



Administrative Approval Action

SR-37-18 Stough Elementary School
Transaction # 551981, AA # 3890

City of Raleigh
Development Services Department
One Exchange Plaza
Raleigh, NC 27602
(919) 996-2495
DS.help@raleighnc.gov
www.raleighnc.gov

LOCATION: This site is located on the south side of Edwards Mill Road. The site is addressed at 4210 Edwards Mill Rd, which is inside City limits.

REQUEST: Development of a 14.05 acre tract zoned R-4 into a Civic building with 113,375 square feet of gross floor area for a new public elementary school.

DESIGN ADJUSTMENT(S)/ALTERNATES, ETC: A Design Adjustment pertaining to block perimeter standards (UDO 8.3) has been approved.

FINDINGS: City Administration finds that this request, with the below conditions of approval being met, conforms to the Unified Development Ordinance. This approval is based on a preliminary plan dated 10/1/2018 by CLH Design, PA.

CONDITIONS OF APPROVAL and NEXT STEPS:

This document must be applied to the second sheet of all future submittals except for final plats. This is a preliminary plan and as such no permits have been issued with this approval. To obtain permits and/or completion of the project, the following steps are required:

CONCURRENT SITE REVIEW NOT REQUIRED AT THIS TIME – However, plan revisions or further development that includes land disturbance of 12,000 square feet or greater, public or private infrastructure, shared stormwater devices, etc. will require concurrent site review.

CONCURRENT SITE REVIEW - For land disturbance of 12,000 square feet or greater, public or private infrastructure, shared stormwater devices, etc. Concurrent Site Review may be submitted upon receipt of this signed approval document.

The following items are required prior to approval of Concurrent Site Review plans:

General

1. The building elevations will be updated to more accurately label the patio roof as a “shade structure”, pursuant to UDO 1.5.7.D.
2. The building elevations will be revised so the title of both west elevation views will clearly identify them as primary street-facing.
3. If not printed to scale, a note will be placed on the building elevations stating as such.

Engineering

4. Required NCDOT encroachment and/or driveway permits must be approved and copies provided to Development Services – Development Engineering prior to concurrent review approval.



Administrative Approval Action

**SR-37-18 Stough Elementary School
Transaction # 551981, AA # 3890**

City of Raleigh
Development Services Department
One Exchange Plaza
Raleigh, NC 27602
(919) 996-2495
DS.help@raleighnc.gov
www.raleighnc.gov

5. The recorded ROW easement by deed (2002) will need to be modified to encapsulate the proposed design. This will need to be done by abandoning the existing ROW easement through the Street Closure (STC) process and then a rededication of the ROW easement around the proposed infrastructure. Once the new ROW easement area has been dedicated, the Access easement by plat (2001) will need to be released at that time through the Real Estate Group. All steps listed previously as it relates to the ROW easement and Access easement will need to be finalized and approved, prior to Concurrent Approval.

6. The current cul-de-sac that exists at the terminus of Lakerim Ave meets Transportation's minimum requirements for a turnaround. The City of Raleigh is not requiring the proposed roundabout design or rededication of ROW easement to encapsulate the proposed development changes. All roundabout design comments and ROW easement requirements are based on the applicant's proposed design for the Stough Elementary school site to ensure what is being proposed meets the minimum UDO and RSDM standards.

7. A right-of-way obstruction permit must be obtained from Right-of-way Services prior to the commencement of any construction activities within the right-of-way.

Urban Forestry

8. Submit a final tree conservation plan that includes metes and bounds descriptions of all tree conservation areas and tree protection fencing as required (UDO 9.1.5).

9. Tree protection fence must be inspected by Urban Forestry staff prior to the issuance of a grading permit.

LEGAL DOCUMENTS - Email to legaldocumentreview@raleighnc.gov. Legal documents must be approved, executed, and recorded prior to or in conjunction with the recorded plat on which the associated easements are shown. Copies of recorded documents must be returned to the City within one business day of recording to avoid withholding of further permit issuance.

<input type="checkbox"/>	City Code Covenant	<input type="checkbox"/>	Slope Easement
<input type="checkbox"/>	Stormwater Maintenance Covenant	<input checked="" type="checkbox"/>	Transit Easement
<input checked="" type="checkbox"/>	Utility Placement Easement	<input type="checkbox"/>	Cross Access Easement
<input type="checkbox"/>	Sidewalk Easement	<input type="checkbox"/>	Public Access Easement
		<input type="checkbox"/>	Other:

RECORDED MAP(S) - Submit plat to record new property lines, easements, tree conservation areas, etc.). Plats may be submitted for review when the Concurrent Site Review plans, if required, have been deemed ready for mylar signature.

The following items must be approved prior to recording the plat:



Administrative Approval Action

SR-37-18 Stough Elementary School
Transaction # 551981, AA # 3890

City of Raleigh
Development Services Department
One Exchange Plaza
Raleigh, NC 27602
(919) 996-2495
DS.help@raleighnc.gov
www.raleighnc.gov

General

10. A demolition permit shall be issued, and this building permit number shown on all maps for recording.

Engineering

11. The required right of way for proposed and/or existing streets shall be dedicated to the City of Raleigh and shown on the map approved for recordation.
12. A 5' general utility easement and associated deed of easement shall be approved by the City and the location of the easement shall be shown on the map approved for recordation. The deed of easement shall be recorded at Wake County Register of Deeds within one day of recordation of the recorded plat. A recorded copy of these documents must be provided to the Development Services Department within one day from authorization of lot recordation. If recorded copies of the documents are not provided, further recordings and building permit issuance will be withheld.
13. A public infrastructure surety is provided to the City of Raleigh Development Services – Development Engineering program (UDO 8.1.3).

Public Utilities

14. Infrastructure Construction Plans (concurrent submittal) must be approved by the City of Raleigh Public Utilities Department for all public water, public sewer and/or private sewer extensions.

Stormwater

15. A payment equal to twenty-four percent (24%) of the estimated cost of constructing all stormwater control facilities shown on the development plans shall be paid by the developer to the City stormwater facility replacement fund (UDO 9.2.2.G.3).
16. All stormwater control measures and means of transporting stormwater runoff to and from any nitrogen and stormwater runoff control measures shall be shown on all plats for recording as private drainage easements (UDO 9.2).
17. A surety equal to 125% of the cost of the construction of a stormwater device shall be paid to the Engineering Services Department (UDO 9.2.2.D.1.d).

Transportation

18. A transit deed of easement shall be approved by City staff and the location of the easement shall be shown on a plat approved for recordation. The deed of easement shall be recorded at Wake County Register of Deeds within one day of recordation of the recorded plat. A recorded copy of this document must be provided to the Development Services Department within one day from authorization of lot recording. If a recorded copy of the document is not provided, further recordings and building permit issuance will be withheld.



**Administrative
Approval Action**
SR-37-18 Stough Elementary School
Transaction # 551981, AA # 3890

City of Raleigh
Development Services Department
One Exchange Plaza
Raleigh, NC 27602
(919) 986-2495
DS.help@raleighnc.gov
www.raleighnc.gov

Urban Forestry

19. A tree conservation plat shall be recorded with metes and bounds showing the designated tree conservation areas (UDO 9.1). This development proposes 1.387 acres of tree conservation area.

Public Utilities

20. A plat must be recorded at the Wake County Register of Deeds office for all utility easement dedications.

Stormwater

21. A payment equal to twenty-four percent (24%) of the estimated cost of constructing all stormwater control facilities shown on the development plans shall be paid by the developer to the City stormwater facility replacement fund (UDO 9.2.2.G.3).
22. All stormwater control measures and means of transporting stormwater runoff to and from any nitrogen and stormwater runoff control measures shall be shown on all plats for recording as private drainage easements (UDO 9.2).
23. A surety equal to 125% of the cost of the construction of a stormwater device shall be paid to the Engineering Services Department (UDO 9.2.2.D.1.d).

EXPIRATION DATES: The expiration provisions of UDO Section 10.2.8 E, including the ability to request extensions in the expiration date, apply to this site plan. If significant construction has not taken place on a project after administrative site review approval, that approval may expire and be declared void, requiring re-approval before permits may be issued. To avoid allowing this plan approval to expire the following must take place by the following dates:

3-Year Expiration Date: 11-16-2021

Obtain a valid building permit for the total area of the project, or a phase of the project.

4-Year Completion Date:

Within four years after issuance of the first building permit for the site plan, the construction of the entire site plan must be completed unless an applicant has been granted vested rights. Failure to complete construction within this specified time frame shall automatically void the approved site plan for which no building permits have been issued.

I hereby certify this administrative decision.

Signed: (Planning Dir./Designee)

Date: 11/16/18

Staff Coordinator: Ryan Boivin


Design Adjustment Staff Response



**DEVELOPMENT
SERVICES
DEPARTMENT**

Per Section 10.2.18.C of the Unified Development Ordinance, the Development Services Director, or designee, shall consult with the heads of other City Departments regarding the review of the request. The Development Services Director, or designee, shall approve, approve with conditions or deny the request, but must do so within 60 days of the receipt of a completed application. Additional time may be necessary if a municipal or state entity is incorporated in the review process or if a detailed engineering study is submitted in conjunction with the request.

PROJECT	Project Name	Stough Elementary School	
	Development Case Number	SR-37-2018	
	Transaction Number	551981	
	Design Adjustment Number	DA - 72 - 2018	
STAFF RESPONSE	Staff recommendation based upon the findings in the applicable code(s):		
	<input checked="" type="checkbox"/> UDO Art. 8.3 Blocks, Lots, Access	<input type="checkbox"/> UDO Art. 8.5 Existing Streets	
	<input type="checkbox"/> UDO Art. 8.4 New Streets	<input type="checkbox"/> Raleigh Street Design Manual	
	Staff SUPPORTS <input checked="" type="checkbox"/> DOES NOT SUPPORT <input type="checkbox"/> the design adjustment request.		
	DEPARTMENTS		
	<input type="checkbox"/> Dev. Services Planner	<input type="checkbox"/> City Planning	
	<input type="checkbox"/> Development Engineering	<input type="checkbox"/> Transportation	
	<input type="checkbox"/> Engineering Services	<input type="checkbox"/> Parks & Recreation and Cult. Res.	
	<input type="checkbox"/> Public Utilities		
	CONDITIONS:		
Development Services Director or Designee Action: <input checked="" type="checkbox"/> APPROVE <input type="checkbox"/> APPROVE WITH CONDITIONS <input type="checkbox"/> DENY			


KENNETH W. RITCHIE, PE, MPA
11/16/2018
ENGINEERING AND INFRASTRUCTURE MANAGER
Date

*The Development Services Director may authorize a designee to sign in his/her stead. Please print name and title next to signature. Appeal of the decision from the Development Services Director, or his or her designee, shall be made in writing within 30 days to the Board of Adjustment (see Section 10.2.18.C3b).

Staff Response

Article 8.3 Blocks Lots, Access



DEVELOPMENT
SERVICES
DEPARTMENT

The Development Services Director may in accordance with *Sec. 10.2.18*, approve a design adjustment, subject to all of the following findings.

- A. The requested design adjustment meets the intent of this Article;
YES NO
- B. The requested design adjustment conforms with the Comprehensive Plan and adopted City plans;
YES NO
- C. The requested design adjustment does not increase congestion or compromise Safety;
YES NO
- D. The requested design adjustment does not create any lots without direct street Frontage;
YES NO
- E. The requested design adjustment is deemed reasonable due to one or more of the following:
1. Topographic changes are too steep;
 2. The presence of existing buildings, stream and other natural features;
 3. Site layout of developed properties;
 4. Adjoining uses or their vehicles are incompatible;
 5. Strict compliance would pose a safety hazard; or
 6. Does not conflict with an approved or built roadway construction project
 7. adjacent to or in the vicinity of the site.
- YES NO

STAFF FINDINGS

Staff supports the request for a Design Adjustment as it relates to block perimeter due to topographic constraints surrounding the site. Please see attached documents showing the topographic changes and existing retaining walls at the barriers of the adjacent properties. Also, all adjacent parcels to the south and west are individually owned town homes on private streets with no existing offers of cross access. Further connections are unlikely at this time.

Design Adjustment Application



DEVELOPMENT SERVICES DEPARTMENT

The purpose of this request is to seek a Design Adjustment from the Development Services Director, or designee, for a specific project only and, if granted, may be approved with special conditions and provisions. This application and all further action shall be consistent with Section 10.2.18 in the Unified Development Ordinance (UDO). The consideration and decision of this request shall be based solely on the conformance of the findings, as outlined in Sec. 8.3.6, Sec. 8.4.1.E and Sec. 8.5.1.G of the UDO or the Raleigh Street Design Manual.

PROJECT	Project Name Stough Elementary School	
	Case Number SR-37-18	
	Transaction Number 551981	
OWNER	Name Wake County Board of Education	
	Address 5625 Dillard Drive Crossroads Building 1	City Cary
	State NC	Zip Code 27518
CONTACT	Name Keith Downing	Firm CLH Design, PA
	Address 400 Regency Forest Drive, Suite 120	City Cary
	State NC	Zip Code 27518
REQUEST	Phone 919-856-8281	
	I am seeking a Design Adjustment from the requirements set forth in the following:	
	<input checked="" type="checkbox"/> UDO Art. 8.3 Blocks, Lots, Access	- See page 2 for findings
	<input type="checkbox"/> UDO Art. 8.4 New Streets	- See page 3 for findings
	<input type="checkbox"/> UDO Art. 8.5 Existing Streets	- See page 4 for findings
	<input type="checkbox"/> Raleigh Street Design Manual	- See page 5 for findings
Provide details about the request; (please attach a memorandum if additional space is needed):		
See additional information sheet attached.		

It is the responsibility of the applicant to provide all pertinent information needed for the consideration of this request. Applicant must be the Property Owner.

By signing this document, I hereby acknowledge the information on this application is, to my knowledge, accurate.

Owner/Owner's Representative Signature

Date
6.18.18

CHECKLIST

Signed Design Adjustment Application	<input checked="" type="checkbox"/> Included
Page(s) addressing required findings	<input checked="" type="checkbox"/> Included
Plan(s) and support documentation	<input checked="" type="checkbox"/> Included
Notary page (page 6) filled out; Must be signed by property owner	<input checked="" type="checkbox"/> Included
First Class stamped and addressed envelopes with completed notification letter	<input type="checkbox"/> Included

Submit all documentation, with the exception of the required addressed envelopes and letters to designadjustments@raleighnc.gov.

Deliver the addressed envelopes and letters to:
Development Services, Development Engineering
One Exchange Plaza, Suite 500
Raleigh NC, 27601

For Office Use Only	RECEIVED DATE:	DA - 72 - 2018
----------------------------	-----------------------	----------------

Article 8.3, Blocks, Lots, Access

Administrative Design Adjustment Findings



DEVELOPMENT
SERVICES
DEPARTMENT

The Development Services Director may in accordance with *Sec. 10.2.18*. approve a design adjustment, subject to all of the following findings. Describe how each item is met:

- A. The requested design adjustment meets the intent of this Article;
The requested design adjustment meets the intent of this Article as the proposed project meets current State, NCDOT and WCPSS design and program requirements for circulation both vehicular and pedestrian, safety including fire, ems, etc., separation of conflicting uses such as bus service and staff/parent, and complies with current ADA standards.
- B. The requested design adjustment conforms with the Comprehensive Plan and adopted City plans;
The project complies with the City of Raleigh 2030 Comprehensive Plan "Crabtree" study area. An approved TIA by NCDOT and the City of Raleigh is on file. The proposed plan meets the approved TIA.
- C. The requested design adjustment does not increase congestion or compromise Safety;
An approved Traffic Impact Analysis by NCDOT and the City of Raleigh prepared by AMT Engineering is on file. The proposed plan meets the approved TIA.
- D. The requested design adjustment does not create any lots without direct street Frontage;
The requested design adjustment does not create any new lots. Existing lot has direct access to two separate public Right-of-Ways.
- E. The requested design adjustment is deemed reasonable due to one or more of the following:
1. Topographic changes are too steep;
 2. The presence of existing buildings, stream and other natural features;
 3. Site layout of developed properties;
 4. Adjoining uses or their vehicles are incompatible;
 5. Strict compliance would pose a safety hazard; or
 6. Does not conflict with an approved or built roadway construction project
 7. adjacent to or in the vicinity of the site.

See attached additional information sheets.

Individual Acknowledgement



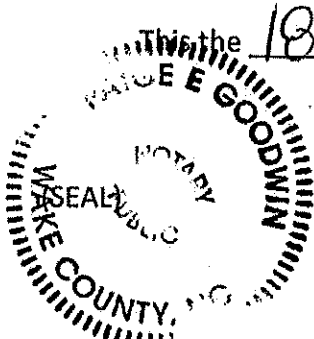
DEVELOPMENT
SERVICES
DEPARTMENT

STATE OF NORTH CAROLINA
COUNTY OF Wake

INDIVIDUAL

I, Paige E. Goodwin, a Notary Public do hereby certify that
Keith Downing personally appeared before me this day and
acknowledged the due execution of the forgoing instrument.

This is the 18th day of June, 2018.



Notary Public Paige E. Goodwin

My Commission Expires: 10/14/2020

Stough Elementary Design Adjustment-- Additional Information

July 16, 2018

Request: The Helen Y. Stough Magnet Elementary School is located on 14.05 acres. This request is to waive the block perimeter requirement for the proposed Stough Elementary School improvements based on the site constraints such as steep topography, incompatible adjacent uses, existing infrastructure and the reasonings based in Section E of the justification section below.

The proposed plan demolishes the existing structure and replaces it with a new school building. It provides increased and efficient site circulation. Safety is provided by separating vehicular uses such as bus/service, staff, and parent traffic. The proposed plan has been reviewed and approved by NCDOT congestion management and MSTA. All required parent stacking per MSTA current standards are provided "on-site" and not in a public right of way. Wake County Fire Marshall has reviewed the plan, provided comments and has no objection to the design provided. Increased pedestrian circulation and safety is provided by removing the existing bus loop along Edwards Mill Road, providing sidewalk along Edwards Mill Road, connecting all internal site features and connecting to the public Right-of-Way. The plan as presented will meet or exceed all City of Raleigh UDO requirements after a complete review by the City of Raleigh, Wake County Building Inspections, NCDOT, NCDEQ, NCDOTI and NCDPI, including but not limited to: access to the right-of-way, ADA, parking (vehicular and bicycle), storm water, TCA, landscaping, transportation and utilities.

Per code section:

8.3.2.A.2.b: Block Perimeter (max) and Dead-End Street (max)

Using Wake County IMAPS, there are 133 lots with 84.16 acres inside the existing block perimeter. This is an average lot size of 1.58 acres. The maximum perimeter for this site zoned R-4 with an average lot size of 40,000 sf and greater is 8,000 LF. The block perimeter (magenta line) as shown in the attached image is 8,060 LF as measured at the right of way per code section 8.3.2.B. The block perimeter requirement is not met (short 60 LF) with existing conditions.

8.3.1.B: Large blocks with limited connectivity... add driving distance that can negatively impact emergency vehicle services.

The plan provides 3 access points from public right-of-way for emergency vehicles to access and circulate the site. Wake County Fire Marshall has reviewed the plan and is okay with the plan as presented.

8.3.1.C: The access regulations are intended to provide a means for safe, efficient and convenient vehicular and pedestrian access

Vehicular connectivity from adjacent parcels poses a safety hazard to students. It may create an opportunity to have unauthorized persons access the site without staff supervision. The required NCDOT MSTA on-site queue length would not be able to be provided. There would also be an opportunity to short circuit the NCDOT MSTA required queue. Loading and unloading may occur along the public road creating an undesired conflict between students and vehicles.

8.3.1.D: Administrative design adjustments to the requirements of this Article may be appropriate where topographic changes are too steep... or site layout of developed properties prevent cross access, where adjoining uses are incompatible or where strict compliance with this UDO would pose a safety hazard (section "E" on the Design Adjustment Application)

E1. There is severe grade change (10-20') along both the southeast and eastern borders. See attached photographs and GIS topography map.

E3. Adjoining properties to the southwest are privately owned townhomes with private drives that have no direct connection to a public way. The properties to the southeast are privately owned single family homes. Whereas a stub appears to be provided, there is no R/W provided to the Board owned property and there is severe grade change between to two parcels.

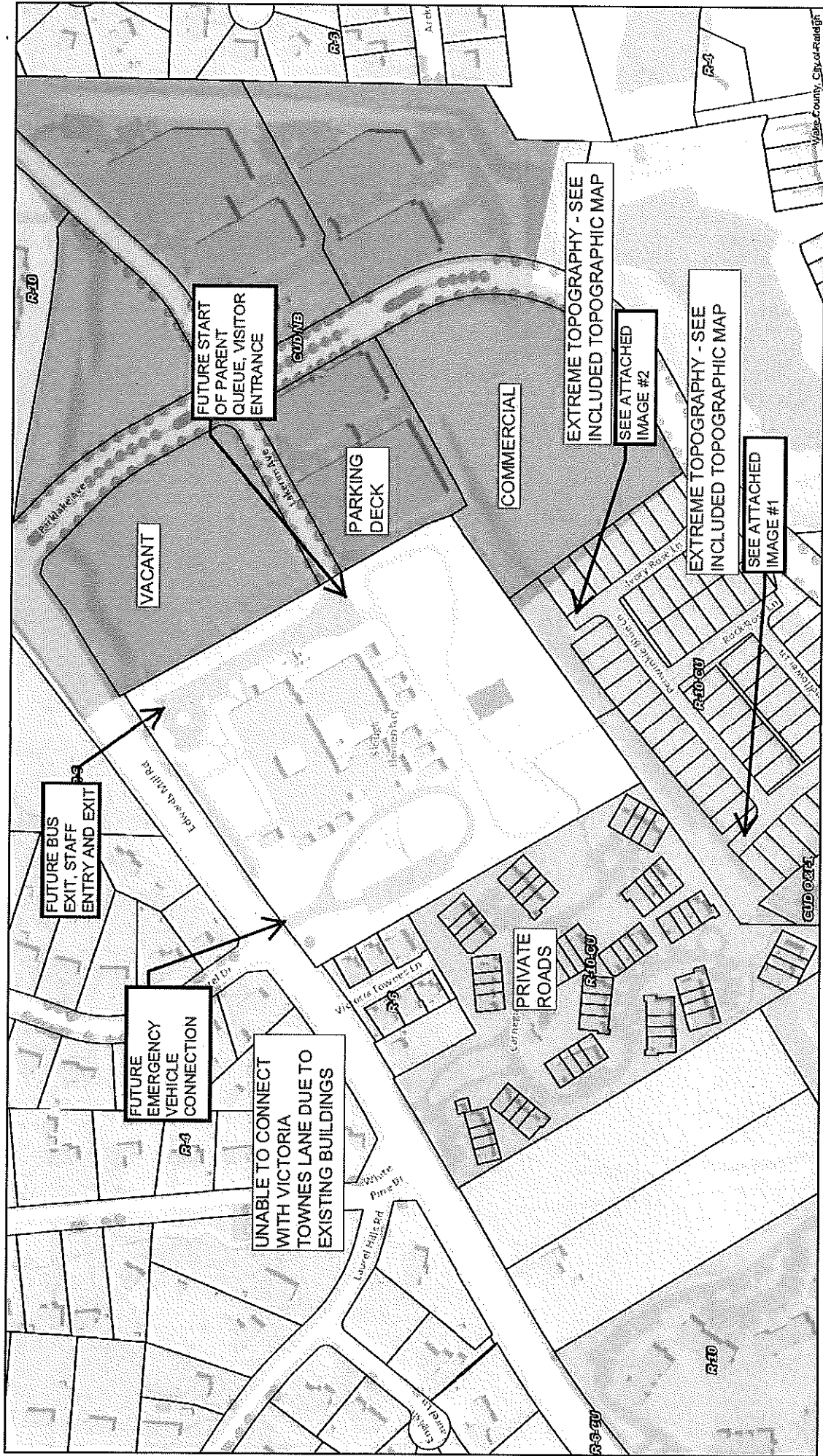
E4. The adjacent property to the east is commercial, the two uses are not compatible for vehicular connection and there is a severe grade changes (10'20') between parcels. See attached photographs and GIS topography map.

E5. Vehicular connectivity from adjacent parcels not only poses a safety hazard to school students but may create an opportunity to have unauthorized persons access the site without staff supervision. There would also be an opportunity to short circuit the NCDOT MSTTA required queue. Loading and unloading may occur along the public road creating an undesired conflict between students and vehicles.

Safety Concerns

- Multiple points of access to, and egress from, the site and building is a safety concern. It is more difficult to monitor multiple public access points.
- Parent and bus traffic would not be separated, it allows for more conflicts to occur.
- The addition of the public road could allow a short circuit of the designated queue lane.
- Insufficient on-site parent queue per NCDOT MSTTA requirement.
- Insufficient bus stacking "on-site".
- May cause additional congestion at peak times.
- High speed cut-through traffic.

E6. The absence of a public road through the school site does not conflict with an approved or built roadway construction project.



Disclaimer: The City of Raleigh makes every effort to produce and publish the most current and accurate information possible. However, the maps are produced for information purposes, and are NOT surveys. No warranties, expressed or implied, are provided for the data therein, its use or its interpretation.



INCOMPATIBLE USES AND ZONING MAP

Block Perimeter Requirement: 8,000 LF, shown: 8,060 LF @ 400 scale



IMAGE #1

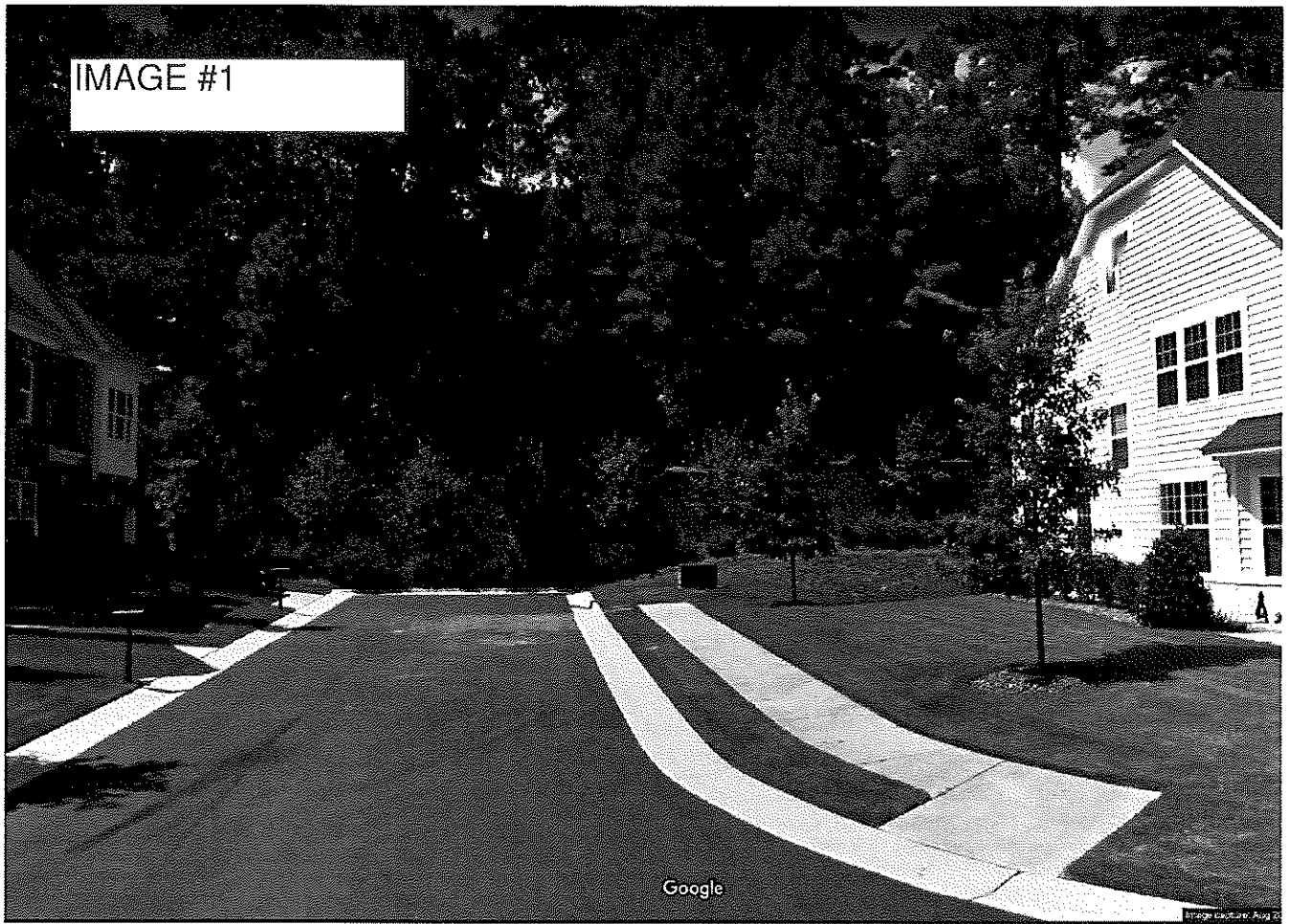
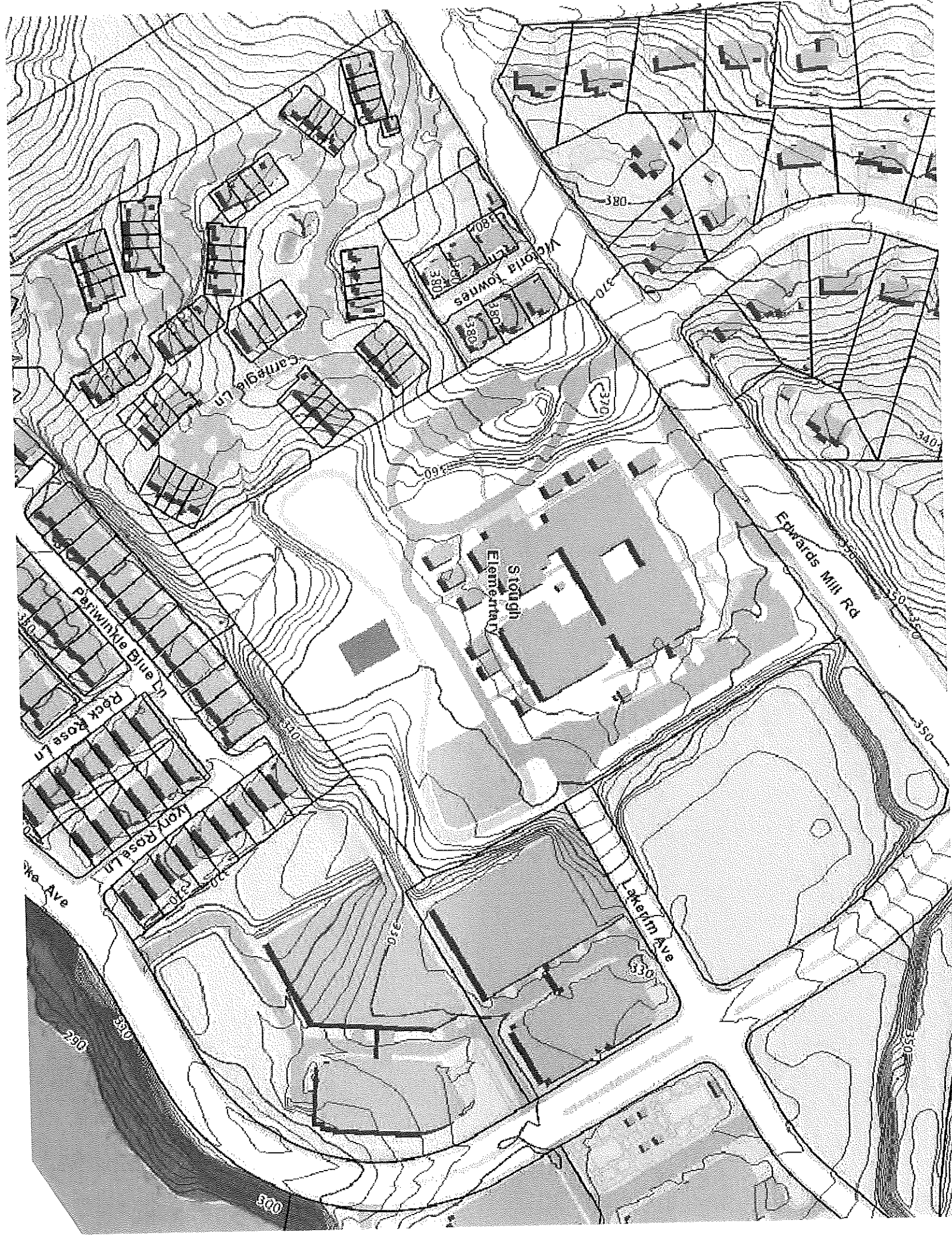


IMAGE #2





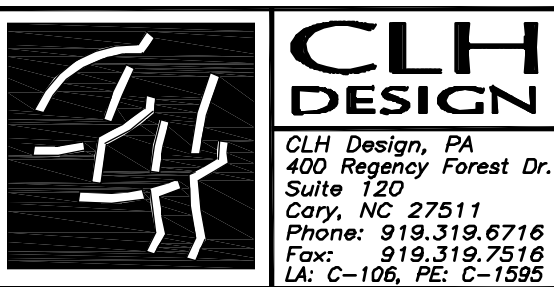
STOUGH ELEMENTARY SCHOOL

4210 EDWARDS MILL ROAD
 RALEIGH, NC 27612
 WAKE COUNTY BOARD OF EDUCATION
 CITY OF RALEIGH ASR SUBMITTAL #5
 FILE # SR-37-18
 (TRANSACTION # 551981)



STOUGH
 ELEMENTARY
 SCHOOL

4210 EDWARDS MILL ROAD
 RALEIGH, NORTH CAROLINA 27612



434 FAYETTEVILLE STREET SUITE 1700
 RALEIGH, NORTH CAROLINA 27601
 TEL. 919.829.2700 FAX 919.829.2730
 WWW.LS3P.COM

NOT
 FOR
 CONSTRUCTION

MEMBERS OF THE AMERICAN INSTITUTE OF ARCHITECTS

COPYRIGHT 2018 ALL RIGHTS RESERVED
 PRINTED OR ELECTRONIC DRAWINGS AND
 DOCUMENTATION MAY NOT BE REPRODUCED
 IN ANY FORM WITHOUT WRITTEN PERMISSION
 FROM LS3P ASSOCIATES LTD.

REVISIONS:

No.	Description	Date
-----	-------------	------

PROJECT: LS3P: 8401-137000
 CLH: 15-169
 DATE: October 01, 2018
 DRAWN BY: KMD
 CHECKED BY: KMD

COVER SHEET

C-00.00

ASR #5

Administrative Site Review Application (for UDO Districts only)



DEVELOPMENT SERVICES DEPARTMENT

Development Services Customer Service Center | 1 Exchange Plaza, Suite 400 | Raleigh, NC 27601 | 919-996-2493 | ext 919-996-1831
 Litchford Satellite Office | 8320 - 130 Litchford Road | Raleigh, NC 27601 | 919-996-4200

When submitting plans, please check the appropriate building type and include the Plan Checklist document.

BUILDING TYPE	FOR OFFICE USE ONLY
<input type="checkbox"/> Detached <input type="checkbox"/> Attached <input type="checkbox"/> Apartment <input type="checkbox"/> Townhouse	Transaction Number Assigned Project Coordinator Assigned Team Leader
<input type="checkbox"/> General <input type="checkbox"/> Mixed Use <input type="checkbox"/> Open Lot	

Has your project previously been through the Due Diligence or Sketch Plan Review process? If yes, provide the transaction # N/A

GENERAL INFORMATION

Development Name: **Stough Elementary School**
 Zoning District: **R-4** Overlay District (if applicable): **N/A** Inside City Limits? Yes No
 Proposed Use: **Public Elementary School - Civic Building**
 Property Address(es): **4210 Edwards Mill Road, Raleigh, NC** Major Street Locator:
 Wake County Property Identification Number(s) for each parcel to which these guidelines will apply:

P.I.N.	P.I.N.	P.I.N.	P.I.N.
0795193132			

What is your project type?
 Mixed Residential Non-Residential Condo School Industrial Building Office Hotel/Motels Retail Office Office Office
 Single-Family Multi-Family Religious Institutions Residential Condo Retail Cottage Court
 Other: If other, please describe:

WORK SCOPE: Per City Code Section 10.2.8.D.1, summarize the project work scope. For additions, changes of use, or occupancy (per Chapter 6 of the UDO), indicate impacts on parking requirements.
Demolish existing elementary school and construct new elementary school with associated drives, parking, educational program elements and required utility infrastructure

DESIGN ADJUSTMENT OR ADMIN ALTERNATE: Per City Code Chapter 8, summarize if your project requires either a design adjustment, or section 10 - Alternate Administrative Act.
Unknown at this time.

CLIENT/DEVELOPER/OWNER: Company: **Wake County Board of Education** Name: **c/o Brian Conklin, Sr. Director FD&C**
 Address: **WCPSS FD&C, 1551 Rock Quarry Road, Raleigh, NC 27610**
 Phone: **919-588-3564** Email: **bconklin@wcpss.net** Fax: **n/a**

CONSULTANT (Contact Person for Plans): Company: **CLH Design, pa** Name: **Keith Downing, PLA**
 Address: **400 Regency Forest Drive, Suite 102, Cary, NC 27518**
 Phone: **919-319-6716** Email: **kdowning@clhdesignpa.com** Fax: **919-319-7516**

PAGE 1 OF 3 WWW.RALEIGHNC.GOV REVISION 05.13.16

CITY OF RALEIGH SOLID WASTE SERVICES REQUIRED NOTES:

- ALL CONSTRUCTION SHALL BE IN STRICT ACCORDANCE WITH CITY OF RALEIGH AND/OR NDOT STANDARDS AND SPECIFICATIONS.
- DESIGNER HAS REVIEWED AND IS COMPLIANCE WITH THE REQUIREMENTS SET FORTH IN THE SOLIDS WASTE DESIGN MANUAL.
- THE PROPOSED DEVELOPMENT PLANS TO USE PRIVATE SOLID WASTE SERVICE (SWS) TO HANDLE THEIR TRASH NEEDS
- SEE SHEET C01.01 - STAKING PLAN FOR LOCATION OF DUMPSTERS WITHIN THE PROPOSED SERVICE COURT.

PUBLIC IMPROVEMENT TABLE

PHASE NUMBER(S)	1
NUMBER OF LOTS	1
LOT NUMBER BY PHASE	1
NUMBER OF UNITS	N/A
LIVABLE BUILDINGS	N/A
OPEN SPACE	YES
NUMBER OF OPEN SPACE LOTS	0
PUBLIC WATER (LF)	0 LF
PUBLIC SEWER (LF)	0 LF
PUBLIC STREET (LF)	0 LF
PUBLIC RIGHT OF WAY (SF)	0 SF
PUBLIC SIDEWALK (LF)	0 LF
STREET SIGNS (LF)	0 LF

ATTENTION CONTRACTORS

The Contractor responsible for the extension of water, sewer, and/or gas, as approved in these plans, is responsible for coordinating with the Public Works Department at (919) 996-2499 and the Public Utilities Department at (919) 996-5500 at least 10 business days prior to beginning any of their construction.

Failure to notify both City Departments in advance of beginning construction will result in the issuance of a stop-work order and require reinstallation of any water or sewer facilities not inspected as a result of this notification failure.

Failure to call for inspection, install a Downstream Plug, have Permitted Plans on the Jobsite, or any other Violation of City of Raleigh Standards will result in a Fine and Possible Exclusion from future work in the City of Raleigh.

DEVELOPMENT TYPE & SITE DATA TABLE (Applicable to all developments)			
Zoning Information		Building Information	
Zoning District(s) R-4	Proposed building use(s) Public Elementary School	Existing Building(s) sq. ft. gross Demolish All (0)	
If more than one district, provide the acreage of each: N/A			
Overlay District N/A	Proposed Building(s) sq. ft. gross 113,375	Total sq. ft. gross (existing & proposed) 113,375	
Total Site Acres Inside City Limits <input checked="" type="checkbox"/> Yes <input type="checkbox"/> No 14.11 AC	Proposed height of building(s) 36' Maximum		
Off street parking: Required 81 Provided 120	# of stories 2		
COA (Certificate of Appropriateness) case # N/A	Ceiling height of 3 rd Floor 10'		
BDA (Board of Adjustment) case # A: N/A	Stormwater Information		
CUD (Conditional Use District) case # Z: N/A	Existing Impervious Surface 5.18 AC acres/square feet	Flood Hazard Area <input type="checkbox"/> Yes <input checked="" type="checkbox"/> No	
	Proposed Impervious Surface 7.07 AC acres/square feet	If Yes, please provide:	
	Neuse River Buffer <input type="checkbox"/> Yes <input checked="" type="checkbox"/> No Wetlands <input type="checkbox"/> Yes <input checked="" type="checkbox"/> No	Allowial Soils N/A	Flood Study N/A
		FEMA Map Panel # N/A	
FOR RESIDENTIAL DEVELOPMENTS			
1. Total # of Apartment, Condominium or Residential Units	5. Bedroom Units: 1br 2br 3br 4br or more	6. Infill Development 2.2.7	
2. Total # of Congregate Care Or Life Care Dwelling Units	7. Open Space (only) or Amenity		
3. Total Number of Hotel Units	8. Is your project a cottage court? <input type="checkbox"/> Yes <input checked="" type="checkbox"/> No		
4. Overall Total # of Dwelling Units (1-6 Above)			

SIGNATURE BLOCK (Applicable to all developments)

In filing this plan as the property owner(s), I/we do hereby agree and firmly bind ourselves, my/our heirs, executors, administrators, successors and assigns, jointly and severally to construct all improvements and make all dedications as shown on this proposed development plan as approved by the City.

I hereby designate **Keith Downing, CLH Design, pa** to serve as my agent regarding this application, to receive and respond to administrative comments, to resubmit plans on my behalf and to represent me in any public meeting regarding this application.

I/we have read, acknowledge and affirm that this project is conforming to all application requirements applicable with the proposed development use.

Signed: Date: **4/4/18**
 Printed Name: **M.J. Desormeaux, Jr.**
 Ass't. Superintendent for Facilities,
 WCPSS; for and on behalf of the
 Wake County Board of Education,
 pursuant to duty delegated authority.
 Signed: _____ Date: _____
 Printed Name: _____

PAGE 2 OF 3 WWW.RALEIGHNC.GOV REVISION 05.13.16

CITY OF RALEIGH CONSTRUCTION REQUIRED NOTES:

- THE CONTRACTOR SHALL BE RESPONSIBLE FOR ALL TRAFFIC CONTROL AND SHALL ADHERE TO THE PROVISIONS OF THE MUTCD. (MOST RECENT EDITION)
- PRIOR TO START OF CONSTRUCTION, THE CONTRACTOR SHALL SCHEDULE A MEETING WITH THE CITY'S PUBLIC WORKS DEPARTMENT, TRANSPORTATION OPERATIONS DIVISION AND TRANSPORTATION FIELD SERVICES TO REVIEW THE SPECIFIC COMPONENTS OF THE PLAN AND OPERATION OF THESE FACILITIES DURING CONSTRUCTION. CONTACTS SHALL BE:
 REBECCA DUFFY 919-996-4091 OR REBECCADUFFY@RALEIGHNC.GOV
 TERRY PHINZKY 919-996-4035 OR TERRY.PHINZKY@RALEIGHNC.GOV
 KENNETH RITCHE 919-996-2009 OR KENNETH.RITCHE@RALEIGHNC.GOV
- THE CONTRACTOR SHALL OBTAIN A LANE CLOSURE PERMIT FOR ANY WORK WHICH REQUIRES THE CLOSURE OF A TRAVEL LANE FROM THE PUBLIC WORKS DEPARTMENT - TRANSPORTATION OPERATIONS DIVISION AT 919-996-3030 AT LEAST 48 HOURS IN ADVANCE AND FOR STREET CLOSURES, AT LEAST 2 WEEKS IN ADVANCE. PROVIDE EXACT LOCATION, CROSS STREET, DATES FOR LANE CLOSURE, CONTACT PERSON AND FAX NUMBER.
- THE CONTRACTOR SHALL BE RESPONSIBLE FOR CONTACTING THE INSPECTIONS DEPARTMENT AT 919-996-2500 TO OBTAIN A STREET CUT PERMIT.
- PRIOR TO CONSTRUCTION BEGINNING, ALL SIGNAGE AND TRAFFIC CONTROL SHALL BE IN PLACE.
- ALL SIDEWALKS MUST BE ACCESSIBLE TO PERSONS WHO ARE BLIND, HAVE LOW VISION AND PEOPLE WITH MOBILITY DISABILITIES. PEDESTRIAN EXISTING ROUTES AND ALTERNATE PEDESTRIAN ROUTES DURING CONSTRUCTION WILL BE REQUIRED TO BE COMPLIANT WITH THE PUBLIC RIGHTS OF WAY ACCESSIBILITY GUIDELINES (PROWAG), 2010 ADA STANDARDS FOR ACCESSIBLE DESIGN AND THE MANUAL ON UNIFORM TRAFFIC CONTROL DEVICES (MUTCD).

PRIVATE SEWER COLLECTION / EXTENSION SYSTEM

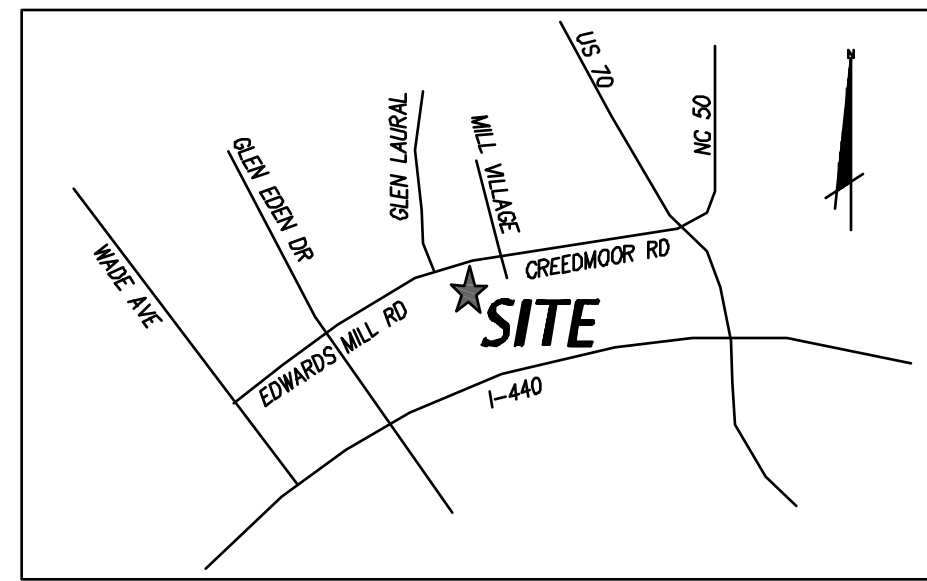
THE CITY OF RALEIGH CONSENTS TO THE CONNECTION TO ITS PUBLIC SEWER SYSTEM AND EXTENSION OF THE PRIVATE SEWER SYSTEM AS SHOWN ON THIS PLAN. THE MATERIAL AND CONSTRUCTION METHODS USED FOR THIS PROJECT SHALL CONFORM TO THE STANDARDS AND SPECIFICATIONS OF THE CITY'S PUBLIC UTILITIES HANDBOOK.

CITY OF RALEIGH PUBLIC UTILITIES DEPARTMENT PERMIT # _____

AUTHORIZATION TO CONSTRUCT _____

DATE _____

VICINITY MAP



NOT TO SCALE

PROJECT DATUM

HORIZONTAL - NORTH AMERICAN DATUM
 (NAD83 WITH 2001 ADJUSTMENT)

POINT #1 REBAR AND CAP SET GROUND COORDINATES:
 N= 759,403.01'
 E= 2,090,852.75'
 ELEV. = 364.44' (NAVD 88)

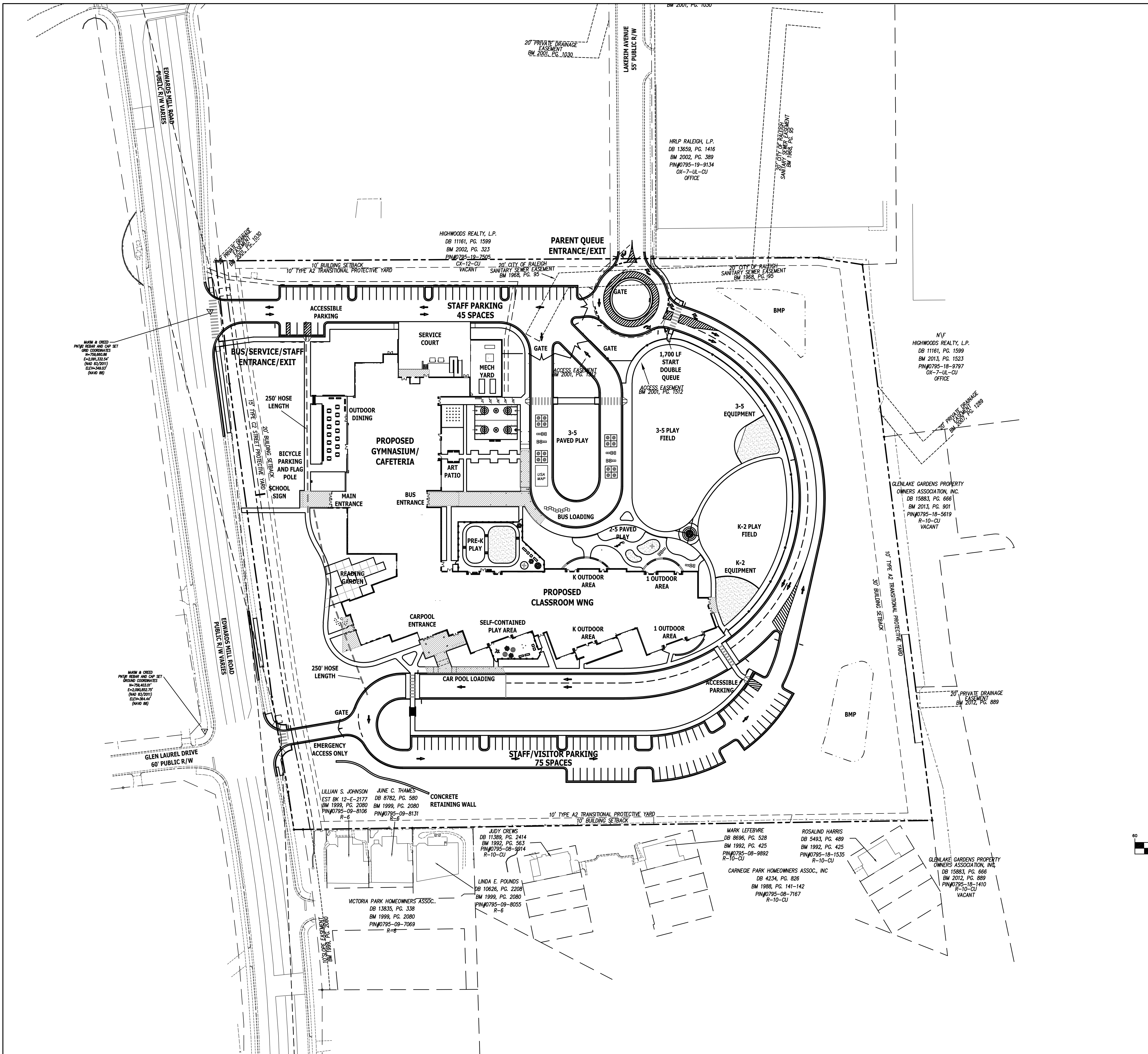
POINT #2 REBAR AND CAP SET GRID COORDINATES:
 N= 759,660.86'
 E= 2,091,332.03'
 ELEV. = 349.03' (NAVD 88)

PRIVATE STREET INSPECTION STATEMENT

THE CONSTRUCTION INSPECTION OF PRIVATE STREETS WITHIN CLUSTER UNITS, CONDOMINIUMS, GROUP HOUSING, TOWNHOUSE DEVELOPMENTS AND MOBILE HOME PARKS SUBMITTED FOR CITY APPROVAL IS THE RESPONSIBILITY OF THE OWNER/DEVELOPER. COPIES OF CERTIFIED INSPECTION REPORTS INCLUDING SUB GRADE/AGGREGATE BASE PROOF ROLLS, AGGREGATE BASE AND ASPHALT DENSITIES AND THICKNESS, AND OTHER PERTINENT INFORMATION MUST BE SUBMITTED TO THE CITY'S ENGINEERING INSPECTIONS MANAGER AT P.O. BOX 590, RALEIGH, NC 27602 OR FAXED TO (919) 831-6339. CONTACT PAUL KALLAM AT (919) 516-2159 TO OBTAIN DETAILS OF THE ABOVE REQUIREMENTS.

LEGEND

EXISTING	PROPOSED	
CONDENSATE DRAIN	CD	GRAVEL CONSTR. ENTRANCE
ELECTRICAL (OVERHEAD)	E	TEMP. INLET PROTECTION DEVICE
ELECTRICAL (UNDERGROUND)	UE	TEMP. DIVERSION DITCH / BERM
FIBER OPTIC	FO	TEMPORARY SILT FENCE
FIRE PROTECTION	FP	REINFORCED SILT FENCE OUTLET
FORCE MAIN (SEWER)	FM	PERMANENT OUTLET PROTECTION
FOUNDATION DRAIN CONNECTOR	FD	TEMPORARY CHECK DAM
GAS	G	TEMPORARY SLOPE DRAIN
ROOF DRAIN	RD	TEMPORARY J-HOOK PROTECTION
SANITARY SEWER	SS	TEMPORARY PLASTIC SLOPE LINING
STORM DRAIN	SD	TEMPORARY WATTLE, SEE
TELEPHONE (OVERHEAD)	T	TEMPORARY TIMBER MAT CROSSING
FIRE DEPARTMENT CONNECTION (FDC)	UT	TEMP. SKIMMER SEDIMENT BASIN
WATER	W	EXISTING CONTOUR
FENCE	X	FINISHED CONTOUR
UNDERGROUND CABLE	CV	TEMPORARY CONTOUR (TEMP. GRADES DURING CONSTR.)
ROOF DRAIN	RD	TEMPORARY ROCK PIPE INLET PROTECTION. SEE DETAIL SHEET.
LIGHT POLE	LP	CHANNEL LINING, SEE DETAIL SHEET.
UTILITY POLE	UP	CONSTRUCTION LIMITS UNLESS OTHERWISE NOTED.
MANHOLE	MH	TEMPORARY LEVEL SPREADER
CLEAN OUT	CO	TEMPORARY CHECK DAM W/ WEIR
DROP INLET/CATCH BASIN, POND OUTLET	Di, CB, PO	TEMPORARY COCONUT MATTING
HEAD WALL	HW	TREE PROTECTION FENCE
FIRE HYDRANT	FH	
WATER VALVE	WV	
POST INDICATOR VALVE (PIV)		
FIRE DEPARTMENT CONNECTION (FDC)		
THRUST BLOCKING		
SANITARY SEWER STRUCTURE I.D. 3		STORM DRAINAGE STRUCTURE I.D. 8
CABLE BOX		
270.4'	EXISTING SURVEY SPOT ELEVATION	AC = ACCESSIBLE SPACE
270.50'	PROPOSED GROUND/PAVEMENT ELEVATION	(VAC) = VAN ACCESSIBLE
		S/W = SIDEWALK



SITE DATA

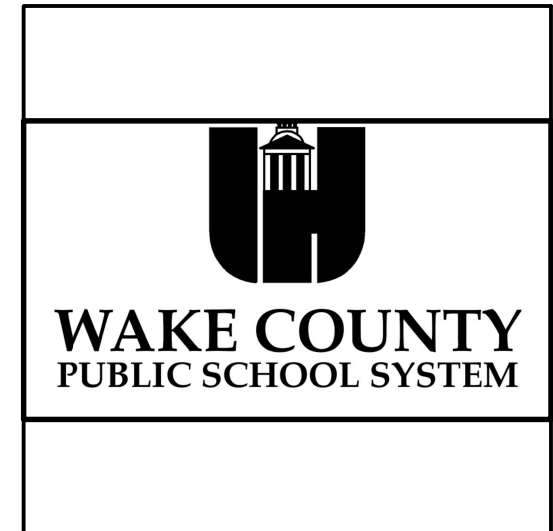
CITY OF RALEIGH TRACKING NUMBERS: SR-37-18, #551981
PROJECT: STOUGH ELEMENTARY SCHOOL
OWNER CONTACT: WAKE COUNTY BOARD OF EDUCATION
 STEVE ZETTS
 WAKE CO. PUBLIC SCHOOL SYSTEM
 1429 ROCK QUARRY ROAD SUITE 116
 RALEIGH, NC 27610
 PHONE: 919-856-3609
 SZETTS@WPSS.NET
DESIGNER CONTACT: CLH DESIGN, PA
 KETHI DOWNING
 REGENCY PARK
 400 REGENCY FOREST DR., SUITE 120
 CARY, NC 27518
 PHONE: 919-319-6716
 FAX: 919-319-7516
PROJECT ADDRESS: 4210 EDWARDS MILL ROAD, RALEIGH, NC
 0795193132
DEED BOOK AND PAGE: DB 013625 PG 01724
CURRENT ZONING: R-4
EXISTING USE: ELEMENTARY SCHOOL
PROPOSED USE: ELEMENTARY SCHOOL
TRACT AREA: 14.05 ACRES
PROPOSED GROSS FLOOR AREA: 113,375 SF.
PROPOSED MAX. BUILDING HEIGHT: 36'-0" (2-STORY CLASSROOM WING)
PROPOSED VEHICULAR SURFACE AREA: 115,166 SF (2.64 ACRES)
EXISTING IMPERVIOUS AREA: 225,476 SF (5.18 ACRES)
NEW ADDED IMPERVIOUS AREA: 7,991 SF (0.18 ACRES)
TOTAL BUILDOUT IMPERVIOUS AREA: 233,467 SF (5.36 ACRES)
DISTURBED AREA: ±12.2 ACRES
FLOOR AREA RATIO: 18.44%
BUILDING LOT COVERAGE: 12.19%

CITY OF RALEIGH PUBLIC AND INSTITUTIONAL USES:
 6.3.1.D.2b
 A SCHOOL, PUBLIC OR PRIVATE (K-12) MUST BE LOCATED ON A LOT WITH TOTAL AREA OF 500 SQUARE FEET PER ENROLLED PUPIL.
 ELEMENTARY SCHOOL TRACT AREA REQUIRED: 7.39 AC. 322,000 SF (644 STUDENTS X 500 SF.)
 ELEMENTARY SCHOOL TRACT AREA PROVIDED: 14.05 AC. OR 612,018 SF.

PARKING REQUIREMENTS:
PROPOSED BUILDING: ELEMENTARY SCHOOL
PARKING CODE: 1 SP / 5 SEATS IN THE MAIN ASSEMBLY AREA.
MAIN ASSEMBLY TOTAL SQUARE FOOTAGE: 6,075 SF (DINING ROOM & PHYS. ED.)
 1 SEAT/5 SF: 405 SEATS
 1 SPACE/5 SEATS: 81.00 SPACES
TOTAL SPACES REQ'D: 81.00 SPACES
TOTAL SPACES PROVIDED: 120 SPACES
TOTAL H/C SPACES REQ'D: 5 (WITH 1 BEING VAN ACCESSIBLE)
TOTAL H/C SPACES PROVIDED: 7 (WITH 2 BEING VAN ACCESSIBLE)

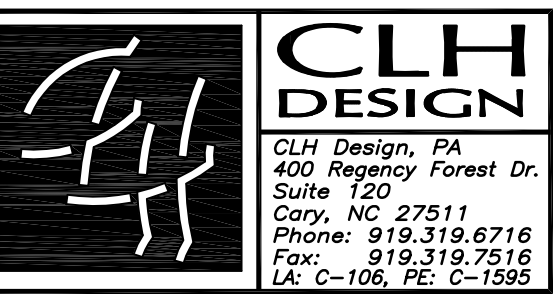
BICYCLE PARKING REQUIREMENTS:
 ELEMENTARY SCHOOL: 42 CLASSROOMS
 SHORT TERM - 1 SP PER 2 CLASSROOMS (21 REQ'D)
 LONG TERM - 3 SP PER CLASSROOM (126 REQ'D)
BIKE SPACES REQ'D: 126+21 = 147 SPACES OR 30 SPACES MAX. (PER COD SECTION 7.1.8.A.)
BIKE SPACES PROVIDED: 30 SPACES; 15 RACKS; TOTAL (4 SHORT-TERM, 2 RACKS)
 (26 LONG-TERM, 13 RACKS)

- NOTES:**
- ALL CONSTRUCTION SHALL BE IN STRICT ACCORDANCE WITH CITY OF RALEIGH AND/OR NCDOT STANDARDS AND SPECIFICATIONS.
 - DESIGNER HAS REVIEWED AND IS COMPLIANCE WITH THE REQUIREMENTS SET FORTH IN THE SOLIDS WASTE DESIGN MANUAL.
 - THE PROPOSED DEVELOPMENT PLANS TO USE THE CITY OF RALEIGH SOLID WASTE SERVICES (SWS) TO HANDLE THEIR TRASH NEEDS



STOUGH ELEMENTARY SCHOOL

4210 EDWARDS MILL ROAD
 RALEIGH, NORTH CAROLINA 27612

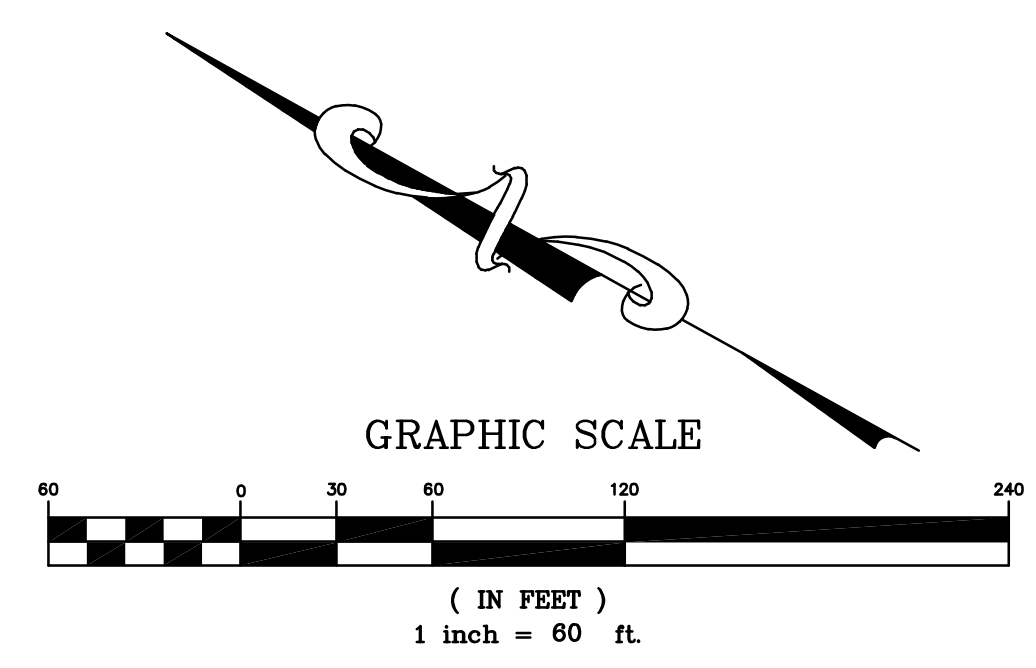


NOT FOR CONSTRUCTION

MEMBERS OF THE AMERICAN INSTITUTE OF ARCHITECTS
 COPYRIGHT 2018 ALL RIGHTS RESERVED
 PRINTED OR ELECTRONIC DRAWINGS AND DOCUMENTATION MAY NOT BE REPRODUCED IN ANY FORM WITHOUT WRITTEN PERMISSION FROM LS3P ASSOCIATES LTD.

REVISIONS:

No.	Description	Date



PROJECT: LS3P: 8401-137000
 CLH:15-169
DATE: October 01, 2018
DRAWN BY: KMD
CHECKED BY: KMD

OVERALL PLAN

C-00.01

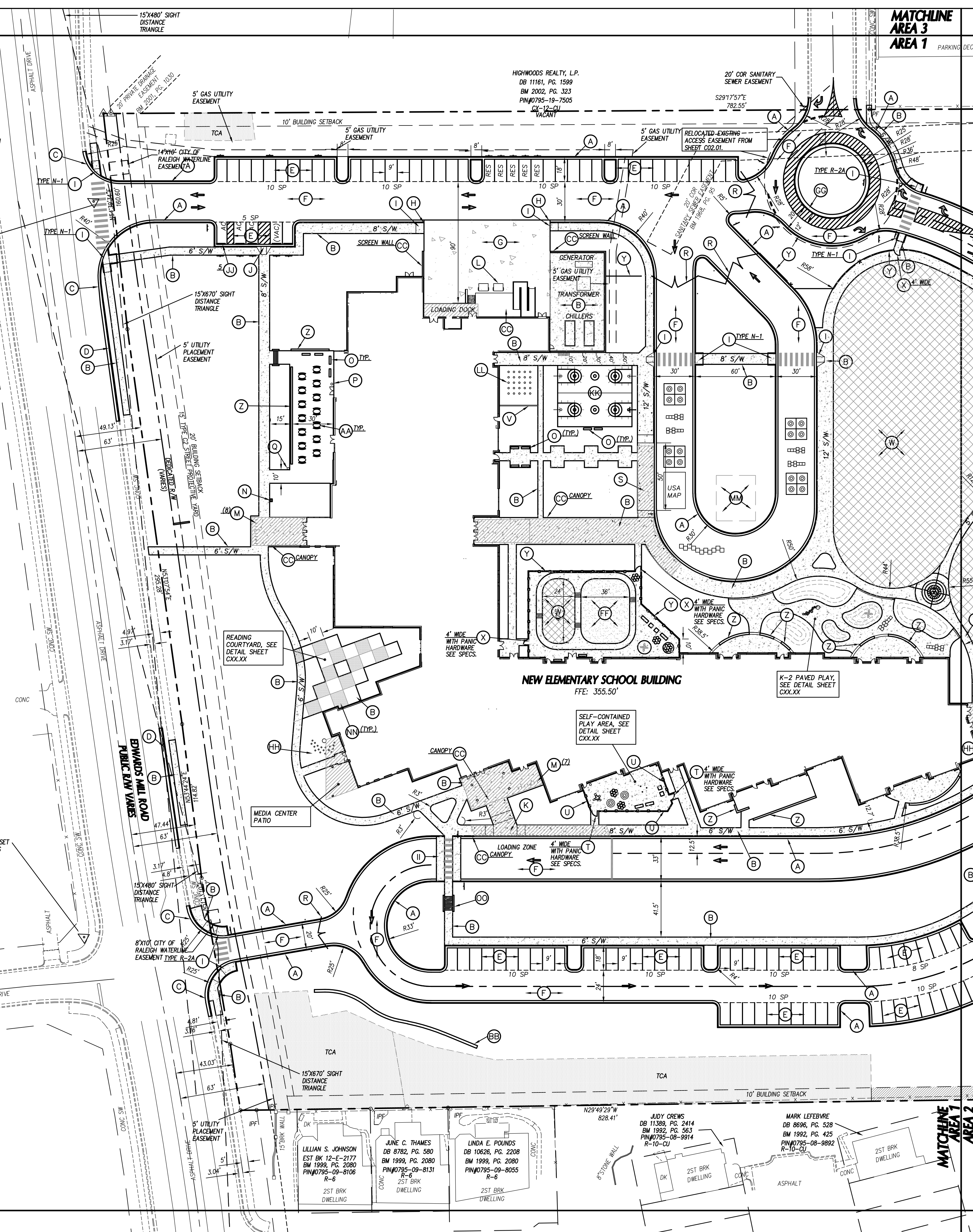
MATCHLINE
AREA 3
AREA 1

MATCHLINE
AREA 3
AREA 1

M&M & CREED
PNT#2 REBAR AND CAP SET
GRID COORDINATES
N=758,660.86
E=2,091,332.54
(NAD 83/2011)
ELEV=349.03
(NAVD 88)

M&M & CREED
PNT#1 REBAR AND CAP SET
GROUND COORDINATES
N=759,403.01
E=2,090,852.75
(NAD 83/2011)
ELEV=364.44
(NAVD 88)

GEN LAUREL DR
60' PUBLIC R/W



HIGHWOODS REALTY, L.P.
DB 11161, PG. 1599
BM 2002, PG. 323
PIN#0795-19-7505
R-10-CU
VALANT

NEW ELEMENTARY SCHOOL BUILDING
FFE: 355.50'

GENERAL NOTES

- ALL CONSTRUCTION SHALL BE IN ACCORDANCE WITH ALL CITY OF RALEIGH AND NCDOT STANDARDS AND SPECIFICATIONS.
- ALL DIMENSIONS SHOWN ARE TO FACE OF CURB AND FACE OF BUILDING WALL, UNLESS OTHERWISE SHOWN.
- CONTRACTOR SHALL BE RESPONSIBLE FOR FIELD VERIFICATION OF ALL DIMENSIONS SHOWN AND CONTACT THE ARCHITECT IF ANY DISCREPANCIES OCCUR.
- CONSTRUCTION STAKE OUT IS THE RESPONSIBILITY OF THE CONTRACTOR.
- ALL PAVEMENT MARKINGS AND SIGNAGE SHALL CONFORM TO THE "MANUAL ON UNIFORM TRAFFIC CONTROL DEVICES".
- ALL FACE OF RADIUS ARE 4 FT UNLESS OTHERWISE SHOWN.
- ALL PARKING SPACES SHALL BE 9' WIDE X 18 FT DEEP MIN.
- (AC) DENOTES ACCESSIBLE PARKING SPACE.
- (VAC) DENOTES VAN ACCESSIBLE PARKING SPACE.
- ANY AND ALL LANDSCAPING, EXISTING TREES OR SHRUBS TO REMAIN WHICH ARE DAMAGED DURING DEMOLITION OR CONSTRUCTION SHALL BE REPLACED BY THE CONTRACTOR UTILIZING A LICENSED LANDSCAPE CONTRACTOR AT NO ADDITIONAL COST TO THE OWNER.
- CONTRACTOR SHALL SUBMIT SCALED PLANS OF ALL SCORING/JOINTS FOR APPROVAL BY ARCHITECT 30 DAYS MINIMUM PRIOR TO INSTALLATION.
- THE CROSS-SLOPE ON ALL SIDEWALKS SHALL BE A MAXIMUM OF 2.0%.
- NO WORK SHALL BE PERFORMED ON RIGHT-OF-WAYS OR ADJACENT PROPERTIES UNTIL THE OWNER NOTIFIES CONTRACTOR IN WRITING OF PROCUREMENT OF APPROPRIATE PERMITS, EASEMENTS, AGREEMENTS, OR RIGHTS-OF-WAY.

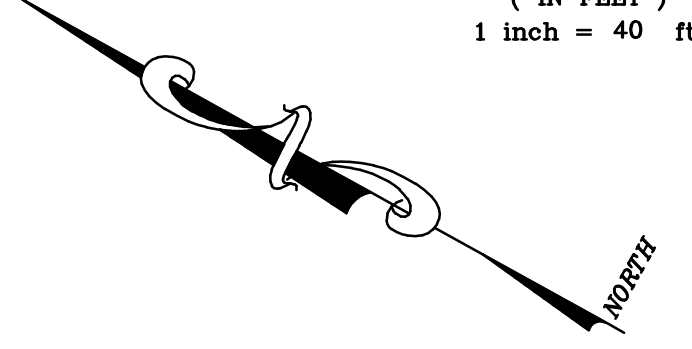
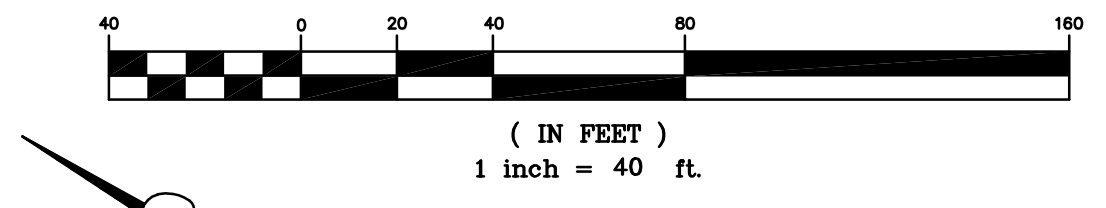
KEY NOTES

- (A) 24" STANDARD CONCRETE CURB & GUTTER, SEE DETAIL SHEET C07.05.
- (B) CONCRETE SIDEWALK, SEE DETAIL SHEET C07.05.
- (C) TRANSITION CURB AND GUTTER FROM 24" C&G TO 30" C&G. TRANSITION TAPER TO OCCUR WITHIN THE SCHOOL PROPERTY. THE TRANSITION TAPER SHALL BE 10'. 24" C&G SHALL BE CONSTRUCTED WITHIN THE SCHOOL PROPERTY AND 30" C&G SHALL BE CONSTRUCTED WITHIN THE RIGHT-OF-WAY.
- (D) 30" STANDARD CURB & GUTTER, SEE DETAIL SHEET C07.05.
- (E) LIGHT-DUTY ASPHALT PAVEMENT, SEE DETAIL SHEET C07.05.
- (F) HEAVY-DUTY ASPHALT PAVEMENT, SEE SHEET C07.05.
- (G) CONCRETE PAVEMENT, SEE DETAIL SHEET C07.05.
- (H) STANDARD CURB & GUTTER TERMINUS, SEE DETAIL SHEET C07.05.
- (I) ACCESSIBLE CURB RAMP, SEE DETAIL SHEET C07.03.
- (J) ACCESSIBLE PARKING CURB RAMP, SEE DETAIL SHEET C07.04.
- (K) PASSENGER LOADING ZONE, SEE DETAIL SHEET C07.04.
- (L) DUMPSTERS TO BE PROVIDED BY OWNER.
- (M) BIKE RACK, SEE DETAIL SHEET C07.14.
- (N) FLAGPOLE, SEE SPECIFICATIONS.
- (O) BENCH, SEE SPECIFICATIONS.
- (P) TRASH RECEPTACLE, SEE DETAIL SHEET C07.14 AND SPECIFICATIONS.
- (Q) RELOCATED BOOK RETURN BOX
- (R) PIPE GATE, SEE DETAIL SHEET C07.05
- (S) BUS LOADING ZONE, SEE DETAIL SHEET C07.04.
- (T) ORNAMENTAL FENCE GATE, SEE DETAIL SHEET C07.14.
- (U) 4" ORNAMENTAL FENCE, SEE DETAIL SHEET C07.14.
- (V) CONCRETE PLAYGROUND EDGING, SEE DETAIL SHEET C07.14.
- (W) SYNTHETIC TURF, SEE DETAIL SHEET C07.11.
- (X) VINYL COATED CHAIN-LINK GATE, SEE DETAIL SHEET C07.04.
- (Y) 4" VINYL COATED CHAIN-LINK FENCE, SEE DETAIL SHEET C07.04.
- (Z) SEAT WALL, SEE DETAIL SHEET C07.04.
- (AA) EXTERIOR TABLE, SEE SPECIFICATIONS.
- (BB) CAST IN PLACE CONCRETE RETAINING WALL, SEE STRUCTURAL DRAWINGS
- (CC) SEE ARCHITECTURAL PLANS FOR CANOPY, SCREEN AND STRUCTURAL WALLS, BUILDING COLUMNS, CHILLER ENCLOSURE, LOADING DOCK, RAMPS & SERVICE YARD LAYOUT, BOLLARDS, ETC.
- (DD) 3-5 PLAY EQUIPMENT AREA**
- (EE) K-2 PLAY EQUIPMENT AREA**
- (FF) PRE-K PLAY EQUIPMENT AREA**
- (GG) ROUNDABOUT CURB, SEE DETAIL SHEET CXX.XX
- (HH) STORYTELLER CHAIR WITH SEATS, SEE SPECIFICATIONS
- (II) RAISED CROSSWALK, SEE DETAIL SHEET C07.03.
- (JJ) PRE-CAST CONCRETE WHEELSTOP, SEE DETAIL SHEET C07.04
- (KK) BASKETBALL COURTS AND HOOPS, SEE DETAIL SHEET CXX.XX, SEE SPECIFICATIONS
- (LL) LANDSCAPE LEARNING GAME GRID, SEE DETAIL SHEET C07.14
- (MM) AREA RESERVED FOR EDIBLE GARDEN SPACE, SEE DETAIL SHEET CXX.XX
- (NN) CONCRETE SIDEWALK WITH HEAVY SANDBLAST, SEE SPECIFICATIONS
- (OO) CONCRETE STEPS WITH CHEEK WALL, SEE DETAIL SHEET C07.04
- (PP) OPAQUE WOODEN FENCING, SEE DETAIL SHEET C07.04

** PLAY EQUIPMENT AND PLAY SURFACING TO BE FURNISHED AND INSTALLED BY THE OWNER'S SELECTED PLAYGROUND INSTALLER, BUT TO BE COORDINATED THROUGH THE GENERAL CONTRACTOR OR CONSTRUCTION MANAGER.

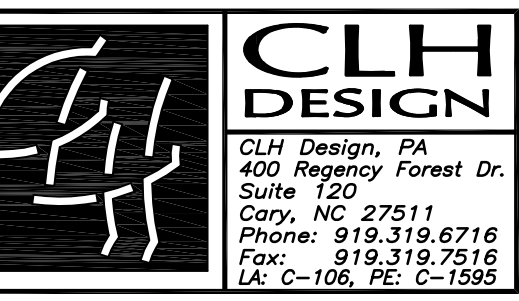
TCA = TREE CONSERVATION AREA

GRAPHIC SCALE



STOUGH
ELEMENTARY
SCHOOL

4210 EDWARDS MILL ROAD
RALEIGH, NORTH CAROLINA 27612



LS3P

434 FAYETTEVILLE STREET SUITE 1700
RALEIGH, NORTH CAROLINA 27601
TEL. 919.829.2700 FAX 919.829.2730
WWW.LS3P.COM

NOT
FOR
CONSTRUCTION

MEMBERS OF THE AMERICAN INSTITUTE OF ARCHITECTS
COPYRIGHT 2018 ALL RIGHTS RESERVED
PRINTED OR ELECTRONIC DRAWINGS AND
DOCUMENTATION MAY NOT BE REPRODUCED
IN ANY FORM WITHOUT WRITTEN PERMISSION
FROM LS3P ASSOCIATES LTD.

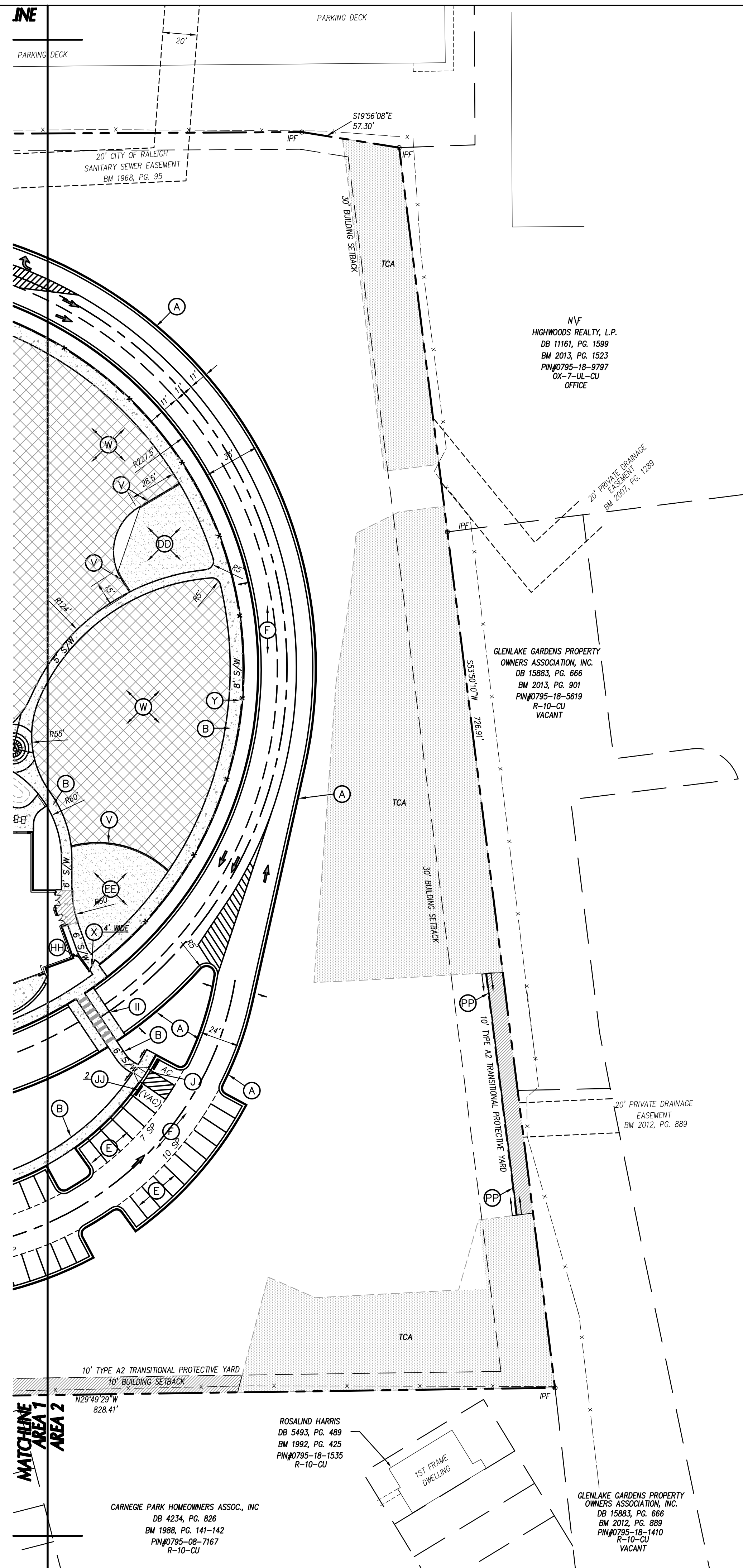
REVISIONS:

No.	Description	Date

PROJECT: LS3P: 8401-137000
CLH: 15-169
DATE: October 01, 2018
DRAWN BY: KMD
CHECKED BY: KMD

STAKING PLAN -
AREA 1

C-01.01



GENERAL NOTES

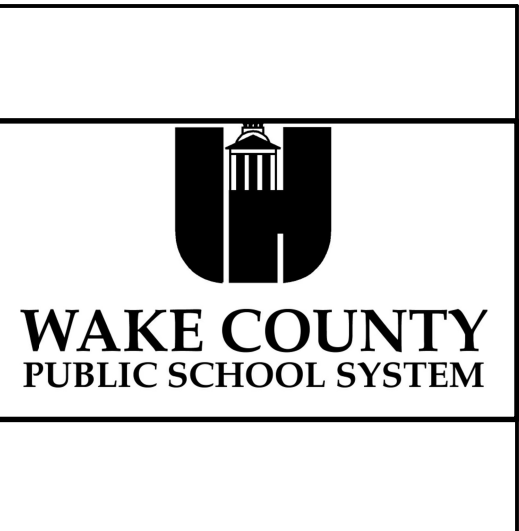
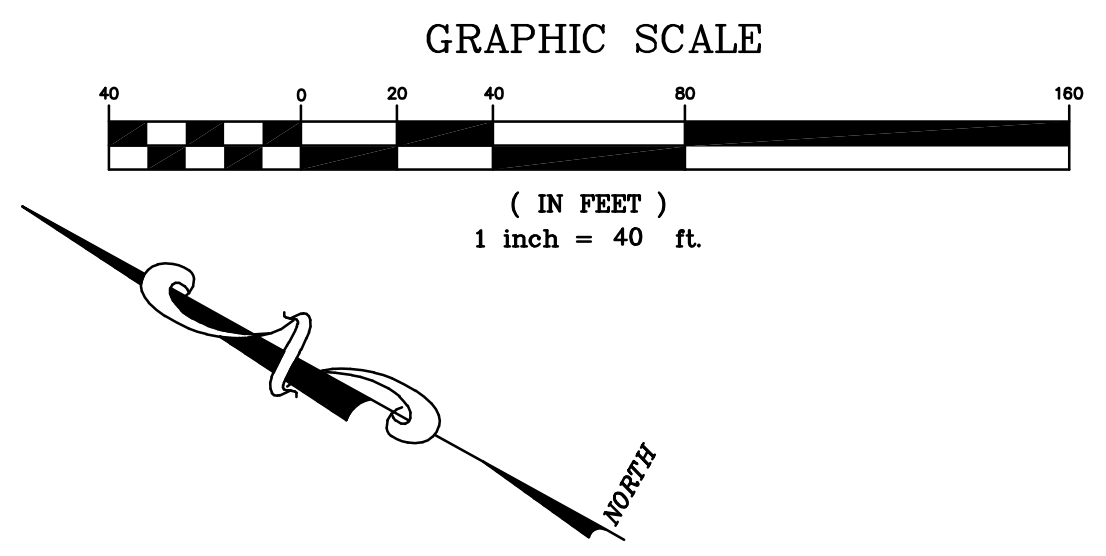
1. ALL CONSTRUCTION SHALL BE IN ACCORDANCE WITH ALL CITY OF RALPH AND NCDOT STANDARDS AND SPECIFICATIONS.
2. ALL DIMENSIONS SHOWN ARE TO FACE OF CURB AND FACE OF BUILDING WALL, UNLESS OTHERWISE SHOWN.
3. CONTRACTOR SHALL BE RESPONSIBLE FOR FIELD VERIFICATION OF ALL DIMENSIONS SHOWN AND CONTACT THE ARCHITECT IF ANY DISCREPANCIES OCCUR.
4. CONSTRUCTION STAKE OUT IS THE RESPONSIBILITY OF THE CONTRACTOR.
5. ALL PAVEMENT MARKINGS AND SIGNAGE SHALL CONFORM TO THE "MANUAL ON UNIFORM TRAFFIC CONTROL DEVICES".
6. ALL FACE OF RADIIUS ARE 4 FT UNLESS OTHERWISE SHOWN.
7. ALL PARKING SPACES SHALL BE 9' WIDE X 18 FT DEEP MIN.
8. (AC) DENOTES ACCESSIBLE PARKING SPACE.
9. (VAC) DENOTES VAN ACCESSIBLE PARKING SPACE.
10. ANY AND ALL LANDSCAPING, EXISTING TREES OR SHRUBS TO REMAIN WHICH ARE DAMAGED DURING DEMOLITION OR CONSTRUCTION SHALL BE REPLACED BY THE CONTRACTOR UTILIZING A LICENSED LANDSCAPE CONTRACTOR AT NO ADDITIONAL COST TO THE OWNER.
11. CONTRACTOR SHALL SUBMIT SCALED PLANS OF ALL SCORING/JOINTS FOR APPROVAL BY ARCHITECT 30 DAYS MINIMUM PRIOR TO INSTALLATION.
12. THE CROSS-SLOPE ON ALL SIDEWALKS SHALL BE A MAXIMUM OF 2.0%.
13. NO WORK SHALL BE PERFORMED ON RIGHT-OF-WAYS OR ADJACENT PROPERTIES UNTIL THE OWNER NOTIFIES CONTRACTOR IN WRITING OF PROCUREMENT OF APPROPRIATE PERMITS, EASEMENTS, AGREEMENTS, OR RIGHTS-OF-WAY.

KEY NOTES

- (A) 24" STANDARD CONCRETE CURB & GUTTER, SEE DETAIL SHEET C07.05.
- (B) CONCRETE SIDEWALK, SEE DETAIL SHEET C07.05.
- (C) TRANSITION CURB AND GUTTER FROM 24" C&G TO 30" C&G. TRANSITION TAPER TO OCCUR WITHIN THE SCHOOL PROPERTY. THE TRANSITION TAPER SHALL BE 10'. 24" C&G SHALL BE CONSTRUCTED WITHIN THE SCHOOL PROPERTY AND 30" C&G SHALL BE CONSTRUCTED WITHIN THE RIGHT-OF-WAY.
- (D) 30" STANDARD CURB & GUTTER, SEE DETAIL SHEET C07.05.
- (E) LIGHT-DUTY ASPHALT PAVEMENT, SEE DETAIL SHEET C07.05.
- (F) HEAVY-DUTY ASPHALT PAVEMENT, SEE SHEET C07.05.
- (G) CONCRETE PAVEMENT, SEE DETAIL SHEET C07.05.
- (H) STANDARD CURB & GUTTER TERMINUS, SEE DETAIL SHEET C07.05.
- (I) ACCESSIBLE CURB RAMP, SEE DETAIL SHEET C07.03.
- (J) ACCESSIBLE PARKING CURB RAMP, SEE DETAIL SHEET C07.04.
- (K) PASSENGER LOADING ZONE, SEE DETAIL SHEET C07.04.
- (L) DUMPSTERS TO BE PROVIDED BY OWNER.
- (M) BIKE RACK, SEE DETAIL SHEET C07.14.
- (N) FLAGPOLE, SEE SPECIFICATIONS.
- (O) BENCH, SEE SPECIFICATIONS.
- (P) TRASH RECEPTACLE, SEE DETAIL SHEET C07.14 AND SPECIFICATIONS.
- (Q) RELOCATED BOOK RETURN BOX
- (R) PIPE GATE, SEE DETAIL SHEET C07.05
- (S) BUS LOADING ZONE, SEE DETAIL SHEET C07.04.
- (T) ORNAMENTAL FENCE GATE, SEE DETAIL SHEET C07.14.
- (U) 4" ORNAMENTAL FENCE, SEE DETAIL SHEET C07.14.
- (V) CONCRETE PLAYGROUND EDGING, SEE DETAIL SHEET C07.14.
- (W) SYNTHETIC TURF, SEE DETAIL SHEET C07.11.
- (X) VINYL COATED CHAIN-LINK GATE, SEE DETAIL SHEET C07.04.
- (Y) 4" VINYL COATED CHAIN-LINK FENCE, SEE DETAIL SHEET C07.04.
- (Z) SEAT WALL, SEE DETAIL SHEET C07.04.
- (AA) EXTERIOR TABLE, SEE SPECIFICATIONS.
- (BB) CAST IN PLACE CONCRETE RETAINING WALL, SEE STRUCTURAL DRAWINGS
- (CC) SEE ARCHITECTURAL PLANS FOR CANOPY, SCREEN AND STRUCTURAL WALLS, BUILDING COLUMNS, CHILLER ENCLOSURE, LOADING DOCK, RAMPS & SERVICE YARD LAYOUT, BOLLARDS, ETC.
- (DD) 3-5 PLAY EQUIPMENT AREA**
- (EE) K-2 PLAY EQUIPMENT AREA**
- (FF) PRE-K PLAY EQUIPMENT AREA**
- (GG) ROUNDABOUT CURB, SEE DETAIL SHEET CXX.XX
- (HH) STORYTELLER CHAIR WITH SEATS, SEE SPECIFICATIONS
- (II) RAISED CROSSWALK, SEE DETAIL SHEET C07.03.
- (JJ) PRE-CAST CONCRETE WHEELSTOP, SEE DETAIL SHEET C07.04
- (KK) BASKETBALL COURTS AND HOOPS, SEE DETAIL SHEET CXX.XX, SEE SPECIFICATIONS
- (LL) LANDSCAPE LEARNING GAME GRID, SEE DETAIL SHEET C07.14
- (MM) AREA RESERVED FOR EDIBLE GARDEN SPACE, SEE DETAIL SHEET CXX.XX
- (NN) CONCRETE SIDEWALK WITH HEAVY SANDBLAST, SEE SPECIFICATIONS
- (OO) CONCRETE STEPS WITH CHEEK WALL, SEE DETAIL SHEET C07.04
- (PP) OPAQUE WOODEN FENCING, SEE DETAIL SHEET C07.04

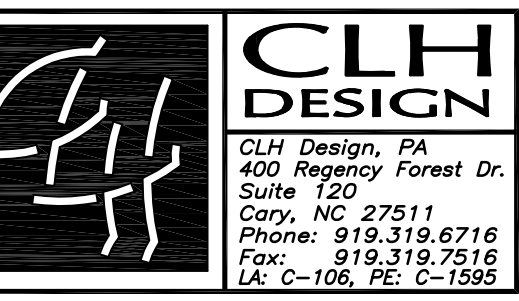
** PLAY EQUIPMENT AND PLAY SURFACING TO BE FURNISHED AND INSTALLED BY THE OWNER'S SELECTED PLAYGROUND INSTALLER, BUT TO BE COORDINATED THROUGH THE GENERAL CONTRACTOR OR CONSTRUCTION MANAGER.

TCA = TREE CONSERVATION AREA



**STOUGH
ELEMENTARY
SCHOOL**

4210 EDWARDS MILL ROAD
RALEIGH, NORTH CAROLINA 27612



NOT
FOR
CONSTRUCTION

MEMBERS OF THE AMERICAN INSTITUTE OF ARCHITECTS
COPYRIGHT 2018 ALL RIGHTS RESERVED
PRINTED OR ELECTRONIC DRAWINGS AND
DOCUMENTATION MAY NOT BE REPRODUCED
IN ANY FORM WITHOUT WRITTEN PERMISSION
FROM LS3P ASSOCIATES LTD.

REVISIONS:

No.	Description	Date

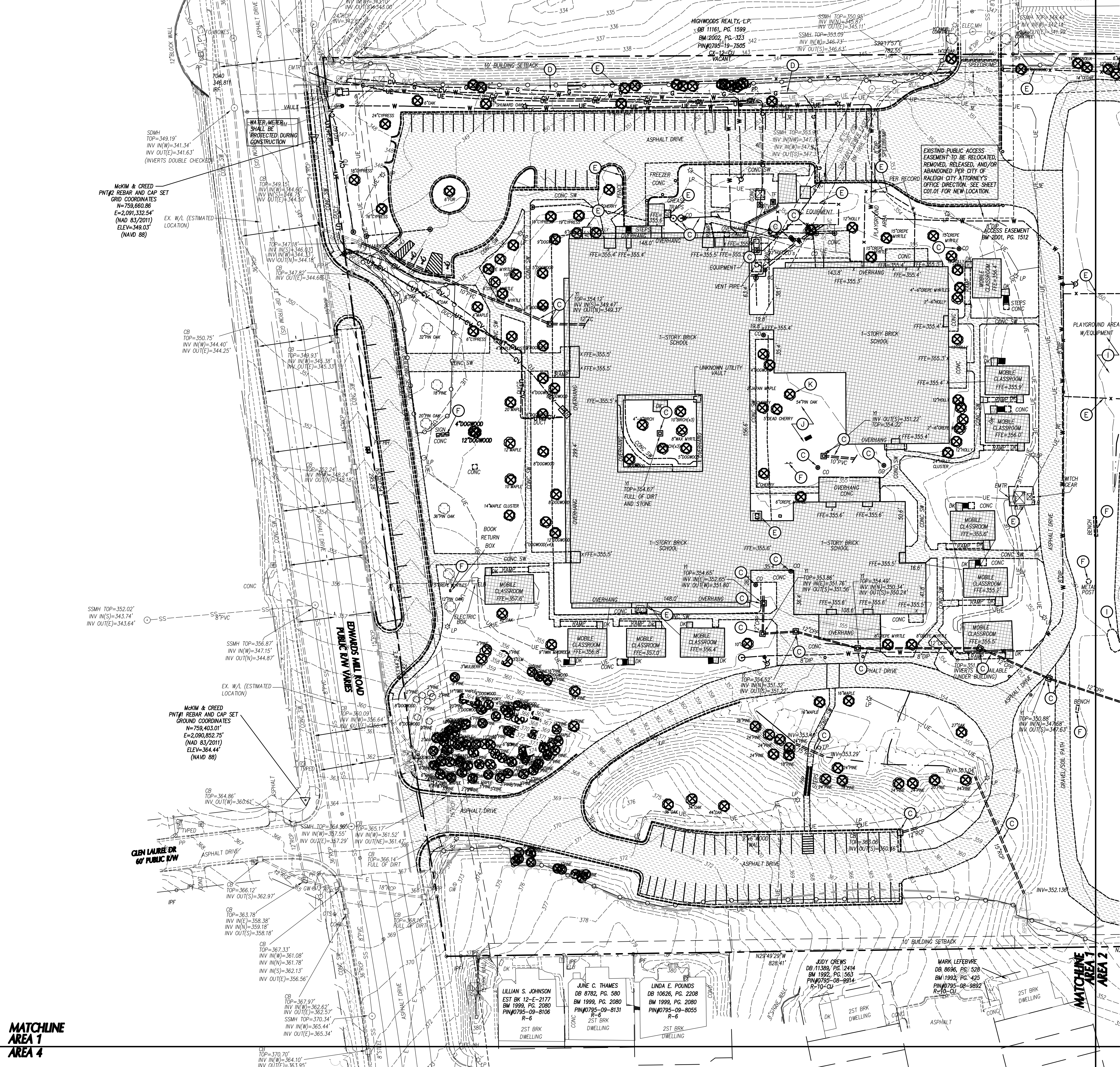
PROJECT: LS3P: 8401-137000
CLH: 15-169
DATE: October 01, 2018
DRAWN BY: KMD
CHECKED BY: KMD

**STAKING PLAN -
AREA 2**

C-01.02

MATCHLINE
AREA 3
AREA 1

MATCHLINE
AREA 3
AREA 1



LEGEND

STRUCTURES/UTILITIES TO BE REMOVED	STRUCTURES/UTILITIES TO REMAIN
OVERHEAD ELECTRICAL ----- E -----	OVERHEAD ELECTRICAL ----- E -----
UNDERGROUND ELECTRICAL ----- UE -----	UNDERGROUND ELECTRICAL ----- UE -----
FIRE PROTECTION ----- FP -----	FIRE PROTECTION ----- FP -----
GAS ----- G -----	GAS ----- G -----
SANITARY SEWER ----- S -----	SANITARY SEWER ----- S -----
TELEPHONE ----- T -----	TELEPHONE ----- T -----
UNDERGROUND TELEPHONE ----- UT -----	UNDERGROUND TELEPHONE ----- UT -----
FIBER OPTIC ----- FO -----	FIBER OPTIC ----- FO -----
WATER ----- W -----	WATER ----- W -----
FORCE MAIN ----- FM -----	FORCE MAIN ----- FM -----
STORM DRAIN ----- SD -----	STORM DRAIN ----- SD -----
FENCE ----- X -----	FENCE ----- X -----
INDIVIDUAL TREE TO BE REMOVED. (Symbol: tree with X)	INDIVIDUAL TREE TO REMAIN. (Symbol: tree)
LIGHT POLE (Symbol: LP)	LIGHT POLE (Symbol: LP)
UTILITY POLE (Symbol: PP)	UTILITY POLE (Symbol: PP)
MANHOLE (Symbol: MH)	MANHOLE (Symbol: MH)
CLEAN OUT (Symbol: CO)	CLEAN OUT (Symbol: CO)
DROP INLET, CATCH BASIN (Symbol: DI, CB)	DROP INLET, CATCH BASIN (Symbol: DI, CB)
FIRE HYDRANT (Symbol: FH)	FIRE HYDRANT (Symbol: FH)
WATER VALVE (Symbol: WV)	WATER VALVE (Symbol: WV)
	CABLE BOX (Symbol: CB)
CONSTR./CLEARING LIMITS (Symbol: dashed line)	BUILDING/STRUCTURE TO BE REMOVED (Symbol: hatched area)
TREE PROTECTION FENCE (Symbol: dashed line with X)	ARCHITECTURAL PLANS (Symbol: hatched area)
PAVEMENT, S/W AND C&G TO BE REMOVED. (Symbol: hatched area)	

GENERAL NOTES-EXIST. CONDITIONS/DEMO

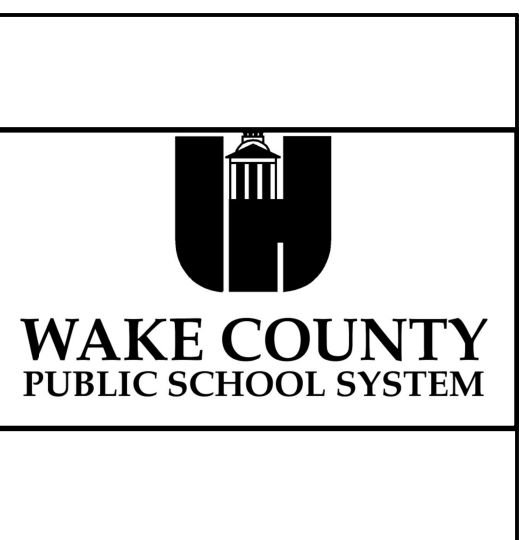
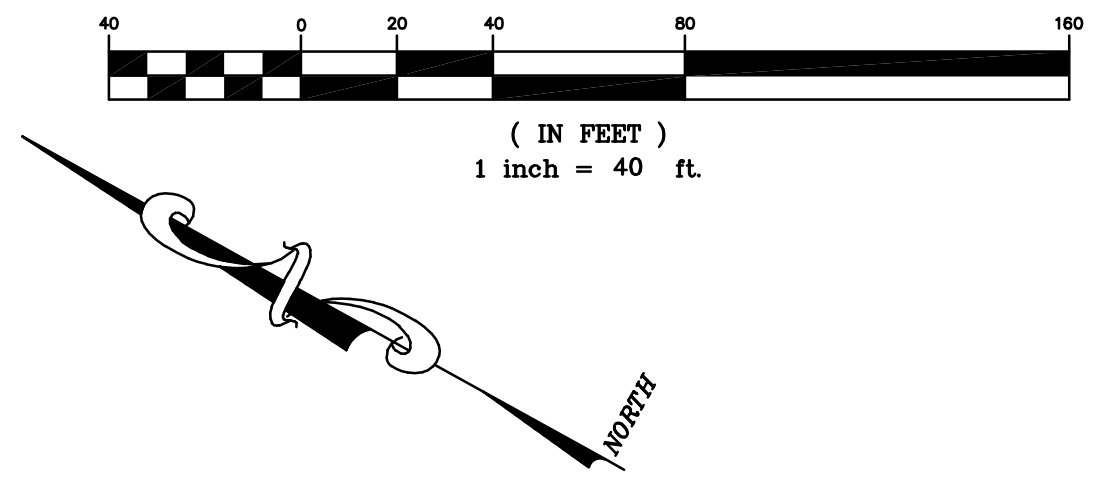
- ALL EXISTING STRUCTURES AND UTILITIES SHALL BE REMOVED AS NEEDED TO ALLOW NEW CONSTRUCTION. IN GENERAL, FEATURES INDICATED IN BOLD ON THIS PLAN SHALL BE REMOVED.
- ALL PAVEMENT OR CONCRETE TO BE REMOVED SHALL BE SAW CUT TO PROVIDE A STRAIGHT AND UNIFORM JOINT FOR NEW PAVEMENT, SIDEWALK, OR CURB AND GUTTER, ETC. ANY EXISTING PAVEMENT, SIDEWALK, CURB AND GUTTER, ETC. THAT MUST BE REMOVED TO ALLOW NEW CONSTRUCTION SHALL BE REMOVED PER THE SPECIFICATIONS AND DETAILS OR TO MATCH PRE-CONSTRUCTION CONDITIONS (WHETHER OR NOT SHOWN ON THE DRAWINGS TO BE REMOVED).
- ALL UTILITIES OR STRUCTURES NOT INDICATED FOR REMOVAL OR MODIFICATION ARE TO REMAIN AND BE PROTECTED FROM DAMAGE.
- ALL WASTE MATERIAL GENERATED FROM DEMOLITION ACTIVITIES SHALL BE DISPOSED OF OFF-SITE IN ACCORDANCE WITH ALL APPLICABLE RULES AND REGULATIONS.
- EXISTING SITE BOUNDARY AND TOPOGRAPHIC SURVEY INFORMATION WAS TAKEN FROM SURVEY BY MCKIM & CREED, PERFORMED APRIL 25, 2016. THESE PLANS DO NOT ASSUME ANY LIABILITY FOR ANY EXISTING INFORMATION BOTH SHOWN AND NOT SHOWN ON THE SURVEY AND ANY CHANGES TO THE EXISTING CONDITIONS THAT MAY HAVE OCCURRED AFTER THE SURVEY WAS ISSUED. CONTRACTOR SHALL VERIFY ALL EXISTING SITE CONDITIONS PRIOR TO CONSTRUCTION.
- INSTALL TREE PROTECTION FENCING PRIOR TO BEGINNING CLEARING OPERATIONS. CLEAR AND GRUB ALL AREAS AS SHOWN AND REQUIRED TO PERMIT INSTALLATION OF NEW CONSTRUCTION PER SPECIFICATIONS AND DRAWINGS. EXISTING TREES, SHRUBS OR OTHER LANDSCAPE MATERIAL WHICH WILL CONFLICT WITH NEW CONSTRUCTION SHALL BE REMOVED (WHETHER OR NOT SHOWN ON THE DRAWINGS). ALL CONTRACTORS SHALL VISIT THE SITE AND OBSERVE EXISTING CONDITIONS PRIOR TO BIDDING.
- TO MINIMIZE DAMAGE TO EXISTING TREES NEAR THE INTERIOR EDGE OF CLEARING LIMITS, THE CONTRACTOR SHALL CUT 2-FT DEEP TRENCHES ALONG THE LIMITS OF DISTURBANCE, SO AS TO CUT, RATHER THAN TEAR ROOTS.
- PRIOR TO DEMOLISHING EXISTING STRUCTURES, MAKE AN INSPECTION FOR ANY HAZARDOUS MATERIALS. CONTACT ARCHITECT IMMEDIATELY IF ANY HAZARDOUS MATERIALS ARE DISCOVERED. CAP AND REMOVE UTILITY SERVICES, FUEL TANKS AND SEPTIC SYSTEMS. ALL WORK TO BE PERFORMED IN ACCORDANCE WITH APPLICABLE FEDERAL, STATE AND LOCAL REGULATIONS.
- VERIFY ALL ILLUSTRATED UNDERGROUND ELEMENTS/UTILITIES. EXERCISE REASONABLE EFFORTS TO PROTECT ANY UNKNOWN UNDERGROUND ELEMENTS/UTILITIES. NOTIFY THE ARCHITECT IMMEDIATELY IF UNKNOWN ELEMENTS/UTILITIES ARE DISCOVERED THAT WOULD NECESSITATE MODIFICATION TO THE PROPOSED DESIGN.
- CONTACT UTILITY LOCATING SERVICE AT LEAST 48-HRS PRIOR TO EXCAVATION.
- PROTECT ALL ADJACENT PROPERTIES, THE GENERAL PUBLIC AND ALL OF THE OWNER'S FACILITIES. SHOULD DAMAGES OCCUR, REPAIR IMMEDIATELY AS DIRECTED BY THE ARCHITECT.
- ALL CONSTRUCTION TO BE IN ACCORDANCE WITH ALL CITY OF RALEIGH AND/OR NCDOT STANDARDS AND SPECIFICATIONS.
- ALL EXISTING VAULTS, MANHOLES, STORM DRAIN STRUCTURES, CLEANOUTS, ETC. SHALL BE ADJUSTED AS NEEDED TO MATCH FINISH GRADE.
- DEMOLITION AND PATCHING OF PAVEMENT, SIDEWALK, CURB AND GUTTER AND OTHER EXISTING PAVED SURFACES IN ADDITION TO THAT INDICATED ON THIS PLAN SHALL BE PERFORMED AS REQUIRED TO CONSTRUCT AND INSTALL NEW UTILITIES. ALL SUCH DEMOLITION AND PATCHING SHALL BE INCLUDED IN THE BASE BID SCOPE OF WORK. SEE SHEET ... FOR PAVEMENT REPAIR DETAILS.
- THIS SITE IS NOT LOCATED WITHIN SPECIAL FLOOD HAZARD AREAS AS DETERMINED BY FEMA AND DEPICTED ON F.I.R.M. MAP 3720079500, DATED MAY 2, 2006.
- NO WORK SHALL BE PERFORMED ON RIGHT-OF-WAYS OR ADJACENT PROPERTIES UNTIL THE OWNER NOTIFIES CONTRACTOR IN WRITING OF PROCUREMENT OF APPROPRIATE PERMITS, EASEMENTS, AGREEMENTS, OR RIGHTS-OF-WAY.

EXISTING VEGETATION AND NATURAL AREAS WILL BE PROTECTED TO THE GREATEST EXTENT POSSIBLE. MINIMUM CLEARING OF THE LAND SHALL BE UNDERTAKEN DURING DEVELOPMENT.

KEY NOTES

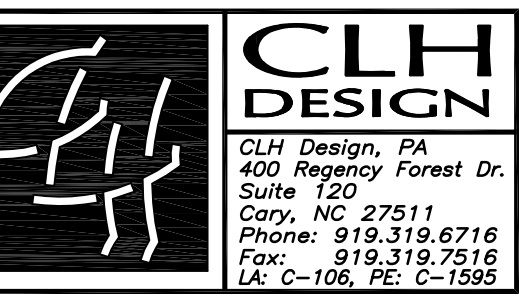
- (A) TEMPORARY TREE PROTECTION FENCE, SEE DETAIL SHEET C07.01.
- (B) CLEAR AND GRUB, STRIP TOPSOIL WITHIN CONSTRUCTION LIMITS.
- (C) REMOVE STRUCTURE/UTILITY.
- (D) EXISTING UTILITY LINE/STRUCTURE TO BE REMOVED/RELOCATED BY LOCAL UTILITY COMPANY. LOCAL UTILITY COMPANY SHALL DETERMINE THE LIMITS AND EXTENT OF REMOVAL/RELOCATION OF UTILITIES REQUIRED FOR NEW CONSTRUCTION. COORDINATE SCHEDULE AND WORK WITH LOCAL UTILITY COMPANY AND ARCHITECT/OWNER.
- (E) REMOVE FENCE.
- (F) SALVAGE AND RETURN TO OWNER.
- (G) CAP AND ABANDON UTILITY IN ACCORDANCE WITH SPECIFICATIONS.
- (H) TEMPORARY CONSTRUCTION FENCING, SEE DETAIL SHEET ...
- (I) DISASSEMBLE EXISTING PLAY EQUIPMENT AND PLACE ON PALETTES FOR REMOVAL BY OWNER.
- (J) SALVAGE ALL COURTYARD MATERIALS AND RETURN TO OWNER.
- (K) SALVAGE WOOD FOR SITE FURNISHINGS. SEE DETAIL SHEETS AND SPECIFICATIONS FOR MORE INFORMATION.

GRAPHIC SCALE



STOUGH ELEMENTARY SCHOOL

4210 EDWARDS MILL ROAD
RALEIGH, NORTH CAROLINA 27612



LS3P

434 FAYETTEVILLE STREET SUITE 1700
RALEIGH, NORTH CAROLINA 27601
TEL. 919.829.2700 FAX 919.829.2730
WWW.LS3P.COM

NOT FOR CONSTRUCTION

MEMBERS OF THE AMERICAN INSTITUTE OF ARCHITECTS
COPYRIGHT 2018 ALL RIGHTS RESERVED
PRINTED OR ELECTRONIC DRAWINGS AND DOCUMENTATION MAY NOT BE REPRODUCED IN ANY FORM WITHOUT WRITTEN PERMISSION FROM LS3P ASSOCIATES LTD.

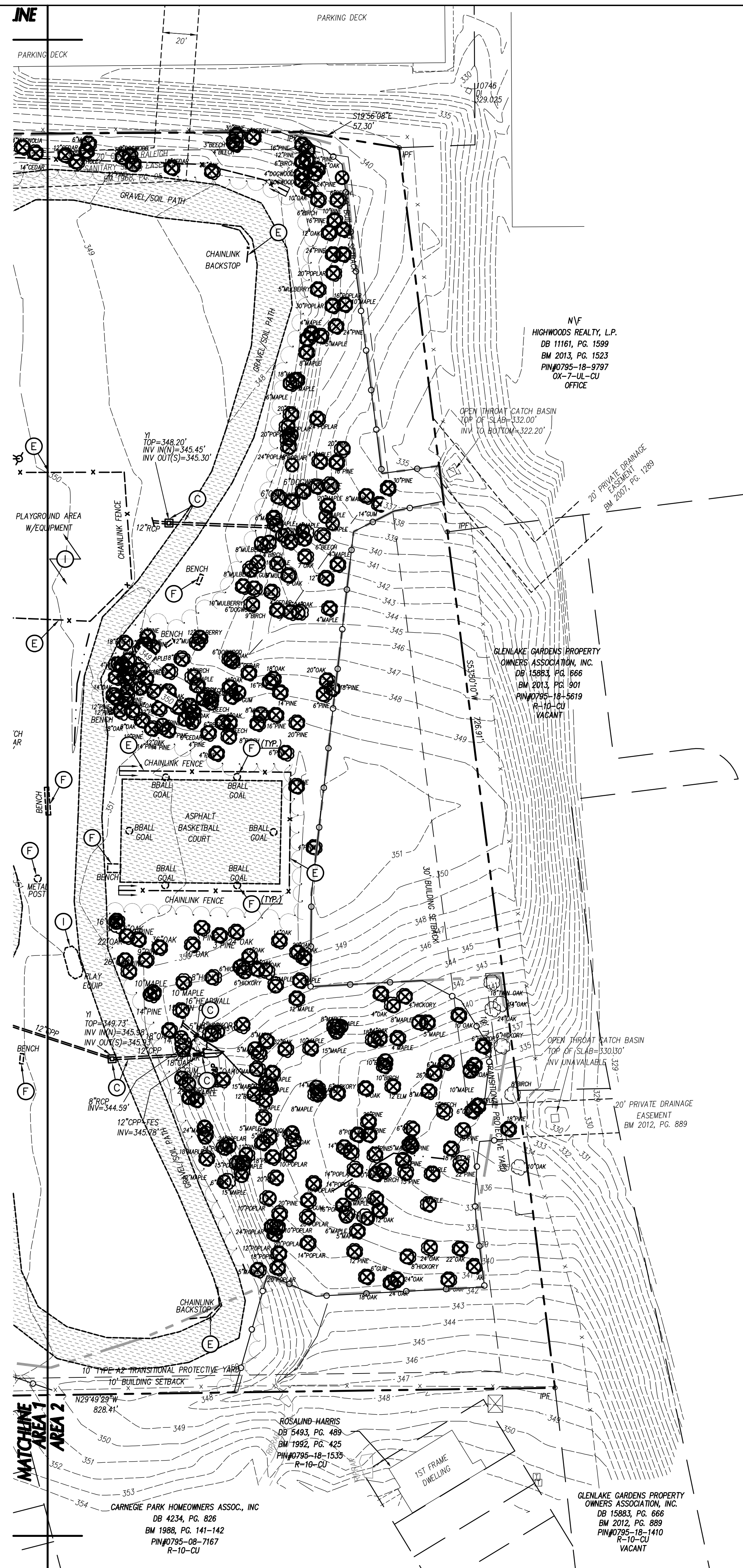
REVISIONS:

No.	Description	Date

PROJECT: LS3P: 8401-137000
CLH:15-169
DATE: October 01, 2018
DRAWN BY: KMD
CHECKED BY: KMD

EXISTING CONDITIONS AND DEMOLITION PLAN - AREA 1

C-02.01



LEGEND

STRUCTURES/UTILITIES TO BE REMOVED	STRUCTURES/UTILITIES TO REMAIN
OVERHEAD ELECTRICAL ----- E -----	OVERHEAD ELECTRICAL ----- E -----
UNDERGROUND ELECTRICAL ----- UE -----	UNDERGROUND ELECTRICAL ----- UE -----
FIRE PROTECTION ----- FP -----	FIRE PROTECTION ----- FP -----
GAS ----- G -----	GAS ----- G -----
SANITARY SEWER ----- SS -----	SANITARY SEWER ----- SS -----
TELEPHONE ----- T -----	TELEPHONE ----- T -----
UNDERGROUND TELEPHONE ----- UT -----	UNDERGROUND TELEPHONE ----- UT -----
FIBER OPTIC ----- FO -----	FIBER OPTIC ----- FO -----
WATER ----- W -----	WATER ----- W -----
FORCE MAIN ----- FM -----	FORCE MAIN ----- FM -----
STORM DRAIN ----- S -----	STORM DRAIN ----- S -----
FENCE ----- X -----	FENCE ----- X -----
INDIVIDUAL TREE TO BE REMOVED. (Symbol: Tree with X)	INDIVIDUAL TREE TO REMAIN. (Symbol: Tree)
LIGHT POLE (Symbol: LP)	LIGHT POLE (Symbol: LP)
UTILITY POLE (Symbol: PP)	UTILITY POLE (Symbol: PP)
MANHOLE (Symbol: MH)	MANHOLE (Symbol: MH)
CLEAN OUT (Symbol: CO)	CLEAN OUT (Symbol: CO)
DROP INLET, CATCH BASIN (Symbol: DI, CB)	DROP INLET, CATCH BASIN (Symbol: DI, CB)
FIRE HYDRANT (Symbol: FH)	FIRE HYDRANT (Symbol: FH)
WATER VALVE (Symbol: WV)	WATER VALVE (Symbol: WV)
CABLE BOX (Symbol: CB)	CABLE BOX (Symbol: CB)

CONSTR./CLEARING LIMITS: Dashed line with 'X' markers
 TREE PROTECTION FENCE: Dashed line with 'X' markers
 PAVEMENT, S/W AND C&G TO BE REMOVED: Stippled area
 BUILDING/STRUCTURE TO BE REMOVED: Hatched area
 ARCHITECTURAL PLANS: Solid line with 'X' markers

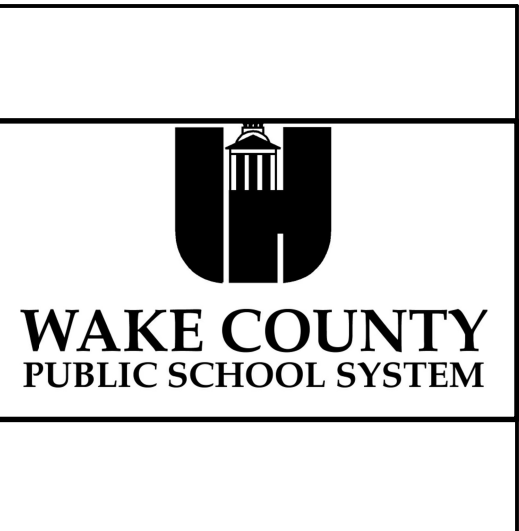
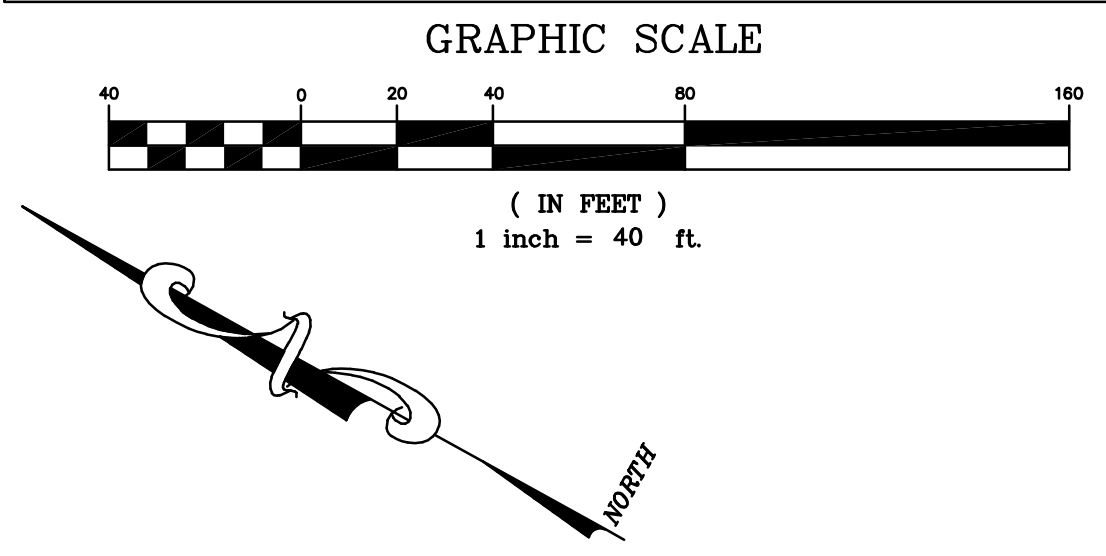
GENERAL NOTES-EXIST. CONDITIONS/DEMO

- ALL EXISTING STRUCTURES AND UTILITIES SHALL BE REMOVED AS NEEDED TO ALLOW NEW CONSTRUCTION. IN GENERAL, FEATURES INDICATED IN BOLD ON THIS PLAN SHALL BE REMOVED.
- ALL PAVEMENT OR CONCRETE TO BE REMOVED SHALL BE SAW CUT TO PROVIDE A STRAIGHT AND UNIFORM JOINT FOR NEW PAVEMENT, SIDEWALK, OR CURB AND GUTTER, ETC. ANY EXISTING PAVEMENT, SIDEWALK, CURB AND GUTTER, ETC. THAT MUST BE REMOVED TO ALLOW NEW CONSTRUCTION SHALL BE REMOVED AND REPAIRED PER THE SPECIFICATIONS AND DETAILS OR TO MATCH PRE-CONSTRUCTION CONDITIONS (WHETHER OR NOT SHOWN ON THE DRAWINGS TO BE REMOVED).
- ALL UTILITIES OR STRUCTURES NOT INDICATED FOR REMOVAL OR MODIFICATION ARE TO REMAIN AND BE PROTECTED FROM DAMAGE.
- ALL WASTE MATERIAL GENERATED FROM DEMOLITION ACTIVITIES SHALL BE DISPOSED OF OFF-SITE IN ACCORDANCE WITH ALL APPLICABLE RULES AND REGULATIONS.
- EXISTING SITE BOUNDARY AND TOPOGRAPHIC SURVEY INFORMATION WAS TAKEN FROM SURVEY BY MCKIM & CREED, PERFORMED APRIL 25, 2016. THESE PLANS DO NOT ASSUME ANY LIABILITY FOR ANY EXISTING INFORMATION BOTH SHOWN AND NOT SHOWN ON THE SURVEY AND ANY CHANGES TO THE EXISTING CONDITIONS THAT MAY HAVE OCCURRED AFTER THE SURVEY WAS ISSUED. CONTRACTOR SHALL VERIFY ALL EXISTING SITE CONDITIONS PRIOR TO CONSTRUCTION.
- INSTALL TREE PROTECTION FENCING PRIOR TO BEGINNING CLEARING OPERATIONS. CLEAR AND GRUB ALL AREAS AS SHOWN AND REQUIRED TO PERMIT INSTALLATION OF NEW CONSTRUCTION PER SPECIFICATIONS AND DRAWINGS. EXISTING TREES, SHRUBS OR OTHER LANDSCAPE MATERIAL WHICH WILL CONFLICT WITH NEW CONSTRUCTION SHALL BE REMOVED (WHETHER OR NOT SHOWN ON THE DRAWINGS). ALL CONTRACTORS SHALL VISIT THE SITE AND OBSERVE EXISTING CONDITIONS PRIOR TO BIDDING.
- TO MINIMIZE DAMAGE TO EXISTING TREES NEAR THE INTERIOR EDGE OF CLEARING LIMITS, THE CONTRACTOR SHALL CUT 2-FT DEEP TRENCHES ALONG THE LIMITS OF DISTURBANCE, SO AS TO CUT, RATHER THAN TEAR ROOTS.
- PRIOR TO DEMOLISHING EXISTING STRUCTURES, MAKE AN INSPECTION FOR ANY HAZARDOUS MATERIALS. CONTACT ARCHITECT IMMEDIATELY IF ANY HAZARDOUS MATERIALS ARE DISCOVERED. CAP AND REMOVE UTILITY SERVICES, FUEL TANKS AND SEPTIC SYSTEMS. ALL WORK TO BE PERFORMED IN ACCORDANCE WITH APPLICABLE FEDERAL, STATE AND LOCAL REGULATIONS.
- VERIFY ALL ILLUSTRATED UNDERGROUND ELEMENTS/UTILITIES. EXERCISE REASONABLE EFFORTS TO PROTECT ANY UNKNOWN UNDERGROUND ELEMENTS/UTILITIES. NOTIFY THE ARCHITECT IMMEDIATELY IF UNKNOWN ELEMENTS/UTILITIES ARE DISCOVERED THAT WOULD NECESSITATE MODIFICATION TO THE PROPOSED DESIGN.
- CONTACT UTILITY LOCATING SERVICE AT LEAST 48-HRS PRIOR TO EXCAVATION.
- PROTECT ALL ADJACENT PROPERTIES, THE GENERAL PUBLIC AND ALL OF THE OWNER'S FACILITIES. SHOULD DAMAGES OCCUR, REPAIR IMMEDIATELY AS DIRECTED BY THE ARCHITECT.
- ALL CONSTRUCTION TO BE IN ACCORDANCE WITH ALL CITY OF RALEIGH AND/OR NCDOT STANDARDS AND SPECIFICATIONS.
- ALL EXISTING VAULTS, MANHOLES, STORM DRAIN STRUCTURES, CLEANOUTS, ETC. SHALL BE ADJUSTED AS NEEDED TO MATCH FINISH GRADE.
- DEMOLITION AND PATCHING OF PAVEMENT, SIDEWALK, CURB AND GUTTER AND OTHER EXISTING PAVED SURFACES IN ADDITION TO THAT INDICATED ON THIS PLAN SHALL BE PERFORMED AS REQUIRED TO CONSTRUCT AND INSTALL NEW UTILITIES. ALL SUCH DEMOLITION AND PATCHING SHALL BE INCLUDED IN THE BASE BID SCOPE OF WORK. SEE SHEET ... FOR PAVEMENT REPAIR DETAILS.
- THIS SITE IS NOT LOCATED WITHIN SPECIAL FLOOD HAZARD AREAS AS DETERMINED BY FEMA AND DEPICTED ON F.I.R.M. MAP 3720079500L, DATED MAY 2, 2006.
- NO WORK SHALL BE PERFORMED ON RIGHT-OF-WAYS OR ADJACENT PROPERTIES UNTIL THE OWNER NOTIFIES CONTRACTOR IN WRITING OF PROCUREMENT OF APPROPRIATE PERMITS, EASEMENTS, AGREEMENTS, OR RIGHTS-OF-WAY.

EXISTING VEGETATION AND NATURAL AREAS WILL BE PROTECTED TO THE GREATEST EXTENT POSSIBLE. MINIMUM CLEARING OF THE LAND SHALL BE UNDERTAKEN DURING DEVELOPMENT.

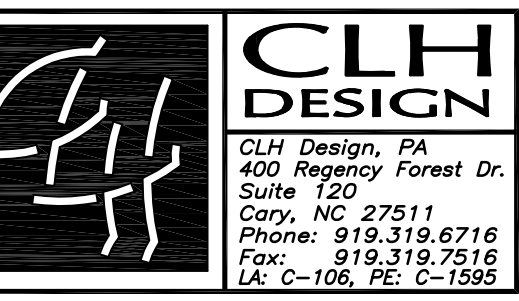
KEY NOTES

- (A) TEMPORARY TREE PROTECTION FENCE, SEE DETAIL SHEET 007.01.
- (B) CLEAR AND GRUB, STRIP TOPSOIL WITHIN CONSTRUCTION LIMITS.
- (C) REMOVE STRUCTURE/UTILITY.
- (D) EXISTING UTILITY LINE/STRUCTURE TO BE REMOVED/RELOCATED BY LOCAL UTILITY COMPANY. LOCAL UTILITY COMPANY SHALL DETERMINE THE LIMITS AND EXTENT OF REMOVAL/RELOCATION OF UTILITIES REQUIRED FOR NEW CONSTRUCTION. COORDINATE SCHEDULE AND WORK WITH LOCAL UTILITY COMPANY AND ARCHITECT/OWNER.
- (E) REMOVE FENCE.
- (F) SALVAGE AND RETURN TO OWNER.
- (G) CAP AND ABANDON UTILITY IN ACCORDANCE WITH SPECIFICATIONS.
- (H) TEMPORARY CONSTRUCTION FENCING, SEE DETAIL SHEET ...
- (I) DISASSEMBLE EXISTING PLAY EQUIPMENT AND PLACE ON PALETTES FOR REMOVAL BY OWNER.
- (J) SALVAGE ALL COURTYARD MATERIALS AND RETURN TO OWNER.
- (K) SALVAGE WOOD FOR SITE FURNISHINGS. SEE DETAIL SHEETS AND SPECIFICATIONS FOR MORE INFORMATION.



STOUGH ELEMENTARY SCHOOL

4210 EDWARDS MILL ROAD
 RALEIGH, NORTH CAROLINA 27612



LS3P

434 FAYETTEVILLE STREET SUITE 1700
 RALEIGH, NORTH CAROLINA 27601
 TEL. 919.829.2700 FAX 919.829.2730
 WWW.LS3P.COM

NOT FOR CONSTRUCTION

MEMBERS OF THE AMERICAN INSTITUTE OF ARCHITECTS

COPYRIGHT 2018 ALL RIGHTS RESERVED
 PRINTED OR ELECTRONIC DRAWINGS AND DOCUMENTATION MAY NOT BE REPRODUCED IN ANY FORM WITHOUT WRITTEN PERMISSION FROM LS3P ASSOCIATES LTD.

REVISIONS:

No.	Description	Date

PROJECT: LS3P: 8401-137000
 CLH: 15-169

DATE: October 01, 2018

DRAWN BY: KMD

CHECKED BY: KMD

EXISTING CONDITIONS AND DEMOLITION PLAN - AREA 2

C-02.02

MATCHLINE
AREA 3
AREA 1

MATCHLINE
AREA 3
AREA 1

GENERAL NOTES-UTILITY

- ALL CONSTRUCTION SHALL BE IN ACCORDANCE WITH ALL CITY OF RALEIGH AND NCDOT STANDARDS, SPECIFICATIONS AND DETAILS.
- INSTALL WATERMANS WITH A COVER OF NO LESS THAN 3'-FT.
- INSTALL SEWER MAINS WITH A COVER OF NO LESS THAN 3'-FT TO FINISH GRADE IN NON-TRAFFIC AREAS, 4'-FT TO FINISH GRADE IN TRAFFIC AREAS.
- INSTALL ALL UTILITIES TO PROVIDE REQUIRED CLEARANCES AS INDICATED IN THE SPECIFICATIONS.
- WATERLINES AND SEWER MAINS SHALL BE INSTALLED WITH A MINIMUM HORIZONTAL CLEARANCE OF 10'-FT.
- SEWER MAINS SHALL BE INSTALLED WITH A MINIMUM VERTICAL CLEARANCE OF 24"-IN TO STORM DRAINAGE PIPES.
- COORDINATE AND SCHEDULE INSTALLATION OF ALL UTILITIES WITH OTHER PRIME CONTRACTORS, UTILITY COMPANIES AND OTHER TRADES INCLUDING BUT NOT LIMITED TO: NATURAL GAS, ELECTRICITY, TELEPHONE AND CATV.
- VERIFY EXISTING CONDITIONS AND CONNECTIONS TO EXISTING UTILITIES PRIOR TO CONSTRUCTION. NOTIFY ARCHITECT IF ANY DISCREPANCIES ARE DISCOVERED.
- CONTRACTOR IS RESPONSIBLE FOR ALL DAMAGES DURING CONSTRUCTION AND SHALL MAKE REPAIRS AT NO EXPENSE TO THE OWNER.
- ALL CONSTRUCTION SHALL COMPLY WITH ALL APPLICABLE NCSBC AND OSHA REQUIREMENTS.
- THE CONTRACTOR SHALL PROVIDE AN AS-BUILT SURVEY OF ALL UTILITY AND STORM DRAINAGE IMPROVEMENTS FOLLOWING CONSTRUCTION.
- CONTRACTOR SHALL PHASE DEMOLITION AND NEW CONSTRUCTION TO ENSURE UNINTERRUPTED ACCESS AND UTILITY SERVICE TO ADJACENT FACILITIES. COORDINATE SHORT-TERM, OFF-HOUR, TEMPORARY SHUT-DOWNS WITH THE OWNER.
- SEE GENERAL NOTES ON EXISTING CONDITIONS AND DEMOLITION PLAN FOR REQUIREMENTS FOR REMOVAL AND PATCHING OF PAVEMENT FOR UTILITY INSTALLATION.
- ALL ROOF DRAINS SHALL BE 6" PVC (SCH 40) @ 1.04% MIN. SLOPE UNLESS INDICATED OTHERWISE. USE DUCTILE IRON WHEN COVER IS LESS THAN 24"-IN.
- ALL SANITARY SEWER SERVICES SHALL BE 4" PVC (SCH 40) @ 0.104% MIN. SLOPE UNLESS INDICATED OTHERWISE. USE DUCTILE IRON WHEN COVER IS LESS THAN 24"-IN.
- ALL CONDENSATE LINES SHALL BE CONNECTED TO STORM DRAINAGE SYSTEM.
- NO WORK SHALL BE PERFORMED ON RIGHT-OF-WAYS OR ADJACENT PROPERTIES UNTIL THE OWNER NOTIFIES CONTRACTOR IN WRITING OF PROCUREMENT OF APPROPRIATE PERMITS, EASEMENTS, AGREEMENTS, OR RIGHTS-OF-WAY.
- AS PER SECTION 7.4 OF THE CITY OF RALEIGH UDO, THE INSTALLATION OF SITE LIGHTING, MOUNTING OR FIXTURE LOCATION SHALL BE MADE IN STRICT COMPLIANCE OF THE UDO.

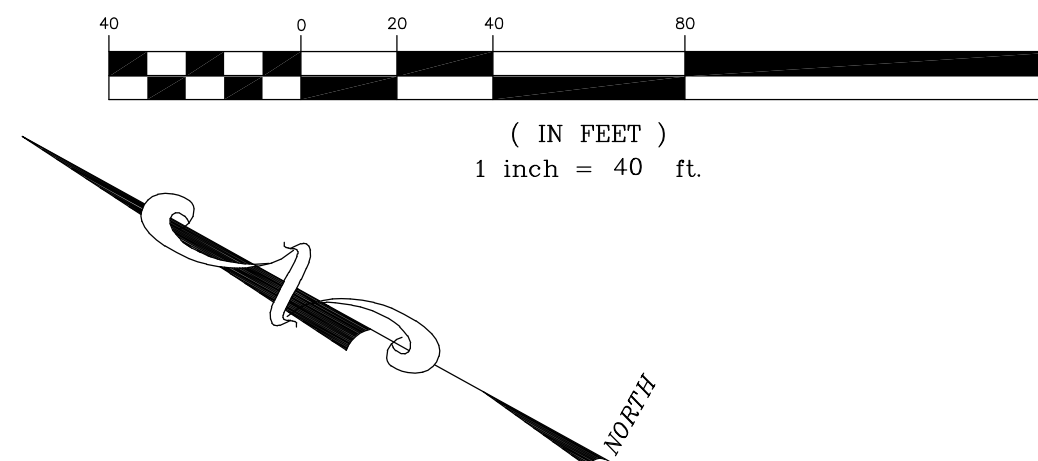
LEGEND

	EXISTING	PROPOSED
CONDENSATE DRAIN	---	CD
ELECTRICAL (OVERHEAD)	---	E
ELECTRICAL (UNDERGROUND)	---	UE
FIBER OPTIC	---	FO
FIRE PROTECTION	---	FP
FORCE MAIN (SEWER)	---	FM
FOUNDATION DRAIN CONNECTOR	---	FD
GAS	---	G
ROOF DRAIN	---	RD
SANITARY SEWER	---	SS
STORM DRAIN	---	SD
TELEPHONE (OVERHEAD)	---	T
TELEPHONE (UNDERGROUND)	---	UT
WATER	---	W
LIGHT POLE	☆	☆
UTILITY POLE	⊙	⊙
MANHOLE	⊙	⊙
CLEAN OUT	⊙	⊙
DROP INLET/CATCH BASIN, POND OUTLET	□	□
HEAD WALL	—	—
FIRE HYDRANT	⊙	⊙
WATER VALVE	⊙	⊙
POST INDICATOR VALVE (PIV)	⊙	⊙
FIRE DEPARTMENT CONNECTION (FDC)	⊙	⊙
THRUST BLOCKING	⊙	⊙
SANITARY SEWER STRUCTURE I.D.	3	8
STORM DRAINAGE STRUCTURE I.D.		

KEY NOTES

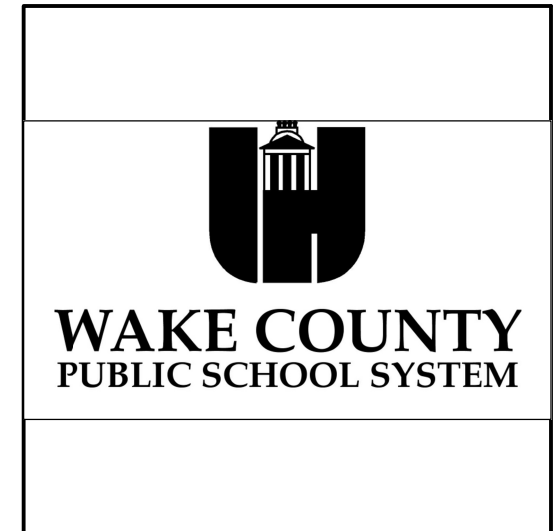
- FIRE HYDRANT ASSEMBLY
- EXISTING 3" WATER METER TO REMAIN. WATER METER VAULT SHALL BE RAISED TO MATCH FINAL GRADES
- GATE VALVE AND VALVE BOX
- 3" WALKINS 375 REDUCED PRESSURE BACKFLOW ASSEMBLY (RPA) OR APPROVED EQUAL WITHIN ABOVE GROUND HEATED ENCLOSURE
- 8" WALKINS 375DA REDUCED PRESSURE DETECTOR ASSEMBLY (RPDA) OR APPROVED EQUAL WITHIN ABOVE GROUND HEATED ENCLOSURE
- EXTEND WATER MAIN TO 12"-IN ABOVE FINISH FLOOR FOR FIRE PROTECTION/PLUMBING CONNECTION TO FIRE PROTECTION/PLUMBING PLANS FOR EXACT LOCATION.
- FIRE DEPARTMENT CONNECTION
- POST INDICATOR VALVE W/ TAMPER SWITCH
- SANITARY SEWER MANHOLE
- SANITARY SEWER CLEANOUT
- GREASE TRAP BY P.C.
- GAS SERVICE BY PSNC.
- EXTEND UTILITY TO WITHIN 5'-0" OF BUILDING WALL OR AS INDICATED ON PLUMBING PLANS. REFER TO PLUMBING PLANS FOR LOCATION AND INVERTS.
- NOT USED
- TAPPING SLEEVE AND VALVE.
- 3" X 4" INCREASER.
- SITE LIGHT POLE BY DUKE ENERGY. COORDINATE INSTALLATION & SCHEDULE WITH LOCAL UTILITY COMPANY. CONTRACTOR TO RESEED AREAS DISTURBED BY LOCAL UTILITY COMPANY.
- 14" BORE AND JACK IN STEEL ENCASMENT PIPE.
- THRUST BLOCKING, TYP. SEE DETAIL SHEET C07.06.
- 8" X 6" REDUCER.

GRAPHIC SCALE



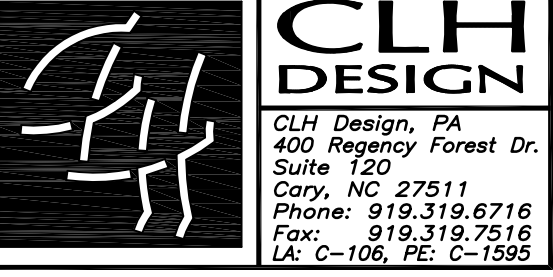
MATCHLINE
AREA 1
AREA 4

MATCHLINE
AREA 1
AREA 2



**STOUGH
ELEMENTARY
SCHOOL**

4210 EDWARDS MILL ROAD
RALEIGH, NORTH CAROLINA 27612



LS3P

434 FAYETTEVILLE STREET SUITE 1700
RALEIGH, NORTH CAROLINA 27601
TEL. 919.829.2700 FAX 919.829.2730
WWW.LS3P.COM

NOT
FOR
CONSTRUCTION

MEMBERS OF THE AMERICAN INSTITUTE OF ARCHITECTS
COPYRIGHT 2018 ALL RIGHTS RESERVED
PRINTED OR ELECTRONIC DRAWINGS AND
DOCUMENTATION MAY NOT BE REPRODUCED
IN ANY FORM WITHOUT WRITTEN PERMISSION
FROM LS3P ASSOCIATES LTD.

REVISIONS:

No.	Description	Date

PROJECT: LS3P: 8401-137000
CLH:15-169

DATE: October 01, 2018

DRAWN BY: KMD

CHECKED BY: KMD

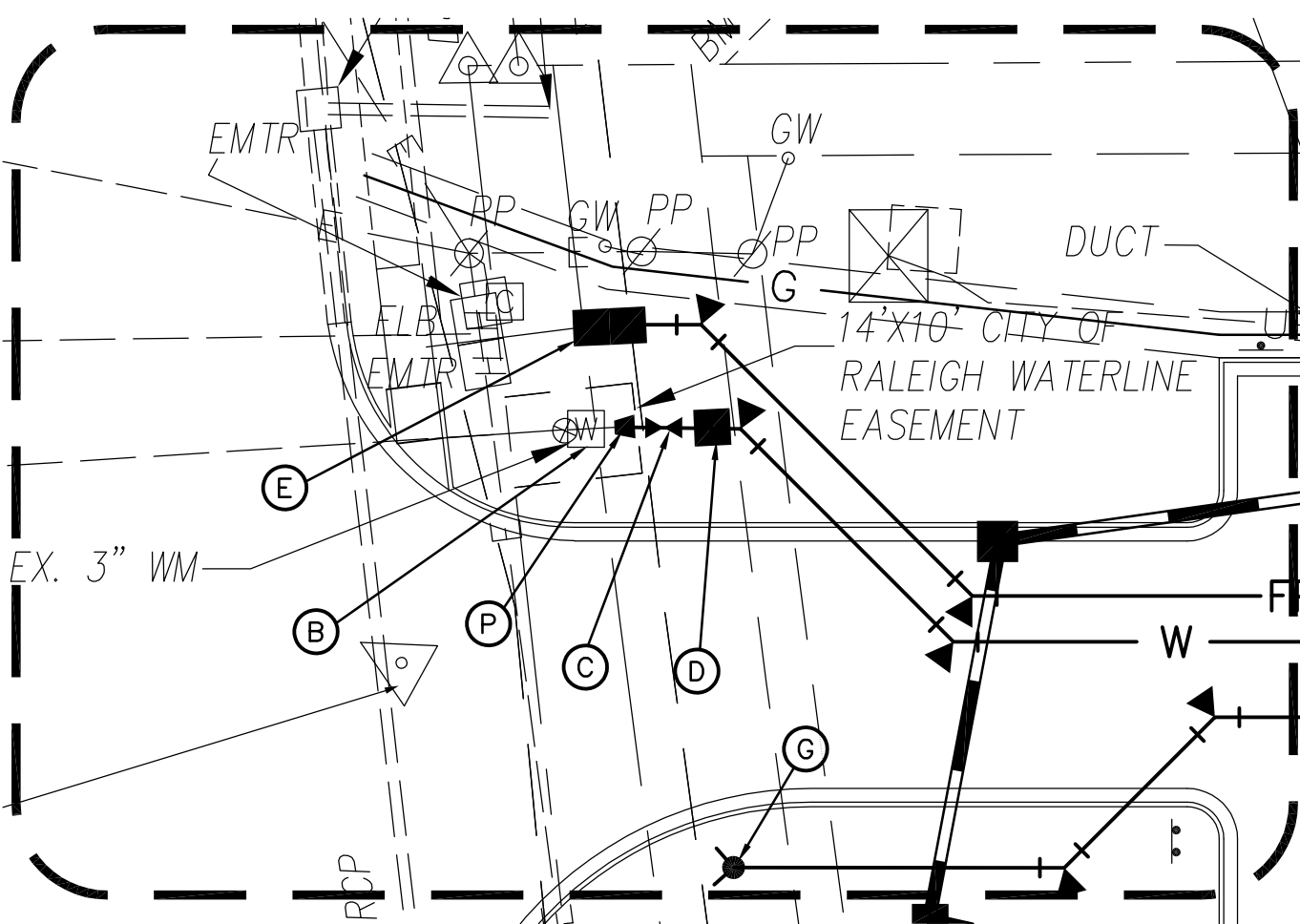
**UTILITY PLAN -
AREA 1**

C-05.01

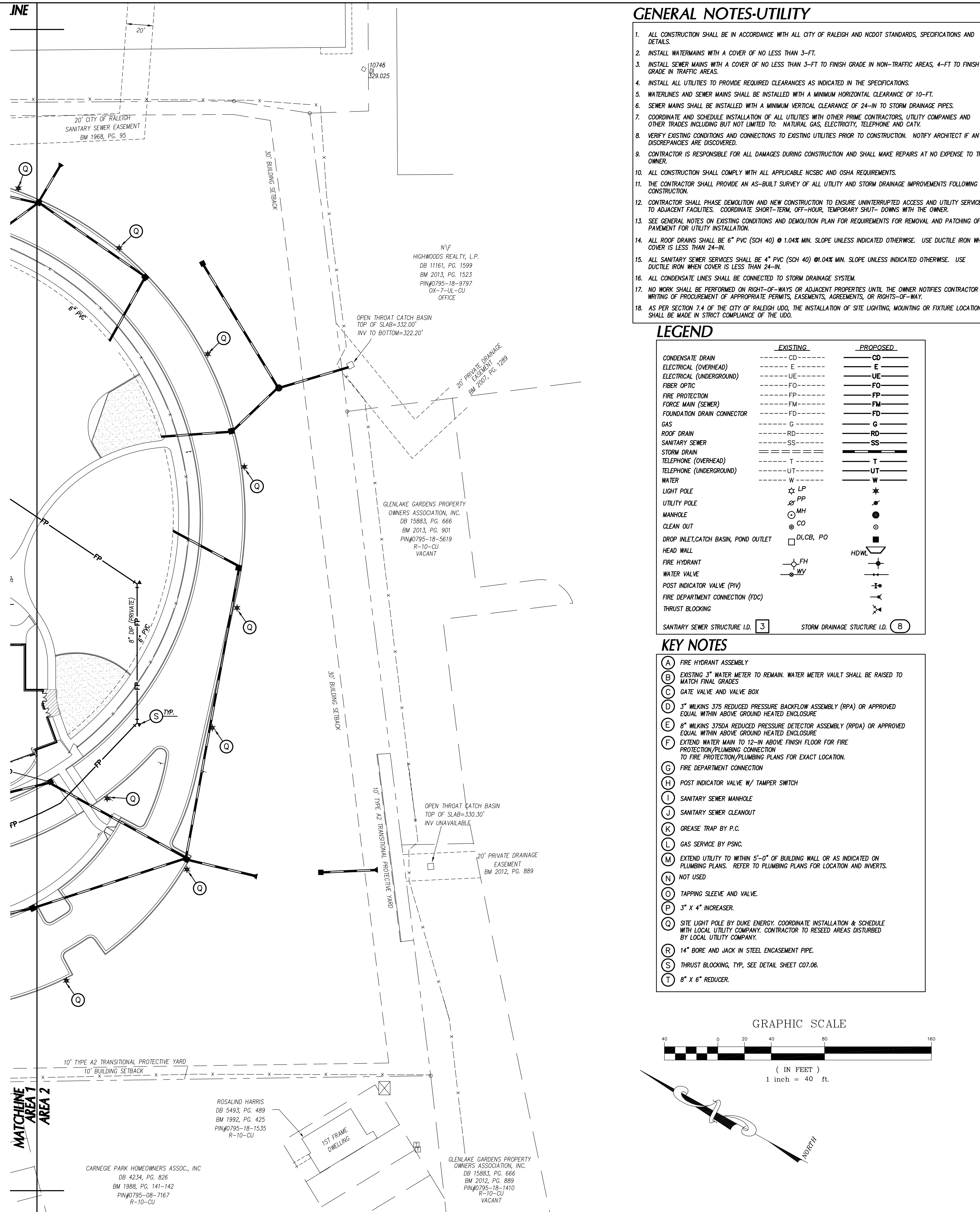
ASR #5

STANDARD CITY OF RALEIGH UTILITY NOTES

- ALL MATERIALS & CONSTRUCTION METHODS SHALL BE IN ACCORDANCE WITH CITY OF RALEIGH DESIGN STANDARDS, DETAILS & SPECIFICATIONS (REFERENCE: CORPUD HANDBOOK, CURRENT EDITION)
- UTILITY SEPARATION REQUIREMENTS:
 - A DISTANCE OF 100' SHALL BE MAINTAINED BETWEEN SANITARY SEWER & ANY PRIVATE OR PUBLIC WATER SUPPLY SOURCE SUCH AS AN IMPONDED RESERVOIR USED AS A SOURCE OF DRINKING WATER. IF ADEQUATE LATERAL SEPARATION CANNOT BE ACHIEVED, FERROUS SANITARY SEWER PIPE SHALL BE SPECIFIED & INSTALLED TO WATERLINE SPECIFICATIONS. HOWEVER, THE MINIMUM SEPARATION SHALL NOT BE LESS THAN 25' FROM A PRIVATE WELL OR 50' FROM A PUBLIC WELL.
 - WHEN INSTALLING WATER &/OR SEWER MAINS, THE HORIZONTAL SEPARATION BETWEEN UTILITIES SHALL BE 10'. IF THIS SEPARATION CANNOT BE MAINTAINED DUE TO EXISTING CONDITIONS, THE VARIATION ALLOWED IS THE WATER MAIN IN A SEPARATE TRENCH WITH THE ELEVATION OF THE WATER MAIN AT LEAST 18" ABOVE THE TOP OF THE SEWER & MUST BE APPROVED BY THE PUBLIC UTILITIES DIRECTOR. ALL DISTANCES ARE MEASURED FROM OUTSIDE DIAMETER TO OUTSIDE DIAMETER.
 - WHERE IT IS IMPOSSIBLE TO OBTAIN PROPER SEPARATION, OR ANYTIME A SANITARY SEWER PASSES OVER A WATERMAIN, DIP MATERIALS OR STEEL ENCASUREMENT EXTENDED 10' ON EACH SIDE OF CROSSING MUST BE SPECIFIED & INSTALLED TO WATERLINE SPECIFICATIONS.
 - 5.0' MINIMUM HORIZONTAL SEPARATION IS REQUIRED BETWEEN ALL SANITARY SEWER & STORM SEWER FACILITIES, UNLESS DIP MATERIAL IS SPECIFIED FOR SANITARY SEWER.
 - MAINTAIN 18" MIN. VERTICAL SEPARATION AT ALL WATERMAIN & RCP STORM DRAIN CROSSINGS. MAINTAIN 24" MIN. VERTICAL SEPARATION AT ALL SANITARY SEWER & RCP STORM DRAIN CROSSINGS. WHERE ADEQUATE SEPARATIONS CANNOT BE ACHIEVED, SPECIFY DIP MATERIALS & A CONCRETE CRADLE HAVING 6" MIN. CLEARANCE (PER CORPUD DETAILS W-41 & S-49)
 - ALL OTHER UNDERGROUND UTILITIES SHALL CROSS WATER & SEWER FACILITIES WITH 18" MIN. VERTICAL SEPARATION REQUIRED.
- ANY NECESSARY FIELD REVISIONS ARE SUBJECT TO REVIEW & APPROVAL OF AN AMENDED PLAN &/OR PROFILE BY THE CITY OF RALEIGH PUBLIC UTILITIES DEPARTMENT PRIOR TO CONSTRUCTION.
- CONTRACTOR SHALL MAINTAIN CONTINUOUS WATER & SEWER SERVICE TO EXISTING RESIDENCES & BUSINESSES THROUGHOUT CONSTRUCTION OF PROJECT. ANY NECESSARY SERVICE INTERRUPTIONS SHALL BE PRECEDED BY A 24 HOUR ADVANCE NOTICE TO THE CITY OF RALEIGH PUBLIC UTILITIES DEPARTMENT.
- 3.0 MINIMUM COVER IS REQUIRED ON ALL WATER MAINS & SEWER FORCE MAINS. 4.0 MINIMUM COVER IS REQUIRED ON ALL REUSE MAINS.
- IT IS THE DEVELOPER'S RESPONSIBILITY TO ABANDON OR REMOVE EXISTING WATER & SEWER SERVICES NOT BEING USED IN REDEVELOPMENT OF A SITE, UNLESS OTHERWISE DIRECTED BY THE CITY OF RALEIGH PUBLIC UTILITIES DEPARTMENT. THIS INCLUDES ABANDONING TAP AT MAIN & REMOVAL OF SERVICE FROM ROW OR EASEMENT PER CORPUD HANDBOOK PROCEDURE.
- INSTALL 4" PVC WATER SERVICES WITH METERS LOCATED AT ROW OR WITHIN A 2'X2' WATERLINE EASEMENT IMMEDIATELY ADJACENT. NOTE: IT IS THE APPLICANT'S RESPONSIBILITY TO PROPERLY SIZE THE WATER SERVICE FOR EACH CONNECTION TO PROVIDE ADEQUATE FLOW & PRESSURE.
- INSTALL 4" PVC SEWER SERVICES @ 1.0% MINIMUM GRADE WITH CLEANOUTS LOCATED AT ROW OR EASEMENT LINE & SPACED EVERY 75' LINEAR FEET MAXIMUM.
- PRESSURE REDUCING VALVES ARE REQUIRED ON ALL WATER SERVICES EXCEEDING 80 PSI; BACKWATER VALVES ARE REQUIRED ON ALL SANITARY SEWER SERVICES HAVING BUILDING DRAINS LOWER THAN 1.0' ABOVE THE NEXT UPSTREAM MANHOLE.
- ALL ENVIRONMENTAL PERMITS APPLICABLE TO THE PROJECT MUST BE OBTAINED FROM NCDOW, USACE &/OR FEMA FOR ANY RIPARIAN BUFFER, WETLAND &/OR FLOODPLAIN IMPACTS (RESPECTIVELY) PRIOR TO CONSTRUCTION.
- NCDOT / RAILROAD ENCROACHMENT AGREEMENTS ARE REQUIRED FOR ANY UTILITY WORK (INCLUDING MAIN EXTENSIONS & SERVICE TAPS) WITHIN STATE OR RAILROAD ROW PRIOR TO CONSTRUCTION.
- GREASE INTERCEPTOR / OIL WATER SEPARATOR SIZING CALCULATIONS & INSTALLATION SPECIFICATIONS SHALL BE APPROVED BY THE CORPUD FOG PROGRAM COORDINATOR PRIOR TO ISSUANCE OF A BUILDING PERMIT. CONTACT STEPHEN CALVERLY AT (919) 996-2334 OR STEPHEN.CALVERLY@RALEIGH.GOV FOR MORE INFORMATION.
- CROSS-CONNECTION CONTROL PROTECTION DEVICES ARE REQUIRED BASED ON DEGREE OF HEALTH HAZARD INVOLVED AS LISTED IN APPENDIX-B OF THE RULES GOVERNING PUBLIC WATER SYSTEMS IN NORTH CAROLINA. THESE GUIDELINES ARE THE MINIMUM REQUIREMENTS. THE DEVICES SHALL MEET AMERICAN SOCIETY OF SANITARY ENGINEERING (ASSE) STANDARDS OR BE ON THE UNIVERSITY OF SOUTHERN CALIFORNIA APPROVAL LIST. THE DEVICES SHALL BE INSTALLED AND TESTED (BOTH INITIAL AND PERIODIC TESTING THEREAFTER) IN ACCORDANCE WITH THE MANUFACTURER'S RECOMMENDATIONS OR THE LOCAL CROSS-CONNECTION CONTROL PROGRAM, WHICHEVER IS MORE STRINGENT. CONTACT JOANIE HARTLEY AT (919) 996-5923 OR JOANIE.HARTLEY@RALEIGH.GOV FOR MORE INFORMATION.



UTILITY AREA ENLARGEMENT 1" = 20'



GENERAL NOTES-UTILITY

- ALL CONSTRUCTION SHALL BE IN ACCORDANCE WITH ALL CITY OF RALEIGH AND NCDOT STANDARDS, SPECIFICATIONS AND DETAILS.
- INSTALL WATERMANS WITH A COVER OF NO LESS THAN 3'-FT.
- INSTALL SEWER MAINS WITH A COVER OF NO LESS THAN 3'-FT TO FINISH GRADE IN NON-TRAFFIC AREAS, 4'-FT TO FINISH GRADE IN TRAFFIC AREAS.
- INSTALL ALL UTILITIES TO PROVIDE REQUIRED CLEARANCES AS INDICATED IN THE SPECIFICATIONS.
- WATERLINES AND SEWER MAINS SHALL BE INSTALLED WITH A MINIMUM HORIZONTAL CLEARANCE OF 10'-FT.
- SEWER MAINS SHALL BE INSTALLED WITH A MINIMUM VERTICAL CLEARANCE OF 24"-IN TO STORM DRAINAGE PIPES.
- COORDINATE AND SCHEDULE INSTALLATION OF ALL UTILITIES WITH OTHER PRIME CONTRACTORS, UTILITY COMPANIES AND OTHER TRADES INCLUDING BUT NOT LIMITED TO: NATURAL GAS, ELECTRICITY, TELEPHONE AND CATV.
- VERIFY EXISTING CONDITIONS AND CONNECTIONS TO EXISTING UTILITIES PRIOR TO CONSTRUCTION. NOTIFY ARCHITECT IF ANY DISCREPANCIES ARE DISCOVERED.
- CONTRACTOR IS RESPONSIBLE FOR ALL DAMAGES DURING CONSTRUCTION AND SHALL MAKE REPAIRS AT NO EXPENSE TO THE OWNER.
- ALL CONSTRUCTION SHALL COMPLY WITH ALL APPLICABLE NCSBC AND OSHA REQUIREMENTS.
- THE CONTRACTOR SHALL PROVIDE AN AS-BUILT SURVEY OF ALL UTILITY AND STORM DRAINAGE IMPROVEMENTS FOLLOWING CONSTRUCTION.
- CONTRACTOR SHALL PHASE DEMOLITION AND NEW CONSTRUCTION TO ENSURE UNINTERRUPTED ACCESS AND UTILITY SERVICE TO ADJACENT FACILITIES. COORDINATE SHORT-TERM, OFF-HOUR, TEMPORARY SHUT-DOWNS WITH THE OWNER.
- SEE GENERAL NOTES ON EXISTING CONDITIONS AND DEMOLITION PLAN FOR REQUIREMENTS FOR REMOVAL AND PATCHING OF PAVEMENT FOR UTILITY INSTALLATION.
- ALL ROOF DRAINS SHALL BE 6" PVC (SCH 40) @ 1.04% MIN. SLOPE UNLESS INDICATED OTHERWISE. USE DUCTILE IRON WHEN COVER IS LESS THAN 24"-IN.
- ALL SANITARY SEWER SERVICES SHALL BE 4" PVC (SCH 40) @ 0.04% MIN. SLOPE UNLESS INDICATED OTHERWISE. USE DUCTILE IRON WHEN COVER IS LESS THAN 24"-IN.
- ALL CONDENSATE LINES SHALL BE CONNECTED TO STORM DRAINAGE SYSTEM.
- NO WORK SHALL BE PERFORMED ON RIGHT-OF-WAYS OR ADJACENT PROPERTIES UNTIL THE OWNER NOTIFIES CONTRACTOR IN WRITING OF PROCUREMENT OF APPROPRIATE PERMITS, EASEMENTS, AGREEMENTS, OR RIGHTS-OF-WAY.
- AS PER SECTION 7.4 OF THE CITY OF RALEIGH UDO, THE INSTALLATION OF SITE LIGHTING, MOUNTING OR FIXTURE LOCATION SHALL BE MADE IN STRICT COMPLIANCE OF THE UDO.

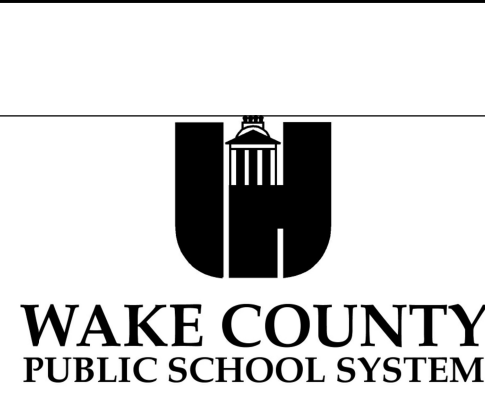
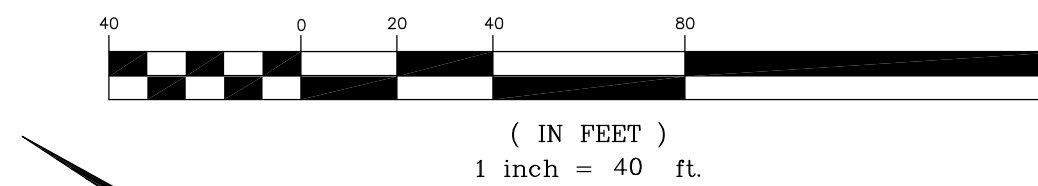
LEGEND

	EXISTING	PROPOSED
CONDENSATE DRAIN	----	CD
ELECTRICAL (OVERHEAD)	---	E
ELECTRICAL (UNDERGROUND)	---	UE
FIBER OPTIC	---	FO
FIRE PROTECTION	---	FP
FORCE MAIN (SEWER)	---	FM
FOUNDATION DRAIN CONNECTOR	---	FD
GAS	---	G
ROOF DRAIN	---	RD
SANITARY SEWER	---	SS
STORM DRAIN	---	SD
TELEPHONE (OVERHEAD)	---	T
TELEPHONE (UNDERGROUND)	---	UT
WATER	---	W
LIGHT POLE	LP	*
UTILITY POLE	UP	*
MANHOLE	MH	○
CLEAN OUT	CO	●
DROP INLET/CATCH BASIN, POND OUTLET	DI, CB, PO	□
HEAD WALL		HWL
FIRE HYDRANT	FH	+
WATER VALVE	WV	+
POST INDICATOR VALVE (PIV)		+
FIRE DEPARTMENT CONNECTION (FDC)		+
THRUST BLOCKING		+
SANITARY SEWER STRUCTURE I.D.	3	8
STORM DRAINAGE STRUCTURE I.D.		8

KEY NOTES

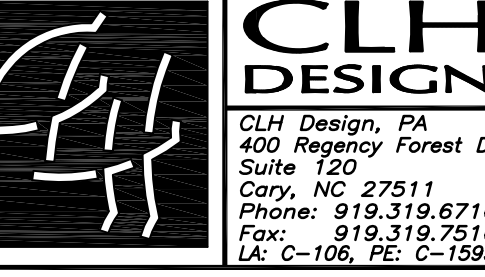
- FIRE HYDRANT ASSEMBLY
- EXISTING 3" WATER METER TO REMAIN. WATER METER VAULT SHALL BE RAISED TO MATCH FINAL GRADES
- GATE VALVE AND VALVE BOX
- 3" WILKINS 375 REDUCED PRESSURE BACKFLOW ASSEMBLY (RPA) OR APPROVED EQUAL WITHIN ABOVE GROUND HEATED ENCLOSURE
- 8" WILKINS 375DA REDUCED PRESSURE DETECTOR ASSEMBLY (RPDA) OR APPROVED EQUAL WITHIN ABOVE GROUND HEATED ENCLOSURE
- EXTEND WATER MAIN TO 12"-IN ABOVE FINISH FLOOR FOR FIRE PROTECTION/PLUMBING CONNECTION TO FIRE PROTECTION/PLUMBING PLANS FOR EXACT LOCATION.
- FIRE DEPARTMENT CONNECTION
- POST INDICATOR VALVE W/ TAMPER SWITCH
- SANITARY SEWER MANHOLE
- SANITARY SEWER CLEANOUT
- GREASE TRAP BY P.C.
- GAS SERVICE BY PSNC.
- EXTEND UTILITY TO WITHIN 5'-0" OF BUILDING WALL OR AS INDICATED ON PLUMBING PLANS. REFER TO PLUMBING PLANS FOR LOCATION AND INVERTS.
- NOT USED
- TAPPING SLEEVE AND VALVE.
- 3" x 4" INCREASER.
- SITE LIGHT POLE BY DUKE ENERGY. COORDINATE INSTALLATION & SCHEDULE WITH LOCAL UTILITY COMPANY. CONTRACTOR TO RESEED AREAS DISTURBED BY LOCAL UTILITY COMPANY.
- 14" BORE AND JACK IN STEEL ENCASUREMENT PIPE.
- THRUST BLOCKING, TYP. SEE DETAIL SHEET C07.06.
- 8" x 6" REDUCER.

GRAPHIC SCALE



STOUGH
ELEMENTARY
SCHOOL

4210 EDWARDS HILL ROAD
RALEIGH, NORTH CAROLINA 27612



LS3P

434 FAYETTEVILLE STREET SUITE 1700
RALEIGH, NORTH CAROLINA 27601
TEL. 919.829.2700 FAX 919.829.2730
WWW.LS3P.COM

NOT
FOR
CONSTRUCTION

MEMBERS OF THE AMERICAN INSTITUTE OF ARCHITECTS
COPYRIGHT 2018 ALL RIGHTS RESERVED
PRINTED OR ELECTRONIC DRAWINGS AND
DOCUMENTATION MAY NOT BE REPRODUCED
IN ANY FORM WITHOUT WRITTEN PERMISSION
FROM LS3P ASSOCIATES LTD.

REVISIONS:

No.	Description	Date

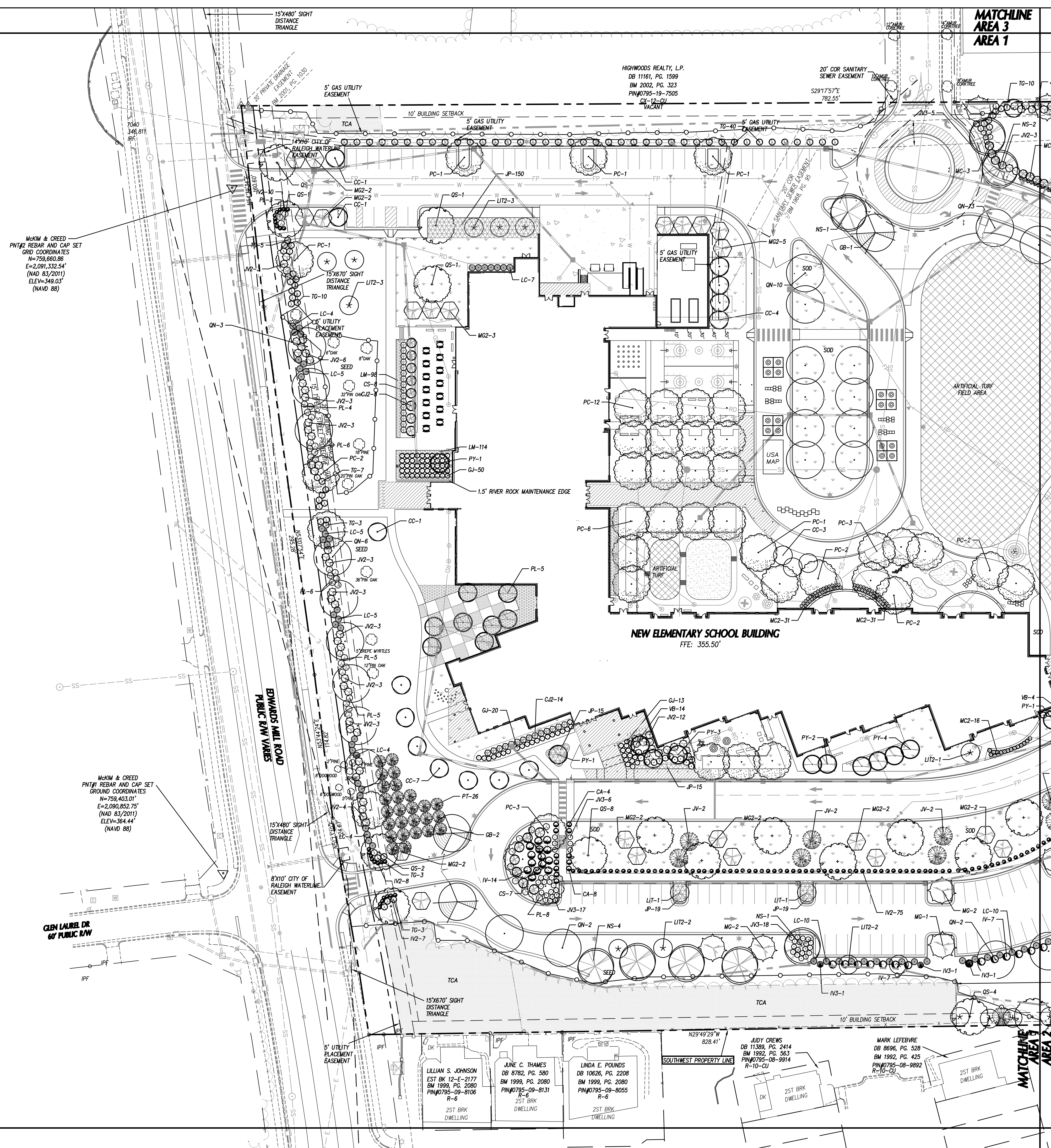
PROJECT: LS3P: 8401-137000
CLH:15-169
DATE: October 01, 2018
DRAWN BY: KMD
CHECKED BY: KMD

UTILITY PLAN -
AREA 2

C-05.02

MATCHLINE
AREA 3
AREA 1

MATCHLINE
AREA 3
AREA 1



GENERAL LANDSCAPE NOTES

SEE DETAIL SHEET C02.11 FOR GENERAL LANDSCAPE NOTES, DETAILS, AND OTHER INFORMATION.

PLANT SCHEDULE

KEY	QTY	PLANT NAME	MINIMUM SIZE	REMARKS
TREES - CANOPY AND UNDERSTORY				
CC	21	OKINAWA REDBUD <i>Cercis canadensis 'Okiloma'</i>	6' HT. B&B 2'-2 1/2" CAL.	STRAIGHT TRUNK MATCHED SPECIMENS
GB	4	'AUTUMN GOLD' GINKGO <i>Ginkgo biloba 'Autumn Gold'</i>	10'-12' HT	B&B, STRAIGHT TRUNK FULL CROWN
JV	16	BRODE RED CEDAR <i>Juniperus virginiana 'Brode'</i>	5'-6' CONT.	STRAIGHT TRUNK MATCHED SPECIMENS
LIT	5	CRAPE MYRTLE NATCHEZ <i>Lagerstroemia indica 'Natchez'</i>	8'-10' HT B&B/CONT.	MULTI TRUNK FULL CROWN
LIT2	19	CRAPE MYRTLE NATCHEZ <i>Lagerstroemia indica 'Natchez'</i>	10'-12' HT B&B/CONT.	MULTI TRUNK FULL CROWN
MG	10	BRACKEN'S BROWN BEAUTY <i>Magnolia grandiflora 'Bracken's Brown Beauty'</i>	8' HT. B&B	STRAIGHT TRUNK MATCHED SPECIMENS
MG2	22	ALTA UPRIGHT SOUTHERN MAGNOLIA <i>Magnolia grandiflora 'Alta'</i>	8' HT. B&B	B&B, STRAIGHT TRUNK FULL CROWN
NS	9	BLACK GUM <i>Nyssa sylvatica</i>	2 1/2"-3" CAL.	B&B, STRAIGHT TRUNK FULL CROWN
PC	8	CHINESE PISTACHIO <i>Pistacia chinensis</i>	2 1/2"-3" CAL. 12'-14' HT.	B&B, STRAIGHT TRUNK FULL CROWN
PT	26	LOBLOLLY PINE <i>Pinus taeda</i>	6' HT.	B&B, STRAIGHT TRUNK FULL CROWN
PY	11	YOSHINO CHERRY <i>Prunus x yedoensis 'Yoshino'</i>	8' HT. B&B 2" CAL.	STRAIGHT TRUNK MATCHED SPECIMENS
QN	23	NUTTALL OAK <i>Quercus nuttallii</i>	3'-3 1/2" CAL. 12'-14' HT.	B&B, STRAIGHT TRUNK FULL CROWN
OS	15	SHUMARD OAK <i>Quercus shumardii</i>	3'-3 1/2" CAL. 12'-14' HT.	B&B, STRAIGHT TRUNK FULL CROWN
SHRUBS				
CA	21	'HUMMINGBIRD' CLETHRA <i>Olethra alnifolia 'Hummingbird'</i>	18"-24" HT. MIN 3-GAL. CONT.	FULL PLANTS MATCHING. 4" O.C.
CJ2	30	JAPANESE CEDAR <i>Chamaecyparis japonica 'Gobosoo Nano'</i>	18" HT.	3-GAL. CONT., FULL SPACE 5" O.C.
CS	15	SUTSUGEKKA CAMELLIA <i>Camellia sasanqua 'Sutsugekka'</i>	18" HT.	FULL PLANTS MATCHING. 8" O.C.
GJ	86	KLEIM'S HARDY GARDENIA <i>Gardenia jasminoides 'Klein's Hardy'</i>	18" HT.	FULL PLANTS MATCHING. 4" O.C.
IV	41	WINTER RED WINTERBERRY HOLLY <i>Ilex verticillata 'Winter Red'</i>	24"-30" HT.	FULL PLANTS MATCHING. 6" O.C.
IV2	73	STOKES DWARF YAUPON HOLLY <i>Ilex vomitoria 'Stokes Dwarf'</i>	18"-24" HT. CONT.	FULL PLANTS MATCHING. 3" O.C.
IV3	14	SOUTHERN GENTLEMAN WINTERBERRY <i>Ilex verticillata 'Southern Gentleman'</i>	24"-30" HT. CONT.	FULL PLANTS MATCHING. 6" O.C.
JV2	82	STOVER JUNIPER <i>Juniperus virginiana 'Stover'</i>	5'-6' HT. B&B	FULL PLANTS MATCHING. 6" O.C.
JV3	69	GREY OWL CEDAR <i>Juniperus virginiana 'Grey Owl'</i>	18"-24" HT. 3-GAL. CONT.	FULL PLANTS MATCHING. 4" O.C.
LC	67	CHINESE FRINGE FLOWER <i>Loropetalum chinense 'Ruby'</i>	24"-30" HT. 3-GAL. CONT.	FULL PLANTS MATCHING. 5" O.C.
MC	74	SOUTHERN WAX MYRTLE <i>Myrica cerifera</i>	3'-4' HT. 3-GAL. CONT.	FULL PLANTS MATCHING. 8" O.C.
PL	36	OTTO LUYKEN LAUREL <i>Prunus laurocerasus 'Otto Luyken'</i>	24"-30" HT. 3-GAL. CONT.	FULL PLANTS MATCHING. 5" O.C.
TG	91	VARIEGATED JAPANESE CLEYERA <i>Ternstroemia gymnanthera 'Variegated'</i>	24"-30" HT. 3-GAL. CONT.	FULL PLANTS MATCHING. 5" O.C.
VB	23	BURKWOOD VIBURNUM <i>Viburnum burkwoodii 'Anne Russel'</i>	18" HT. 5-GAL. CONT., FULL 5" O.C.	FULL PLANTS MATCHING. 3" O.C.
ORNAMENTAL GRASSES				
MC2	62	PINK MILLY GRASS <i>Muhlenbergia capillaris</i>	3-GAL. CONT.	FULL PLANTS MATCHING. 3" O.C.
PERENNIALS AND GROUNDCOVERS				
JP	258	DWARF GARDEN JUNIPER <i>Juniperus procumbens 'Nano'</i>	3-GAL. CONT.	FULL PLANTS MATCHING. 3" O.C.
LM	212	MONDO GRASS <i>Ophiopogon japonicus</i>	3-5 BIBS CONT.	FULL PLANTS MATCHING 18" O.C.
SEE DETAILS SHEET FOR ADDITIONAL INFORMATION. GRAPHIC SYMBOLS & WRITTEN QUANTITIES WHERE DISCREPANCIES OCCUR.				
TREE PROTECTION FENCE, SEE EROSION CONTROL PLANS				
POURED-IN-PLACE PLAY EQUIPMENT AREA				
TRIFWAY 419 SOD, SEE DETAIL SHEET.				
ARTIFICIAL TURF AREA				

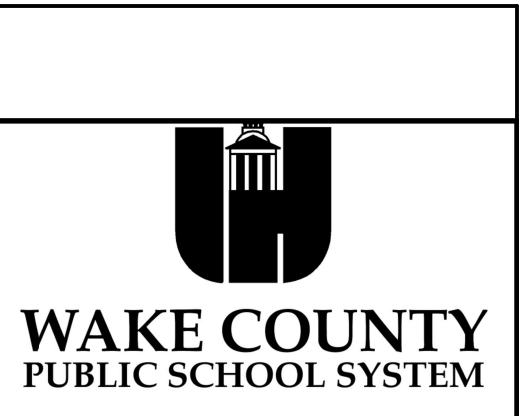
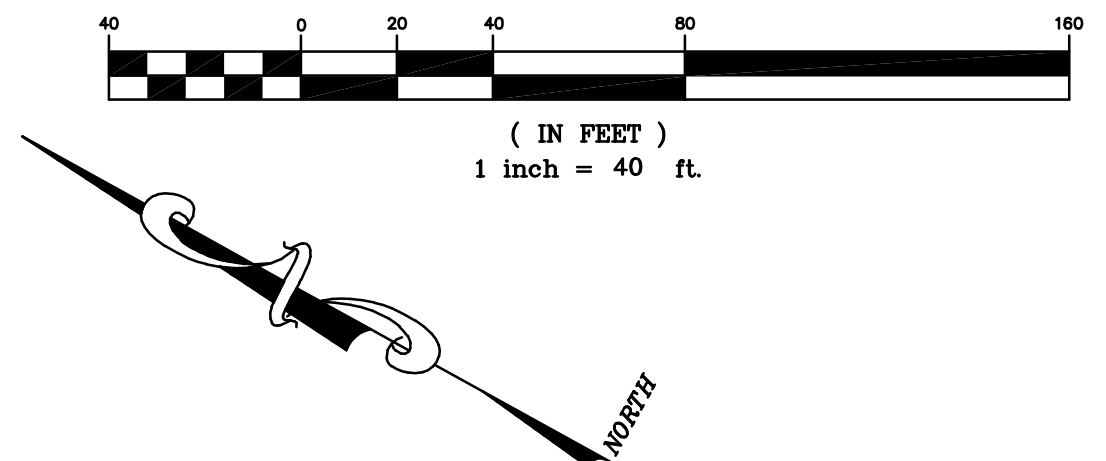
LANDSCAPE CALCULATIONS (R4 ZONING)

VEHICULAR SURFACE AREA PLANTING REQUIREMENTS	
PARKING LOT:	
SQUARE FT. OF PROPOSED VSA	= 115,166 SQUARE FT.
1 TREE PER 2000 SF VSA	= 58 TREES
1 SHRUB PER 500 SQUARE FT. OF VSA	= 230 SHRUBS
PLANTINGS PROVIDED:	
NEW TREES	= 110 TREES
NEW SHRUBS	= 359 SHRUBS
STREET PROTECTIVE YARD	
EDWARDS MILL ROAD = 659 LF*	
*EXCLUDES 87' OCCUPIED BY TREE CONSERVATION AREA	
STANDARD:	
TYPE C2: 4 SHADE TREES/100 LF	PLANTINGS PROVIDED:
15 SHRUBS/100 LF	17 NEW, 12 EXISTING SHADE TREES
PLANTINGS REQUIRED:	153 SHRUBS
27 - 3" CAL. SHADE TREES	
99 SHRUBS	
TRANSITIONAL PROTECTIVE YARD - TYPE A2, ABUTTING A RESIDENTIAL USE	
STANDARD:	
10' TYPE A2	4 SHADE TREES / 100 LF
4 SHADE TREES / 100 LF	4 UNDERSTORY TREES / 100 LF
6.5' WALL OR FENCE (NOT REQUIRED IN TCA)	
SOUTHWEST PROPERTY LINE = 828.41 LF (180 LF AVAILABLE)	
PLANTINGS REQUIRED:	PLANTINGS PROVIDED:
8 SHADE TREES	8 SHADE TREES, TCA
8 UNDERSTORY TREES	8 UNDERSTORY TREES, TCA
EXISTING FENCE PROVIDED	
SOUTHEAST PROPERTY LINE = 728.91 LF (145 LF AVAILABLE)	
PLANTINGS REQUIRED:	PLANTINGS PROVIDED:
8 SHADE TREES	8 EXISTING SHADE TREES
6 UNDERSTORY TREES	6 UNDERSTORY TREES, TCA
BUFFER PLANTINGS PROVIDED WHERE NOT TCA FENCE PROVIDED	

CITY OF RALEIGH LIGHTING NOTE

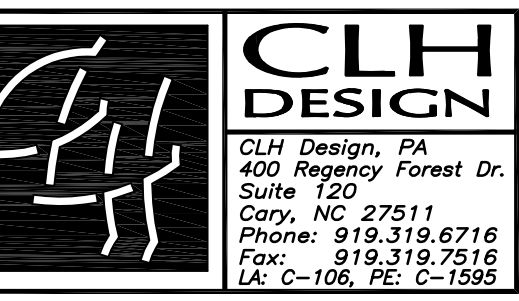
NOTE: PROPOSED PARKING LOT FIXTURES MUST MEET THE CLEARANCE REQUIREMENTS OF UDO SECTION 7.1.7.G.1. LIGHTING FIXTURES MUST BE LOCATED AT LEAST 20 FEET FROM A TREE, MEASURED FROM THE POLE OF THE LIGHTING FIXTURE TO THE TRUNK OF THE TREE.

GRAPHIC SCALE



STOUGH
ELEMENTARY
SCHOOL

4210 EDWARDS MILL ROAD
RALEIGH, NORTH CAROLINA 27612



434 FAYETTEVILLE STREET SUITE 1700
RALEIGH, NORTH CAROLINA 27601
TEL. 919.829.2700 FAX 919.829.2730
WWW.LS3P.COM

MEMBERS OF THE AMERICAN INSTITUTE OF ARCHITECTS
COPYRIGHT 2018 ALL RIGHTS RESERVED
PRINTED OR ELECTRONIC DRAWINGS AND
DOCUMENTATION MAY NOT BE REPRODUCED
IN ANY FORM WITHOUT WRITTEN PERMISSION
FROM LS3P ASSOCIATES LTD.

NOT
FOR
CONSTRUCTION

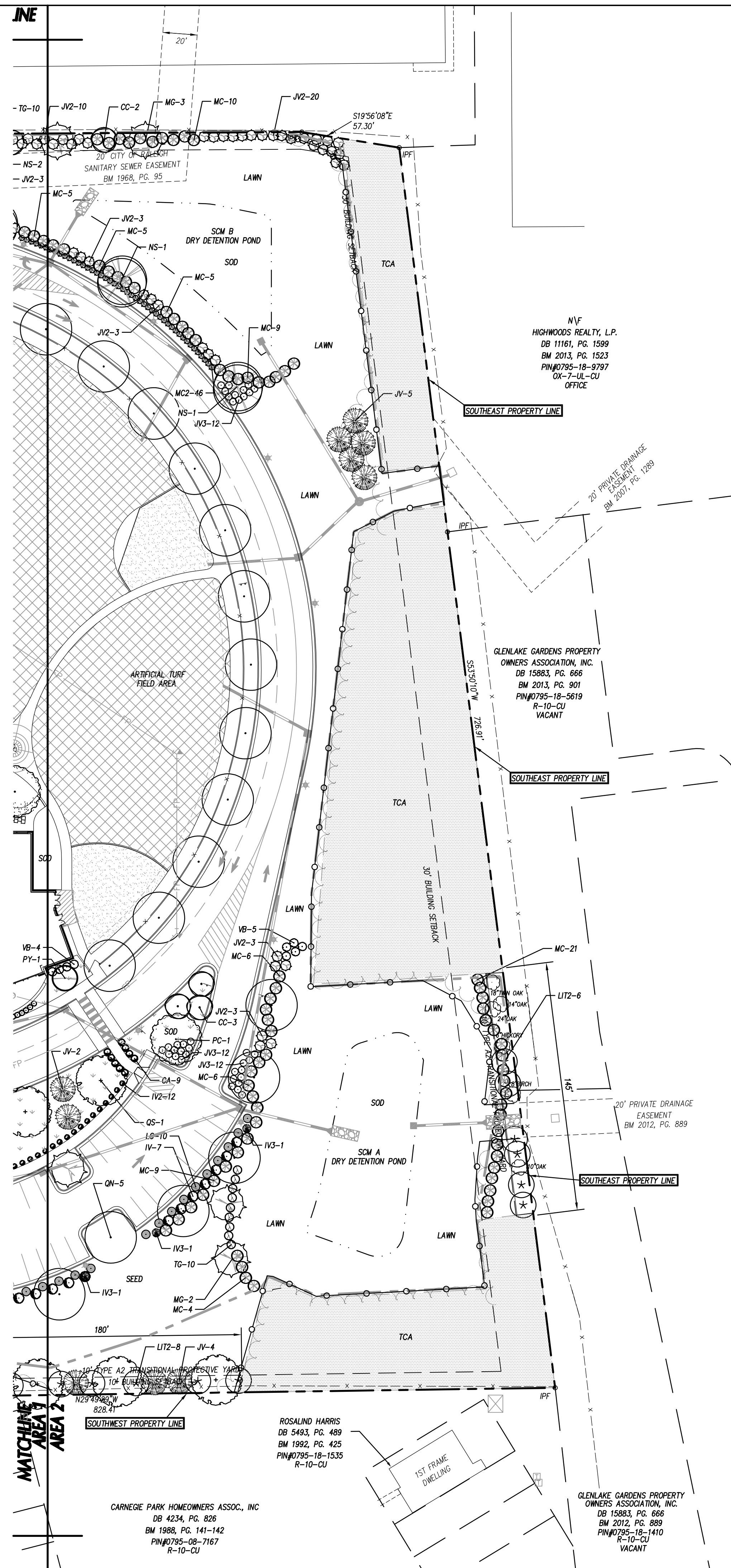
REVISIONS:

No.	Description	Date

PROJECT: LS3P: 8401-137000
CLH:15-169
DATE: October 01, 2018
DRAWN BY: KMD
CHECKED BY: KMD

PLANTING PLAN -
AREA 1

C-06.01



GENERAL LANDSCAPE NOTES

SEE DETAIL SHEET C07.11 FOR GENERAL LANDSCAPE NOTES, DETAILS, AND OTHER INFORMATION.

PLANT SCHEDULE

KEY	QTY	PLANT NAME	MINIMUM SIZE	REMARKS
TREES - CANOPY AND UNDERSTORY				
CC	21	OKLAHOMA REDBUD <i>Cercis canadensis 'Oklahoma'</i>	6' HT. B&B 2" CAL.	STRAIGHT TRUNK MATCHED SPECIMENS
GB	4	'AUTUMN GOLD' GINKGO <i>Ginkgo biloba 'Autumn Gold'</i>	2'-2 1/2" CAL. 10'-12' HT.	B&B, STRAIGHT TRUNK FULL CROWN
JV	16	BRODIE RED CEDAR <i>Juniperus horizontalis 'Brodie'</i>	5'-6' CONT.	STRAIGHT TRUNK MATCHED SPECIMENS
LIT	5	CRAPE MYRTLE 'TUSKEGEE' <i>Lagerstroemia indica 'Tuskegee'</i>	8'-10' HT. B&B/CONT.	MULTI TRUNK FULL CROWN
LIT2	19	CRAPE MYRTLE 'NATCHEZ' <i>Lagerstroemia indica 'Natchez'</i>	10'-12' HT. B&B/CONT.	MULTI TRUNK FULL CROWN
MG	10	BRACKEN'S BROWN BEAUTY MAGNOLIA <i>Magnolia grandiflora 'Bracken's Brown Beauty'</i>	8' HT. B&B	STRAIGHT TRUNK MATCHED SPECIMENS
MG2	22	ALTA UPRIGHT SOUTHERN MAGNOLIA <i>Magnolia grandiflora 'Alta'</i>	8' HT. B&B	B&B, STRAIGHT TRUNK FULL CROWN
NS	9	BLACK GUM <i>Nyssa sylvatica</i>	2 1/2"-3" CAL. 12'-14' HT.	B&B, STRAIGHT TRUNK FULL CROWN
PC	8	CHINESE PISTACHIO <i>Pistacia chinensis</i>	2 1/2"-3" CAL. 12'-14' HT.	B&B, STRAIGHT TRUNK FULL CROWN
PT	26	LOBLOLLY PINE <i>Pinus taeda</i>	6' HT.	B&B, STRAIGHT TRUNK FULL CROWN
PY	11	YOSHINO CHERRY <i>Prunus x yedoensis 'Yoshino'</i>	8' HT. B&B 2" CAL.	STRAIGHT TRUNK MATCHED SPECIMENS
QN	23	NUTTALL OAK <i>Quercus nuttallii</i>	3'-3 1/2" CAL. 12'-14' HT.	B&B, STRAIGHT TRUNK FULL CROWN
QS	15	SHUMARD OAK <i>Quercus shumardii</i>	3'-3 1/2" CAL. 12'-14' HT.	B&B, STRAIGHT TRUNK FULL CROWN
SHRUBS				
CA	21	'HUMMINGBIRD' CLETHRA <i>Clethra alnifolia 'Hummingbird'</i>	18"-24" HT. MIN 3-GAL CONT.	FULL PLANTS MATCHING. 4" O.C.
CJ2	30	JAPANESE CEDAR** <i>Cryptomeria japonica 'Gobosoo Nana'</i>	18" HT.	3 GAL. CONT., FULL SPACE 5" O.C.
CS	15	SUTSUGEKKA CAMELLIA <i>Camellia sasanqua 'Sutsugekka'</i>	18" HT.	FULL PLANTS MATCHING. 8" O.C.
GJ	86	KLEIM'S HARDY GARDENIA <i>Gardenia jasminoides 'Klein's Hardy'</i>	18" HT.	FULL PLANTS MATCHING. 4" O.C.
IV	41	WINTER RED WINTERBERRY HOLLY <i>Ilex verticillata 'Winter Red'</i>	24"-30" HT. CONT.	FULL PLANTS MATCHING. 6" O.C.
IV2	73	STOKES DWARF YAUJON HOLLY <i>Ilex vomitoria 'Stokes Dwarf'</i>	18"-24" HT. CONT.	FULL PLANTS MATCHING. 3" O.C.
IV3	14	SOUTHERN GENTLEMAN WINTERBERRY <i>Ilex verticillata 'Southern Gentleman'</i>	24"-30" HT. CONT.	FULL PLANTS MATCHING. 6" O.C.
JV2	82	STOVER JUNIPER <i>Juniperus virginiana 'Stover'</i>	5'-6' HT. B&B	FULL PLANTS MATCHING. 6" O.C.
JV3	69	GREY OWL CEDAR <i>Juniperus virginiana 'Grey Owl'</i>	18"-24" HT. 3-GAL CONT.	FULL PLANTS MATCHING. 4" O.C.
LC	67	CHINESE FRINGE FLOWER <i>Loropetalum chinense 'Ruby'</i>	24"-30" HT. 3-GAL CONT.	FULL PLANTS MATCHING. 5" O.C.
MC	74	SOUTHERN WAX MYRTLE <i>Myrica cerifera</i>	3'-4' HT. 3-GAL CONT.	FULL PLANTS MATCHING. 8" O.C.
PL	36	OTTO LUYKEN LAUREL <i>Prunus laurocerasus 'Otto Luyken'</i>	24"-30" HT. 3-GAL CONT.	FULL PLANTS MATCHING. 5" O.C.
TG	91	VARIEGATED JAPANESE CLEYERA <i>Ternstroemia gymnanthera 'Variegated'</i>	24"-30" HT. 3-GAL CONT.	FULL PLANTS MATCHING. 5" O.C.
VB	23	BURKWOOD VIBURNUM* <i>Viburnum burkwoodii 'Anne Russel'</i>	18" HT. 5 GAL. CONT., FULL 5" O.C.	FULL PLANTS MATCHING. 3" O.C.
ORNAMENTAL GRASSES				
MC2	62	PINK MILLY GRASS <i>Muhlenbergia capillaris</i>	3-GAL. CONT.	FULL PLANTS MATCHING. 3" O.C.
PERENNIALS AND GROUNDCOVERS				
JP	258	DWARF GARDEN JUNIPER <i>Juniperus procumbens 'Nana'</i>	3-GAL. CONT.	FULL PLANTS MATCHING. 3" O.C.
LM	212	MONDO GRASS <i>Ophiopogon japonicus</i>	3-5 BIBS CONT.	FULL PLANTS MATCHING 18" O.C.

SEE DETAILS SHEET FOR ADDITIONAL INFORMATION.
GRAPHIC SYMBOLS SUPERSEDE QUANTITIES WHERE DISCREPANCIES OCCUR.

TREE PROTECTION FENCE, SEE EROSION CONTROL PLANS

POURED-IN-PLACE PLAY EQUIPMENT AREA

TIFWAY 419 SOD, SEE DETAIL SHEET.

ARTIFICIAL TURF AREA

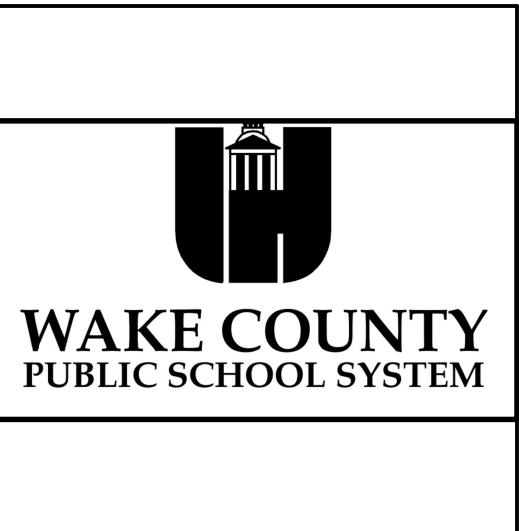
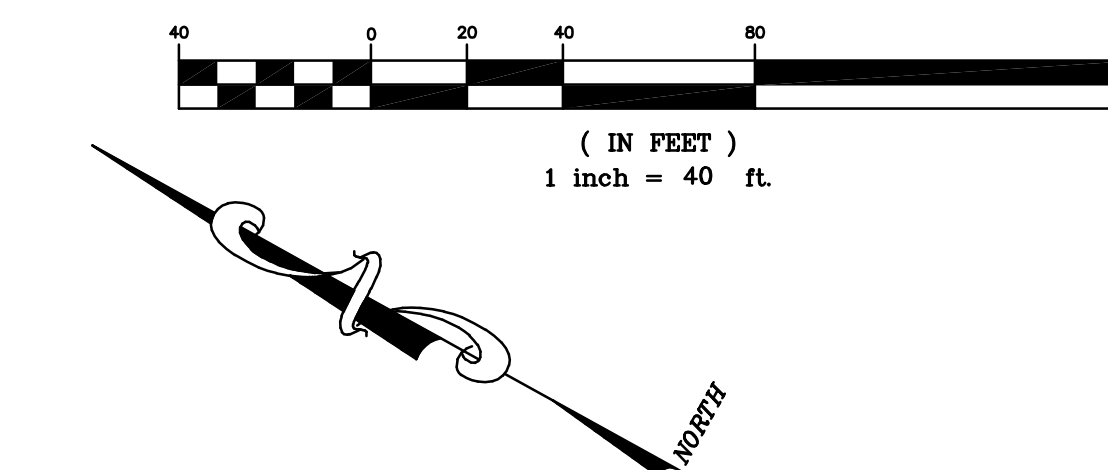
LANDSCAPE CALCULATIONS (R4 ZONING)

VEHICULAR SURFACE AREA PLANTING REQUIREMENTS	
PARKING LOT:	
SQUARE FT. OF PROPOSED VSA	= 115,166 SQUARE FT.
1 TREE PER 2000 SF VSA	= 58 TREES
1 SHRUB PER 500 SQUARE FT. OF VSA	= 230 SHRUBS
PLANTINGS PROVIDED:	
NEW TREES	= 110 TREES
NEW SHRUBS	= 359 SHRUBS
STREET PROTECTIVE YARD	
EDWARDS MILL ROAD = 659 LF*	
*EXCLUDES 87' OCCUPIED BY TREE CONSERVATION AREA	
STANDARD:	
TYPE C2: 4 SHADE TREES/100 LF	
12 SHRUBS/100 LF	
PLANTINGS REQUIRED:	
27 - 3" CAL. SHADE TREES	PLANTINGS PROVIDED: 17 NEW, 12 EXISTING SHADE TREES
99 SHRUBS	153 SHRUBS
TRANSITIONAL PROTECTIVE YARD - TYPE A2, ABUTTING A RESIDENTIAL USE	
STANDARD:	
10' TYPE A2	
4 SHADE TREES / 100 LF	
4 UNDERSTORY TREES / 100 LF	
6.5' WALL OR FENCE (NOT REQUIRED IN TCA)	
SOUTHWEST PROPERTY LINE = 828.41 LF (180 LF AVAILABLE)	
PLANTINGS REQUIRED:	
8 SHADE TREES	PLANTINGS PROVIDED: 8 SHADE TREES, TCA
8 UNDERSTORY TREES	8 UNDERSTORY TREES, TCA
EXISTING FENCE PROVIDED	
SOUTHEAST PROPERTY LINE = 726.91 LF (145 LF AVAILABLE)	
PLANTINGS REQUIRED:	
6 SHADE TREES	PLANTINGS PROVIDED: 6 EXISTING SHADE TREES
6 UNDERSTORY TREES	6 UNDERSTORY TREES, TCA
BUFFER PLANTINGS PROVIDED WHERE NOT TCA FENCE PROVIDED	

CITY OF RALEIGH LIGHTING NOTE

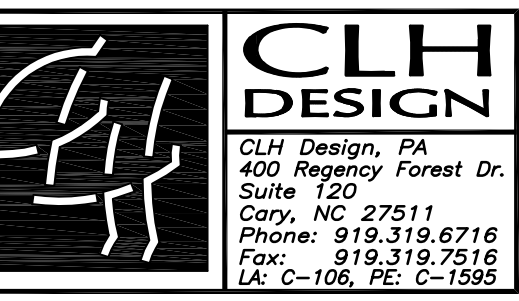
NOTE: PROPOSED PARKING LOT FIXTURES MUST MEET THE CLEARANCE REQUIREMENTS OF UDO SECTION 7.1.7.G.1. LIGHTING FIXTURES MUST BE LOCATED AT LEAST 20 FEET FROM A TREE, MEASURED FROM THE POLE OF THE LIGHTING FIXTURE TO THE TRUNK OF THE TREE.

GRAPHIC SCALE



STOUGH ELEMENTARY SCHOOL

4210 EDWARDS MILL ROAD
RALEIGH, NORTH CAROLINA 27612



LS3P

434 FAYETTEVILLE STREET SUITE 1700
RALEIGH, NORTH CAROLINA 27601
TEL. 919.829.2700 FAX 919.829.2730
WWW.LS3P.COM

NOT FOR CONSTRUCTION

MEMBERS OF THE AMERICAN INSTITUTE OF ARCHITECTS

COPYRIGHT 2018 ALL RIGHTS RESERVED
PRINTED OR ELECTRONIC DRAWINGS AND DOCUMENTATION MAY NOT BE REPRODUCED IN ANY FORM WITHOUT WRITTEN PERMISSION FROM LS3P ASSOCIATES LTD.

REVISIONS:

No.	Description	Date

PROJECT: LS3P: 8401-137000
CLH:15-169

DATE: October 01, 2018

DRAWN BY: KMD

CHECKED BY: KMD

PLANTING PLAN - AREA 2

C-06.02



A-201

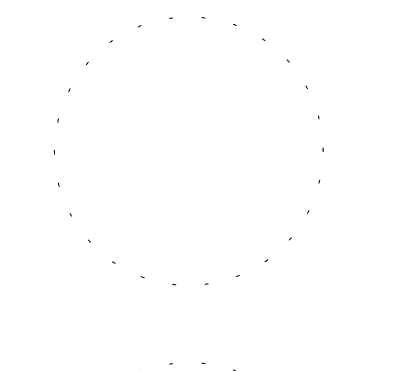
EXTERIOR ELEVATIONS

CHECKED BY: MB
 DRAWN BY: KH
 DATE: 10.02.2018
 PROJECT: 8201-145270

REVISIONS:

No.	Description	Date

COPYRIGHT 2018 ALL RIGHTS RESERVED
 PRINTED OR ELECTRONIC DRAWINGS AND DOCUMENTATION MAY NOT BE REPRODUCED IN ANY FORM WITHOUT WRITTEN PERMISSION FROM LSP ASSOCIATES LTD.



LSP

434 FAYETTEVILLE STREET SUITE 1700
 RALEIGH, NORTH CAROLINA 27601
 TEL. 919.829.2700 FAX 919.829.2750
 WWW.LSP.COM

WAKE COUNTY PUBLIC SCHOOL SYSTEM

STOUTGH ELEMENTARY SCHOOL