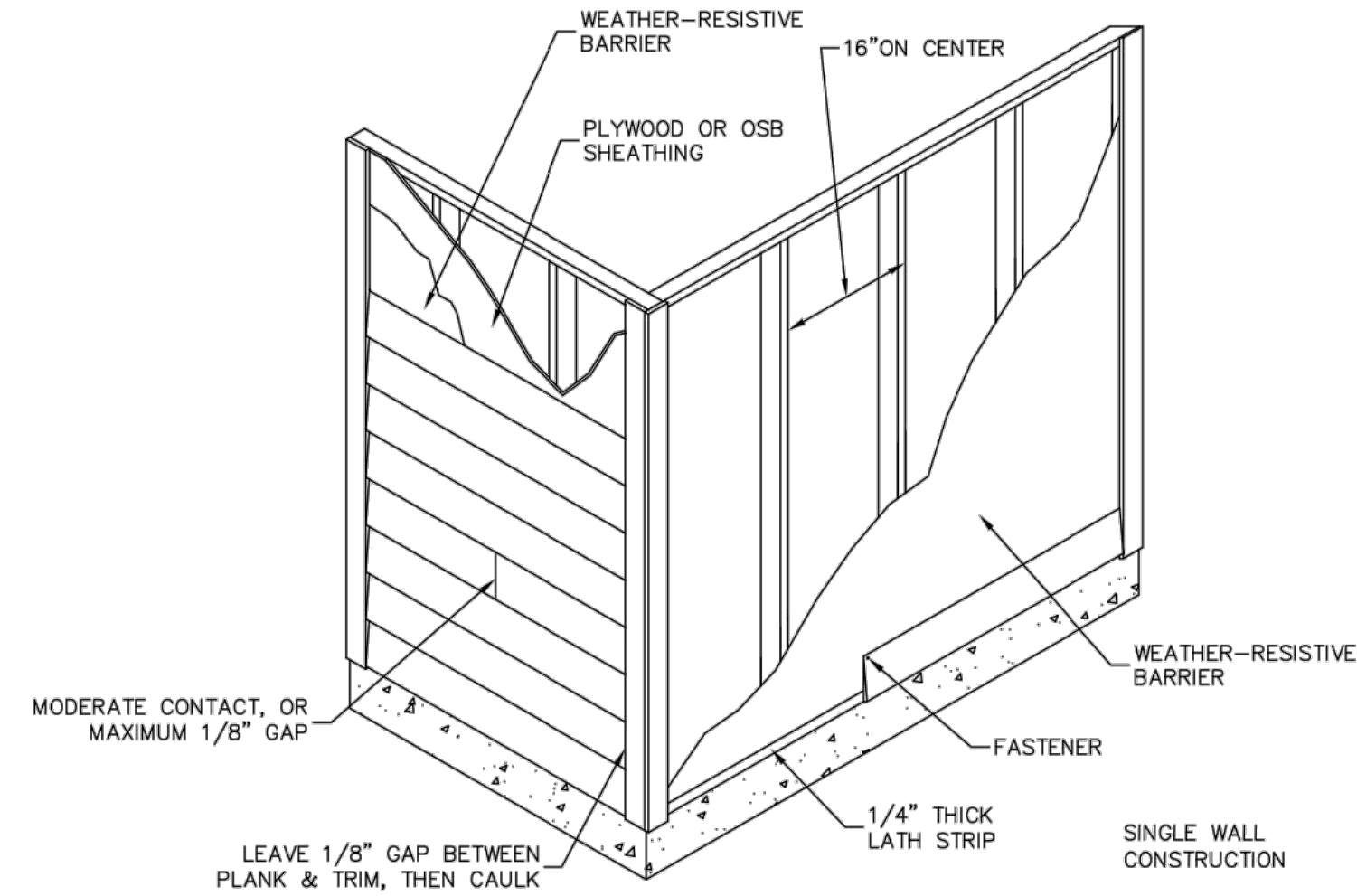
MEAN ROOF HGT	UP TO 30'	30'-1" - 35'	35'-1" - 40'	40'-1" - 45'
ZONE 1	16.5, -18.0	17.3, -18.9	18.0, -19.6	18.5, -20.2
ZONE 2	16.5, -21.0	17.3, -22.1	18.0, -22.9	18.5, -23.5
ZONE 3	16.5, -21.0	17.3, -22.1	18.0, -22.9	18.5, -23.5
ZONE 4	18.0, -19.5	18.9, -20.5	19.6, -21.3	20.2, -21.8
ZONE 5	18.0, -24.1	18.9, -25.3	19.6, -26.3	20.2, -27.0

MINIMUM VALUES FOR ENERGY COMPLIANCE:  
 ZONE 4  
 MAX. GLAZING U-FACTOR = 0.35  
 CEILING: R-38, WALLS: R-15, FLOORS: R-19

DESIGN LOADS:	LIVE LOAD (PSF)	DEAD LOAD (PSF)
FLOOR (PRIMARY DWELLING)	40	10
FLOOR (SLEEPING AREAS)	30	10
ATTIC (WITH STORAGE)	20	10
ATTIC (NO ACCESS)	10	5
DECKS	40	10
EXTERIOR BALCONIES	60	10
STAIRS	40	10
ROOF	20	7
ROOF TRUSS	25	15

**NOTES**

- BUILDING ELEVATIONS PROVIDED BY S&A CONSTRUCTION.



**NOTE:**  
 HGT. OF PORCH NOT TO EXCEED 30" ABV. FIN. GRADE OR RAILS WILL BE NEEDED AS PER BUILDING CODE

HEIGHT OF ADDITION AT AVERAGE GRADE = ±17.00'

**1 NORTH ELEVATION**

SCALE: 1/4"=1'

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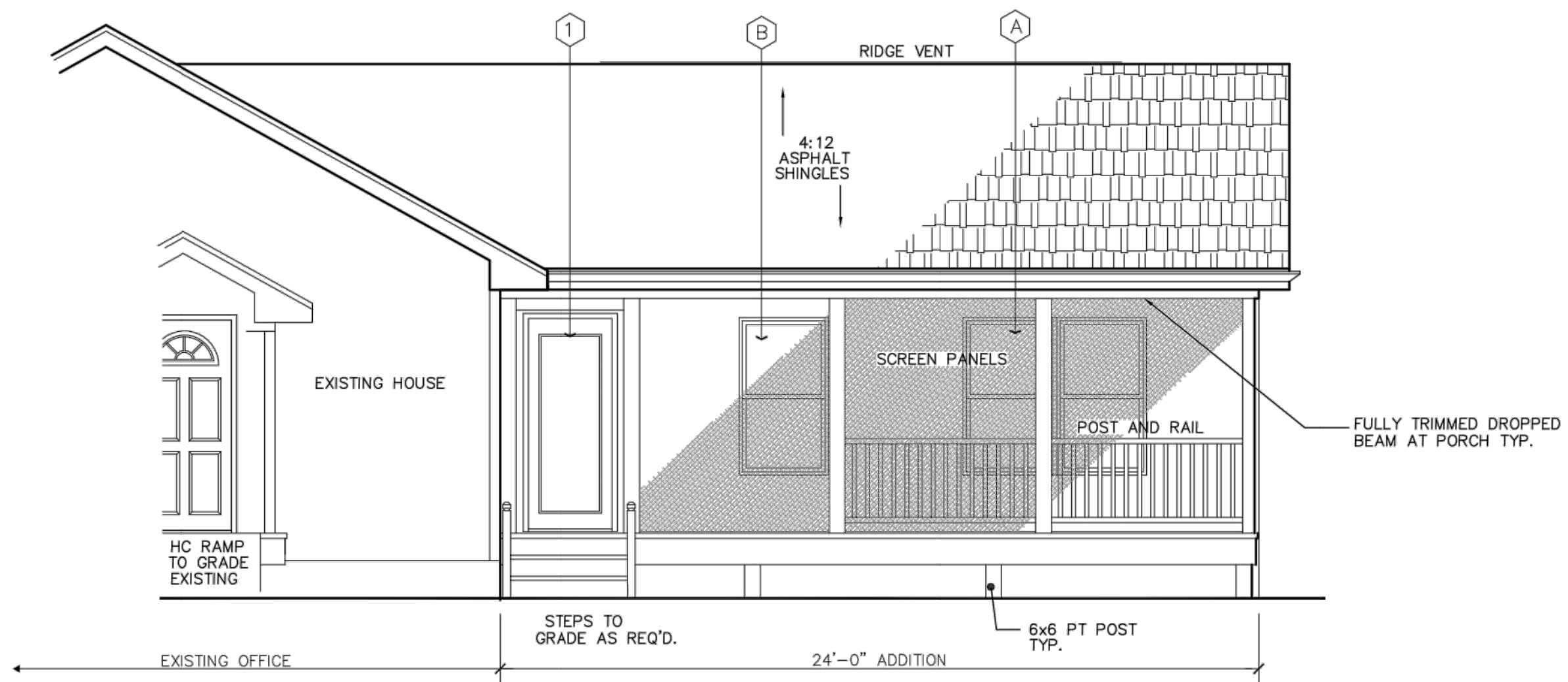
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**ADMIN. SITE REVIEW  
 CASE # SR-22-18  
 TRANSACTION # 559729  
 RALEIGH, NC**

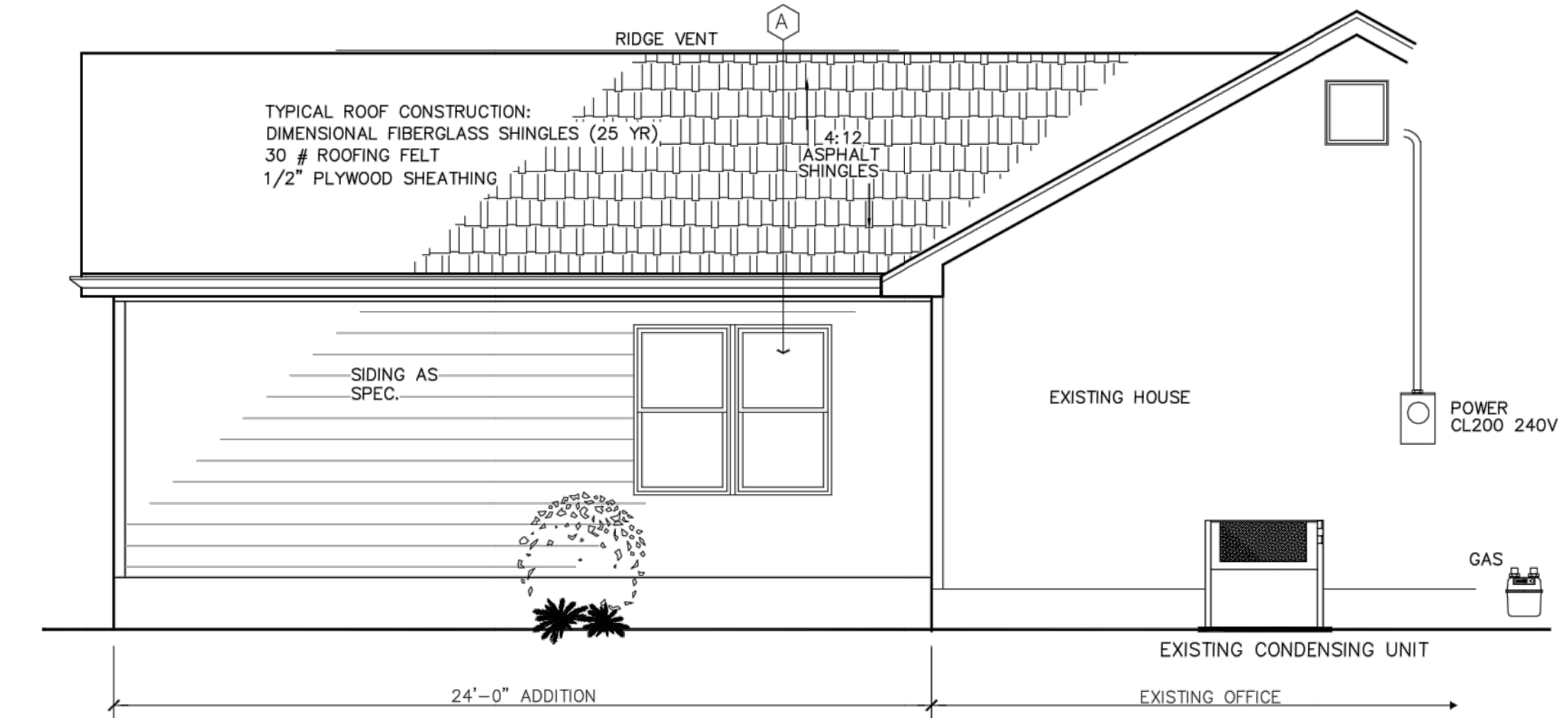
**PROPOSED BUILDING ELEVATIONS**

PROJECT NUMBER <b>A66001.00</b>	DRAWING NUMBER <b>D-101</b>
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**4 EAST ELEVATION**

SCALE: 1/4"=1'



**4 WEST ELEVATION**

SCALE: 1/4"=1'

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