



Administrative Approval Action

Block 83 / SR-59-18,
Transaction# 559068, AA#3897

City of Raleigh
Development Services Department
One Exchange Plaza
Raleigh, NC 27602
(919) 996-2495
DS.help@raleighnc.gov
www.raleighnc.gov

LOCATION: This site is located at the southeast corner of Hillsborough Street and Boylan Avenue. The site addresses and PIN numbers are as follows: 623 Hillsborough Street/1703491158, 621 Hillsborough Street/ 1703492128, 615 Hillsborough Street/1703492196, and 11 South Boylan Avenue/1703491076.

REQUEST: Development of a 1.33 acre site zoned Downtown Mixed Use with an Urban General Frontage (DX-12-UG) and Downtown Mixed Use with an Urban Limited Frontage (DX-12-UL). The applicant is proposing a 264,027 square feet of gross floor area building, consisting of 17,605 square feet of retail and 246,422 of office. Required parking to accommodate the subject site is being provided with the site plan for Block 83 Parking Deck, Transaction 573539/ SR-100-18.

DESIGN ADJUSTMENT(S)/ ALTERNATES, ETC: One Administrative Alternate has been approved by the Planning Director for this project, noted below:

1. An Administrative Alternate was approved for UDO Section 3.3.3 Building Massing Standards. Reference AAD-22-18.

FINDINGS: City Administration finds that this request, with the below conditions of approval being met, conforms to the Unified Development Ordinance. This approval is based on a preliminary plan dated 12/18/2018 by Rick Slater of McAdams Company.

CONDITIONS OF APPROVAL and NEXT STEPS:

This document must be applied to the second sheet of all future submittals except for final plats. This is a preliminary plan and as such no permits have been issued with this approval. To obtain permits and/or completion of the project, the following steps are required:

CONCURRENT SITE REVIEW - For land disturbance of 12,000 square feet or greater, public or private infrastructure, shared stormwater devices, etc. Concurrent Site Review may be submitted upon receipt of this signed approval document.

The following items are required prior to approval of Concurrent Site Review plans:
General

1. A lighting plan shall be submitted for review for compliance with UDO Article 7.4
2. A Solid Waste Collection plan shall be reviewed for compliance with the Solid Waste Services Manual.

Engineering

3. A right-of-way obstruction permit must be obtained from Right-of-way Services prior to the commencement of any construction activities within the right-of-way.



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Public Utilities

4. A Downstream Sewer Capacity Study in compliance with the City of Raleigh Public Utilities Department Handbook shall be submitted by the Project Engineer for review and approval

Stormwater

5. A stormwater control plan demonstrating Stormwater compliance for shared stormwater control facilities with a stormwater operations and maintenance manual and budget shall be approved (UDO 9.2).
6. A surety equal to of the cost of clearing, grubbing and reseeded a site, shall be paid to the City (UDO 9.4.4).

LEGAL DOCUMENTS - Email to legaldocumentreview@raleighnc.gov. Legal documents must be approved, executed, and recorded prior to or in conjunction with the recorded plat on which the associated easements are shown. Copies of recorded documents must be returned to the City within one business day of recording to avoid withholding of further permit issuance.

<input checked="" type="checkbox"/>	City Code Covenant	<input type="checkbox"/>	Slope Easement
<input checked="" type="checkbox"/>	Stormwater Maintenance Covenant	<input type="checkbox"/>	Transit Easement
<input type="checkbox"/>	Utility Placement Easement	<input checked="" type="checkbox"/>	Cross Access Easement
<input checked="" type="checkbox"/>	Sidewalk Easement	<input type="checkbox"/>	Public Access Easement
		<input type="checkbox"/>	Other:

RECORDED MAP(S) - Submit plat to record new property lines, easements, tree conservation areas, etc.). Plats may be submitted for review when the Concurrent Site Review plans, if required, have been deemed ready for mylar signature.

The following items must be approved prior to recording the plat:

General

1. A recombination map shall be recorded prior to or in conjunction with the recording of lots, recombining the existing four lots into 3 parcels.
2. The proposed shared UDO required Amenity Area (Section 1.1.9) shall be shown on all maps for recording with a metes and bounds description and shall be labeled as a shared common element subject to the required City Code Covenant
3. The City Code Covenant shall be approved by the City and recorded with the county register of deeds office where the property is located and a copy of the recorded document shall be provided to the City by the end of the next business day following the recordation of the final plat. Further recordings and building permits will be withheld if the recorded document is not provided to the City.



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4. A demolition permit shall be issued and this building permit number shown on all maps for recording.
5. The required right of way for proposed and/or existing streets shall be dedicated to the City of Raleigh and is shown on a plat approved for recordation.

Public Utilities

6. Infrastructure Construction Plans (concurrent submittal) must be approved by the City of Raleigh Public Utilities Department for all public water, public sewer and/or private sewer extensions.

Stormwater

7. A payment equal to twenty-four percent (24%) of the estimated cost of constructing all stormwater control facilities shown on the development plans shall be paid by the developer to the City stormwater facility replacement fund (UDO 9.2.2.G.3).
8. The City form document entitled Declaration of Maintenance Covenant and Grant of Protection Easement for Stormwater Control Facilities shall be approved by the City and recorded with the county register of deeds office (UDO 9.2.2.G). Stormwater Control Facilities will serve multiple parcels.
9. All stormwater control measures and means of transporting stormwater runoff to and from any nitrogen and stormwater runoff control measures shall be shown on all plats for recording as private drainage easements (UDO 9.2).
10. A surety equal to 125% of the cost of the construction of a stormwater device shall be paid to the Engineering Services Department (UDO 9.2.2.D.1.d).

BUILDING PERMITS – For buildings and structures shown on the approved plans. Commercial building permit plans must include the signed, approved Concurrent Site Review plans attached, if applicable. Permit sets may be reviewed prior to the recordation of required plats, but cannot be approved.

The following items must be approved prior to the issuance of building permits:

General

1. The applicant shall provide a signed agreement or lease indicating that required off-street parking shall be provided as long as the principal use continues and the principal use shall be discontinued should the required off-street parking no longer be provided on these off-site parcels (UDO 7.1.5).
2. A recombination map shall be recorded prior to or in conjunction with the recording of lots, recombining the existing lots as shown on the preliminary plan.
3. A demolition permit shall be obtained.
4. Provide fire flow analysis.



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Engineering

5. The required right of way for proposed and/or existing streets shall be dedicated to the City of Raleigh and is shown on a plat approved for recordation.
6. A public infrastructure surety shall be provided to the City of Raleigh Development Services – Development Engineering (UDO 8.1.3).
7. A sidewalk deed of easement for any public sidewalk on private property shall be approved by City staff, and the location of the easement shall be shown on the map approved for recordation. The deed of easement shall be recorded at Wake County Register of Deeds within one day of recordation of the plat. A recorded copy of this document shall be provided to the Development Services Department within one day from authorization of lot recordation. If a recorded copy of the document is not provided, further recordings and building permit issuance will be withheld.
8. A fee-in-lieu of transit infrastructure construction shall be paid to the City of Raleigh (UDO 8.11.4 and 8.11.5).
9. A cross access agreement among the proposed lots being developed associated with SR-59-18 shall be approved by the Development Services Department for recording in the Wake County Registry, and a copy of the recorded cross access easement shall be returned to the Development Services Department within one day of plat recordation. If a recorded copy of the document is not provided, further recordings and building permit issuance will be withheld.
10. A right-of-way obstruction permit shall be obtained from Right-of-way Services for any construction activity within the right-of-way.
11. Offsite easements shall be obtained for work shown crossing the property line prior to issuance of building permits.

Public Utilities

12. A plat must be recorded at the Wake County Register of Deeds office for all utility easement dedications.

Stormwater

13. All stormwater control measures and means of transporting stormwater runoff to and from any nitrogen and stormwater runoff control measures shall be shown on all plats for recording as private drainage easements (UDO 9.2).

Urban Forestry

14. A tree impact permit must be obtained for the approved streetscape tree installation in the right of way. This development proposes 5 street trees in tree grates along Hillsborough St., 5 street trees in tree grates along W. Morgan St., and 5 street trees in tree grates along S. Boylan Ave., for a total of 15 street trees in tree grates.



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The following are required prior to issuance of building occupancy permit:

1. Required parking to accommodate the subject site under Block 83 Parking Deck Transaction 573539/ SR-100-18 must be permitted and constructed with a certificate of occupancy.
2. All Water, Sanitary Sewer and Reuse facilities shall be installed, inspected, tested and accepted by the City of Raleigh Public Utilities Department for operations and maintenance.
3. Required public right-of-way infrastructure improvements shall be, at a minimum, sufficiently completed to provide the necessary, safe emergency and vehicular access.
4. Required underground storm drainage improvements shall be completed and as-built plan(s) and certification(s) reviewed and accepted by the City of Raleigh Development Services – Development Engineering program.
5. All street lights and street signs required as part of the development approval are installed.
6. Copies of certified inspection reports for alleys and internal access ways are submitted to the City of Raleigh Development Services – Development Engineering program.
7. As-built drawings and associated forms for all Stormwater devices are accepted by the Engineering Services Department (UDO 9.2.2.D.3).
8. Final inspection of all right of way street trees by Urban Forestry Staff.

EXPIRATION DATES: The expiration provisions of UDO Section 10.2.8 E, including the ability to request extensions in the expiration date, apply to this site plan. If significant construction has not taken place on a project after administrative site review approval, that approval may expire and be declared void, requiring re-approval before permits may be issued. To avoid allowing this plan approval to expire the following must take place by the following dates:

3-Year Expiration Date: 12-20-2021

Obtain a valid building permit for the total area of the project, or a phase of the project.

4-Year Completion Date:

Within four years after issuance of the first building permit for the site plan, the construction of the entire site plan must be completed unless an applicant has been granted vested rights. Failure to complete construction within this specified time frame shall automatically void the approved site plan for which no building permits have been issued.

I hereby certify this administrative decision.

Signed: (Planning Dir./Designee)

Date: 12/20/18

Staff Coordinator: Daniel L. Stegall

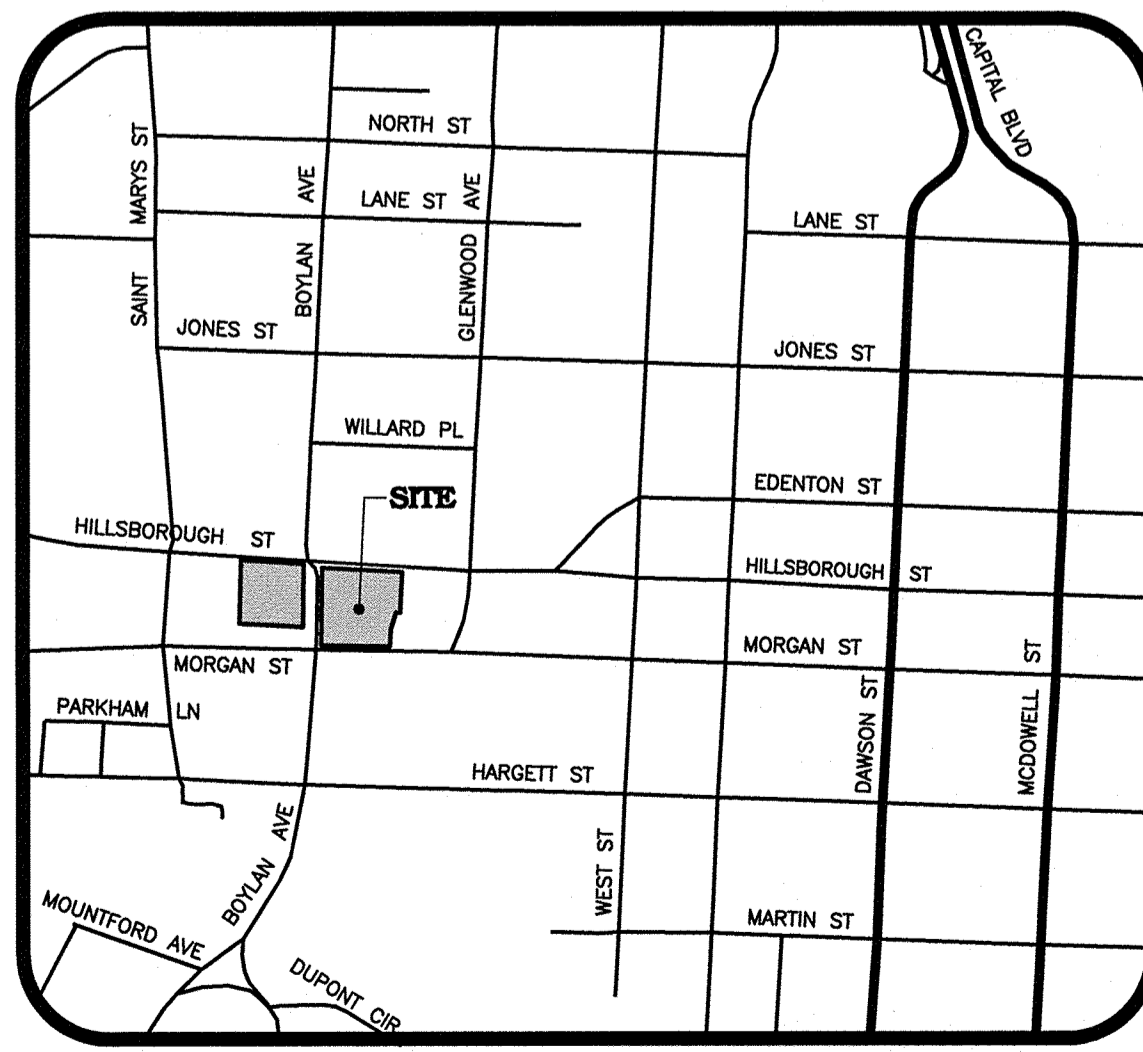
When submitting plans, please check the appropriate building type and include the Plan Checklist document.

Form with sections: BUILDING TYPE, GENERAL INFORMATION, WORK SCOPE, DESIGN ADJUSTMENT OR ALTERNATE, CLIENT/DEVELOPER/OWNER, CONSULTANT.

WWW.RALEIGHNC.GOV REVISION 05.13.16

Table with columns: DEVELOPMENT TYPE & SITE DATA TABLE (Applicable to all developments), Zoning Information, Building Information, Stormwater Information, FOR RESIDENTIAL DEVELOPMENTS, SIGNATURE BLOCK.

WWW.RALEIGHNC.GOV REVISION 05.13.16



VICINITY MAP NTS

BUILD-TO ADMINISTRATIVE ALTERNATE CASE NUMBER: AAD-22-18



City Planning Director Action

Administrative Alternate Findings:

UDO Section 1.5.6 Build-to The Planning and Development Officer may in accordance with Sec. 10.2.17, reduce the build-to requirement, subject to all of the following findings:

- 1. The approved alternate meets the intent of the build-to regulations... Staff response: The requested alternate proposes a site plan that maintains and creates a street wall... 2. The approved alternate conforms with the Comprehensive Plan and adopted City plans... 3. The approved alternate does not substantially negatively affect the character of the street wall... 4. The change in percentage of building that occupies the build-to area... 5. Site area that would have otherwise been occupied by buildings is converted to an outdoor amenity area...

Decision: The City Planning Director finds that the requested alternate generally meets the findings enumerated in the Unified Development Ordinance.

Signature: [Signature] Date: 11/21/2018

BLOCK 83 (FORMERLY TWO HILLSBOROUGH)

ADMINISTRATIVE SITE REVIEW

CASE NUMBER: SR-59-18 TRANSACTION NUMBER: 559068 RALEIGH, NORTH CAROLINA PROJECT NUMBER: HTG-17000

DATE: JUNE 15, 2018 REVISED: OCTOBER 22, 2018 REVISED: NOVEMBER 08, 2018 REVISED: DECEMBER 18, 2018

OWNER/DEVELOPER: GLENWOOD TWO, LLC 501 FAIRMONT AVENUE, SUITE 101 TOWNSON, MARYLAND 21286 CONTACT: RYAN BLAIR PHONE: 410-769-6139 EMAIL: RBLAIR@HPIMD.COM

BUILDING MASS STANDARDS ADMINISTRATIVE ALTERNATE CASE NUMBER: AAD-22-18



City Planning Director Action

Administrative Alternate Findings:

UDO Section 3.3.3. Building Massing Standards The Planning and Development Officer in accordance with Sec. 10.2.17, may approve an alternate building massing standard, subject to all of the following findings:

- 1. The approved alternate meets the intent of the building massing regulations... Staff response: The requested alternate manages the impact of the height of the proposed building... 2. The approved alternate conforms with the Comprehensive Plan and adopted City plans... 3. If the approved alternate uses a change in building materials... 4. If the approved alternate proposes a building setback behind the sidewalk... 5. The building contains architectural treatments for delineating the base, middle and top of the building.

Decision: The City Planning Director finds that the requested alternate generally meets the findings enumerated in the Unified Development Ordinance.

Signature: [Signature] Date: 11/21/2018

SHEET INDEX

- C-1A EXISTING CONDITIONS - AREA "A" C-1B EXISTING CONDITIONS - AREA "B" C-2 PROJECT NOTES C-3 OVERALL PROJECT PLAN C-4 DEMOLITION PLAN - AREA "A" C-5 DEMOLITION PLAN - AREA "B" C-6 SITE PLAN - AREA "A" C-7 SITE PLAN - AREA "B" C-8 GRADING AND STORM DRAINAGE PLAN - AREA "A" C-9 GRADING AND STORM DRAINAGE PLAN - AREA "B" C-10 UTILITY PLAN - AREA "A" C-11 UTILITY PLAN - AREA "B" LS-1 LANDSCAPE PLAN (BY SURFACE) LS-2 LANDSCAPE DETAILS (BY SURFACE) D-1 SITE DETAILS D-2 SITE DETAILS D-3 WATER DETAILS D-4 SANITARY SEWER DETAILS D-5 STORM DRAINAGE DETAILS D-6 STORM DRAINAGE DETAILS SW-1 STORMWATER CONTROL MEASURE DETAILS

BUILDING ELEVATIONS (BY GENSLER)

- A0.11 MIXED USE BUILDING ELEVATION - NORTH (HILLSBOROUGH STREET) A0.12 MIXED USE BUILDING ELEVATION - WEST (BOYLAN AVENUE) A0.13 MIXED USE BUILDING ELEVATION - SOUTH (MORGAN STREET) A0.14 MIXED USE BUILDING ELEVATION - EAST (COURTYARD) A0.15 MIXED USE BUILDING ROOF PLAN

Staff Response: The proposed building employs architectural treatments, such as material and wall plane changes for delineating the base, middle, and top of the building.

NOTE: NO TREE CONSERVATION PLAN REQUIRED DUE TO PROPOSED SITE AREA BEING LESS THAN 2.00 ACRES. UDO 4.7.4.11

SOLID WASTE COMPLIANCE STATEMENT:

- 1. THE DEVELOPER ACKNOWLEDGES THAT THEY HAVE REVIEWED AND ARE IN COMPLIANCE WITH THE REQUIREMENTS SET FORTH IN THE SOLID WASTE DESIGN MANUAL. 2. THE SOLID WASTE REMOVAL FOR THIS PROJECT WILL BE HANDLED BY A PRIVATE SERVICE (SEE SITE PLAN SHEET C-6). 3. REFUSE WILL BE COLLECTED IN CENTRAL COMPACTOR AND/OR DUMPSTERS AND RECYCLING AREAS WITHIN THE SITE.

NOTES:

- 1. WITHIN THE AREA OF A DEFINED SIGHT TRIANGLE, THERE SHALL BE NO SIGHT OBSTRUCTING OR PARTLY OBSTRUCTING WALL, FENCE, SIGN, FOLIAGE, BERMING OR PARKED VEHICLES BETWEEN THE HEIGHTS OF TWENTY-FOUR (24) INCHES AND EIGHT (8) FEET ABOVE THE CURB ELEVATION OR THE NEAREST TRAVELED WAY, IF NO CURBING EXISTS. 2. DRIVEWAYS MAY INTERSECT A STREET NO CLOSER THAN 50' FROM THE INTERSECTION OF 2 STREET RIGHTS-OF-WAYS, NOT INCLUDING AN ALLEY.



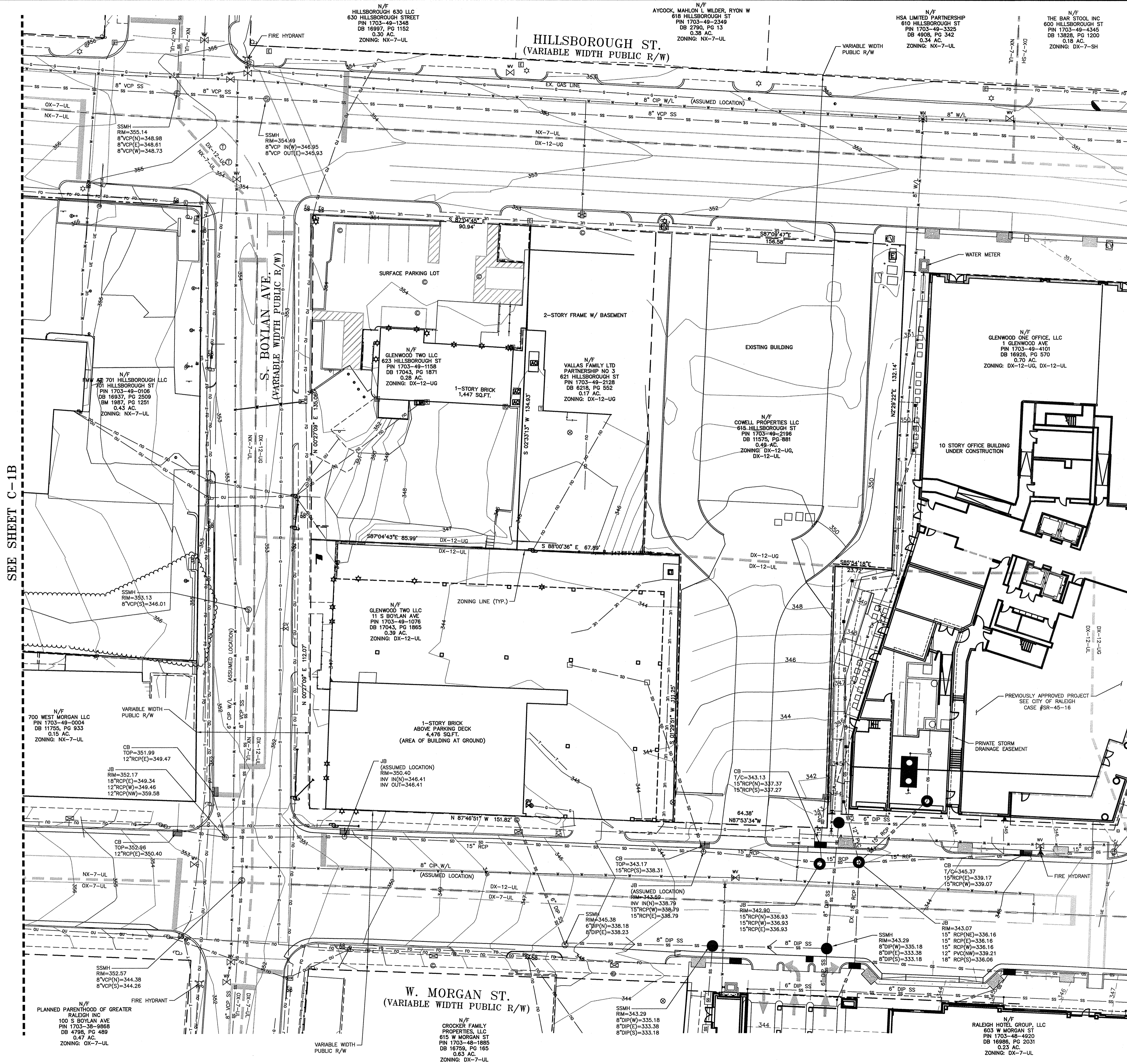
Know what's below. Call before you dig.

CONTRACTOR SHALL NOTIFY "NC811" (811) OR (1-800-632-4949) AT LEAST 3 FULL BUSINESS DAYS PRIOR TO BEGINNING CONSTRUCTION OR EXCAVATION TO HAVE EXISTING UTILITIES LOCATED. CONTRACTOR SHALL CONTACT ANY LOCAL UTILITIES THAT PROVIDE THEIR OWN LOCATOR SERVICES INDEPENDENT OF "NC811". REPORT ANY DISCREPANCIES TO THE ENGINEER IMMEDIATELY.



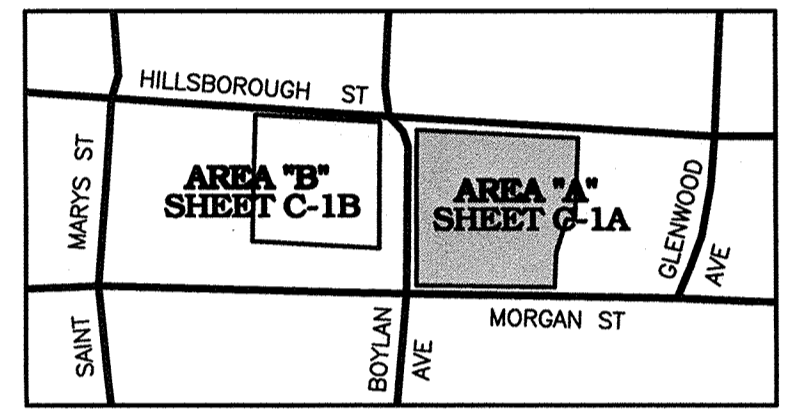
THE JOHN R. McADAMS COMPANY, INC. 2905 Meridian Parkway Durham, North Carolina 27713 License No.: C-0293 919.361.5000 • McAdamsCo.com Contact: Rick Slater, PE Slater@mcadamsco.com

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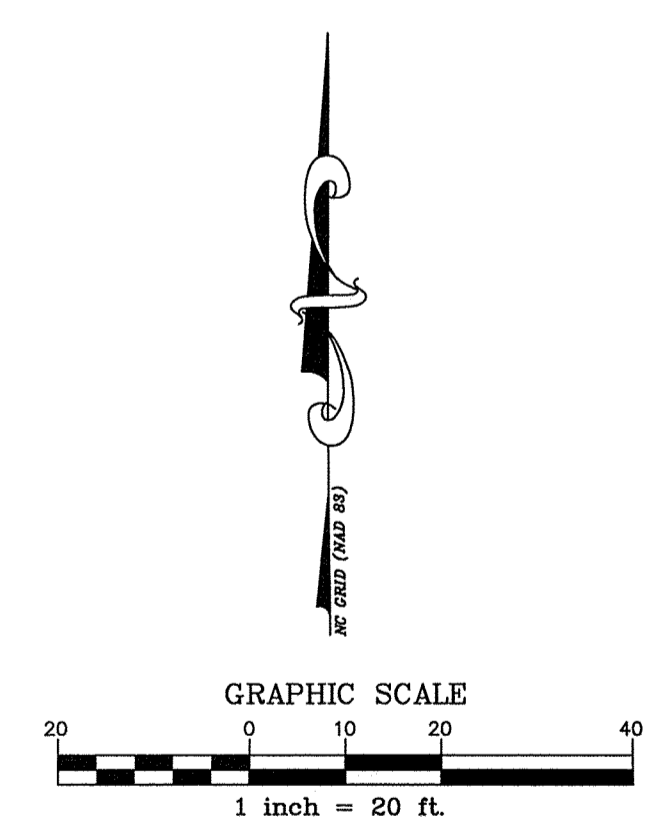


LEGEND

●	EXISTING IRON PIPE	○	ACCESSIBLE PARKING
○	IRON PIPE SET	○	IRRIGATION CONTROL VALVE
▲	CALCULATED POINT	▲	FLOOD LIGHT
⊕	BORE HOLE	⊕	MAIL BOX
⊙	SANITARY SEWER MANHOLE	⊙	MONITORING WELL
⊙	SANITARY SEWER CLEANOUT	⊙	SIAMESE CONNECTION
⊕	WATER VALVE	⊕	SIGN
⊕	WATER METER	⊕	WELL
⊕	FIRE HYDRANT	⊕	WATER MANHOLE
⊕	TELEPHONE PEDESTAL	⊕	LIGHT SINGLE
⊕	TELEPHONE MANHOLE	⊕	LIGHT DOUBLE
⊕	ELECTRIC BOX	⊕	CABLE BOX
☆	LIGHT POLE	☆	FIBER OPTIC VAULT
⊕	POWER POLE	⊕	SPRINKLER HEAD
⊕	CURB INLET	—	STORM DRAIN PIPE
⊕	STORM DRAINAGE MANHOLE	—	OVERHEAD UTILITY LINES
⊕	YARD INLET	—	WATER LINE
⊕	AIR CONDITIONER	—	SANITARY SEWER LINE
⊕	ADDRESS BOX	—	TELEPHONE LINE
●	BOLLARD	—	GAS LINE
⊕	FIRE CONNECTION	—	UNDERGROUND ELECTRIC
⊕	FIBER OPTIC MARKER	—	UNDERGROUND TELEPHONE
⊕	GREASE PIT	—	FENCE LINE
		—	ZONING LINE



INDEX MAP
NTS



SEE SHEET C-1B

THE JOHN R. MCADAMS COMPANY, INC.
2905 Meridian Parkway
Durham, North Carolina 27713
License No.: C-0293
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MCADAMS

REVISIONS:

▲	2018-10-22 1ST RALEIGH REVIEW COMMENTS
▲	2018-11-09 2ND RALEIGH REVIEW COMMENTS

OWNER/DEVELOPER:
GLENWOOD TWO LLC
501 FAIRMONT AVENUE,
SUITE 101
TOWNSON, MARYLAND 21286

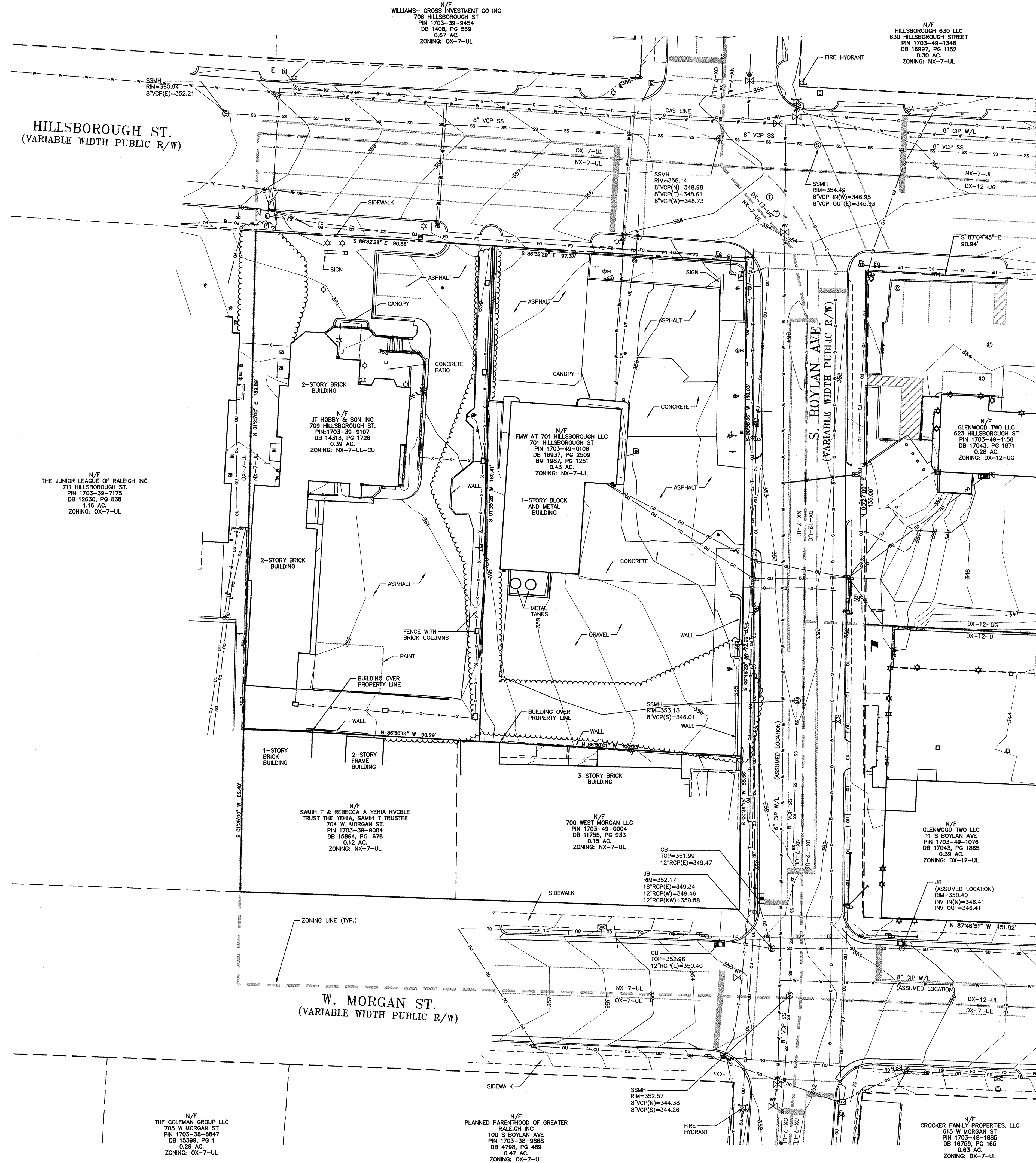
BLOCK 88
(FORMERLY TWO HILLSBOROUGH)
ADMINISTRATIVE SITE REVIEW
RALEIGH, NORTH CAROLINA

EXISTING CONDITIONS - AREA "A"

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FILENAME: HTG17000-XC1
CHECKED BY: RSS
DRAWN BY: JMS
SCALE: 1" = 20'
DATE: 06-15-18
SHEET NO. **C-1A**

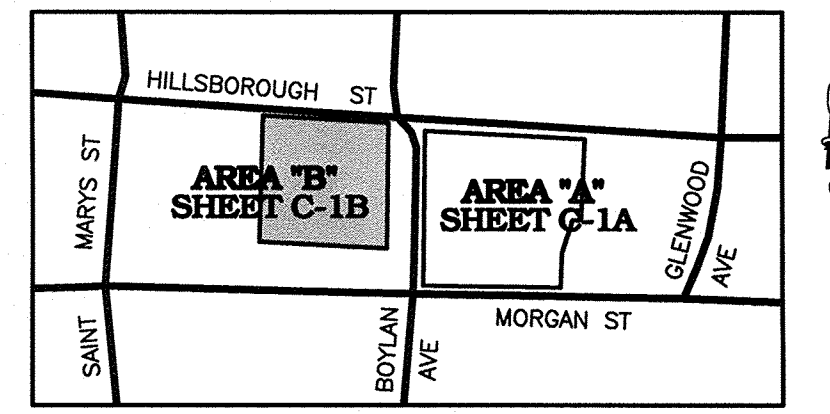
MCADAMS

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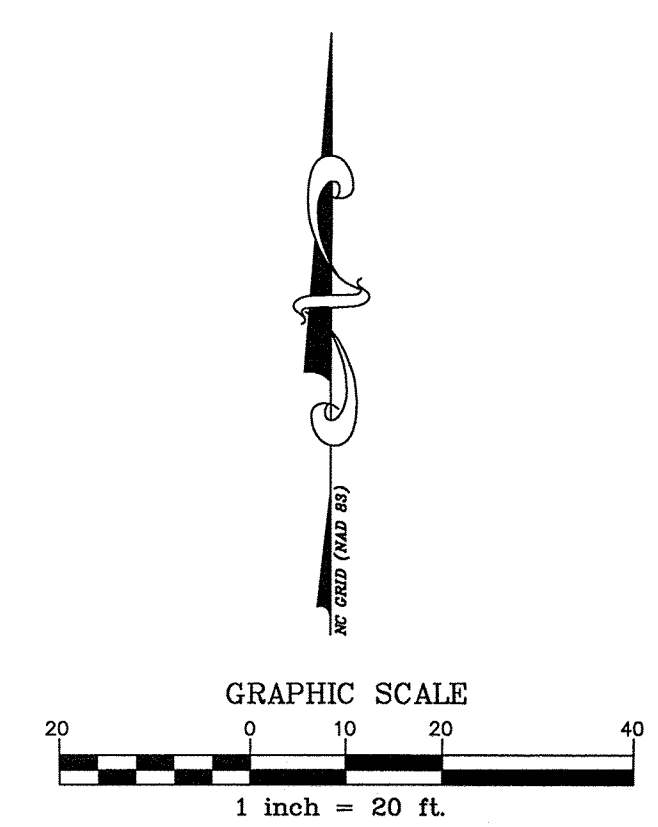


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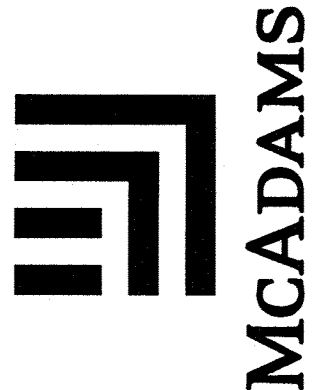
●	EXISTING IRON PIPE	⊕	ACCESSIBLE PARKING
○	IRON PIPE SET	⊕	IRRIGATION CONTROL VALVE
▲	CALCULATED POINT	⊕	FLOOD LIGHT
⊕	BORE HOLE	⊕	MAIL BOX
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		⊕	ZONING LINE



INDEX MAP
NTS



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2905 Meridian Parkway
Durham, North Carolina 27713
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REVISIONS:

▲	2018-10-22 1ST RAISED REVIEW COMMENTS
▲	2018-11-08 2ND RAISED REVIEW COMMENTS

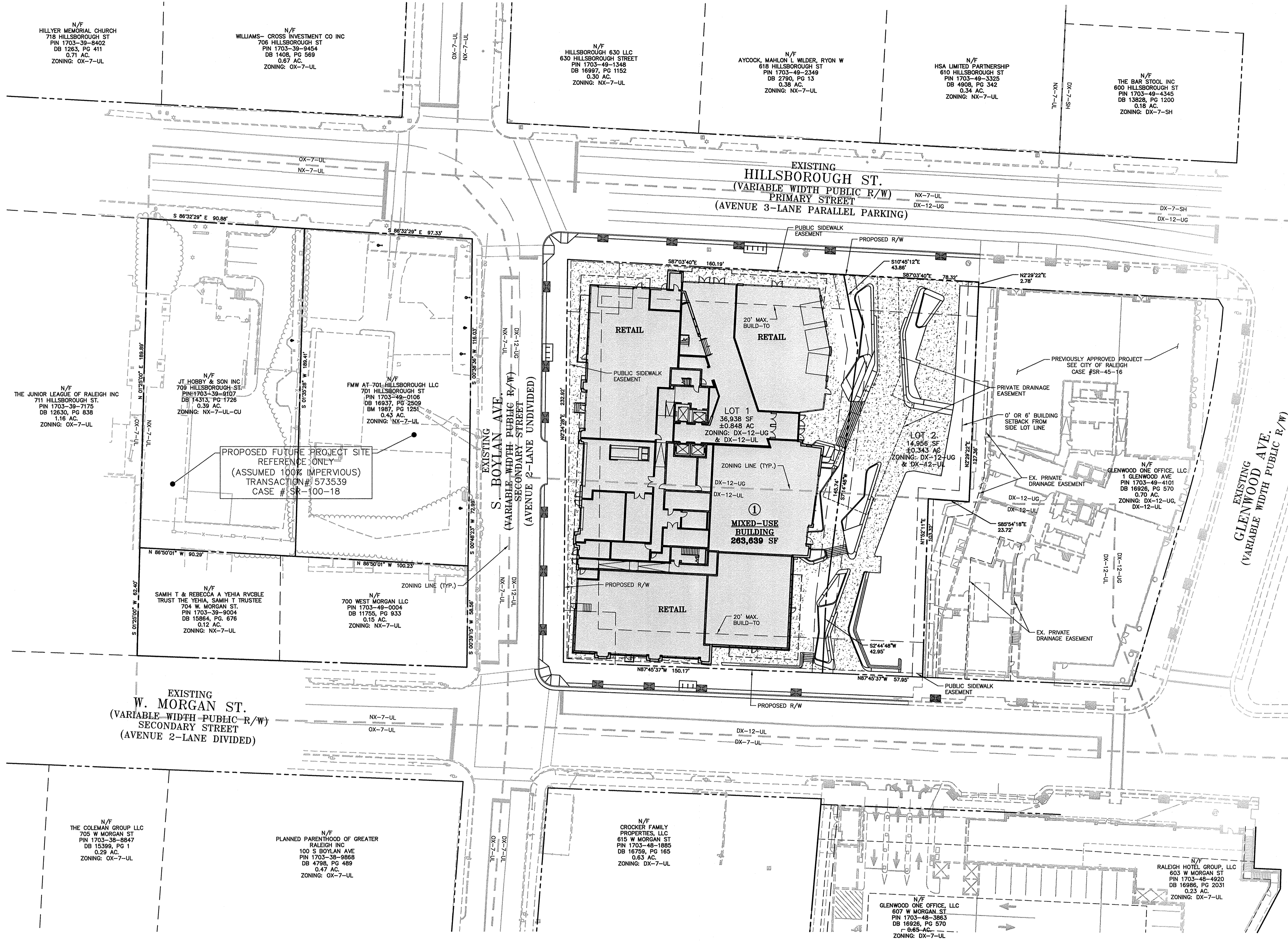
OWNER/DEVELOPER:
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TOWNSON, MARYLAND 21286

BLOCK 88
(FORMERLY TWO HILLSBOROUGH)
ADMINISTRATIVE SITE REVIEW
RALEIGH, NORTH CAROLINA
EXISTING CONDITIONS - AREA "B"

PROJECT NO. HTG-17000
FILENAME: HTG17000-XC1
CHECKED BY: RSS
DRAWN BY: JMS
SCALE: 1" = 20'
DATE: 06-15-18
SHEET NO. C-1B



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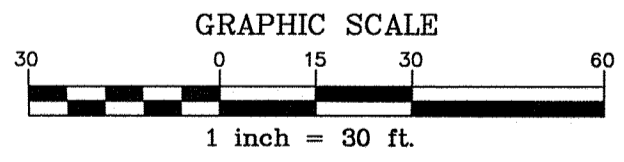
SITE LEGEND

	SIGNAGE
	POWER POLE
	TRAFFIC DIRECTIONAL ARROW
	ACCESSIBLE RAMPS
	PROPERTY LINE
	RIGHT-OF-WAY LINE
	EASEMENT LINE
	CENTERLINE
	ZONING LINE

PROPOSED FUTURE PROJECT SITE
REFERENCE ONLY
(ASSUMED 100% IMPERVIOUS)
TRANSACTION# 573539
CASE # SR-100-18

ALL CONSTRUCTION SHALL BE IN ACCORDANCE WITH THE CURRENT CITY OF RALEIGH ENGINEERING DESIGN AND CONSTRUCTION STANDARDS

SEE SHEET C-2 FOR ALL PROJECT, SITE, GRADING, STORM DRAINAGE AND UTILITY NOTES



THE JOHN R. MCADAMS COMPANY, INC.
2905 Meridian Parkway
Durham, North Carolina 27713
License No. C-02985
919.361.5000 T. McAdamsCo.com



REVISIONS:

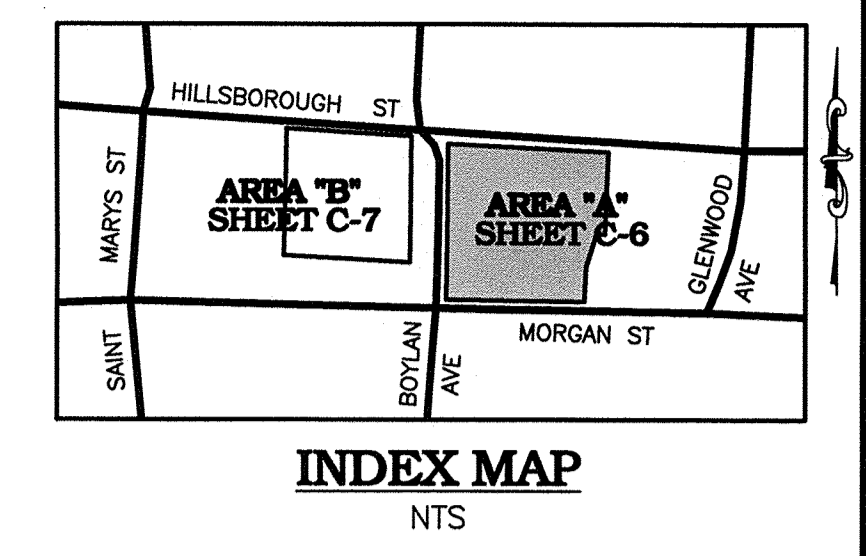
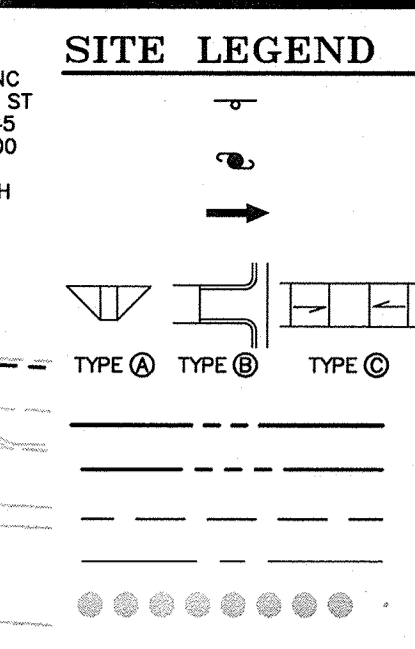
2018-10-25	1ST RALEIGH REVIEW COMMENTS
2018-11-08	2ND RALEIGH REVIEW COMMENTS
2018-12-18	3RD RALEIGH REVIEW COMMENTS

OWNER/DEVELOPER:
GLENWOOD TWO LLC
501 FAIRMONT AVENUE,
SUITE 101
TOWNSON, MARYLAND 21286

BLOCK 83
(FORMERLY TWO HILLSBOROUGH)
ADMINISTRATIVE SITE REVIEW
RALEIGH, NORTH CAROLINA
OVERALL PROJECT PLAN

PROJECT NO.	HTG-17000
FILENAME	HTG17000-0AS1
CHECKED BY:	RSS
DRAWN BY:	JMS
SCALE:	1" = 30'
DATE:	12-18-18
SHEET NO.	C-3





SITE DATA (PROPOSED DEVELOPMENT)

SITE ADDRESS: 615 HILLSBOROUGH ST, 621 HILLSBOROUGH ST, 623 HILLSBOROUGH ST, 11 S BOYLAN AVE.

PIN NUMBER: 1703492196 1703492128
 DEED BOOK: DB 11575, PG 881 DB 6218, PG 552
 1703491158 1703491076
 DB 17043, PG 1871 DB 17043, PG 1865

ZONING(S): DX-12-UG + DX-12-UG
 EX. ACREAGE: ±0.49 + ±0.17 + ±0.28 + ±0.39 = ±1.31
 PROP. R/W DEDICATION: ±0.12 AC
 PROP. ACERAGE: ±1.19 AC
 PROPOSED USE: MIXED-USE: OFFICE/RETAIL

TOTAL PROPOSED GROSS SF: 264,027 SF (17,605 RETAIL + 246,422 OFFICE)

OUTDOOR AMENITY AND PARKING REQUIREMENTS

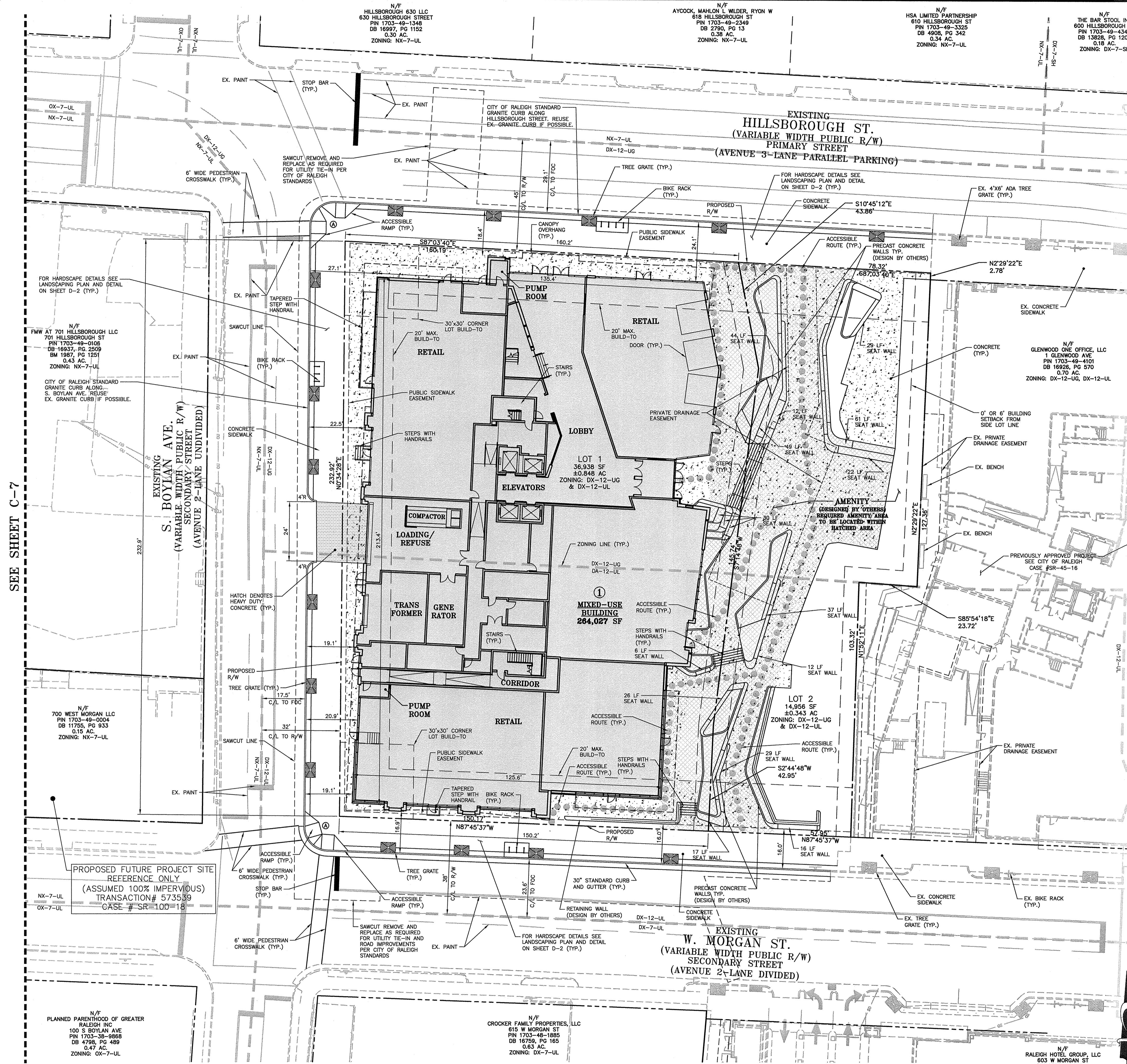
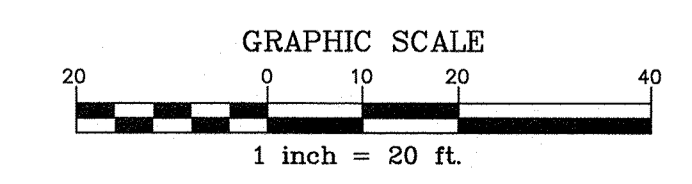
PARKING	UDO 7.1.3.A.c - REQUIRED PARKING 1 SPACE/ 500 SF UDO 7.1.3.A.d - FIRST 10,000 SF GROSS NONRESIDENTIAL IS EXEMPT UDO 7.1.3.A.e - UP TO 30,000 SF EXEMPT FOR FIRST FLOOR USES UDO 7.1.3.A.f - MAX EXEMPTION FROM d AND e IS 30,000 SF PROPOSED GROSS SF = 264,027 (17,605 SF 1ST FLOOR RETAIL) NET EXEMPTION = 10,000 + 17,605 = 27,605 PARKING CALCULATION = (264,027-27,605)/500 = 473 SPACES TOTAL PARKING PROVIDED = 473 SPACES ¹ (10 HC SPACES) ¹
BICYCLE PARKING	RETAIL USES (MINIMUM 4) SHORT TERM (1 SPACE/8,000 SF) = (17,605)/8,000 = 3 SPACES (4 MIN) LONG TERM (1 SPACE/0 SF) = 0 SPACES OFFICE USES SHORT TERM (1 SPACE/10,000 SF) = 246,422/10,000 = 25 SPACES LONG TERM (1 SPACE/5,000 SF) = 246,422/5,000 = 50 SPACES TOTAL REQUIRED (50 SPACES MAX PER UDO SEC 7.1.8.A) SHORT TERM PROVIDED (ON STREET) = 20 SPACES (10 RACKS) LONG TERM PROVIDED (IN BLOCK 83 DECK) = 30 SPACES ² TOTAL PROVIDED = 50 SPACES
AMENITY AREA	TOTAL SITE AREA: ±1.19 AC = 51,894 SF. REQUIRED: 10.00% OF SITE = 0.119 AC = 5,190 SF 50SF/FLOOR ABOVE 7 STORIES = (3)*50 = 150 SF TOTAL REQUIRED = 5,340 SF (0.123 AC) PROVIDED POSSIBLE OUTDOOR AMENITY AREA: 11,526 SF (0.123 AC) ³ TOTAL AMENITY AREA PROVIDED: 5,340 SF (0.123 AC) = 10.3% ⁴ SEATING REQUIRED: 1 LF/50 SF OF AMENITY AREA = 5,340/50 = 106.8 LF SEATING PROVIDED: 107 LF MIN. TREES PROVIDED: 1 TREE/1,000 SF = 5,340/1,000 = 5.34 TREES TREES PROVIDED: 6 TREES (SEE LANDSCAPE PLANS)

- NOTES:**
- ALL PARKING TO BE PROVIDED IN ADJACENT PARKING DECKS.
 247 SPACES LOCATED WITHIN THE TWO GLENWOOD PARKING DECK (TRANS#519219)
 228 SPACES LOCATED WITHIN THE BLOCK 83 PARKING DECK (TRANS#573539)
 - LONG TERM BIKE PARKING TO BE PROVIDED IN BLOCK 83 PARKING DECK LOCATED AT 701 HILLSBOROUGH STREET. SITE PLAN FOR PARKING DECK TO BE FILED UNDER CASE #SR-100-18 AND TRANS #573539.
 - POSSIBLE OUTDOOR AMENITY AREA SHOWN AS HATCHED AREA
 - MINIMUM REQUIRED AMENITY AREA TO BE LOCATED WITHIN HATCHED AREA (11,526 SF) SHOWN ON PLANS.

MINIMUM BUILDING HEIGHT STREET FACADE CALCS

*PER CITY OF RALEIGH UDO SEC. 3.3.2. DX-12 URBAN FRONTAGES MUST HAVE A MIN OF 75% OF STREET FACING FACADE AT MINIMUM HEIGHT. MINIMUM HEIGHT IS DEFINED AS 2 STORIES.

LOT 1	HILLSBOROUGH STREET: FRONTAGE = 160.2' (PRIMARY) MIN BUILDING HEIGHT = 135.4' % OF FRONTAGE WIDTH = 84.5%
	BOYLAN AVE: FRONTAGE = 232.9' (SECONDARY) MIN BUILDING HEIGHT = 213.4' % OF FRONTAGE WIDTH = 91.6%
	MORGAN STREET: FRONTAGE = 150.2' (SECONDARY) MIN BUILDING HEIGHT = 125.6' % OF FRONTAGE WIDTH = 83.6%
LOT 2	OPEN LOT - N/A



GENERAL DRIVEWAY NOTE

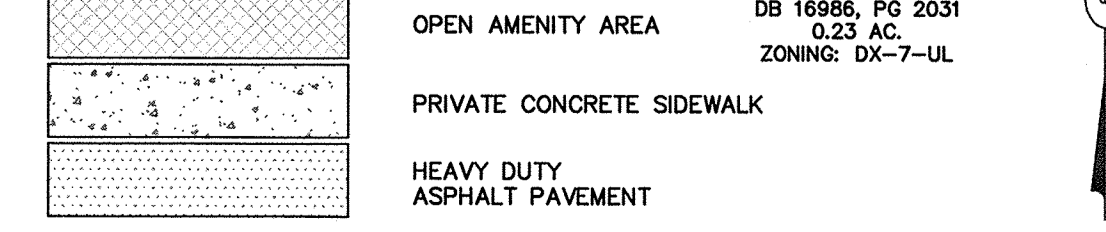
- DRIVEWAYS MAY INTERSECT A STREET NO CLOSER THAN 50' FROM THE INTERSECTION OF 2 STREET RIGHTS-OF-WAY, NOT INCLUDING AN ALLEY.

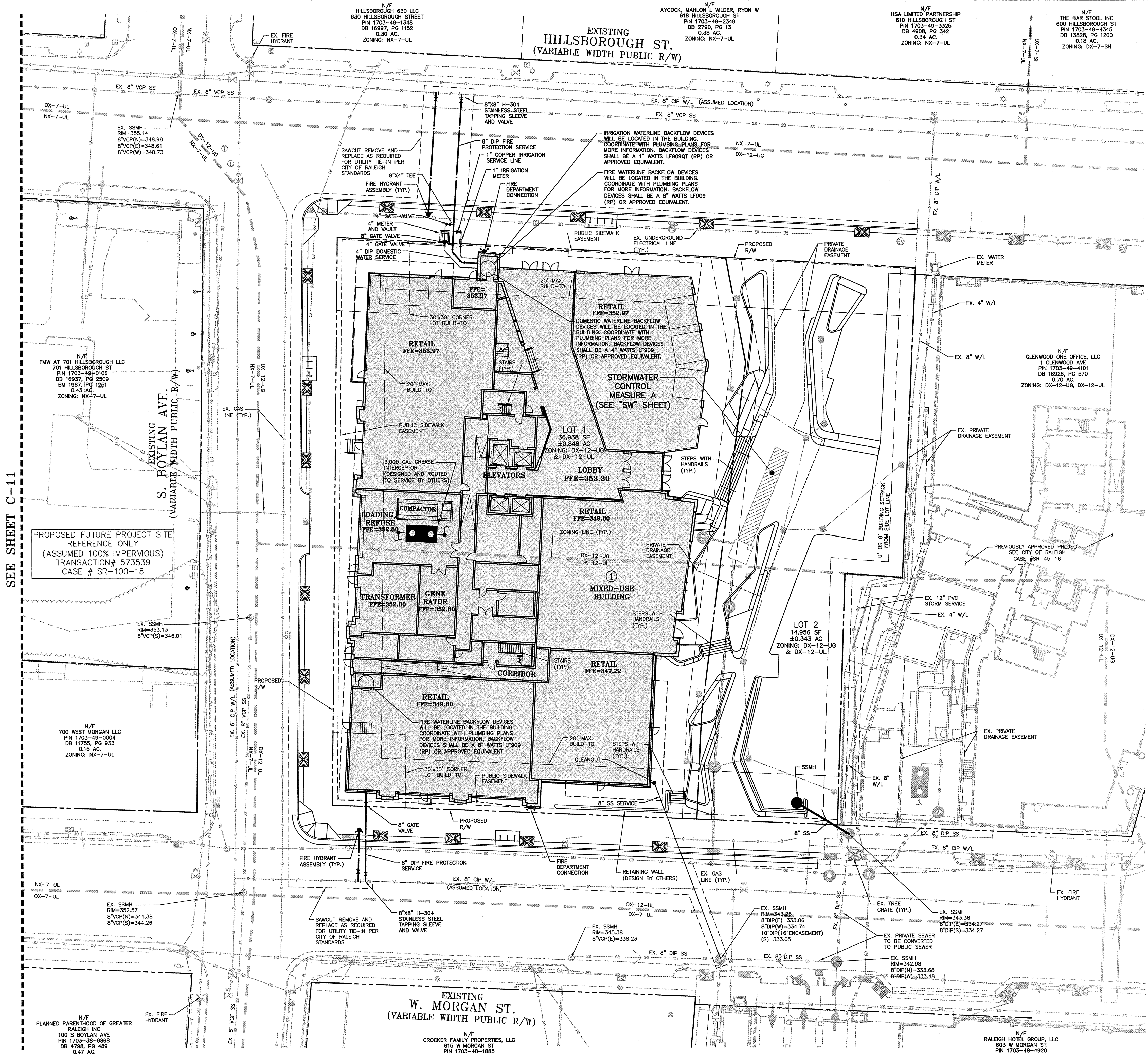
HC RAMPS:

- ALL HC RAMPS TO BE FIELD ADJUSTED WITH INPUT FROM THE CITY OF RALEIGH FIELD INSPECTOR PRIOR TO INSTALLATION.
- POWER POLES WHICH CONFLICT WITH FIELD LOCATED HC RAMPS ARE TO BE RELOCATED BY APPROPRIATE UTILITY COMPANY.

SEE SHEET C-2 FOR ALL PROJECT, SITE, GRADING, STORM DRAINAGE AND UTILITY NOTES

ALL CONSTRUCTION SHALL BE IN ACCORDANCE WITH THE CURRENT CITY OF RALEIGH ENGINEERING DESIGN AND CONSTRUCTION STANDARDS



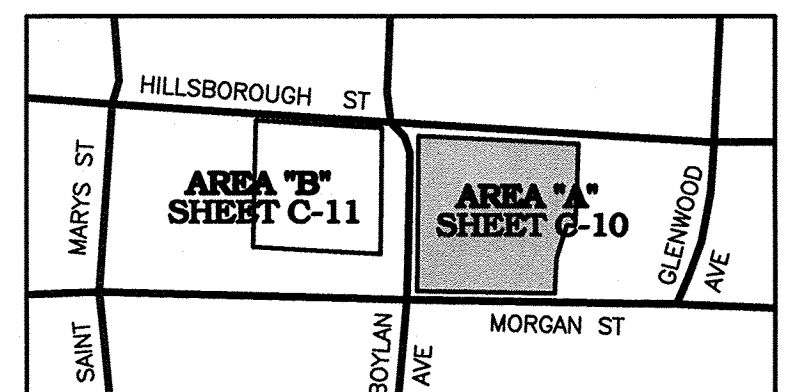


UTILITY LEGEND

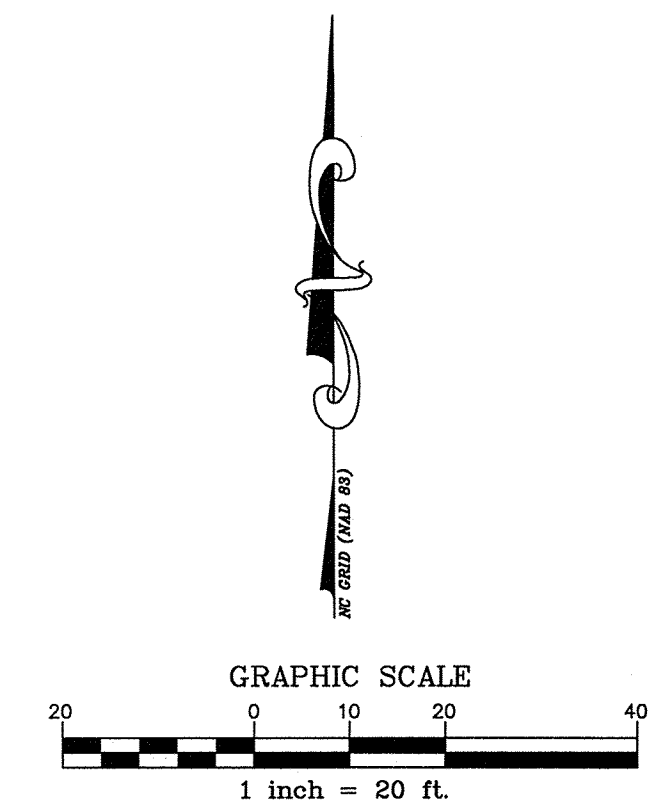
	FIRE HYDRANT ASSEMBLY
	FIRE DEPARTMENT CONNECTION (FDC)
	WATER METER
	WATER VALVE
	POST INDICATOR VALVE
	VALVE IN MANHOLE
	METER & VAULT
	BACKFLOW PREVENTER
	REDUCER
	PLUG
	BLOW-OFF ASSEMBLY
	SANITARY SEWER MANHOLE
	SEWER CLEAN-OUT
	GREASE TRAP
	SEWER FLOW DIRECTION ARROW
	YARD LIGHTS
	LIGHT POLE
	POWER POLE
	LINE BREAK SYMBOL
	WATERLINE
	WATER SERVICE LINE
	UTILITY SLEEVE
	SEWER SEWER
	SEWER SERVICE LINE
	SEWER FORCE MAIN
	GAS LINE
	OVERHEAD UTILITY
	UNDERGROUND ELECTRIC
	TELEPHONE
	EASEMENT LINE

SEE SHEET C-2 FOR ALL PROJECT, SITE, GRADING, STORM DRAINAGE AND UTILITY NOTES

ALL CONSTRUCTION SHALL BE IN ACCORDANCE WITH THE CURRENT CITY OF RALEIGH ENGINEERING DESIGN AND CONSTRUCTION STANDARDS



INDEX MAP
NTS



NOTE
IRRIGATION CONTRACTOR SHALL NOT MAKE ANY ADDITIONAL TAPS ON THE PUBLIC WATER SIDE OF THE IRRIGATION SERVICE BACK FLOW PREVENTER. ALL PRIVATE IRRIGATION LINES AND TAPS SHALL OCCUR ON THE SERVICE SIDE OF THE BACKFLOW PREVENTER TO PREVENT ANY UNPROTECTED TAPS.

SEE SHEET C-11

X:\Projects\17000\17000\17000\17000-11.dwg, 12/18/2018 12:52:18 PM, Turner, Chandler

THE JOHN R. McADAMS COMPANY, INC.
2905 Meridian Parkway
Durham, North Carolina 27713
License No.: C-0293
919. 961. 5000 • McAdamsCo.com

McADAMS

REVISIONS:
 1. 2018-10-22 1ST RALEIGH REVIEW COMMENTS
 2. 2018-11-08 2ND RALEIGH REVIEW COMMENTS
 3. 2018-12-18 3RD RALEIGH REVIEW COMMENTS

OWNER/DEVELOPER:
 GLENWOOD TWO LLC
 501 FAIRMONT AVENUE,
 SUITE 101
 TOWNSON, MARYLAND 21286

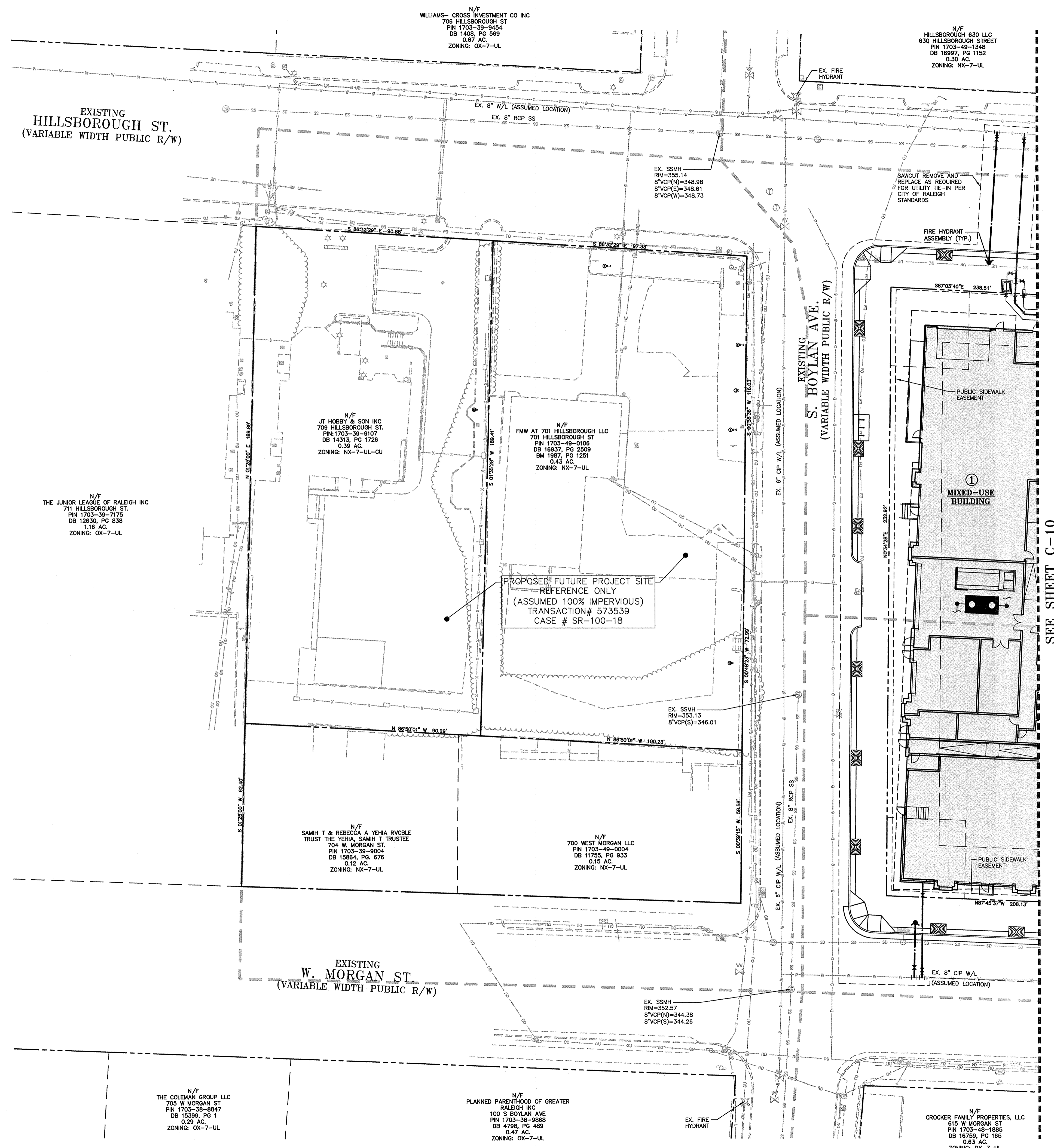
BLOCK 83
(FORMERLY TWO HILLSBOROUGH)
ADMINISTRATIVE SITE REVIEW
 RALEIGH, NORTH CAROLINA

UTILITY PLAN - AREA "A"

PROJECT NO. HTG-17000
 FILENAME: HTG17000-01
 CHECKED BY: RSS
 DRAWN BY: JMS
 SCALE: 1" = 20'
 DATE: 12-18-18
 SHEET NO. **C-10**

McADAMS

X:\Projects\HTG-17000\Land\Administrative Site Plan\Current Drawings\HTG17000-U1.dwg, 12/14/2018 2:42:07 PM, Turner, Chandler

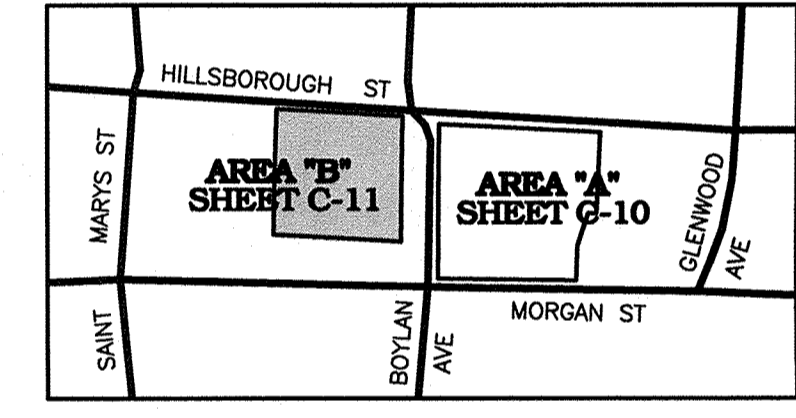


UTILITY LEGEND

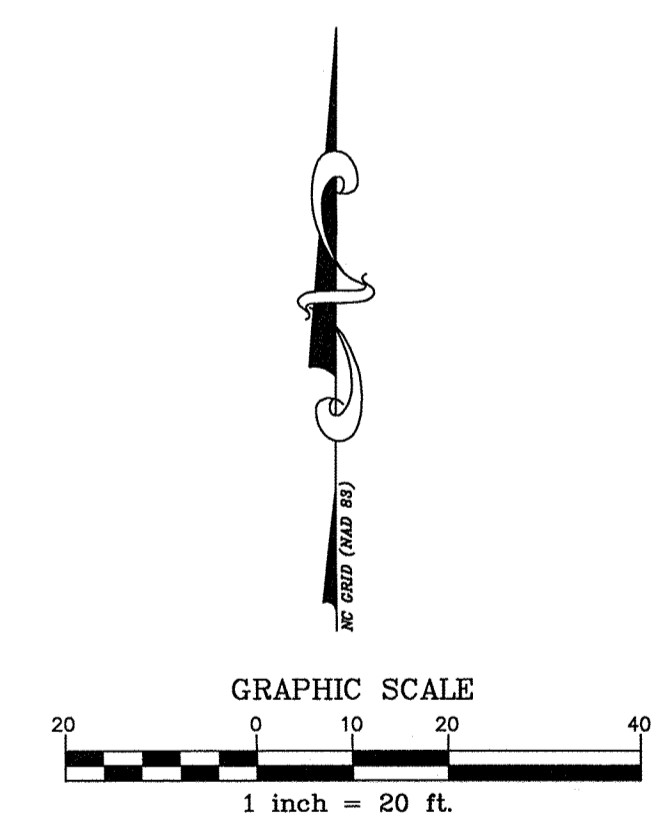
- FIRE HYDRANT ASSEMBLY
FIRE DEPARTMENT CONNECTION (FDC)
WATER METER
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YARD LIGHTS
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SANITARY SEWER
SEWER SERVICE LINE
SEWER FORCE MAIN
GAS LINE
OVERHEAD UTILITY
UNDERGROUND ELECTRIC
TELEPHONE
EASEMENT LINE

SEE SHEET C-2 FOR ALL PROJECT, SITE, GRADING, STORM DRAINAGE AND UTILITY NOTES

ALL CONSTRUCTION SHALL BE IN ACCORDANCE WITH THE CURRENT CITY OF RALEIGH ENGINEERING DESIGN AND CONSTRUCTION STANDARDS



INDEX MAP NTS



THE JOHN R. MCADAMS COMPANY, INC. 9905 Meridian Parkway, Durham, North Carolina 27713 License No.: C-0293 919. 961. 5000 # McAdamsCo.com



Table with 2 columns: REVISIONS, COMMENTS. Includes revision dates and descriptions.

OWNER/DEVELOPER: GLENWOOD TWO LLC 501 FAIRMONT AVENUE, SUITE 101 TOWNSON, MARYLAND 21286

BLOCK 88 (FORMERLY TWO HILLSBOROUGH) ADMINISTRATIVE SITE REVIEW RALEIGH, NORTH CAROLINA UTILITY PLAN - AREA "B"

Table with project details: PROJECT NO. HTG-17000, FILENAME: HTG17000-U1, CHECKED BY: RSS, DRAWN BY: JMS, SCALE: 1" = 20', DATE: 12-18-18, SHEET NO. C-11



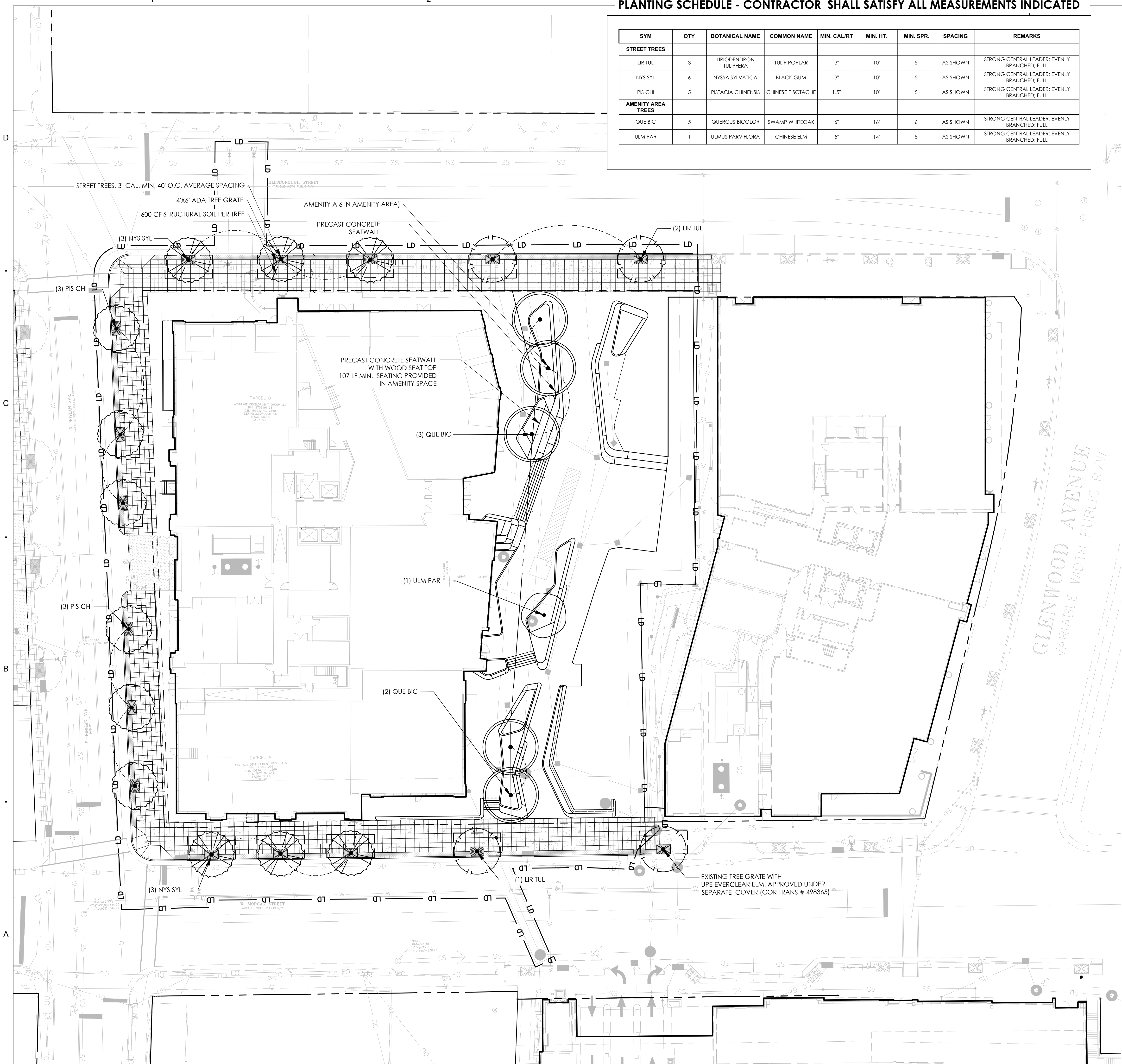
SYM	QTY	BOTANICAL NAME	COMMON NAME	MIN. CAL/RT	MIN. HT.	MIN. SPR.	SPACING	REMARKS
STREET TREES								
LIR TUL	3	LIRIODENDRON TULIFERA	TULIP POPLAR	3"	10'	5'	AS SHOWN	STRONG CENTRAL LEADER; EVENLY BRANCHED; FULL
NYS SYL	6	NYSSA SYLVATICA	BLACK GUM	3"	10'	5'	AS SHOWN	STRONG CENTRAL LEADER; EVENLY BRANCHED; FULL
PIS CHI	5	PISTACIA CHINENSIS	CHINESE PISTACHE	1.5"	10'	5'	AS SHOWN	STRONG CENTRAL LEADER; EVENLY BRANCHED; FULL
AMENITY AREA TREES								
QUE BIC	5	QUERCUS BICOLOR	SWAMP WHITEOAK	6"	16'	6'	AS SHOWN	STRONG CENTRAL LEADER; EVENLY BRANCHED; FULL
ULM PAR	1	ULMUS PARVIFLORA	CHINESE ELM	5"	14'	5'	AS SHOWN	STRONG CENTRAL LEADER; EVENLY BRANCHED; FULL

GENERAL NOTES

- LOCATION AND TOPOGRAPHICAL INFORMATION WAS TAKEN FROM AN ACTUAL FIELD SURVEY DATED XX-XX-XXXX. SURFACE 678 ASSUMES NO RESPONSIBILITY FOR DESIGN OR CONSTRUCTION CHANGES CAUSED BY INACCURACIES IN SURVEYS.
- THE CONTRACTOR SHALL VISIT THE SITE AND BECOME FAMILIAR WITH EXISTING SITE CONDITIONS PRIOR TO CONSTRUCTION.
- THE CONTRACTOR IS RESPONSIBLE FOR OBTAINING ALL NECESSARY PERMITS AND FOR ADHERENCE TO ORDINANCES, REGULATIONS, LAWS AND CODES HAVING JURISDICTION OVER THE PROPERTY PRIOR TO COMMENCING WORK.
- ALL MATERIALS, CONSTRUCTION, AND WORKMANSHIP SHALL MEET THE CITY OF RALEIGH SPECIFICATIONS AND DESIGN STANDARDS.
- EXISTING UTILITIES SHOWN ARE APPROXIMATE AND SHALL BE VERIFIED IN THE FIELD PRIOR TO BEGINNING WORK. CONTRACTOR SHALL CONTACT NC ONE CALL CENTER AT 1-800-432-4949 FOR LOCATION OF EXISTING UTILITIES PRIOR TO BEGINNING CONSTRUCTION. THE CONTRACTOR SHALL EXERCISE CAUTION WHEN WORKING AROUND EXISTING UTILITIES TO REMAIN.
- ALL WORK WITHIN THE NCDOT ROW SHALL CONFORM TO NCDOT STANDARDS AND SPECIFICATIONS. THE CONTRACTOR SHALL OBTAIN ALL NEEDED PERMITS, AGREEMENTS AND SUPPLY NOTIFICATIONS OF CLOSURES FROM THE NCDOT.
- CONSTRUCTION STAKEOUT FOR THIS PROJECT SHALL BE PROVIDED BY THE CONTRACTOR USING A DIGITAL (CADD) FILE PROVIDED THROUGH THE ARCHITECT/GC. THE CONTRACTOR SHALL NOTIFY THE LANDSCAPE ARCHITECT IMMEDIATELY OF ANY DISCREPANCIES FOUND BETWEEN THE DIGITAL FILE AND THE STAKING DIMENSIONS SHOWN ON THE PLAN OR DISCREPANCIES FOUND BETWEEN THE LAYOUT AND THE SITE. ANY MODIFICATIONS MADE BY OTHERS TO THE DIGITAL FILE PROVIDED SHALL RENDER IT VOID. IN THE EVENT OF DISCREPANCIES BETWEEN THE CONTRACT DOCUMENTS AND THE DESIGN LAYOUT OR EXISTING CONDITIONS, THE CONTRACT DOCUMENTS TAKE PRECEDENCE OVER THE DIGITAL FILE.
- THE CONTRACTOR IS RESPONSIBLE FOR INSTALLING SLEEVING FOR ELECTRIC, DRAINAGE, AND UTILITIES PRIOR TO THE INSTALLATION OF COMPACTED SUB-GRADE, SUB-BASE AND PAVEMENT AS NECESSARY. SLEEVES TO BE INSTALLED AT A MINIMUM DEPTH BELOW GRADE AS PER LOCAL CODES.
- ROADWAYS AND BUILDINGS MUST BE CAPABLE OF SUPPORTING FIRE AND EMERGENCY APPARATUS DURING CONSTRUCTION.
- SEE CIVIL SHEET FOR SEDIMENTATION AND EROSION CONTROL MEASURES.
- SEE CIVIL SHEET FOR UTILITY AND UNDERGROUND STORM DRAINAGE INFORMATION.

LANDSCAPE NOTES

- THE PLAN DEPICTS REQUIRED PLANTING BY THE CITY OF RALEIGH
- ALL CONSTRUCTION TO CONFORM TO THE STANDARDS AND SPECIFICATIONS OF THE CITY OF RALEIGH
- PLANT LIST IS PROVIDED FOR CONVENIENCE ONLY. IN THE CASE OF DISCREPANCIES BETWEEN THE PLAN AND PLANT LIST QUANTITIES, THE PLAN SHALL TAKE PRECEDENCE.
- AFTER THE SITE IS STABILIZED AND FREE OF SEDIMENTATION, THE CONTRACTOR SHALL REMOVE ALL TEMPORARY EROSION CONTROL DEVICES, SILT, RIP RAP AND TEMPORARY STAGING AREAS FOR REPLACEMENT WITH PLANTING SOIL. PROVIDE PLANTING ACCORDING TO THE LANDSCAPE PLAN.
- TEMPORARY EROSION CONTROL SEED MUST BE FULLY REMOVED PRIOR TO PREPARATION OF PERMANENT SEED, SOD OR LANDSCAPE BEDS.
- UNLESS OTHERWISE NOTED IN THE PLANT LIST, THE CONTRACTOR SHALL OBTAIN AND INSTALL ONLY PLANT MATERIAL THAT IS GROWN ON ITS OWN ROOT - GRAFTED OR BUDDED PLANT MATERIAL WILL BE REJECTED.
- ALL TREES SHALL BE OBTAINED FROM THE NURSERY WITH EXPOSED ROOT CROWNS. B&B MATERIAL DELIVERED TO SITE WITH BURIED OR RECENTLY BURIED ROOT CROWNS WILL BE REJECTED.
- CONTRACTOR SHALL NOTIFY LANDSCAPE ARCHITECT OF PLANT SUBSTITUTIONS IN ANY MEASUREMENT OR SPECIES INDICATED. SEE SPECIFICATIONS FOR FULL NOTIFICATION REQUIREMENTS.
- DO NOT PLANT IN STORM WATER CONVEYANCE SWALES OR PROVIDE FINE GRADING THAT DISRUPTS FLOW OR CHANGES LONGITUDINAL SLOPES.
- PLANT THE OUTER EDGES OF EACH PLANTING GROUP FOLLOWING THE BED OUTLINE ACCORDING TO THE PLAN. ONCE A SATISFACTORY MATCHED OUTER SHAPE IS OBTAINED, FILL THE CENTER OF EACH AREA WITH PLANTS ACCORDING TO THE PLAN AND SPACING NOTES.
- THE PLANTING LAYOUT WITHIN PLANTING BEDS SHOULD BE SHIFTED TO MINIMIZE CONFLICTS WITH EXISTING TREE ROOTS.
- DISTURBED EARTH AREAS BEYOND PROJECT LIMITS THAT ARE DIRECTLY CAUSED BY CONTRACTOR MEANS AND METHODS SHALL BE RESTORED WITH TURF SOD; UNLESS OTHERWISE NOTED.
- STREET TREES SHALL BE INSTALLED AND MAINTAINED IN ACCORDANCE WITH THE REQUIREMENTS OF CHAPTER 2 OF THE CITY TREE MANUAL.



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CONSULTANTS

REGISTRATION

CLIENT



HERITAGE PROPERTIES, INC.

501 FAIRMOUNT AVENUE,
SUITE 101
TOWSON, MD 21286

TWO HILLSBOROUGH

RALEIGH, NC

KEY MAP

NO.	REVISION	DATE

ISSUE:
ADMINISTRATIVE
SITE REVIEW

PROJECT NO:
DATE: DECEMBER 18, 2018
DRAWN: RS, YW
CHECKED: CB

SHEET TITLE:

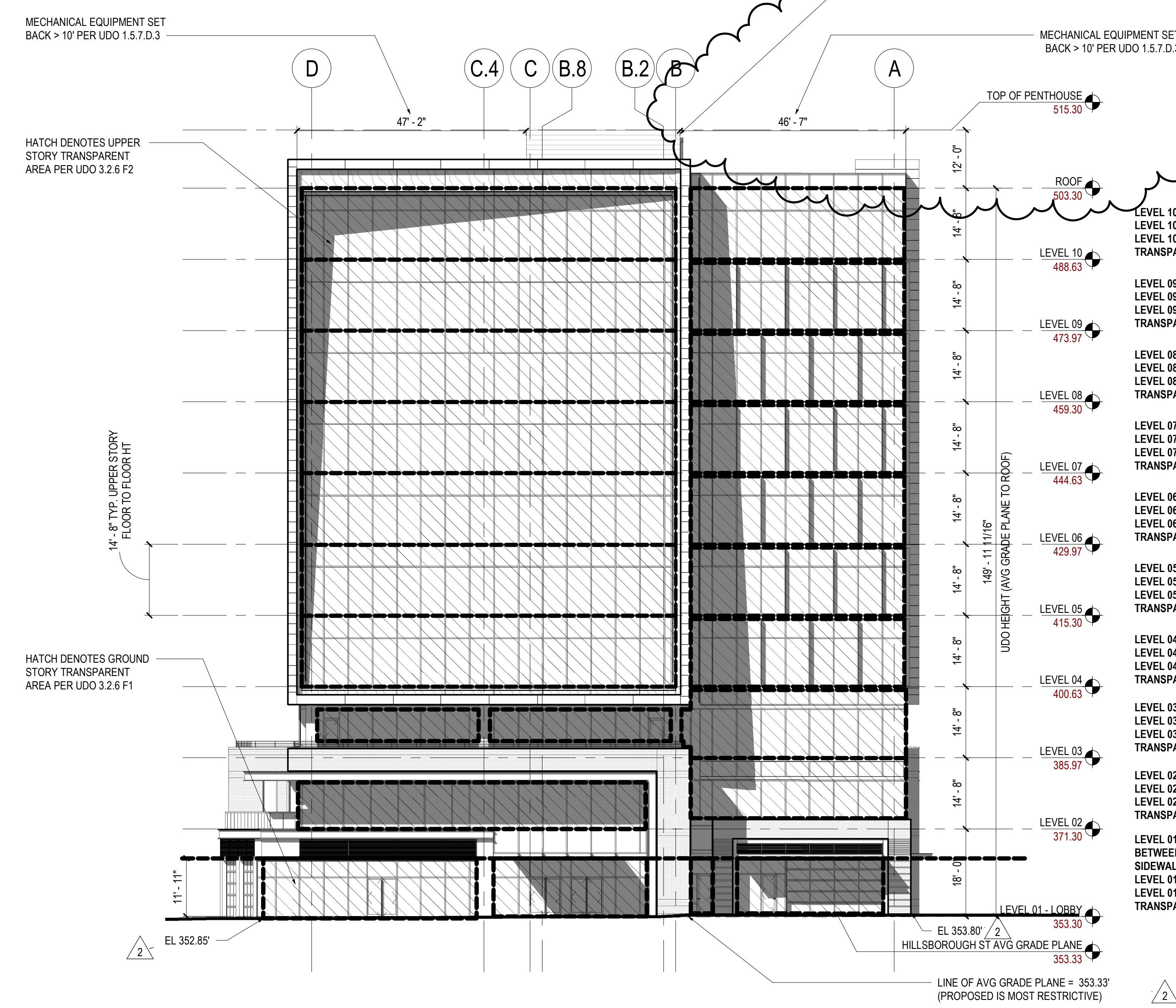
LANDSCAPE PLAN

LS-1

OUTDOOR SCREENED EQUIPMENT INCLUDES:
 1) COOLING TOWERS
 2) ENERGY RECOVERY SYSTEM
 3) STAIR PRESSURIZATION FANS

INDOOR PENTHOUSE EQUIPMENT INCLUDES:
 1) ELEVATOR OVERRUN - EQUIP.
 2) ROOF STAIRWAY ACCESS
 3) MECHANICAL HEAT PUMPS

*REFER TO SHEET A0.15 - ROOF PLAN



LEVEL 10 - TOTAL WALL AREA =	1,906 SF
LEVEL 10 - TRANSPARENT AREA =	1,772 SF
LEVEL 10 - TRANSPARENCY % =	92%
LEVEL 10 - TRANSPARENCY % REQUIRED =	20%
LEVEL 09 - TOTAL WALL AREA =	1,906 SF
LEVEL 09 - TRANSPARENT AREA =	1,743 SF
LEVEL 09 - TRANSPARENCY % =	91%
LEVEL 09 - TRANSPARENCY % REQUIRED =	20%
LEVEL 08 - TOTAL WALL AREA =	1,906 SF
LEVEL 08 - TRANSPARENT AREA =	1,743 SF
LEVEL 08 - TRANSPARENCY % =	91%
LEVEL 08 - TRANSPARENCY % REQUIRED =	20%
LEVEL 07 - TOTAL WALL AREA =	1,906 SF
LEVEL 07 - TRANSPARENT AREA =	1,743 SF
LEVEL 07 - TRANSPARENCY % =	91%
LEVEL 07 - TRANSPARENCY % REQUIRED =	20%
LEVEL 06 - TOTAL WALL AREA =	1,906 SF
LEVEL 06 - TRANSPARENT AREA =	1,743 SF
LEVEL 06 - TRANSPARENCY % =	91%
LEVEL 06 - TRANSPARENCY % REQUIRED =	20%
LEVEL 05 - TOTAL WALL AREA =	1,906 SF
LEVEL 05 - TRANSPARENT AREA =	1,743 SF
LEVEL 05 - TRANSPARENCY % =	91%
LEVEL 05 - TRANSPARENCY % REQUIRED =	20%
LEVEL 04 - TOTAL WALL AREA =	1,906 SF
LEVEL 04 - TRANSPARENT AREA =	1,743 SF
LEVEL 04 - TRANSPARENCY % =	91%
LEVEL 04 - TRANSPARENCY % REQUIRED =	20%
LEVEL 03 - TOTAL WALL AREA =	1,891 SF
LEVEL 03 - TRANSPARENT AREA =	1,091 SF
LEVEL 03 - TRANSPARENCY % =	58%
LEVEL 03 - TRANSPARENCY % REQUIRED =	20%
LEVEL 02 - TOTAL WALL AREA =	2,044 SF
LEVEL 02 - TRANSPARENT AREA =	1,240 SF
LEVEL 02 - TRANSPARENCY % =	61%
LEVEL 02 - TRANSPARENCY % REQUIRED =	20%
LEVEL 01 - TOTAL WALL AREA BETWEEN 0 AND 12' ABOVE ADJ. SIDEWALK =	1,736 SF
LEVEL 01 - TRANSPARENT AREA =	1,307 SF
LEVEL 01 - TRANSPARENCY % =	75%
LEVEL 01 - TRANSPARENCY % REQUIRED =	66%

HEIGHT / STORY COMPLIANCE - UDO 3.2.6:

UDO 3.3.1 - MAX HEIGHT:
 12 STORIES MAX ALLOWED
 150' MAX HEIGHT ALLOWED

UDO 3.3.2 - MIN. HEIGHT:
 2 STORIES MIN ALLOWED
 75% MIN STREET FACING FACADE AT MIN HEIGHT

BLANK WALL AREA COMPLIANCE - UDO 1.5.10:
 NO BLANK WALL AREAS THIS ELEVATION

10 STORIES SHOWN
 149' - 11 11/16" SHOWN

10 STORIES SHOWN
 LOT WIDTH : 247' - 6"
 FACADE AT MIN HEIGHT : 133' - 6"
 % OF FACADE PER LOT WIDTH: 54%

45' MIN. DEPTH OF MIN. HEIGHT FROM FRONT BUILDING FACADE INTO LOT
 221'-3" SHOWN

1 MIXED-USE BUILDING ELEVATION - NORTH (HILLSBOROUGH STREET)
 SCALE: 1/16" = 1'-0"

Gensler

530 Hillsborough St
 Raleigh, NC 27603
 United States
 Tel 919.239.7836
 Fax 919.239.7828

lynch mykins
 Structural Engineer
 415 Hillsborough Street, Suite 101
 Raleigh, NC 27603
 United States
 Tel 919.782.1833

BW & A
 MEP Engineer
 2301 Rexwoods Dr, #108
 Raleigh, NC 27607
 United States
 Tel 919.747.9884

Date	Description
2 2018.10.12	ASR SUBMISSION #2
3 2018.11.08	ASR SUBMISSION #3

Seal / Signature

NOT FOR CONSTRUCTION

Project Name
 HILLSBOROUGH STREET OFFICE BUILDING DEVELOPMENT

Project Number
 90.0279.000

Description
 MIXED-USE BUILDING ELEVATION - NORTH (HILLSBOROUGH STREET)

Scale
 1/16" = 1'-0"

A0.11

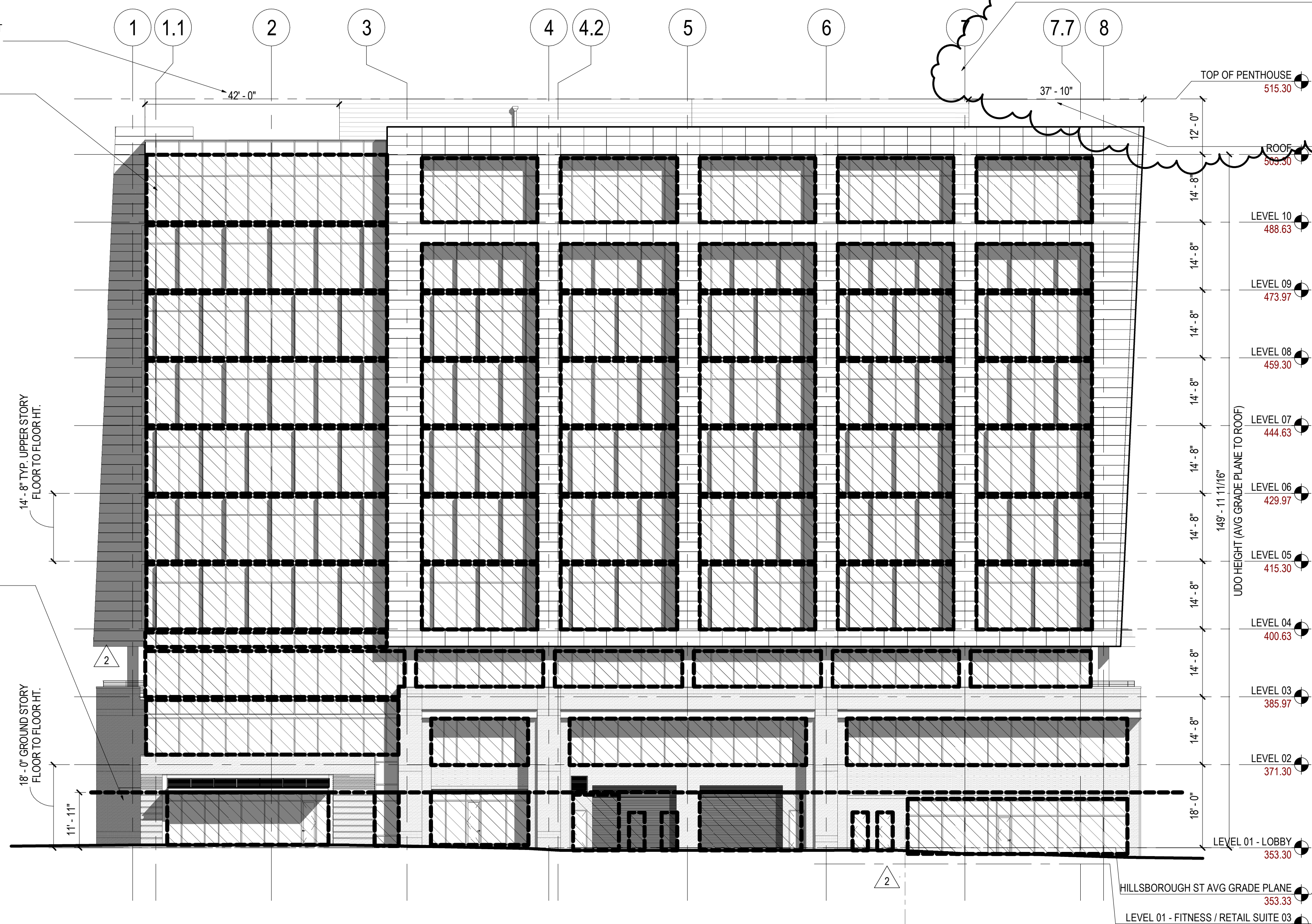
MECHANICAL EQUIPMENT SET BACK > 10' PER UDO 1.5.7.D.3

HATCH DENOTES UPPER STORY TRANSPARENT AREA PER UDO 3.2.6 F2

HATCH DENOTES GROUND STORY TRANSPARENT AREA PER UDO 3.2.6 F1

14'-8" TYP. UPPER STORY FLOOR TO FLOOR HT.

18'-0" GROUND STORY FLOOR TO FLOOR HT.



OUTDOOR SCREENED EQUIPMENT INCLUDES:
1) COOLING TOWERS
2) ENERGY RECOVERY SYSTEM
3) STAIR PRESSURIZATION FANS

INDOOR PENTHOUSE EQUIPMENT INCLUDES:
1) ELEVATOR OVERRUN + EQUIP.
2) ROOF STAIRWAY ACCESS
3) MECHANICAL HEAT PUMPS

*REFER TO SHEET A0.15 - ROOF PLAN

Level	Total Wall Area	Transparent Area	Transparency % Required
LEVEL 10	3,154 SF	2,508 SF	80%
LEVEL 9	3,145 SF	1,982 SF	63%
LEVEL 8	3,135 SF	2,483 SF	79%
LEVEL 7	3,126 SF	2,483 SF	79%
LEVEL 6	3,116 SF	2,483 SF	80%
LEVEL 5	3,107 SF	2,483 SF	80%
LEVEL 4	3,097 SF	2,483 SF	80%
LEVEL 3	3,052 SF	1,778 SF	55%
LEVEL 2	3,163 SF	1,971 SF	62%
LEVEL 01 - LOBBY	2,632 SF	1,762 SF	67%

HEIGHT / STORY COMPLIANCE - UDO 3.2.6:

UDO 3.3.1 - MAX HEIGHT:
12 STORIES MAX ALLOWED
150' MAX HEIGHT ALLOWED

UDO 3.3.2 - MIN. HEIGHT:
2 STORIES MIN ALLOWED
75% MIN STREET FACING FACADE AT MIN HEIGHT

45' MIN. DEPTH OF MIN. HEIGHT FROM FRONT BUILDING FACADE INTO LOT

BLANK WALL AREA COMPLIANCE - UDO 1.5.10:
NO BLANK WALL AREAS THIS ELEVATION

10 STORIES SHOWN
149' - 11 11/16" SHOWN

10 STORIES SHOWN
LOT WIDTH: 247' - 1"
FACADE AT MIN HEIGHT: 216' - 4"
% OF FACADE PER LOT WIDTH: 87%

139'-3" SHOWN

1 MIXED-USE BUILDING ELEVATION - WEST (BOYLAN AVENUE)
SCALE: 1/16" = 1'-0"

Date	Description
2018.10.12	ASR SUBMISSION #2
2018.11.08	ASR SUBMISSION #3

Seal / Signature

NOT FOR CONSTRUCTION

Project Name
HILLSBOROUGH STREET OFFICE BUILDING DEVELOPMENT

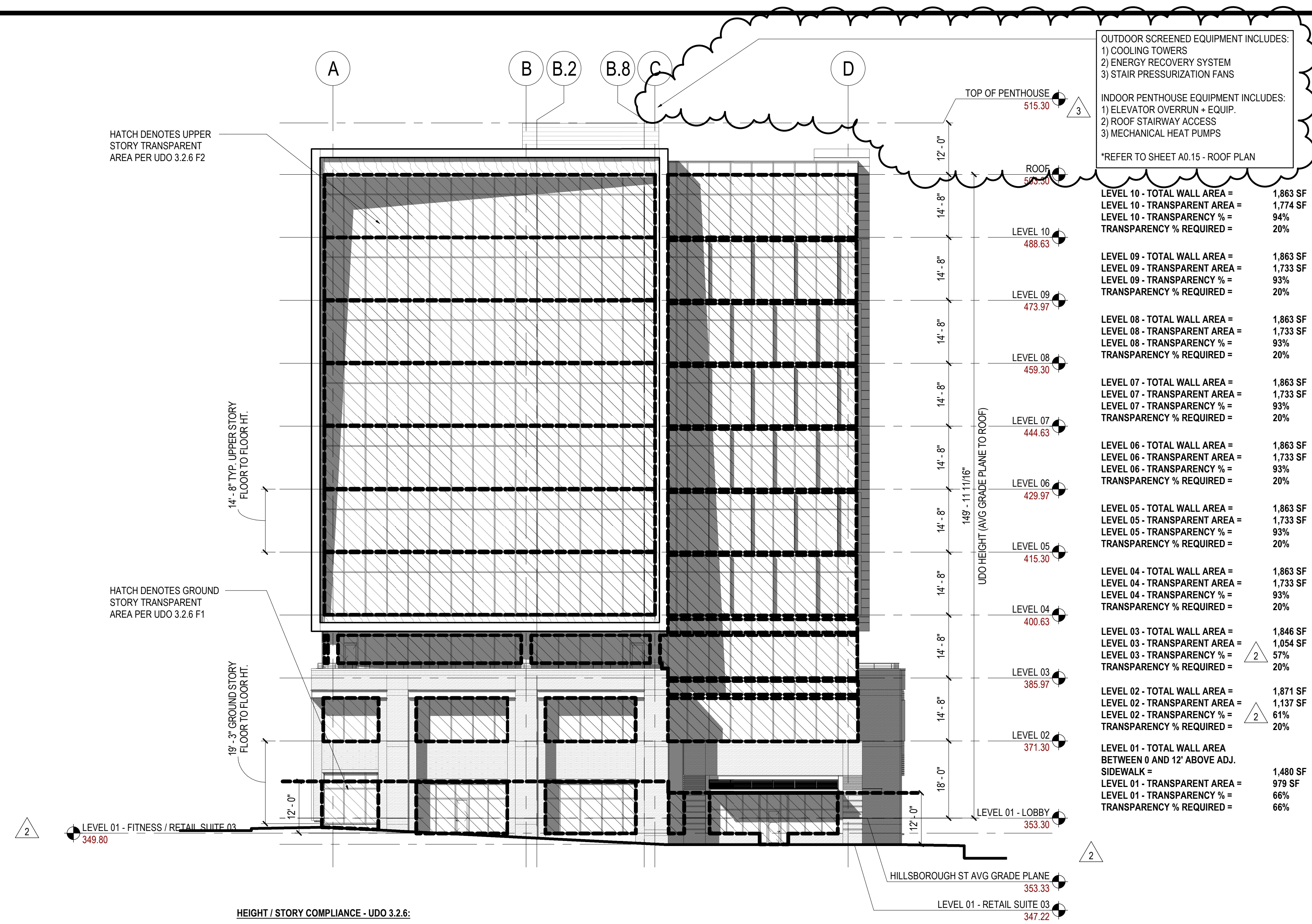
Project Number
90.0279.000

Description
MIXED-USE BUILDING ELEVATION - WEST (BOYLAN AVENUE)

Scale
1/16" = 1'-0"

A0.12

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OUTDOOR SCREENED EQUIPMENT INCLUDES:
 1) COOLING TOWERS
 2) ENERGY RECOVERY SYSTEM
 3) STAIR PRESSURIZATION FANS

INDOOR PENTHOUSE EQUIPMENT INCLUDES:
 1) ELEVATOR OVERRUN - EQUIP.
 2) ROOF STAIRWAY ACCESS
 3) MECHANICAL HEAT PUMPS

*REFER TO SHEET A0.15 - ROOF PLAN

LEVEL 10 - TOTAL WALL AREA =	1,863 SF
LEVEL 10 - TRANSPARENT AREA =	1,774 SF
LEVEL 10 - TRANSPARENCY % =	94%
TRANSPARENCY % REQUIRED =	20%
LEVEL 09 - TOTAL WALL AREA =	1,863 SF
LEVEL 09 - TRANSPARENT AREA =	1,733 SF
LEVEL 09 - TRANSPARENCY % =	93%
TRANSPARENCY % REQUIRED =	20%
LEVEL 08 - TOTAL WALL AREA =	1,863 SF
LEVEL 08 - TRANSPARENT AREA =	1,733 SF
LEVEL 08 - TRANSPARENCY % =	93%
TRANSPARENCY % REQUIRED =	20%
LEVEL 07 - TOTAL WALL AREA =	1,863 SF
LEVEL 07 - TRANSPARENT AREA =	1,733 SF
LEVEL 07 - TRANSPARENCY % =	93%
TRANSPARENCY % REQUIRED =	20%
LEVEL 06 - TOTAL WALL AREA =	1,863 SF
LEVEL 06 - TRANSPARENT AREA =	1,733 SF
LEVEL 06 - TRANSPARENCY % =	93%
TRANSPARENCY % REQUIRED =	20%
LEVEL 05 - TOTAL WALL AREA =	1,863 SF
LEVEL 05 - TRANSPARENT AREA =	1,733 SF
LEVEL 05 - TRANSPARENCY % =	93%
TRANSPARENCY % REQUIRED =	20%
LEVEL 04 - TOTAL WALL AREA =	1,863 SF
LEVEL 04 - TRANSPARENT AREA =	1,733 SF
LEVEL 04 - TRANSPARENCY % =	93%
TRANSPARENCY % REQUIRED =	20%
LEVEL 03 - TOTAL WALL AREA =	1,846 SF
LEVEL 03 - TRANSPARENT AREA =	1,054 SF
LEVEL 03 - TRANSPARENCY % =	57%
TRANSPARENCY % REQUIRED =	20%
LEVEL 02 - TOTAL WALL AREA =	1,871 SF
LEVEL 02 - TRANSPARENT AREA =	1,137 SF
LEVEL 02 - TRANSPARENCY % =	61%
TRANSPARENCY % REQUIRED =	20%
LEVEL 01 - TOTAL WALL AREA BETWEEN 0 AND 12' ABOVE ADJ. SIDEWALK =	1,480 SF
LEVEL 01 - TRANSPARENT AREA =	979 SF
LEVEL 01 - TRANSPARENCY % =	66%
TRANSPARENCY % REQUIRED =	66%

HEIGHT / STORY COMPLIANCE - UDO 3.2.6:

UDO 3.3.1 - MAX HEIGHT:
 12 STORIES MAX ALLOWED
 150' MAX HEIGHT ALLOWED

10 STORIES SHOWN
 149' - 11 11/16" SHOWN

UDO 3.3.2 - MIN. HEIGHT:
 2 STORIES MIN ALLOWED
 75% MIN STREET FACING FACADE AT MIN HEIGHT

10 STORIES SHOWN
 LOT WIDTH: 216' - 2"
 FACADE AT MIN HEIGHT: 125' - 6"
 % OF FACADE PER LOT WIDTH: 57%

45' MIN. DEPTH OF MIN. HEIGHT FROM FRONT BUILDING FACADE INTO LOT

221'-3" SHOWN

BLANK WALL AREA COMPLIANCE - UDO 1.5.10:
 NO BLANK WALL AREAS THIS ELEVATION

1 MIXED-USE BUILDING ELEVATION - SOUTH (MORGAN STREET)
 SCALE: 1/16" = 1'-0"



HILLSBOROUGH STREET OFFICE BUILDING DEVELOPMENT



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 Tel 919.239.7836 Fax 919.239.7828



Structural Engineer
 415 Hillsborough Street, Suite 101
 Raleigh, NC 27603 United States
 Tel 919.782.1833



MEP Engineer
 2301 Rexwoods Dr, #108
 Raleigh, NC 27607 United States
 Tel 919.747.9884

Date	Description
2018.10.12	ASR SUBMISSION #2
2018.11.08	ASR SUBMISSION #3

Seal / Signature

NOT FOR CONSTRUCTION

Project Name
 HILLSBOROUGH STREET OFFICE BUILDING DEVELOPMENT

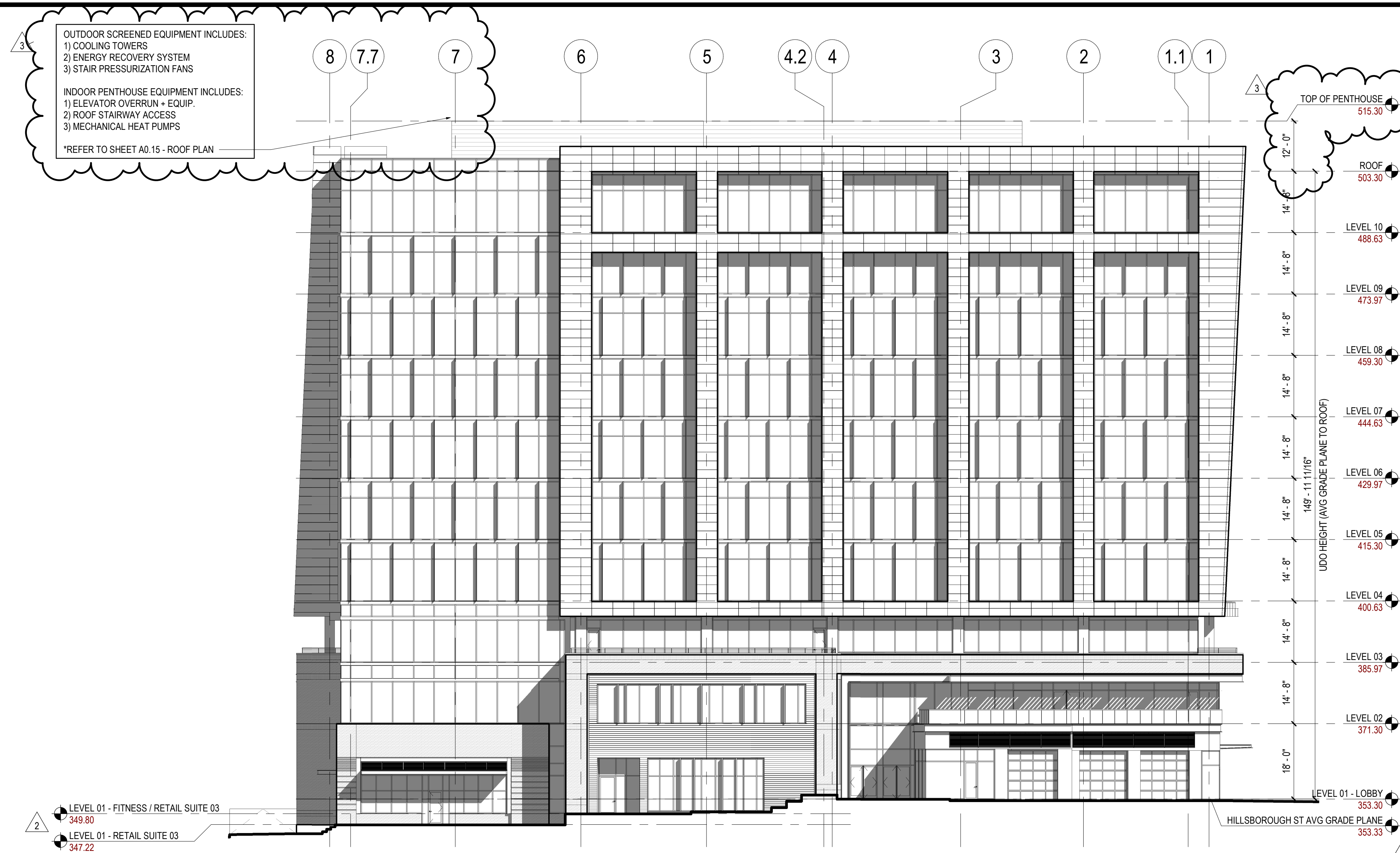
Project Number
 90.0279.000

Description
 MIXED-USE BUILDING ELEVATION - SOUTH (MORGAN STREET)

Scale
 1/16" = 1'-0"

A0.13

Date	Description
2018.10.12	ASR SUBMISSION #2
2018.11.08	ASR SUBMISSION #3



1 MIXED-USE BUILDING ELEVATION - EAST (COURTYARD)
SCALE: 1/16" = 1'-0"

Seal / Signature

NOT FOR CONSTRUCTION

Project Name
HILLSBOROUGH STREET OFFICE BUILDING DEVELOPMENT

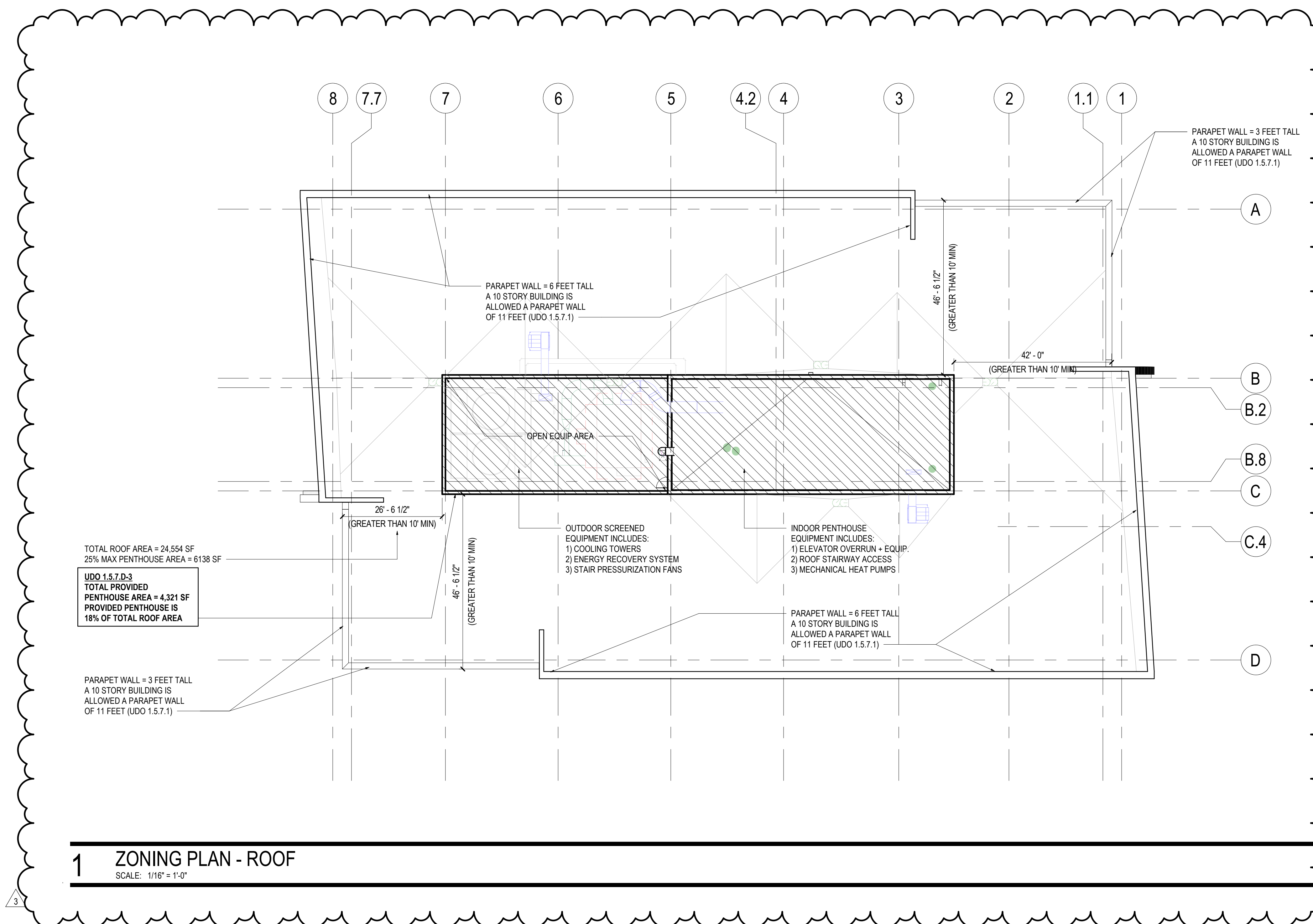
Project Number
90.0279.000

Description
MIXED-USE BUILDING ELEVATION - EAST (COURTYARD)

Scale
1/16" = 1'-0"

A0.14

Date	Description
3 2018.11.08	ASR SUBMISSION #3



Seal / Signature

**NOT FOR
CONSTRUCTION**

Project Name
HILLSBOROUGH STREET
OFFICE BUILDING
DEVELOPMENT

Project Number
90.0279.000

Description
MIXED-USE BUILDING ROOF PLAN

Scale
1/16" = 1'-0"

A0.15