



Administrative Approval Action

AA # 3941 / SR-60-18, 625 New Bern Condos
Transaction# 559177

City of Raleigh
Development Services Department
One Exchange Plaza
Raleigh, NC 27602
(919) 996-2495
DS.help@raleighnc.gov
www.raleighnc.gov

LOCATION: This site is located on west side of Seawell Avenue, between E. Edenton Street and New Bern Avenue at 625 New Bern Avenue.

REQUEST: Development of a 0.56 acre site zoned OX-3-GR and within an Neighborhood Conservation Overlay District (NCO), into three individual apartment buildings with 6 one-bedroom units each totaling 18 one-bedroom units for the site.

DESIGN ADJUSTMENT(S)/ ALTERNATES, ETC: One Design Adjustment has been approved for this project granting an alternative streetscape cross section (8.5). (case DA-14-19)

FINDINGS: City Administration finds that this request, with the below conditions of approval being met, conforms to the Unified Development Ordinance. This approval is based on a preliminary plan dated 2/27/19 and submitted by Wake Land Design, PLLC.

CONDITIONS OF APPROVAL and NEXT STEPS:

Note: *This document must be applied to the second sheet of all future submittals with the exception of final plats.*

PRIOR TO THE ISSUANCE OF ANY SITE PERMITS OR APPROVAL OF CONCURRENT REVIEW PROCESS, WHICHEVER IS APPLICABLE:

ENGINEERING

1. Next Step: A right-of-way obstruction permit must be obtained from Right-of-way Services prior to the commencement of any construction activities within the right-of-way.

STORMWATER

2. Next Step: A stormwater control plan with a stormwater operations and maintenance manual and budget shall be approved by the Stormwater Engineer in compliance with Part 10A Chapter 9 of the Unified Development Ordinance.

Next Step: In accordance with Part 10A Section 9.4.4 of the Unified Development Ordinance, a surety equal to of the cost of clearing, grubbing and reseeding a site, shall be paid to the City.

PRIOR TO ISSUANCE OF BUILDING PERMITS:

GENERAL

1. A Final Plat shall be recorded with the Wake County Register of Deeds office for all Subdivisions, Recombinations, Right of Way and/or Easement Dedications, and Tree Save Areas.



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2. A demolition permit shall be obtained.
3. Provide fire flow analysis.

ENGINEERING

4. The required right of way for proposed and/or existing streets shall be dedicated to the City of Raleigh and be shown on a plat approved for recordation.
5. A 5' general utility easement and associated deed of easement shall be approved by the City and the location of the easement shall be shown on the map approved for recordation. The deed of easement shall be recorded at Wake County Register of Deeds within one (1) day of recordation of the recorded plat. A recorded copy of these documents must be provided to the Development Services Department.
6. A sidewalk deed of easement for any public sidewalk on Private Property shall be approved by the City and the location of the easement shall be shown on the map approved for recordation. The deed of easement shall be recorded at Wake County Register of Deeds within one (1) day of recordation of the recorded plat. A recorded copy of these documents must be provided to the Development Services Department.
7. Offers of cross access agreement between the subject lot identified by PIN 1713094137 and the adjacent lots, PIN 1713093253 and PIN 1713093153, shall be approved by the Development Services Department for recording with the Wake County Register of Deeds, and a copy of the recorded offers of cross access easement shall be returned to the Development Services Department within one (1) day of recordation.
8. Next Step: A right-of-way obstruction permit shall be obtained from Right-of-way Services for any construction activity within the right-of-way.

PUBLIC UTILITIES

9. A Final Plat must be recorded at the Wake County Register of Deeds office for all necessary Subdivisions / Recombinations, Right-of-Way, Utility / Stormwater Easement Dedications and/or Tree Save Areas

STORMWATER

10. Next Step: The developer shall pay to the City a stormwater facility replacement fund payment equal to twenty-four percent (24%) of the estimated cost of constructing all stormwater control facilities shown on the development plans.



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11. Next Step: All stormwater control measures and means of transporting stormwater runoff to and from any nitrogen and stormwater runoff control measures shall be shown on all plats for recording as private drainage easements.
12. Next Step: In accordance with Part 10A Section 9.2.2, a surety equal to 125% of the cost of the construction of a stormwater device shall be paid to the Engineering Services Department.

URBAN FORESTRY

13. A tree impact permit must be obtained for the approved streetscape tree installation in the rights of way. This project proposes 5 street trees on New Bern Avenue, 5 street trees on Edenton Street, and 4 street trees on Seawell Avenue for a total of 14 street trees.

Prior to issuance of building occupancy permit:

1. All Water, Sanitary Sewer and Reuse facilities shall be installed, inspected, tested and accepted by the City of Raleigh Public Utilities Department for operations and maintenance.
2. Next Step: Required public right-of-way infrastructure improvements shall be, at a minimum, sufficiently completed to provide the necessary, safe emergency and vehicular access.
3. Next Step: Required underground storm drainage improvements shall be completed and as-built plan(s) and certification(s) reviewed and accepted by the City of Raleigh Development Services – Development Engineering program.
4. Next Step: All street lights and street signs required as part of the development approval are installed.
5. Next Step: Copies of certified inspection reports for alleys and internal access ways are submitted to the City of Raleigh Development Services – Development Engineering program.
6. Next Step: As-built drawings and associated forms for all Stormwater devices are accepted by the Engineering Services Department
7. Next Step: Final inspection of all required right of way tree plantings by Urban Forestry Staff.



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EXPIRATION DATES: The expiration provisions of UDO Section 10.2.8 E, including the ability to request extensions in the expiration date, apply to this site plan. If significant construction has not taken place on a project after administrative site review approval, that approval may expire and be declared void, requiring re-approval before permits may be issued. To avoid allowing this plan approval to expire the following must take place by the following dates:

3-Year Expiration Date: 3-27-2022

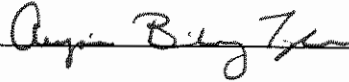
Obtain a valid building permit for the total area of the project, or a phase of the project.

4-Year Completion Date:

Within four years after issuance of the first building permit for the site plan, the construction of the entire site plan must be completed unless an applicant has been granted vested rights. Failure to complete construction within this specified time frame shall automatically void the approved site plan for which no building permits have been issued.

I hereby certify this administrative decision.

Signed:(Planning Dir./Designee)



Date: 3/27/19

Staff Coordinator: Michael Walters


Design Adjustment Staff Response



**DEVELOPMENT
SERVICES
DEPARTMENT**

Per Section 10.2.18.C of the Unified Development Ordinance, the Development Services Director, or designee, shall consult with the heads of other City Departments regarding the review of the request. The Development Services Director, or designee, shall approve, approve with conditions or deny the request, but must do so within 60 days of the receipt of a completed application. Additional time may be necessary if a municipal or state entity is incorporated in the review process or if a detailed engineering study is submitted in conjunction with the request.

PROJECT	Project Name	625 New Bern Ave Condos	
	Development Case Number	SR-60-18	
	Transaction Number	559177	
	Design Adjustment Number	DA - 14 - 2019	
STAFF RESPONSE	Staff recommendation based upon the findings in the applicable code(s):		
	<input type="checkbox"/> UDO Art. 8.3 Blocks, Lots, Access	<input checked="" type="checkbox"/> UDO Art. 8.5 Existing Streets	
	<input type="checkbox"/> UDO Art. 8.4 New Streets	<input type="checkbox"/> Raleigh Street Design Manual	
	Staff SUPPORTS <input checked="" type="checkbox"/> DOES NOT SUPPORT <input type="checkbox"/> the design adjustment request.		
	DEPARTMENTS		
	<input type="checkbox"/> Dev. Services Planner	<input type="checkbox"/> City Planning	
	<input checked="" type="checkbox"/> Development Engineering	<input type="checkbox"/> Transportation	
	<input type="checkbox"/> Engineering Services	<input type="checkbox"/> Parks & Recreation and Cult. Res.	
	<input type="checkbox"/> Public Utilities		
	CONDITIONS:		
Development Services Director or Designee Action: <input checked="" type="checkbox"/> APPROVE <input type="checkbox"/> APPROVE WITH CONDITIONS <input type="checkbox"/> DENY			


DANIEL G. KINKO, PE
ENGINEERING REVIEW MANAGER
3/27/19
Date

*The Development Services Director may authorize a designee to sign in his/her stead. Please print name and title next to signature. Appeal of the decision from the Development Services Director, or his or her designee, shall be made in writing within 30 days to the Board of Adjustment (see Section 10.2.18.C3b).

Staff Response

Article 8.5 Existing Streets



DEVELOPMENT
SERVICES
DEPARTMENT

- A. The requested design adjustment meets the intent of this Article;
YES NO
- B. The requested design adjustment conforms with the Comprehensive Plan and adopted City plans;
YES NO
- C. The requested design adjustment does not increase congestion or compromise safety;
YES NO
- D. The requested design adjustment does not create additional maintenance responsibilities for the City; and
YES NO
- E. The requested design adjustment has been designed and certified by a Professional Engineer.
YES NO

STAFF FINDINGS

Staff supports the request for an alternate streetscape where the street trees are planted behind the sidewalk as opposed to in the typical 6' planting area. NCDOT maintains the road frontages of Edenton St and New Bern Ave and has approved the plantings within the public rights-of-way along these frontages. Both streets are classified as Avenue 4-Lane, Parallel parking which do not require the 5' Utility Placement Easement. By moving the street trees behind the sidewalk, the typical planting strip will now become an area where utilities can be placed without conflict from the street trees.

Design Adjustment Application



DEVELOPMENT SERVICES DEPARTMENT

The purpose of this request is to seek a Design Adjustment from the Development Services Director, or designee, for a specific project only and, if granted, may be approved with special conditions and provisions. This application and all further action shall be consistent with Section 10.2.18 in the Unified Development Ordinance (UDO). The consideration and decision of this request shall be based solely on the conformance of the findings, as outlined in Sec. 8.3.6, Sec. 8.4.1.E and Sec. 8.5.1.G of the UDO or the Raleigh Street Design Manual.

PROJECT	Project Name 625 New Bern Condos	
	Case Number SR-60-18	
	Transaction Number 559177	
OWNER	Name Five Horizons, LLC	
	Address 2321 Blue Ridge Rd. Suite 202	City Raleigh
	State NC	Zip Code 27607
CONTACT	Name Jason G. Meadows, P.E.	Firm Wake Land Design, PLLC
	Address P.O. Box 418	City Clayton
	State NC	Zip Code 27528
REQUEST	I am seeking a Design Adjustment from the requirements set forth in the following:	
	<input type="checkbox"/> UDO Art. 8.3 Blocks, Lots, Access	- See page 2 for findings
	<input type="checkbox"/> UDO Art. 8.4 New Streets	- See page 3 for findings
	<input checked="" type="checkbox"/> UDO Art. 8.5 Existing Streets	- See page 4 for findings
	<input type="checkbox"/> Raleigh Street Design Manual	- See page 5 for findings
	Provide details about the request; (please attach a memorandum if additional space is needed):	
The applicant is requesting and alternate street tree planting location from the established Commercial Streetscape per UDO Sec. 8.5.2.C. The subject project has three public street frontages, New Bern Ave., Seawell Ave., and Edenton Street. New Bern Avenue and Edenton Street are controlled by NCDOT while Seawell Avenue is a City of Raleigh maintained street. As such, NCDOT has established requirements for planting trees within their Right-of-Way as per their "Guidelines for Planting within Highway Right-of-Way". The clear zone criteria set forth by this manual will not allow street trees to be located in the 6' Tree Lawn of the Commercial Streetscape Section, therefore this application is being submitted to request an alternate street tree location behind the proposed sidewalk, however still within the public right-of-way along New Bern and Edenton. A plan has been submitted to NCDOT for this alternate location and NCDOT has granted approval. See attached.		

It is the responsibility of the applicant to provide all pertinent information needed for the consideration of this request. Applicant must be the Property Owner.

By signing this document, I hereby acknowledge the information on this application is, to my knowledge, accurate.

Owner/Owner's Representative Signature

2/1/19
Date

CHECKLIST

Signed Design Adjustment Application	<input type="checkbox"/> Included
Page(s) addressing required findings	<input type="checkbox"/> Included
Plan(s) and support documentation	<input type="checkbox"/> Included
Notary page (page 6) filled out; Must be signed by property owner	<input type="checkbox"/> Included
First Class stamped and addressed envelopes with completed notification letter	<input type="checkbox"/> Included

Submit all documentation, with the exception of the required addressed envelopes and letters to designadjustments@raleighnc.gov.

Deliver the addressed envelopes and letters to:
Development Services, Development Engineering
One Exchange Plaza, Suite 500
Raleigh NC, 27601

For Office Use Only	RECEIVED DATE:	DA - -
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Article 8.5 Existing Streets

Administrative Design Adjustment Findings



DEVELOPMENT
SERVICES
DEPARTMENT

The Development Services Director may in accordance with *Sec. 10.2.18*, approve a design adjustment, subject to all of the following findings. Describe how each item is met:

- A. The requested design adjustment meets the intent of this Article;
The alternate street tree location allows the project to provide the required number of street trees, while still planting within the public right-of-way
- B. The requested design adjustment conforms with the Comprehensive Plan and adopted City plans;
The requested alternate tree location does not conflict with the Comprehensive plan or City plans.
- C. The requested design adjustment does not increase congestion or compromise safety;
The requested alternate tree location will not alter congestion or compromise safety.
- D. The requested design adjustment does not create additional maintenance responsibilities for the City; and
Because the street trees will still be planted within the public right-of-way, the maintenance responsibilities of the City will not change.
- E. The requested design adjustment has been designed and certified by a Professional Engineer.
This design adjustment has been prepared by Jason G. Meadows, P.E.

Individual Acknowledgement



DEVELOPMENT
SERVICES
DEPARTMENT

STATE OF NORTH CAROLINA
COUNTY OF Johnston

INDIVIDUAL

I, Tracy Rairigh, a Notary Public do hereby certify that
Jason Meadows personally appeared before me this day and
acknowledged the due execution of the forgoing instrument.

This the 1 day of February, 2019.



Notary Public

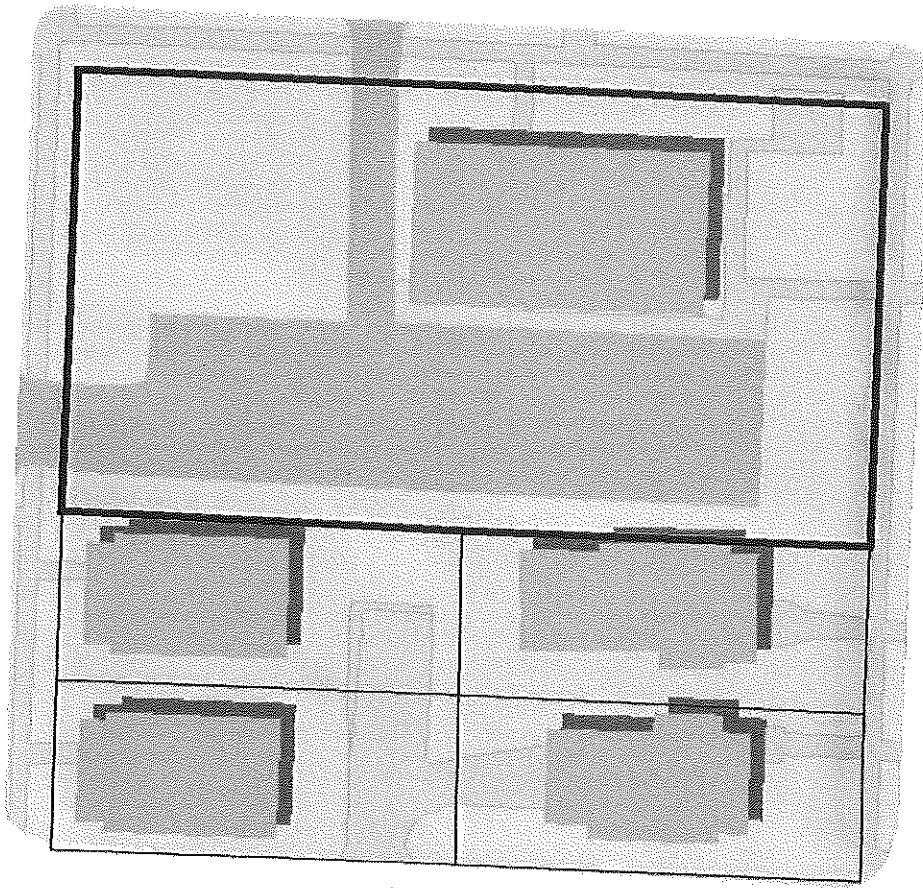
A handwritten signature of Tracy Rairigh in cursive script, written over a horizontal line.

My Commission Expires: May 23, 2023

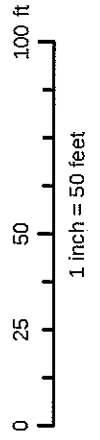
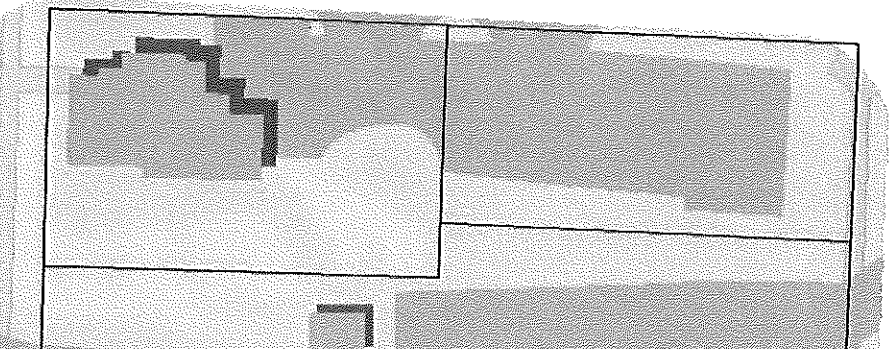
E Edenton St



Seawell Ave

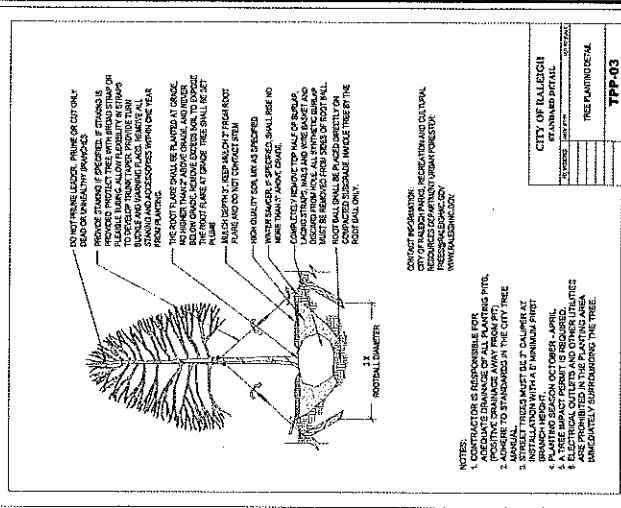


Cooke St



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Number	Description	Date
1	CITY OF RALEIGH COMMENTS	1/2/11
2	CITY OF RALEIGH COMMENTS	2/11



NOTES:

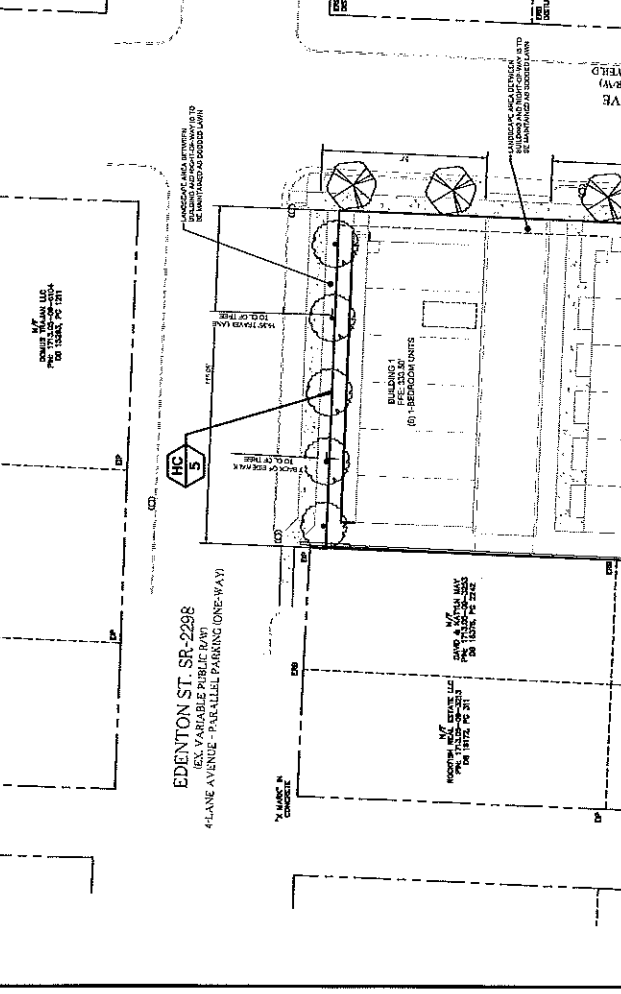
- CONTRACTOR IS RESPONSIBLE FOR ADEQUATE DRAINAGE OF ALL PLANTING PITS.
- ADHERE TO STANDARDS IN THE CITY TREE SPECIFICATIONS.
- STREET TREES MUST BE 7' CALIBER AT INSTALLATION WITH A 6" MINIMUM FIRST PLANTING SEASON (OCTOBER - APRIL).
- PLANTING SEASON (OCTOBER - APRIL).
- PLANTING PIT MUST BE 18" DEEP AND 24" WIDE.
- PLANTING PIT MUST BE 18" DEEP AND 24" WIDE.
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- PLANTING PIT MUST BE 18" DEEP AND 24" WIDE.

CONTRACT INFORMATION:
 CITY OF RALEIGH, RESIDENTIAL AND CULTURAL RESOURCES DEPARTMENT
 WWW.RALEIGH.NC.GOV

CITY OF RALEIGH STANDBY PITAL

TPP-03

RES PLANTING DETAIL



City of Raleigh Planting Requirements:

1. STREET TREES:

EDENTON ST.

115' 720 LF = 575 Understory trees
 Provide (5) 1.5" Caliber tree -20 spacing (if under overhead power lines. Trees placed in Right-of-Way to comply with NCDOT clear zone requirements. Callout: Street/Right (under overhead power lines)

SEAWELL AVENUE:

189' 748 LF = 4-23 trees
 Provide (6) 1.5" Caliber Black Gum at 40' O.C. placed in 8' tree lawn
 115' 720 LF = 575 Understory trees
 Provide (5) 1.5" Caliber tree -20 spacing (if under overhead power lines. Trees placed in Right-of-Way to comply with NCDOT clear zone requirements. Callout: Street/Right (under overhead power lines)

PLANT SCHEDULE

KEY	BOTANICAL	COMMON NAME	SIZE	ROOT SPACING	REMARKS
HC	Hydrangea	Common Hydrangea	1.5" Cal. P.C.	5' x 5'	SHALL BE PLANTED IN 8' TREE LAWN
NS	Norfolk Spruce	Black Gum	2" Cal. P.C.	5' x 5'	SHALL BE PLANTED IN 8' TREE LAWN

NOTES:

- STREET TREES SHALL BE INSTALLED AND MAINTAINED IN ACCORDANCE WITH THE REQUIREMENTS OF CHAPTER 2 OF THE CITY TREE MANUAL.



STATE OF NORTH CAROLINA
DEPARTMENT OF TRANSPORTATION

ROY COOPER
GOVERNOR

JAMES H. TROGDON, III
SECRETARY

August 14, 2018

Jason Meadows
333 Wade Avenue
Raleigh, NC 27605

Subject: Planting Permit for 625 New Bern Avenue

Dear Mr. Meadows:

Please be advised that planting plans have been conditionally approved for 625 New Bern Avenue located on New Bern Avenue in Wake County, North Carolina.

This letter is issuing the Planting Permit per North Carolina Department of Transportation policy.

The following standard provisions are made part of this agreement:

1. The permittee shall maintain a clear sight distance for vehicles utilizing driveway connections.
2. The Division of Highways will not be responsible for any damage to the plants, which may be done by third parties
3. Maintenance of the plantings will be the responsibility of the permittee. Should the plants not be maintained in a sufficient manner the plants could be subject to removal.
4. Plants to be first class quality of their species.
5. A copy of this permit must be on the work-site at all times while the work is being performed.
6. All trees and plants shall be pruned and maintained in such a manner as to not encroach upon the travel way.

Mailing Address:
NC DEPARTMENT OF TRANSPORTATION
ROADSIDE ENVIRONMENTAL UNIT
1513 MAIL SERVICE CENTER
RALEIGH, NC 27699-1513

Telephone: (919) 816-9290
Customer Service: 1-877-368-4968

Website: www.ncdot.gov

Location:
200 ROSCOE TRAIL
RALEIGH, NC 27607

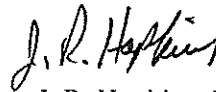
7. The traveling public shall be warned of construction with complete and proper signing and traffic control devices in accordance with the current Manual on Uniform Traffic Devices (MUTCD). No work shall be performed in the Right of Way unless this requirement is satisfied. NCDOT reserves the right to require a written traffic control plan for encroachment operations.
8. NCDOT does not guarantee the Right of Way on this road, nor will it be responsible for any claim for damages brought by any property owner by reason of the installation.
9. Two-way traffic shall be maintained at all times.
10. No lane of traffic shall be closed or restricted between the hours of 6:00 AM - 9:00 AM and 4:00 PM - 7:00 PM Monday - Friday. Any violation of these hours will result in termination of the encroachment agreement.
11. NCDOT reserves the right to further limit, restrict, or suspend operations within the Right of Way if, in the opinion of NCDOT, safety or traffic conditions warrant such action.
12. The Traffic Services Supervisor shall be notified at (919) 477-2914 in Durham prior to beginning work on the Right of Way if there are existing NCDOT signs, traffic signals, or signal equipment in or near the proposed work zone. Costs to relocate, replace, or repair NCDOT signs, signals, or associated equipment shall be the responsibility of the Encroacher.
13. The applicant will be required to notify the Roadside Environmental Technician; **Mark Conner at (919) 816-9290** prior to beginning and after completion of work.
14. It shall be the responsibility of the Encroacher to determine the location of other utilities within the encroachment area. The Encroacher shall be responsible for notifying other utility owners and providing protection and safeguards to prevent damage or interruption to existing facilities and to maintain accessibility to existing utilities.
15. At the end of each working day, equipment shall be parked a minimum of 30 feet from the edge of any travel lane and be barricaded in order not to have any equipment obstruction within the clear recovery zone.
16. The applicant is responsible for identifying project impacts to waters of the United States (wetlands, intermittent streams, perennial streams and ponds) located within the NCDOT right-of-way. The discharge of dredged or fill material into waters of the United States requires authorization from the United States Army Corps of Engineers (USACE) and certification from the North Carolina Division of Water Quality (NCDWQ). The applicant is required to obtain pertinent permits or certification from these regulatory agencies if construction of the project impacts waters of the United States within the NCDOT right-of-way. Additional information can be obtained by contacting the USACE or NCDWQ.
17. The applicant is responsible for complying with the Neuse and Tar-Pamlico Riparian Buffer Rule as regulated by the NCDWQ. The Rule regulates activity within a 50-foot buffer along perennial streams, intermittent streams and ponds. Additional information can be obtained by contacting the NCDWQ.

18. The applicant is responsible for avoiding impacts to federally protected species during project construction. Bald eagle, Michaux's sumac, smooth coneflower, dwarf wedge-mussel, harperella, red-cockaded woodpecker and tar spiny-mussel are federally protected species that have been identified within NCDOT right-of-way in Durham, Person, Granville, Wake, Franklin, Vance, and Warren counties. Additional information can be obtained by contacting the North Carolina Natural Heritage Program or the United States Fish and Wildlife Services.
19. In the event that plants require relocation or removal for highway construction, reconstruction, maintenance or safety, such removal or relocation will be done immediately by the permittee (municipality/civic group/individual) upon notification by the Division of Highways, entirely at the expense of the permittee.

If you should need further assistance please contact Corey Sudderth by phone at 919-816-9290 ext. 235 or by email at csudderth@ncdot.gov.

Sincerely,

(ccs)



J. R. Hopkins, PE
Division Engineer



625 NEW BERN CONDOS

ADMINISTRATIVE SITE REVIEW PLANS

SR-60-18

TRANS# 559177

RALEIGH, NORTH CAROLINA

JUNE 15, 2018
 REVISED JULY 18, 2018
 REVISED FEBRUARY 1, 2019
 REVISED FEBRUARY 27, 2019

DESIGN ADJUSTMENT

THE APPLICANT HAS SUBMITTED A DESIGN ADJUSTMENT REQUESTING AN ALTERNATE STREET TREE LOCATION WITHIN THE NCDOT RIGHT-OF-WAY ALONG EDENTON STREET AND NEW BERN AVENUE. NCDOT HAS APPROVED THE SHOWN LOCATION.

OWNER:
FIVE HORIZONS, LLC
 2321 Blue Ridge Rd.
 Raleigh, N.C. 27607
 919-443-0262
 corey@thefivehorizons.com

DEVELOPER:
LEGACY CUSTOM HOMES, INC.
 3304 Six Forks Rd
 Raleigh, NC 27609
 919-422-3134
 ward@legacycustomhomes.com

CIVIL ENGINEER:

WAKE LAND DESIGN, PLLC

NC LICENSE P-1839
 PHONE: 919-889-2614
 EMAIL: JASON@WAKELANDDESIGN.COM
 P.O. BOX 418
 CLAYTON, NC 27528

SOLID WASTE INSPECTIONS STATEMENT
 ROLL OFF TRASH AND RECYCLING
 CONTAINERS SHALL BE STORED WITHIN THE
 GARAGES OF EACH UNIT AND COLLECTED
 BY A PRIVATE COLLECTION SERVICE.

SITE DATA	
PROPERTY OWNER:	FIVE HORIZONS, LLC 2321 BLUE RIDGE RD. SUITE 202 RALEIGH, NC 27607
SITE ADDRESS:	625 NEW BERN AVENUE
LOT SIZE: BEFORE R/W DEDICATION AFTER R/W DEDICATION	24,168 SF (0.555 AC.) 23,082 SF (0.530 AC.)
WAKE COUNTY PIN #:	1713094137
ZONING DISTRICT:	OX-3-GR
OVERLAY DISTRICT:	NCOD - NEW BERN EDENTON OVERLAY
EXISTING USE:	OFFICE
PROPOSED USE:	MULTI-UNIT LIVING (APARTMENT BUILDING TYPE)
STREET CLASSIFICATION:	4-LANE AVE - PARALLEL PARKING (ONE-WAY)
STREETScape REQUIRED:	GREEN FRONTAGE - COMMERCIAL (UDO 8.5.2.C) 6' TREE LAWN 6' SIDEWALK
STREETScape PROVIDED:	6' TREE LAWN (VARIES) 6' SIDEWALK
APARTMENT BUILD-TO REQUIREMENTS:	70% BUILDING WIDTH IN PRIMARY BUILD TO 10-55' 35% BUILDING WIDTH IN SIDE STREET BUILD-TO 10-55'
PROVIDED BUILD TO:	EDENTON ST.: 96' BUILDING / 115' FRONTAGE= 83.5% SEAWELL AVE.: 128' BUILDING / 210' FRONTAGE= 61% NEW BERN AVE.: 96' BUILDING / 115' FRONTAGE=83.5%
REQUIRED PARKING:	(18) ONE BEDROOM UNITS (1) VISITOR PARK PER 10 UNITS TOTAL = 19 SPACES *UDO 7.1.3.C.2 - NO PARKING REQUIRED FOR FIRST 16 UNITS NET REQUIRED: 3 SPACES
PROVIDED PARKING:	18 SPACES PROVIDED
BICYCLE PARKING REQUIRED:	SHORT TERM: 1 SPACE PER 20 UNITS 2 SPACES
PROVIDED:	2 SPACES
AMENITY AREA REQUIRED:	2,308 SF (10%)
PROVIDED:	4,080 SF (17.7%)
NEW BERN - EDENTON NEIGHBORHOOD (NCOD)	MIN. LOT SIZE: 4,000 SF MIN. LOT FRONTAGE: 30' FRONT SETBACK: 10' MIN., 25' MAX. SIDE YARD SETBACK: 0' BUILDING SEPARATION: MIN. 10' MAX. BUILDING HEIGHT: 35'

INDEX

CE-1	EXISTING CONDITIONS
CE-2	SITE PLAN
CE-2.1	SOLID WASTE PLAN
CE-3	UTILITY PLAN
CE-4	GRADING & STORMWATER MANAGEMENT PLAN
CE-5	STORMWATER MANAGEMENT PLAN
CE-6	LANDSCAPING PLAN
A-1	BUILDING 1 ELEVATIONS
A-2	BUILDING 2 ELEVATIONS
A-3	BUILDING 3 ELEVATIONS

Administrative Site Review Application (for UDO Districts only)



Development Services Customer Service Center | Exchange Plaza, Suite 400 | Raleigh, NC 27601 | 919-996-2495 | fax: 919-996-1831
 Litchford Satellite Office | 8320 - 130 Litchford Road | Raleigh, NC 27601 | 919-996-4200

When submitting plans, please check the appropriate building type and include the Plan Checklist document.

BUILDING TYPE		FOR OFFICE USE ONLY	
<input type="checkbox"/> Detached	<input type="checkbox"/> General	Transaction Number	
<input type="checkbox"/> Attached	<input type="checkbox"/> Mixed Use	Assigned Project Coordinator	
<input type="checkbox"/> Apartment	<input type="checkbox"/> Open Lot	Assigned Team Leader	
<input type="checkbox"/> Townhouse			

Has your project previously been through the Due Diligence or Sketch Plan Review process? If yes, provide the transaction # 551752

GENERAL INFORMATION

Development Name: 625 New Bern Condos

Zoning District: OX-3-GR Overlay District (if applicable): NCOD-New Bern Edenton Overlay Inside City Limits? Yes No

Proposed Use: Multi-Unit Living

Property Address(es): 625 New Bern Ave Major Street Locator:

Wake County Property Identification Number(s) for each parcel to which these guidelines will apply:

P.I.N. 1713094137 P.I.N. P.I.N. P.I.N.

What is your project type? Apartment Elderly Facilities Hospitals Hotels/Motels Office
 Mixed Residential Non-Residential Condo School Shopping Center Banks Industrial Building
 Dogies Telecommunication Tower Religious Institutions Residential Condo Retail Cottage Court
 Other: if other, please describe:

WORK SCOPE Per City Code Section 10.2.8.D.1, summarize the project work scope. For additions, changes of use, or occupancy (per Chapter 6 of the UDO), indicate impacts on parking requirements.
 Demolition of existing office building, proposed apartment building type with 18 total 1 bedroom condos.

DESIGN ADJUSTMENT OR ADMIN ALTERNATE Per City Code Chapter 8, summarize if your project requires either a design adjustment, or Section 10 - Alternate Administrative AE
 Design Adjustment for alternate street tree planting location.

CLIENT/DEVELOPER/OWNER Company: Legacy Custom Homes, Inc. Name (s): Daniel Ward Russell
 Address: 3304 Six Forks Rd. Raleigh, NC 27609
 Phone: 919-422-3134 Email: ward@legacycustomhomes.com Fax:

CONSULTANT (Contact Person for Plans) Company: Wake Land Design, PLLC Name (s): Jason Meadows
 Address: P.O. Box 418 Clayton, NC 27528
 Phone: 919-889-2614 Email: jason@wakelanddesign.com Fax:

DEVELOPMENT TYPE & SITE DATA TABLE (Applicable to all developments)			
Zoning Information		Building Information	
Zoning District(s): OX-3-GR		Proposed building use(s): Multi-Unit Living	
If more than one district, provide the acreage of each:		Existing Building(s) sq. ft. gross: 3,078 SF	
Overlay District: NCOD (New Bern - Edenton)		Proposed Building(s) sq. ft. gross: 27,702 SF	
Total Site Acres	Inside City Limits <input checked="" type="checkbox"/> Yes <input type="checkbox"/> No 0.555 ac.	Total sq. ft. gross (existing & proposed)	27,702 SF
Off street parking: Required	3 Provided: 18	Proposed height of building(s)	35' Max.
COA (Certificate of Appropriateness) case #		# of stories	3
BOA (Board of Adjustment) case # A-		Ceiling height of 1 st Floor	9'
CLD (Conditional Use District) case # Z-			
Stormwater Information			
Existing Impervious Surface	0.39 acres acres/square feet	Flood Hazard Area	<input type="checkbox"/> Yes <input checked="" type="checkbox"/> No
Proposed Impervious Surface	0.50 acres acres/square feet	If Yes, please provide:	
Neuse River Buffer	<input type="checkbox"/> Yes <input checked="" type="checkbox"/> No	Allowal Soils	Flood Study
Wetlands	<input type="checkbox"/> Yes <input checked="" type="checkbox"/> No	FEMA Map Panel #	
FOR RESIDENTIAL DEVELOPMENTS			
1. Total # Of Apartment, Condominium or Residential Units	18	5. Bedroom Units:	1br 18 2br 3br 4br or more
2. Total # Of Congregate Care Or Life Care Dwelling Units	N/A	6. Infill Development 2.2.7	N/A
3. Total Number of Hotel Units	N/A	7. Open Space (only) or Amenity	4,080 SF (10.8%)
4. Overall Total # Of Dwelling Units (1-6 Above)	18	8. Is your project a cottage court?	<input type="checkbox"/> Yes <input checked="" type="checkbox"/> No

SIGNATURE BLOCK (Applicable to all developments)

In filling this plan as the property owner(s), I/we do hereby agree and firmly bind ourselves, my/our heirs, executors, administrators, successors and assigns jointly and severally to construct all improvements and make all dedications as shown on this proposed development plan as approved by the City.

I hereby designate Jason G. Meadows, P.E. to serve as my agent regarding this application, to receive and respond to administrative comments, to resubmit plans on my behalf and to represent me in any public meeting regarding this application.

I/we have read, acknowledge and affirm that this project is conforming to all application requirements applicable with the proposed development use.

Signed: Date: 1/30/19

Printed Name: Daniel Ward Russell, President

Signed: Date: 1-30-19

Printed Name:

NOTES:

1. ALL DISTANCES ARE HORIZONTAL GROUND.
2. ALL DIMENSIONS ARE IN FEET.
3. AREA COMPUTED USING COORDINATE METHOD FROM MEASURED FIELD DATA.
4. BASIS OF BEARINGS IS NORTH CAROLINA GRID NORTH, NAD83(2011). THE SITE WAS LOCALIZED UTILIZING REAL-TIME KINEMATIC (RTK) GLOBAL POSITIONING SYSTEM (GPS) SOLUTIONS REFERENCING THE CONTINUOUSLY OPERATING REFERENCE STATION (CORS) NETWORK BASE STATION NCRD, RALEIGH, NC.
5. THIS SURVEY WAS PREPARED WITHOUT THE BENEFIT OF A TITLE REPORT AND MAY BE SUBJECT TO ANY MATTERS THAT A FULL TITLE SEARCH WOULD DISCLOSE.
6. ALL REFERENCE ARE MADE TO THE WAKE COUNTY REGISTRY.
7. HORIZONTAL DATUM IS NAD 83(2011) AND VERTICAL DATUM IS NAVD 88.

SITE DATA

OWNER DEPARTMENT OF NORTH CAROLINA DISABLED VETERANS, INC
 PIN 1713.05-09-4137
 AREA 24,168 S.F. (0.5548 AC.)
 REFERENCE DB 2463, PG 572
 ZONING OX-3-GR



WAKE LAND DESIGN, PLLC
 CIVIL ENGINEERING
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 RALEIGH ZONING SPECIALISTS

NC LICENSE P-1839
 PHONE: 919-889-2614
 EMAIL: JASON@WAKELANDDESIGN.COM
 P.O. BOX 418
 CLAYTON, NC 27528

Client
LEGACY CUSTOM HOMES, INC.
 3304 SIX FORKS RD.
 RALEIGH, NC 27609

Project
625 NEW BERN CONDOS

Process
ADMINISTRATIVE SITE REVIEW

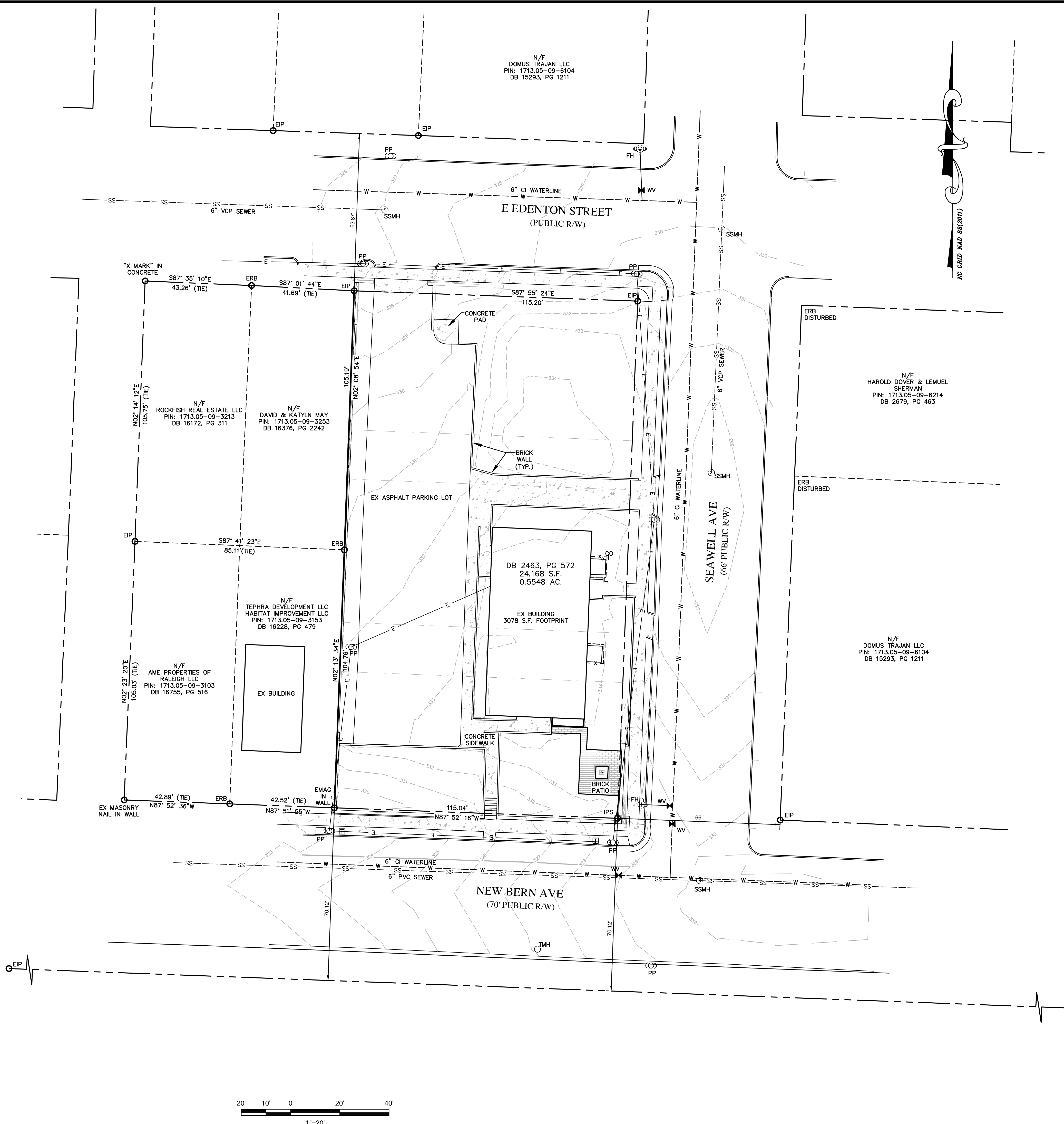
Revisions		
Number	Description	Date
1	CITY OF RALEIGH COMMENTS	7/18/18
2	CITY OF RALEIGH COMMENTS	2/1/19
3	CITY OF RALEIGH COMMENTS	2/27/19

Approvals		
Number	Description	Date

Drawing Title
EXISTING CONDITIONS PLAN

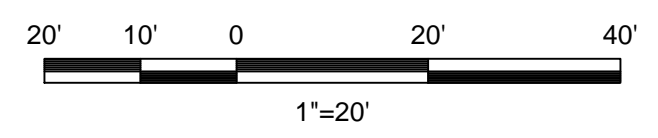
Sheet Number
CE-1

Date Issued 06/15/18

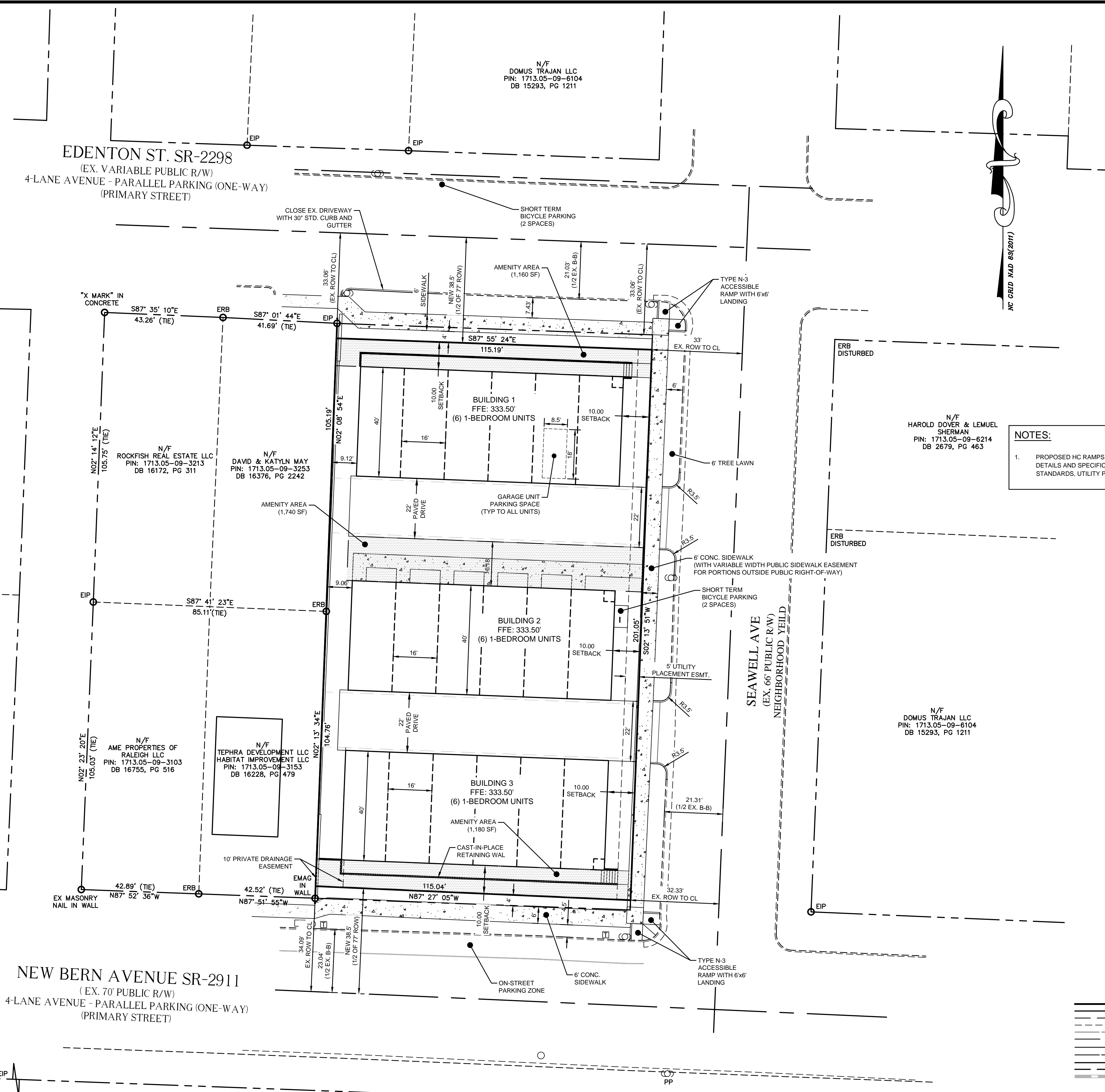


LEGEND

- BM BOOK OF MAPS
- DB DEED BOOK
- PG PAGE
- N/F NOW OR FORMERLY
- R/W RIGHT OF WAY
- EIP EXISTING IRON PIPE
- EMAG EXISTING MAG NAIL
- EPK EXISTING PK NAIL
- ERRS EXISTING RAILROAD SPIKE
- ENAIL EXISTING NAIL FOUND
- ERF EXISTING RAIL FOUND
- ECM EXISTING CONCRETE MONUMENT
- IPS IRON PIPE SET
- MAG MAG NAIL SET
- CP COMPUTED POINT
- RCP REINFORCED CONCRETE STORM PIPE
- PP POWER POLE
- GUY GUY ANCHORS
- (X) PROPOSED INSERTION VALVE
- (FH) EXISTING FIRE HYDRANT
- (F) PROPOSED FIRE HYDRANT
- (WV) EXISTING WATER VALVE
- (W) PROPOSED WATER VALVE
- (R) EXISTING WATER REDUCER
- (W) PROPOSED WATER REDUCER
- (W) EXISTING WATER METER
- (W) PROPOSED WATER METER
- (H) EXISTING HOT BOX
- (H) PROPOSED HOT BOX
- (M) EXISTING MANHOLE
- (M) PROPOSED MANHOLE
- BOUNDARY LINE
- RIGHT OF WAY LINE
- LINES NOT SURVEYED
- EASEMENT LINES
- o- OVERHEAD ELECTRICAL LINES
- o- EXISTING WATER LINE
- o- PROPOSED WATER LINE
- o- EXISTING SANITARY SEWER LINE
- o- PROPOSED SANITARY SEWER LINE
- o- EXISTING STORM DRAINAGE LINE
- o- PROPOSED STORM DRAINAGE LINE



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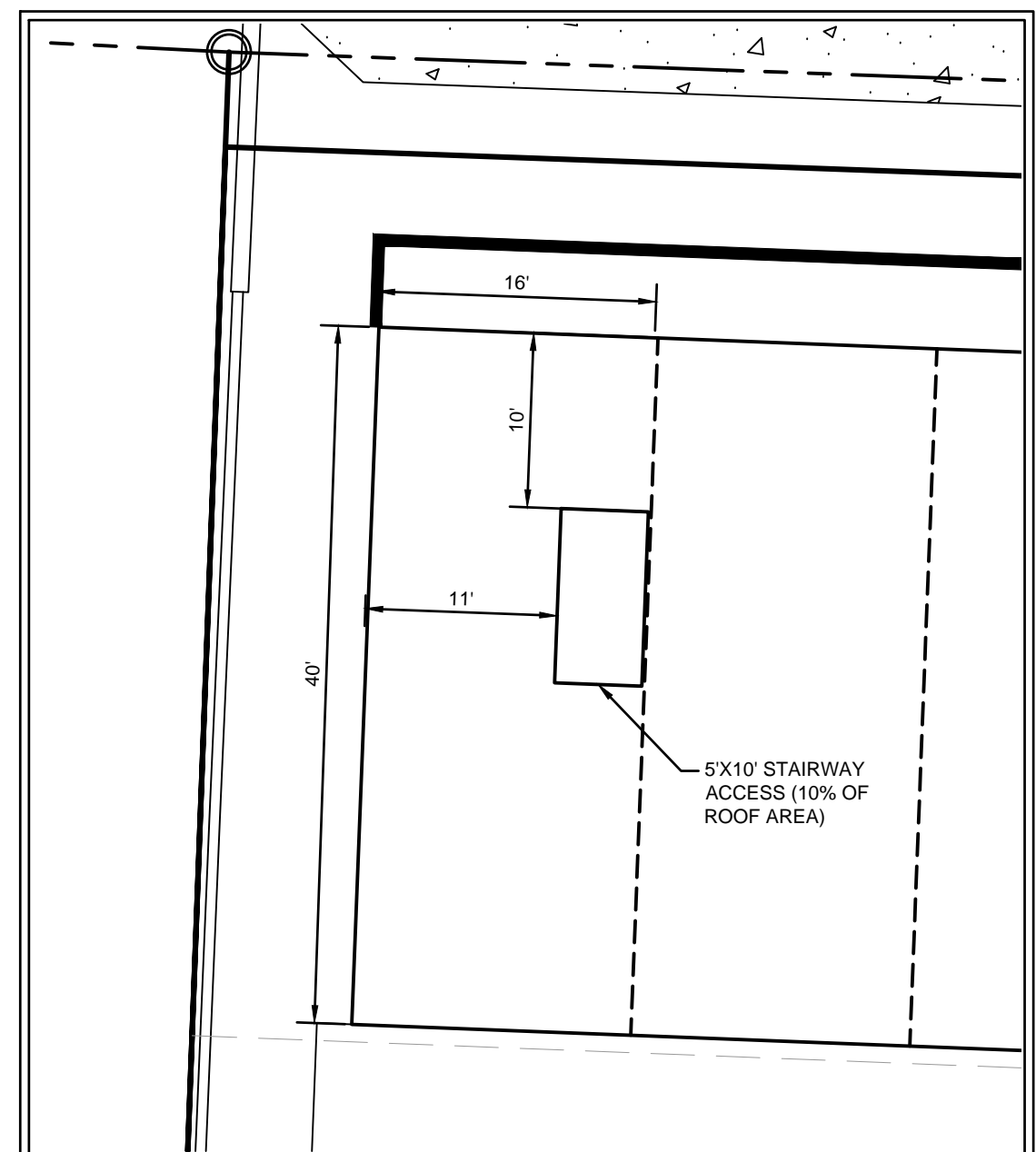


NOTES:

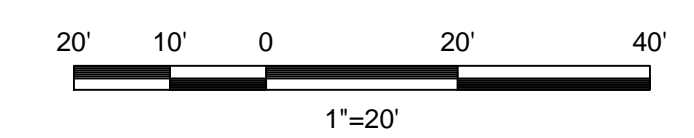
- PROPOSED HC RAMPS SHOWN SHALL ADHERE TO STANDARD CITY OF RALEIGH DETAILS AND SPECIFICATIONS. IF RAMPS CAN NOT BE CONSTRUCTED PER STANDARDS, UTILITY POLES TO BE RELOCATED.

- LEGEND**
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 - PG PAGE
 - N/F NOW OR FORMERLY
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 - EMAG EXISTING MAG NAIL
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 - GUY GUY ANCHORS

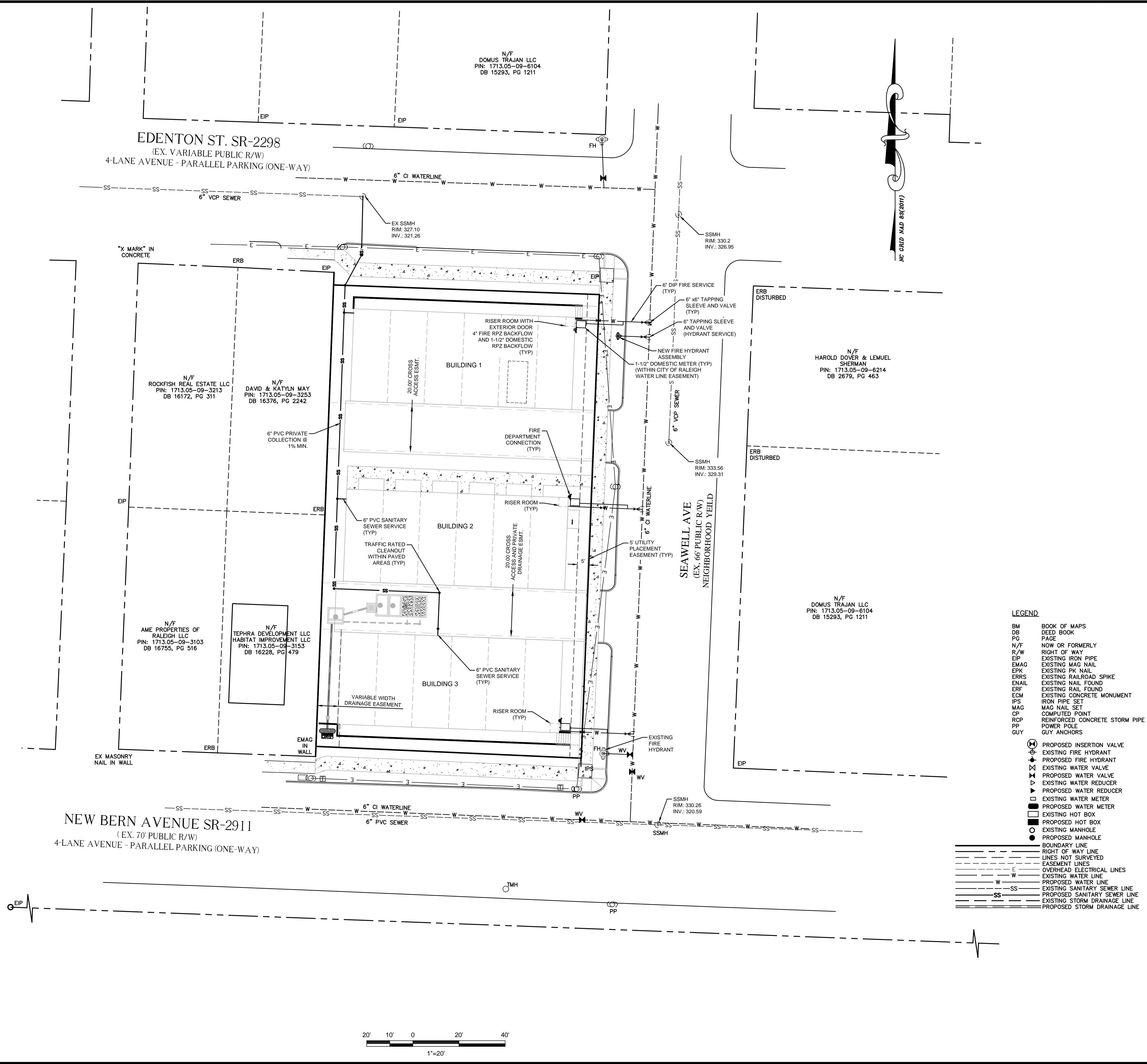
- ⊗ PROPOSED INSERTION VALVE
- ⊕ EXISTING FIRE HYDRANT
- ⊖ PROPOSED FIRE HYDRANT
- ⊗ EXISTING WATER VALVE
- ⊕ PROPOSED WATER VALVE
- ⊖ EXISTING WATER REDUCER
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- ⊕ EXISTING WATER METER
- ⊖ PROPOSED WATER METER
- ⊗ EXISTING HOT BOX
- ⊕ PROPOSED HOT BOX
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- ⊗ PROPOSED MANHOLE
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- OVERHEAD ELECTRICAL LINES
- W EXISTING WATER LINE
- W PROPOSED WATER LINE
- SS EXISTING SANITARY SEWER LINE
- SS PROPOSED SANITARY SEWER LINE
- EXISTING STORM DRAINAGE LINE
- PROPOSED STORM DRAINAGE LINE



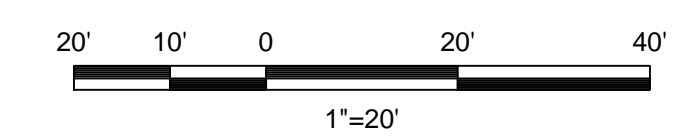
TYPICAL ROOF TOP ACCESS PLAN



Revisions		
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 - GUY GUY ANCHORS
 - ⊗ PROPOSED INSERTION VALVE
 - ⊕ EXISTING FIRE HYDRANT
 - ⊖ PROPOSED FIRE HYDRANT
 - ⊕ EXISTING WATER VALVE
 - ⊖ PROPOSED WATER VALVE
 - ⊕ EXISTING WATER REDUCER
 - ⊖ PROPOSED WATER REDUCER
 - ⊕ EXISTING WATER METER
 - ⊖ PROPOSED WATER METER
 - ⊕ EXISTING HOT BOX
 - ⊖ PROPOSED HOT BOX
 - EXISTING MANHOLE
 - PROPOSED MANHOLE
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 - - - RIGHT OF WAY LINE
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 - - - EASEMENT LINES
 - OVERHEAD ELECTRICAL LINES
 - W EXISTING WATER LINE
 - W PROPOSED WATER LINE
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 - SS PROPOSED SANITARY SEWER LINE
 - EXISTING STORM DRAINAGE LINE
 - PROPOSED STORM DRAINAGE LINE





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Seal

Subconsultants

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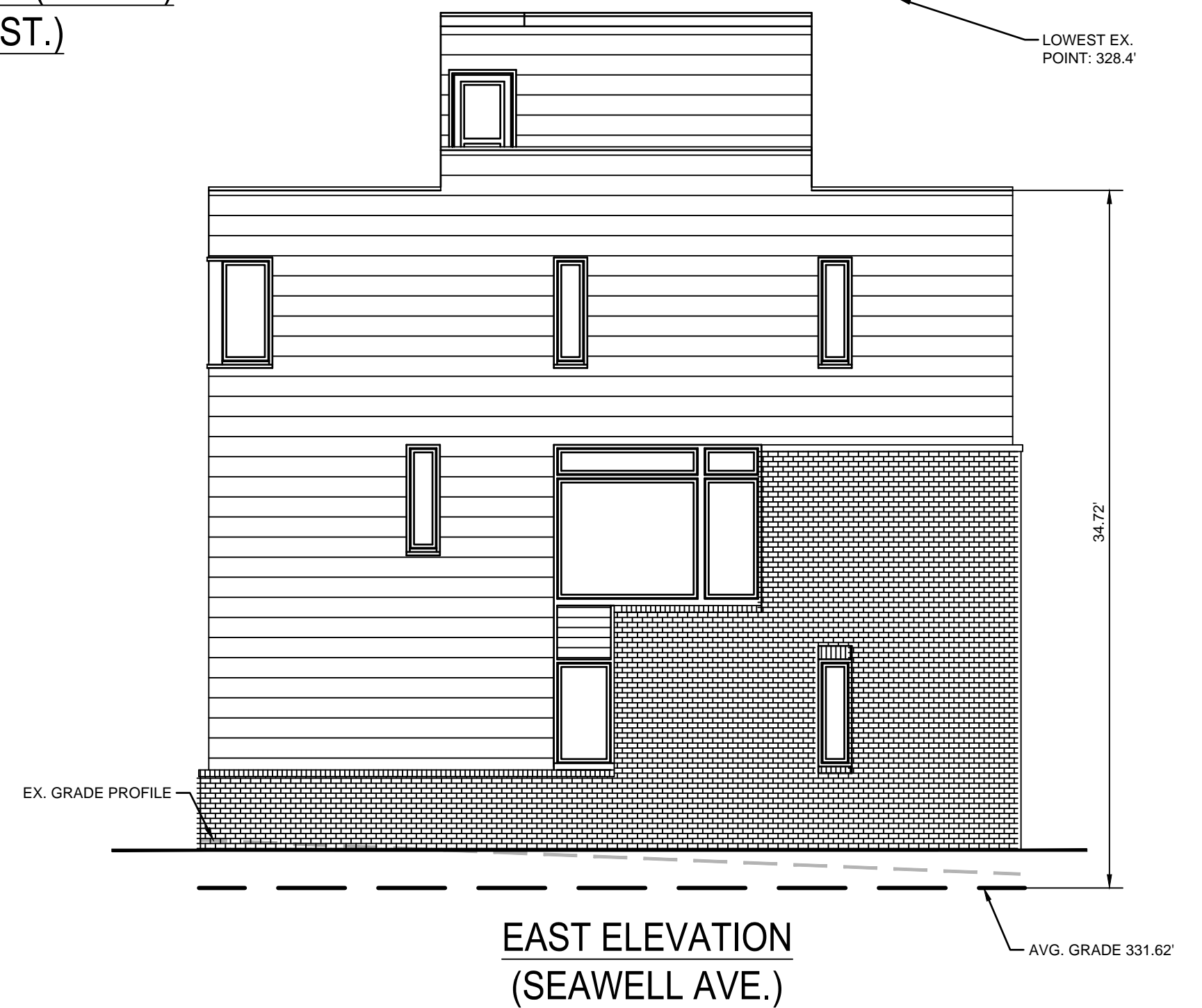
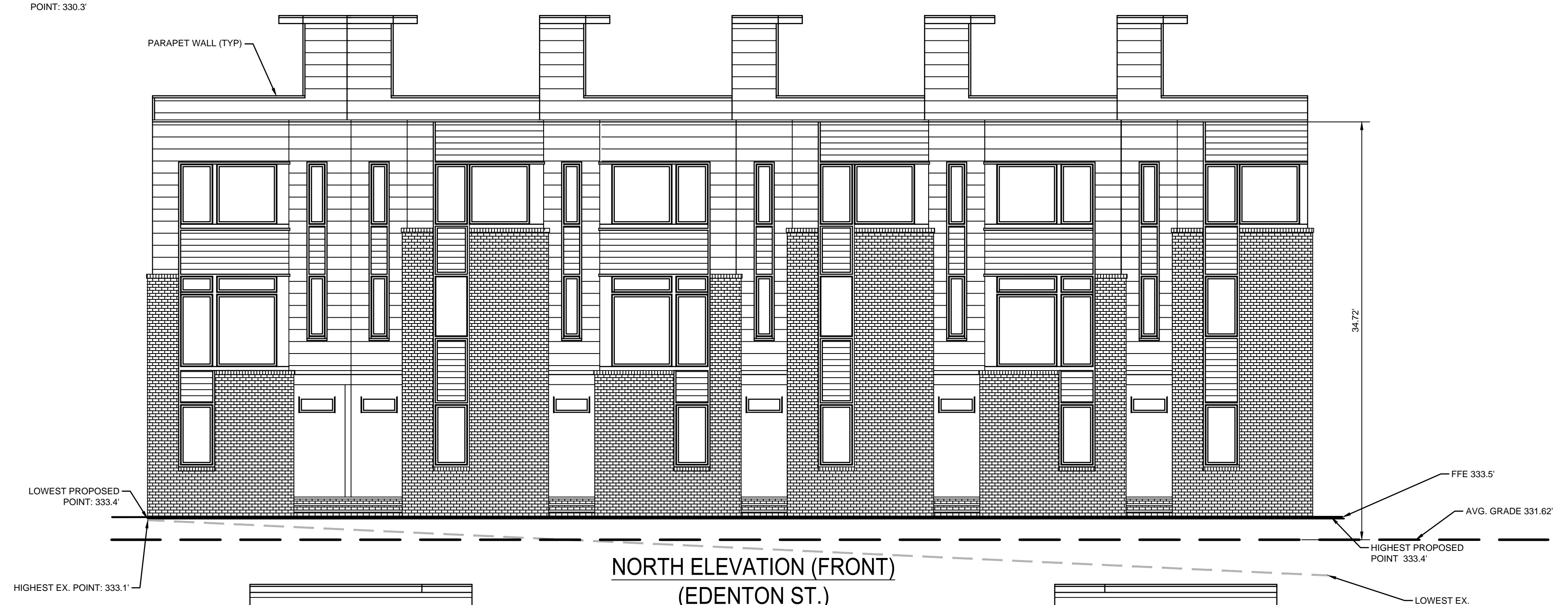
Approvals

Drawing Title
BUILDING 1 ELEVATIONS

Sheet Number

A-1

Date Issued 06/15/19



AVERAGE GRADE CALCULATION (SR-60-18 SUBMITTED PRIOR TO TC-17-16 EFFECTIVE)
 PER SECTION 1.5.7 OF THE UDO, BUILDING HEIGHT IS MEASURED FROM THE AVERAGE GRADE TO THE TOP OF THE HIGHEST POINT OF A PITCHED OR FLAT ROOF EXCLUDING THE PARAPET.
 AVERAGE GRADE IS DETERMINED BY CALCULATING THE AVERAGE OF THE HIGHEST AND LOWEST ELEVATION ALONG PRE-DEVELOPMENT GRADE OR IMPROVED GRADE (WHICHEVER IS MOST RESTRICTIVE) ALONG THE FRONT OF THE BUILDING PARALLEL TO THE PRIMARY STREET SETBACK.
 WHERE THE PROPERTY SLOPE INCREASES TO THE REAR, BUILDING HEIGHT IS MEASURED FROM THE AVERAGE POINT AT GRADE OF THE FRONT AND REAR WALL PLANE.

BUILDING 1	EXISTING			PROPOSED		
	HIGHEST	LOWEST	AVERAGE	HIGHEST	LOWEST	AVERAGE
FRONT PLANE	333.1	328.4	330.75	333.4	333.4	333.4
REAR PLANE	334.7	330.3	332.5	333.2	333.2	333.2
AVERAGE OF TWO PLANES			331.62			333.3

*BUILDING ELEVATIONS, ARCHITECTURAL FEATURES, WINDOW/DOOR LOCATIONS AND SIZES, SHOULD BE CONSIDERED PRELIMINARY AND ARE SUBJECT TO CHANGE PENDING FINAL BUILDING DESIGN AND LAYOUT. FINAL BUILDING ELEVATIONS WILL ADHERE TO ALL APPLICABLE REQUIREMENTS OF THE UNIFIED DEVELOPMENT ORDINANCE.



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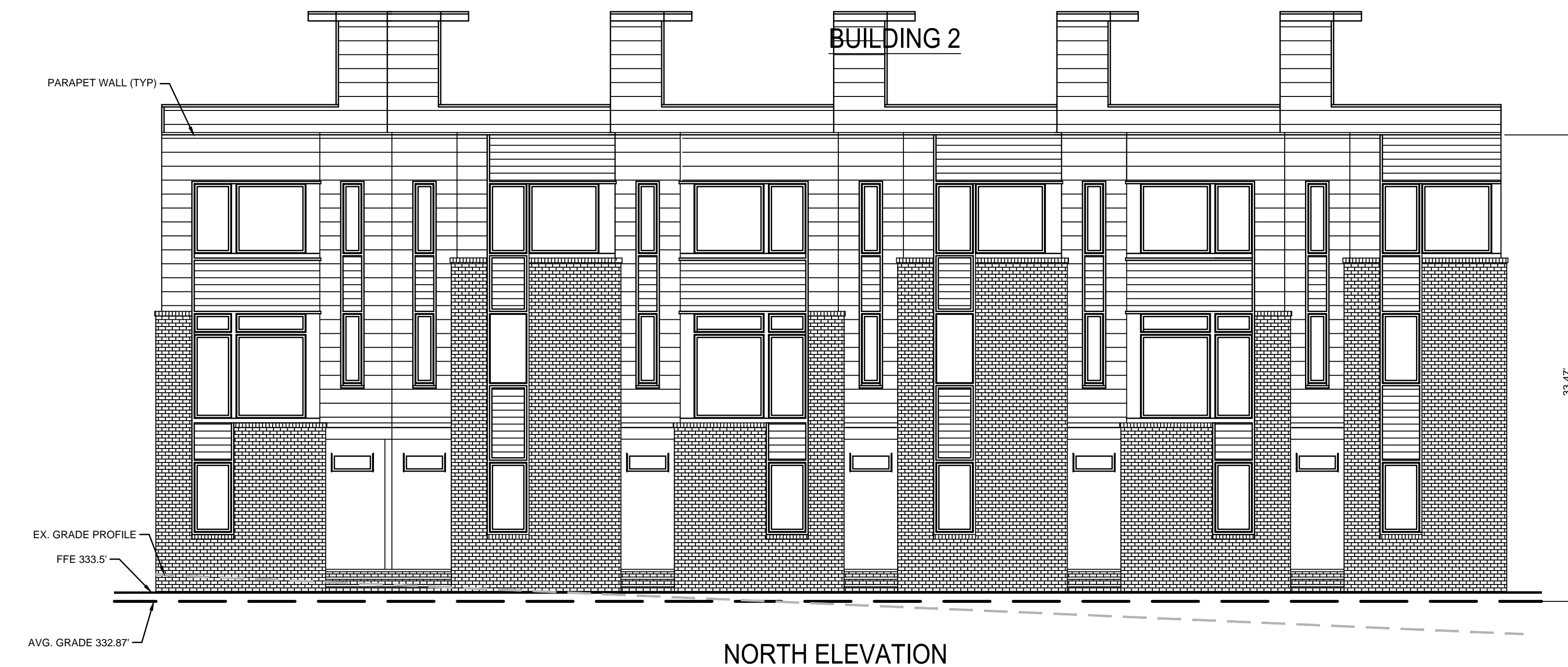
Drawing Title
 BUILDING 2 ELEVATIONS

Sheet Number
 A-2

Date Issued 06/15/19



SOUTH ELEVATION



NORTH ELEVATION

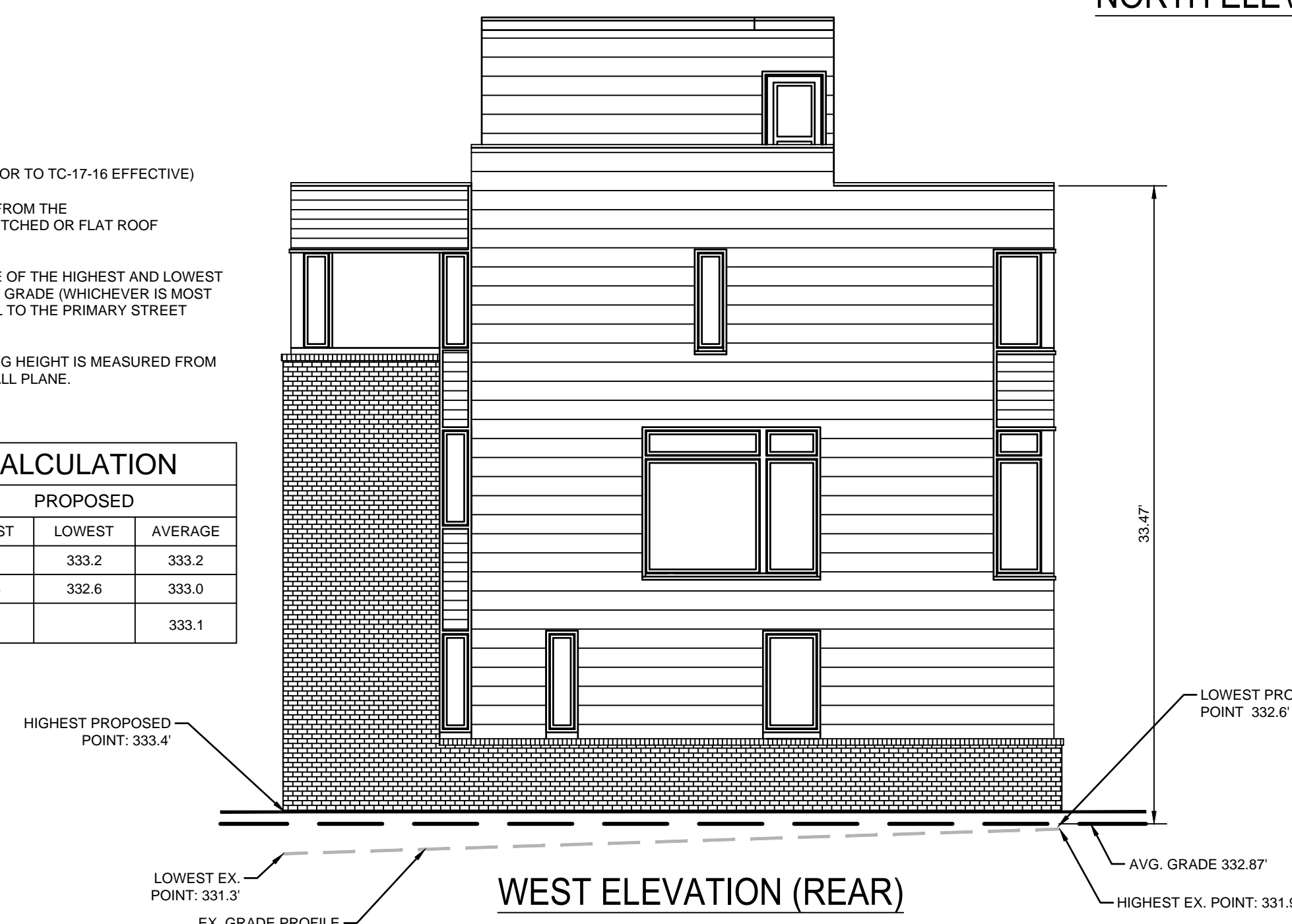
AVERAGE GRADE CALCULATION (SR-60-18 SUBMITTED PRIOR TO TC-17-16 EFFECTIVE)

PER SECTION 1.5.7 OF THE UDO, BUILDING HEIGHT IS MEASURED FROM THE AVERAGE GRADE TO THE TOP OF THE HIGHEST POINT OF A PITCHED OR FLAT ROOF EXCLUDING THE PARAPET.

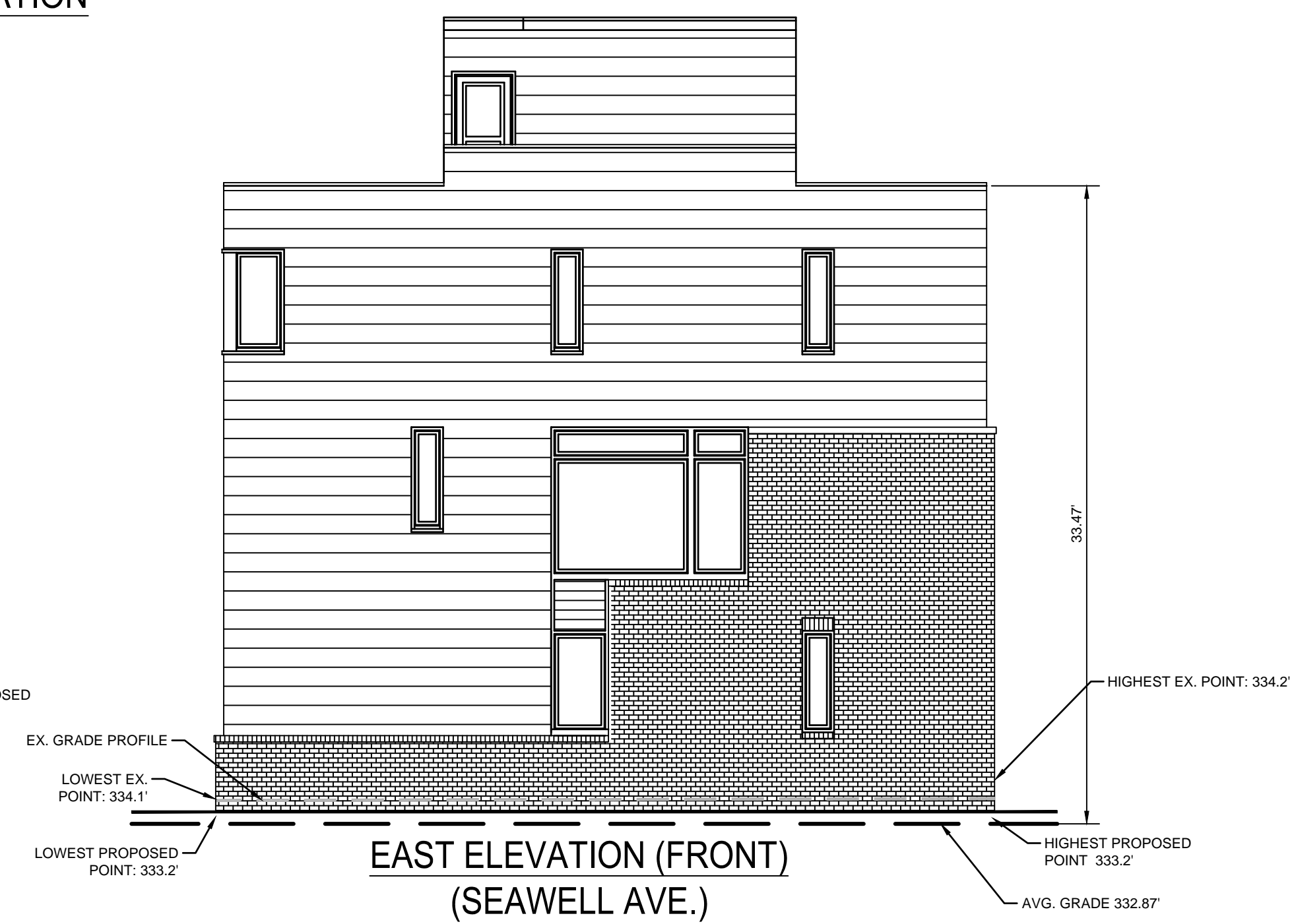
AVERAGE GRADE IS DETERMINED BY CALCULATING THE AVERAGE OF THE HIGHEST AND LOWEST ELEVATION ALONG PRE-DEVELOPMENT GRADE OR IMPROVED GRADE (WHICHEVER IS MOST RESTRICTIVE) ALONG THE FRONT OF THE BUILDING PARALLEL TO THE PRIMARY STREET SETBACK.

WHERE THE PROPERTY SLOPE INCREASES TO THE REAR, BUILDING HEIGHT IS MEASURED FROM THE AVERAGE POINT AT GRADE OF THE FRONT AND REAR WALL PLANE.

BUILDING 2	EXISTING			PROPOSED		
	HIGHEST	LOWEST	AVERAGE	HIGHEST	LOWEST	AVERAGE
FRONT PLANE	334.2	334.1	334.15	333.2	333.2	333.2
REAR PLANE	331.9	331.3	331.6	333.4	332.6	333.0
AVERAGE OF TWO PLANES			332.87			333.1



WEST ELEVATION (REAR)



EAST ELEVATION (FRONT)
 (SEAWELL AVE.)

*BUILDING ELEVATIONS, ARCHITECTURAL FEATURES, WINDOW/DOOR LOCATIONS AND SIZES, SHOULD BE CONSIDERED PRELIMINARY AND ARE SUBJECT TO CHANGE PENDING FINAL BUILDING DESIGN AND LAYOUT. FINAL BUILDING ELEVATIONS WILL ADHERE TO ALL APPLICABLE REQUIREMENTS OF THE UNIFIED DEVELOPMENT ORDINANCE.



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2	CITY OF RALEIGH COMMENTS	2/1/19

Approvals

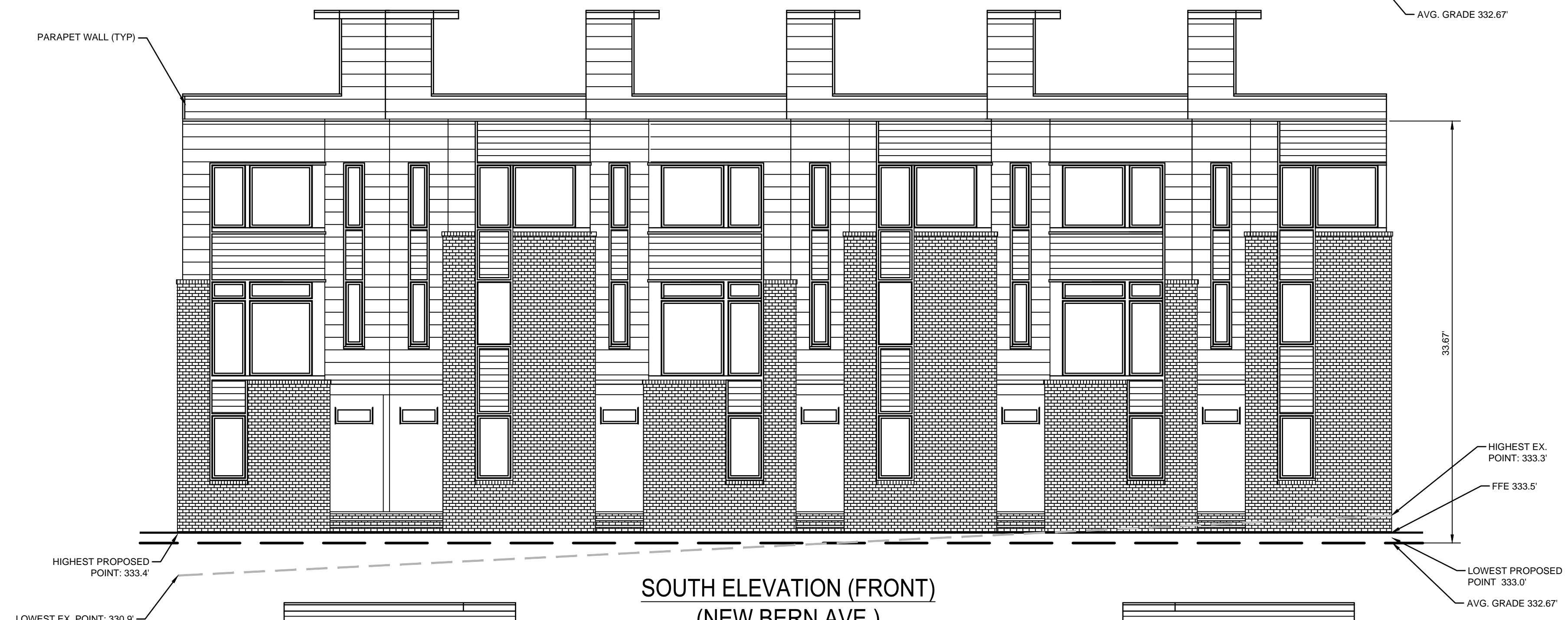
Drawing Title
BUILDING 3 ELEVATIONS

Sheet Number
A-3

Date Issued 06/15/19



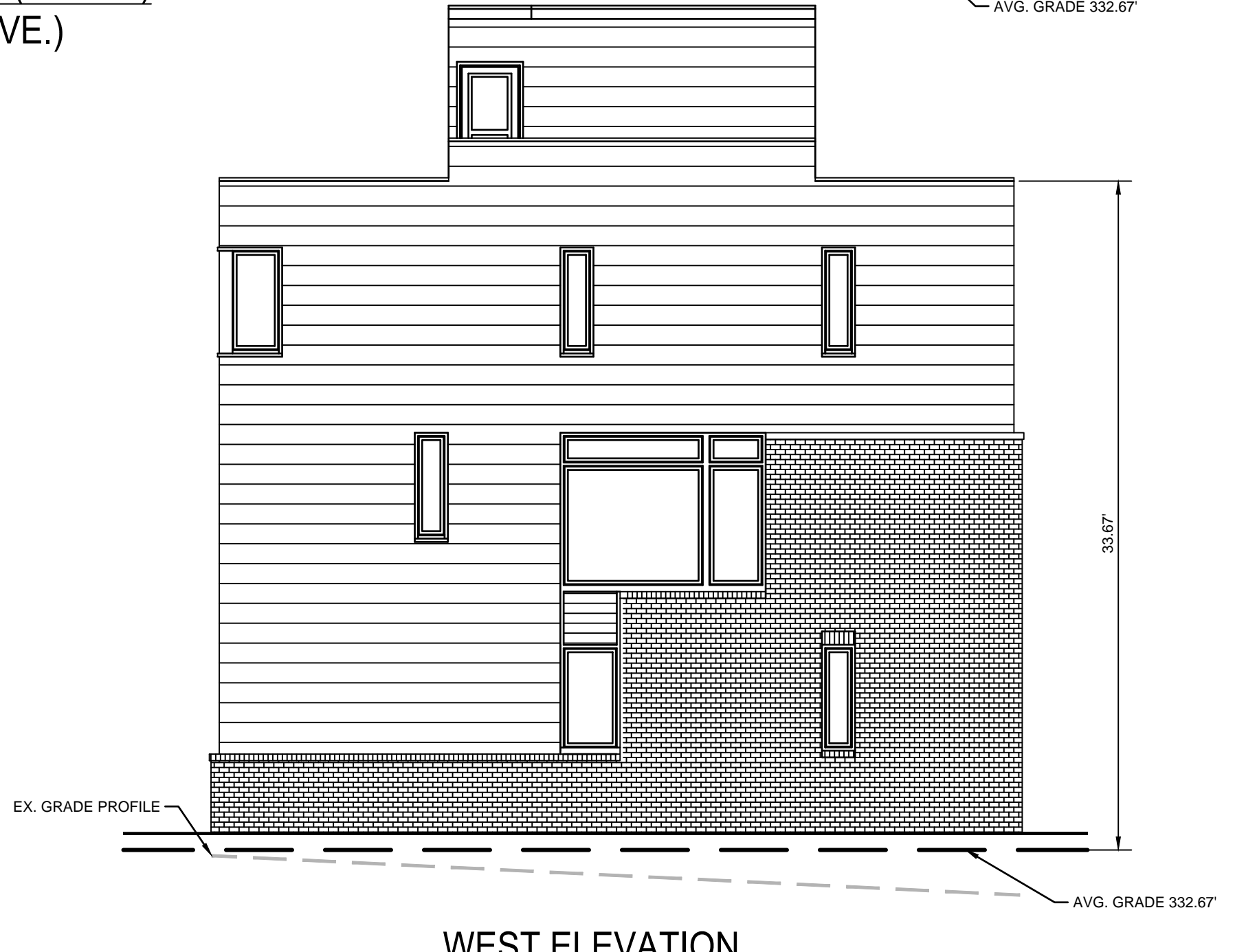
NORTH ELEVATION (REAR)



**SOUTH ELEVATION (FRONT)
(NEW BERN AVE.)**



EAST ELEVATION



WEST ELEVATION

AVERAGE GRADE CALCULATION (SR-60-18 SUBMITTED PRIOR TO TC-17-16 EFFECTIVE)

PER SECTION 1.5.7 OF THE UDO, BUILDING HEIGHT IS MEASURED FROM THE AVERAGE GRADE TO THE TOP OF THE HIGHEST POINT OF A PITCHED OR FLAT ROOF EXCLUDING THE PARAPET.

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BUILDING 3	EXISTING			PROPOSED		
	HIGHEST	LOWEST	AVERAGE	HIGHEST	LOWEST	AVERAGE
FRONT PLANE	333.3	330.9	332.1	333.4	333.0	333.2
REAR PLANE	334.1	332.4	333.25	333.2	333.2	333.2
AVERAGE OF TWO PLANES			332.67			333.2

*BUILDING ELEVATIONS, ARCHITECTURAL FEATURES, WINDOW/DOOR LOCATIONS AND SIZES, SHOULD BE CONSIDERED PRELIMINARY AND ARE SUBJECT TO CHANGE PENDING FINAL BUILDING DESIGN AND LAYOUT. FINAL BUILDING ELEVATIONS WILL ADHERE TO ALL APPLICABLE REQUIREMENTS OF THE UNIFIED DEVELOPMENT ORDINANCE.