



Administrative Approval Action

SR-34-18 /Cardamom Market
Transaction# 550857 AA# 3877

City of Raleigh
Development Services Department
One Exchange Plaza
Raleigh, NC 27602
(919) 996-2495
DS.help@raleighnc.gov
www.raleighnc.gov

LOCATION: This site is located on the north side of Ronald Dr., east of Wake Forest Rd at 1605 Ronald Drive.

REQUEST: Development of a .42-acre tract zoned CX-3 into a 3,941 square foot building with retail grocery & restaurant/bar.

DESIGN ADJUSTMENT(S)/ ALTERNATES, ETC: A waiver is requested from the block perimeter requirements due to adjacent development and not providing a benefit as relating to block perimeter.

FINDINGS: City Administration finds that this request, with the below conditions of approval being met, conforms to the Unified Development Ordinance. This approval is based on a preliminary plan dated 9/28/2018 by ColeJenest & Stone.

CONDITIONS OF APPROVAL and NEXT STEPS:

This document must be applied to the second sheet of all future submittals except for final plats. This is a preliminary plan and as such no permits have been issued with this approval. To obtain permits and/or completion of the project, the following steps are required:

CONCURRENT SITE REVIEW NOT REQUIRED AT THIS TIME – However, plan revisions or further development that includes land disturbance of 12,000 square feet or greater, public or private infrastructure, shared stormwater devices, etc. will require concurrent site review.

CONCURRENT SITE REVIEW - For land disturbance of 12,000 square feet or greater, public or private infrastructure, shared stormwater devices, etc. Concurrent Site Review may be submitted upon receipt of this signed approval document.

The following items are required prior to approval of Concurrent Site Review plans:

Engineering

1. A right-of-way obstruction permit must be obtained from Right-of-way Services prior to the commencement of any construction activities within the right-of-way.

Stormwater

2. A surety equal to of the cost of clearing, grubbing and reseeding a site, shall be paid to the City (UDO 9.4.4).

Urban Forestry

3. Show the 3 shade trees in the right-of-way on plan sheet C-700.

LEGAL DOCUMENTS - Email to legaldocumentreview@raleighnc.gov. Legal documents must be approved, executed, and recorded prior to or in conjunction with the recorded plat on which the



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associated easements are shown. Copies of recorded documents must be returned to the City within one business day of recording to avoid withholding of further permit issuance.

<input type="checkbox"/>	City Code Covenant	<input type="checkbox"/>	Slope Easement
<input type="checkbox"/>	Stormwater Maintenance Covenant	<input type="checkbox"/>	Transit Easement
<input checked="" type="checkbox"/>	Utility Placement Easement	<input type="checkbox"/>	Cross Access Easement
<input type="checkbox"/>	Sidewalk Easement	<input type="checkbox"/>	Public Access Easement
		<input type="checkbox"/>	Other

RECORDED MAP(S) - Submit plat to record new property lines, easements, tree conservation areas, etc.). Plats may be submitted for review when the Concurrent Site Review plans, if required, have been deemed ready for mylar signature.

The following items must be approved prior to recording the plat:

Engineering

1. The required right of way and easements on Ronald Drive shall be dedicated to the City of Raleigh and shown on the map approved for recordation.
2. A 5' utility placement easement and associated deed of easement shall be approved by the City and the location of the easement shall be shown on the map approved for recordation. The deed of easement shall be recorded at Wake County Register of Deeds within one day of recordation of the recorded plat. A recorded copy of these documents must be provided to the Development Services Department within one day from authorization of lot recordation. If recorded copies of the documents are not provided, further recordings and building permit issuance will be withheld.

BUILDING PERMITS – For buildings and structures shown on the approved plans. Commercial building permit plans must include the signed, approved Concurrent Site Review plans attached, if applicable. Permit sets may be reviewed prior to the recordation of required plats but cannot be approved.

The following items must be approved prior to the issuance of building permits:

Engineering

1. A surety for incomplete public improvements is provided to the City of Raleigh Development Services – Development Engineering program.
2. A right-of-way obstruction permit shall be obtained from Right-of-way Services for any construction activity within the right-of-way.



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Urban Forestry

3. A tree impact permit must be obtained for the approved streetscape tree installation in the right of way. This development proposes 3 (shade trees) street trees in the right-of-way along Ronald Drive.

The following are required prior to issuance of building occupancy permit:

1. All Water, Sanitary Sewer and Reuse facilities shall be installed, inspected, tested and accepted by the City of Raleigh Public Utilities Department for operations and maintenance.
2. Required public right-of-way infrastructure improvements shall be, at a minimum, sufficiently completed to provide the necessary, safe emergency and vehicular access.
3. Required underground storm drainage improvements shall be completed and as-built plan(s) and certification(s) reviewed and accepted by the City of Raleigh Development Services – Development Engineering program.
4. Final inspection of all right-of-way street trees by Urban Forestry Staff.

EXPIRATION DATES: The expiration provisions of UDO Section 10.2.8 E, including the ability to request extensions in the expiration date, apply to this site plan. If significant construction has not taken place on a project after administrative site review approval, that approval may expire and be declared void, requiring re-approval before permits may be issued. To avoid allowing this plan approval to expire the following must take place by the following dates:

3-Year Expiration Date: 10-10-2021

Obtain a valid building permit for the total area of the project, or a phase of the project.

4-Year Completion Date:

Within four years after issuance of the first building permit for the site plan, the construction of the entire site plan must be completed unless an applicant has been granted vested rights. Failure to complete construction within this specified time frame shall automatically void the approved site plan for which no building permits have been issued.

I hereby certify this administrative decision.

Signed: (Planning Dir./Designee)

Date: 10/10/2018

Staff Coordinator: Jermont Purifoy

Design Adjustment Staff Response



**DEVELOPMENT
SERVICES
DEPARTMENT**

Per Section 10.2.18.C of the Unified Development Ordinance, the Development Services Director, or designee, shall consult with the heads of other City Departments regarding the review of the request. The Development Services Director, or designee, shall approve, approve with conditions or deny the request, but must do so within 60 days of the receipt of a completed application. Additional time may be necessary if a municipal or state entity is incorporated in the review process or if a detailed engineering study is submitted in conjunction with the request.

PROJECT	Project Name	Cardamom Market	
	Development Case Number	SR-34-18	
	Transaction Number	550857	
	Design Adjustment Number	DA - 62 - 2018	
STAFF RESPONSE	Staff recommendation based upon the findings in the applicable code(s):		
	<input checked="" type="checkbox"/> UDO Art. 8.3 Blocks, Lots, Access	<input type="checkbox"/> UDO Art. 8.5 Existing Streets	
	<input type="checkbox"/> UDO Art. 8.4 New Streets	<input type="checkbox"/> Raleigh Street Design Manual	
	Staff SUPPORTS <input checked="" type="checkbox"/> DOES NOT SUPPORT <input type="checkbox"/> the design adjustment request.		
	DEPARTMENTS		
	<input type="checkbox"/> Dev. Services Planner	<input type="checkbox"/> City Planning	
	<input checked="" type="checkbox"/> Development Engineering <i>KC Beard</i>	<input type="checkbox"/> Transportation	
	<input type="checkbox"/> Engineering Services	<input type="checkbox"/> Parks & Recreation and Cult. Res.	
	<input type="checkbox"/> Public Utilities		
	CONDITIONS:		
Development Services Director or Designee Action: <input checked="" type="checkbox"/> APPROVE <input type="checkbox"/> APPROVE WITH CONDITIONS <input type="checkbox"/> DENY			

Authorized Signature

KENNETH W. RITCHIE, PE, MPA
ENGINEERING AND INFRASTRUCTURE MANAGER

Date *10/10/2018*

*The Development Services Director may authorize a designee to sign in his/her stead. Please print name and title next to signature. Appeal of the decision from the Development Services Director, or his or her designee, shall be made in writing within 30 days to the Board of Adjustment (see Section 10.2.18.C3b).

Staff Response

Article 8.3 Blocks Lots, Access



**DEVELOPMENT
SERVICES
DEPARTMENT**

The Development Services Director may in accordance with *Sec. 10.2.18*, approve a design adjustment, subject to all of the following findings.

- A. The requested design adjustment meets the intent of this Article;
YES NO
- B. The requested design adjustment conforms with the Comprehensive Plan and adopted City plans;
YES NO
- C. The requested design adjustment does not increase congestion or compromise Safety;
YES NO
- D. The requested design adjustment does not create any lots without direct street Frontage;
YES NO
- E. The requested design adjustment is deemed reasonable due to one or more of the following:
1. Topographic changes are too steep;
 2. The presence of existing buildings, stream and other natural features;
 3. Site layout of developed properties;
 4. Adjoining uses or their vehicles are incompatible;
 5. Strict compliance would pose a safety hazard; or
 6. Does not conflict with an approved or built roadway construction project
 7. adjacent to or in the vicinity of the site.
- YES NO

STAFF FINDINGS

The maximum block perimeter for CX-3 zoning is 3,000 linear feet per UDO Article 8.3 and the existing measurable block perimeter is 4,364 linear feet as per the attached exhibit. This lot is adjacent to a 7-acre new development to the north and west of this site which will prohibit any street connection from Ronald Drive to the north that would be of a benefit in reducing the block perimeter. Staff is in support of a waiver from the block perimeter requirements.

Design Adjustment Application



DEVELOPMENT SERVICES DEPARTMENT

The purpose of this request is to seek a Design Adjustment from the Development Services Director, or designee, for a specific project only and, if granted, may be approved with special conditions and provisions. This application and all further action shall be consistent with Section 10.2.18 in the Unified Development Ordinance (UDO). The consideration and decision of this request shall be based solely on the conformance of the findings, as outlined in Sec. 8.3.6, Sec. 8.4.1.E and Sec. 8.5.1.G of the UDO or the Raleigh Street Design Manual.

PROJECT	Project Name Cardamom Market		
	Case Number <i>SR-34-18</i>		
	Transaction Number 550857		
OWNER	Name Eugene and Martha Gomes		
	Address 1033 Open Field Drive		City Garner
	State NC	Zip Code 27529	Phone
CONTACT	Name Paul Medling		Firm ColeJenest & Stone
	Address 119 East Hargett Street		City Raleigh
	State NC	Zip Code 27601	Phone 919-645-5967
REQUEST	I am seeking a Design Adjustment from the requirements set forth in the following:		
	<input checked="" type="checkbox"/> UDO Art. 8.3 Blocks, Lots, Access	- See page 2 for findings	
	<input type="checkbox"/> UDO Art. 8.4 New Streets	- See page 3 for findings	
	<input type="checkbox"/> UDO Art. 8.5 Existing Streets	- See page 4 for findings	
	<input type="checkbox"/> Raleigh Street Design Manual	- See page 5 for findings	
	Provide details about the request; (please attach a memorandum if additional space is needed):		
This design adjustment requests relief from Block Perimeter requirement of Article 8.3. Existing development on neighboring properties prevents the installation of new streets that would meet this requirement. The project proposes to install sidewalk along its frontage on Ronald Drive to meet City development standards outlined in the Street Design Manual and UDO.			

It is the responsibility of the applicant to provide all pertinent information needed for the consideration of this request. Applicant must be the Property Owner.

By signing this document, I hereby acknowledge the information on this application is, to my knowledge, accurate.

Paul Medling

Owner/Owner's Representative Signature

Date

CHECKLIST	
Signed Design Adjustment Application	<input checked="" type="checkbox"/> Included
Page(s) addressing required findings	<input checked="" type="checkbox"/> Included
Plan(s) and support documentation	<input checked="" type="checkbox"/> Included
Notary page (page 6) filled out; Must be signed by property owner	<input checked="" type="checkbox"/> Included
First Class stamped and addressed envelopes with completed notification letter	<input checked="" type="checkbox"/> Included

Submit all documentation, with the exception of the required addressed envelopes and letters to designadjustments@raleighnc.gov.

Deliver the addressed envelopes and letters to:
 Development Services, Development Engineering
 One Exchange Plaza, Suite 500
 Raleigh NC, 27601

For Office Use Only	RECEIVED DATE:	DA -	-
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Article 8.3, Blocks, Lots, Access

Administrative Design Adjustment Findings



**DEVELOPMENT
SERVICES
DEPARTMENT**

The Development Services Director may in accordance with *Sec. 10.2.18*, approve a design adjustment, subject to all of the following findings. Describe how each item is met:

- A. The requested design adjustment meets the intent of this Article;
Existing development on surrounding properties eliminates the ability of this project to install new streets meeting the block size requirement. Where possible, the proposed site plan installs sidewalks where there are none existing. This improves connectivity.
- B. The requested design adjustment conforms with the Comprehensive Plan and adopted City plans;
The proposed site plan conforms with all other requirements of the Unified Development Ordinance and conforms with the intent of the Comprehensive Plan for mixed use districts by improving sidewalk connectivity and providing covered bicycle parking. Parking has been reduced by implementing tree preservation.
- C. The requested design adjustment does not increase congestion or compromise Safety;
The proposed development is a small grocery with 14 space parking lot. Ronald Drive, the street on which it fronts, provides access to a large shopping center anchored by WalMart. No significant increase in traffic will occur. Congestion will not be increased. A sidewalk accessible ramp will be installed to City of Raleigh standards and will increase pedestrian safety.
- D. The requested design adjustment does not create any lots without direct street Frontage;
The existing lot has frontage on its south boundary, along Ronald Drive. Direct driveway access to Ronald Drive is proposed.
- E. The requested design adjustment is deemed reasonable due to one or more of the following:
1. Topographic changes are too steep;
 2. The presence of existing buildings, stream and other natural features;
 3. Site layout of developed properties;
 4. Adjoining uses or their vehicles are incompatible;
 5. Strict compliance would pose a safety hazard; or
 6. Does not conflict with an approved or built roadway construction project
 7. adjacent to or in the vicinity of the site.
- The adjacent property presents steep topographic changes on the west property line and a permanent stormwater management facility that borders the north property line. The adjacent property to the east is occupied by an existing house.

Individual Acknowledgement



DEVELOPMENT
SERVICES
DEPARTMENT

STATE OF NORTH CAROLINA

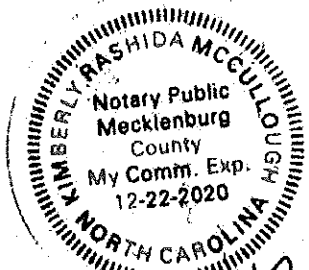
INDIVIDUAL

COUNTY OF Mecklenburg

I, Kimberly Rashida McCullough, a Notary Public do hereby certify that Eugene Games personally appeared before me this day and acknowledged the due execution of the forgoing instrument.

This the 5 day of July, 2018.

(SEAL)



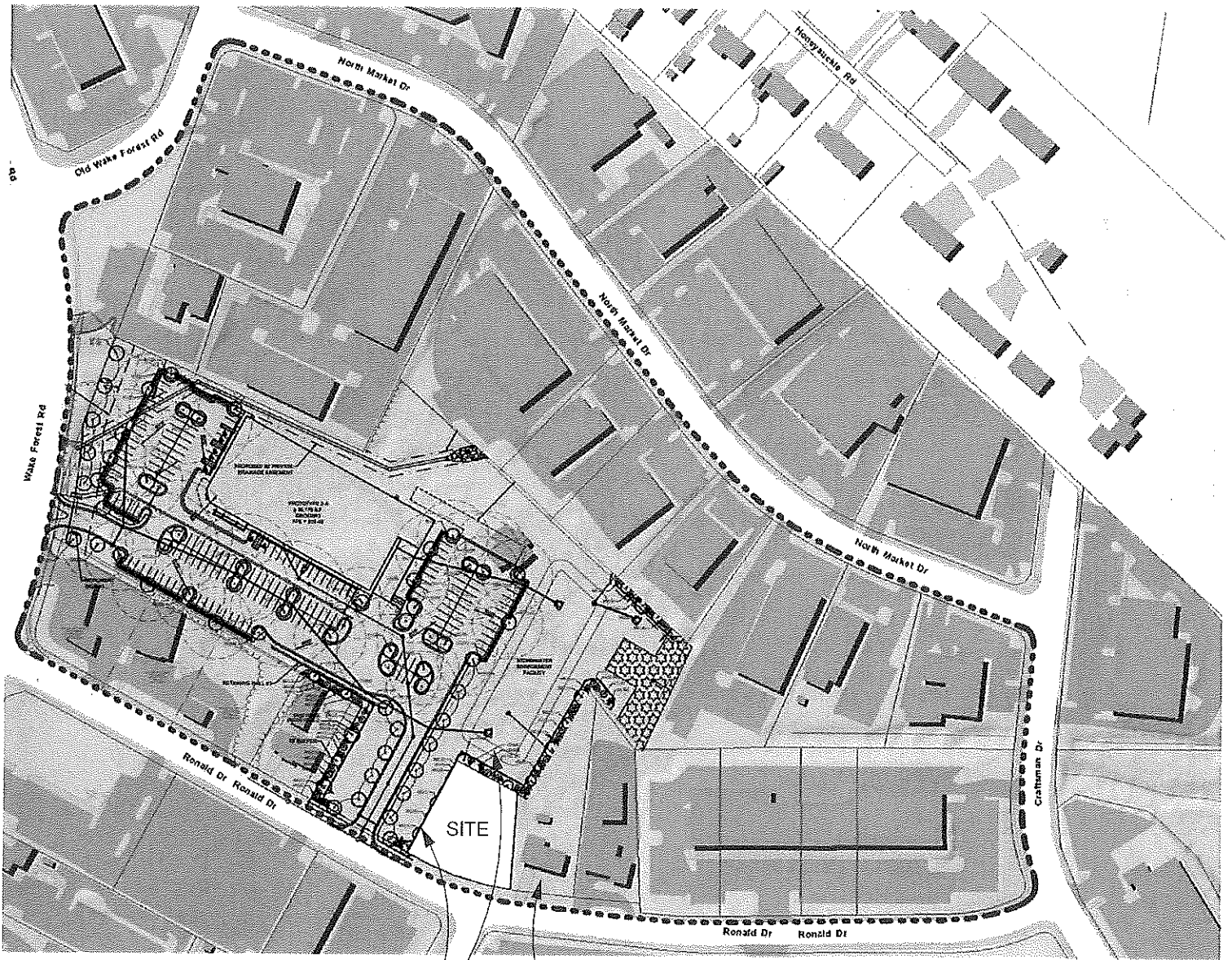
Notary Public

Kimberly Rashida McCullough

My Commission Expires

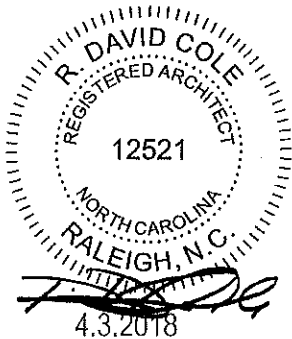
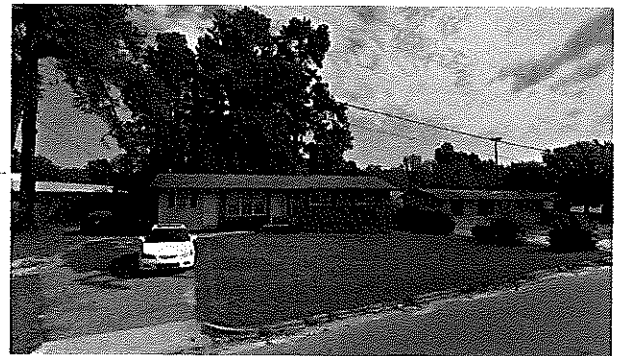
12-22-2020

Kimberly 07-05-18



BLOCK PERIMETER = 4,364 FT

ADJACENT SITE STORMWATER MANG. AND SIGNIFICANT TOPOGRAPHIC CHANGE



SK-100
BLOCK PERIMETER

CARDAMOM MARKET AND CAFE

Inclusion Studio

04.03.2018

1605 RONALD DRIVE, RALEIGH, NORTH CAROLINA

206 New Bern Place
Raleigh, NC 27601
inclusionstudio.com

SITE PLAN SUBMITTAL

17_014

CARDAMOM MARKET

RALEIGH, NC

CITY OF RALEIGH TRANSACTION: # 550857
 CITY OF RALEIGH CASE: # SR-34-2018
 SITE CLEARED UNDER DEMOLITION PERMIT #143166

INDEX OF SHEETS	
SHEET NUMBER	SHEET TITLE
C000	COVER SHEET
C001	EXISTING CONDITIONS SURVEY
C100	DEMOLITION PLAN
C200	SITE PLAN
C400	GRADING AND DRAINAGE PLAN
C500	UTILITY PLAN
C700	PLANTING PLAN
C800	SITE DETAILS
C801	STORMWATER AND UTILITY DETAILS
C802	UTILITY DETAILS
C803	LANDSCAPE DETAILS
A101	FIRST FLOOR PLAN
A201	EXTERIOR ELEVATIONS
A402	DUMPSTER ENCLOSURE

PROPERTY OWNERS

EUGENE B. GOMES AND MARTHA R. GOMES
 1033 OPEN FIELD DRIVE
 GARNER, NC 27529-6816

PLAN PREPARER:

JORDAN PETERSEN, RLA
 COLEJENEST&STONE
 131 S. WILMINGTON STREET
 SUITE 200
 RALEIGH, NC 27601
 P= 919-645-5973
 F= 919-719-1819
 E= JPETERSEN@COLEJENESTSTONE.COM

COLIN JENEST, PE
 COLEJENEST&STONE
 200 SOUTH TRYON STREET
 SUITE 1400
 CHARLOTTE, NC 28202
 P= 919-645-5979
 F= 704-971-4510
 E= CJENEST@COLEJENESTSTONE.COM

PAUL MEDLING
 COLEJENEST&STONE
 131 S. WILMINGTON STREET
 SUITE 200
 RALEIGH, NC 27601
 P= 919-645-5967
 F= 919-719-1819
 E= PMEDLING@COLEJENESTSTONE.COM

GENERAL NOTES:

- THE CONTRACTOR SHALL VERIFY THE LOCATION, DEPTH, AND EXISTENCE OF ALL UTILITIES WITHIN THE CONSTRUCTION AREA PRIOR TO ANY EXCAVATION. THE OMISSION OF, OR INCLUSION OF UTILITY LOCATIONS ON THE PLANS IS NOT TO BE CONSIDERED AS THE NONEXISTENCE, OR DEFINITE LOCATION OF EXISTING UNDERGROUND UTILITIES. ANY DAMAGE TO EXISTING UNDERGROUND UTILITIES SHALL BE REPAIRED AT THE CONTRACTOR'S EXPENSE.
- ALL SIDEWALKS ARE PUBLIC AND MUST BE ACCESSIBLE TO PERSONS WHO ARE BLIND, HAVE LOW VISION, AND PEOPLE WITH MOBILITY DISABILITIES. EXISTING PEDESTRIAN ROUTES AND ALTERNATE PEDESTRIAN ROUTES DURING CONSTRUCTION WILL BE REQUIRED TO BE COMPLIANT WITH THE PUBLIC RIGHTS OF WAY ACCESSIBILITY GUIDELINES (PROWAG), 2010 ADA STANDARDS FOR ACCESSIBLE DESIGN AND THE MANUAL ON UNIFORM TRAFFIC CONTROL DEVICES (MUTCD).
- ALL CONSTRUCTION TO BE IN ACCORDANCE WITH ALL CITY OF RALEIGH AND/OR NCDOT STANDARDS AND SPECIFICATIONS.
- NO SIGHT OBSTRUCTING OR PARTIALLY OBSTRUCTING WALL, FENCE, FOLIAGE, BERING, PARKED VEHICLES OR SIGNS BETWEEN THE HEIGHTS OF TWENTY-FOUR (24) INCHES AND EIGHT (8) FEET ABOVE THE CURB LINE ELEVATION, OR THE NEAREST TRAVELED WAY IF NO CURBING EXISTS, SHALL BE PLACED WITHIN A SIGHT TRIANGLE OF A PUBLIC STREET, PRIVATE STREET OR DRIVEWAY CONTAINED EITHER ON THE PROPERTY OR ON AN ADJOINING PROPERTY.
- ALL ROOFTOP UTILITIES ARE TO BE SCREENED FROM PUBLIC R.O.W. SEE ARCHITECTURAL PLANS FOR ELEVATIONS.
- SOLID WASTE SERVICE TO BE COLLECTED BY PRIVATE SERVICE PROVIDER. TWO DUMPSTERS ARE PROVIDED, ONE FOR WASTE, AND ONE FOR CARDBOARD RECYCLING. WASTE TO BE COLLECTED WEEKLY OR MORE FREQUENTLY AS REQUIRED.
- NO OUTDOOR SEATING OR TABLES WILL BE PROVIDED/LOCATED OUTDOORS.
- ALL DELIVERIES (LOADING AND UNLOADING) WILL BE COMPLETED DURING NON-OPERATIONAL HOURS WITHIN THE PROPERTY LIMITS.

SITE DATA:

PROJECT NAME: CARDAMOM MARKET
 PROJECT ADDRESS: 1605 RONALD DRIVE, RALEIGH, NC
 PROJECT PIN: 1716506490
 PARCEL INFO: DB15637/459, BM1960/337 LOT 6, BM1991/214 R/W TAKE
 JURISDICTION: CITY OF RALEIGH, WAKE COUNTY, ATLANTIC CAC
 TOWNSHIP: RALEIGH
 ZONING: CX-3 COMMERCIAL MIXED USE
 LAND USE: EXISTING: VACANT, PROPOSED: RETAIL AND RESTAURANT/BAR
 ADJACENT ZONING: CX-3
 ADJACENT LAND USE: EXISTING: MIXED USE, RETAIL
 ACREAGE: 18,189 SF / 0.42 AC
 IMPERVIOUS COVER: EXISTING: 0.00 ACRES, PROPOSED: 0.267 ACRES, 11,624.12 SF
 MINIMUM SETBACKS: BUILDING: FRONT: 5', SIDE: 0' OR 6', REAR: 0' OR 6', PARKING: PRIMARY STREET: 10', SIDE LOT: 0' OR 3', REAR LOT: 0' OR 3'

PUBLIC IMPROVEMENT QUANTITIES:	
PUBLIC WATER (LF)	0
PUBLIC SEWER (LF)	0
PUBLIC STREET (LF)	0
PUBLIC SIDEWALK (LF)	132

PUBLIC INFRASTRUCTURE/SERVICE: PUBLIC WATER, PUBLIC SEWER, SOLID WASTE SERVICE: PRIVATE

RESTAURANT SUMMARY:

RESTAURANT / KITCHEN AREA: (1/150sf GROSS OR 1/5 SEATS) - 635sf GROSS AND 20 SPACES REQUIRED
 RETAIL AND STORAGE, OFFICE, AND BATHROOMS: (1/300sf GROSS) - 2,695sf GROSS: 9 SPACES REQUIRED
 TOTAL RESTAURANT / KITCHEN AND RETAIL CALCS: 13 SPACES REQUIRED
 TOTAL PARKING PROVIDED: 13
 RETAIL: 1 BICYCLE PARKING PER 5000 SF, 4 MIN.
 RESTAURANT / KITCHEN: SHORT TERM - 1 BICYCLE PARKING PER 50,000 SF, 4 MIN. LONG TERM - 1 BICYCLE PARKING PER 25,000 SF, 4 MIN.
 TOTAL REQUIRED BICYCLE PARKING: 4
 RETAIL: 4 (SHORT TERM)
 RESTAURANT / KITCHEN: 4 (LONG TERM) - LOCATED WITHIN BUILDING. REFERENCE ARCHITECTURAL SHEET A-101
 TOTAL PROVIDED BICYCLE PARKING: 12

TREE CONSERVATION:

NOT REQUIRED PER UDO SEC. 9.1.2
 SITE IS LESS THAN 2 ACRES

HEIGHT:

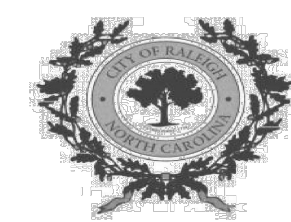
MAX ALLOWED: 50' (3 STORIES)
 PROPOSED: 16'-11" (1 STORY)

GROSS FLOOR AREA (GFA):

EXISTING: 0 GSF
 PROPOSED: 3,330 GSF

AMENITY AREA SUMMARY:

PROJECT SITE: 18,189 SF / 0.42 AC
 REQUIRED AREA (10%): 1,818.9 SF / 0.042 AC
 PROPOSED AREA (12.7%): 2,317 SF / 0.054 AC



City of Raleigh Public Utilities Cross Connection Program Certificate of Compliance Application New Construction

Office Use Only
 Date Application Received: ___/___/20___
 Certificate Granted: Yes No
 Date: ___/___/20___

Date: 09/12/18
 PIN #: 1716506490
 Address: 1605 Ronald Drive, Raleigh, NC 27609
 Street Address (Site of new construction) City State Zip Code
 Daytime Phone Number (704) 971 - 4510 Email: cjenest@colejeneststone.com

Containment Assembly: A backflow assembly, installed at the point of separation between the public water supply and a private service or private distribution system or at the point of metering.
 Minimum requirements: containment assemblies must be installed within 50' linear feet of piping from the most downstream edge of the meter box or ROW and be on the ASSE and USC approval list. Please see Appendix A: Guidelines and Requirements for the Cross Connection Program for further installation guidelines.

Water Service (Domestic, Irrigation, Fire, or Private Distribution System)	Model of Containment Backflow	Office Use Only
Domestic	Wilkins 350 (1.5')	Approval of Location and Model

Professional Engineer Identification of Responsibilities
 I hereby state that the above information is correct and complete to the best of my knowledge and is in compliance with all applicable City of Raleigh Public Utilities ordinance, handbook, and NC Plumbing and Fire Code except where noted.
 I certify that this building will be properly contained with an approved backflow assembly/assemblies according to the latest City of Raleigh Public Utilities ordinance, handbook, and NC Plumbing and Fire Code. Falsification of any statement is considered a willful violation and could subject the professional engineer to civil penalties or fines.
 Colin M. Jenest, Charlotte, NC, 28202, 704, 971, 4510
 302 S Tryon St Suite 1400, City, State, Zip Code
 Signature: [Signature] Date: [Date]
 Office: 919-996-2373 Fax: 919-996-1868
 cross.connection@raleighnc.gov
 Go To www.raleighnc.gov and Search "Cross Connection"

*PIN: Property Identification Number can be found on Wake Gov Real Estate

Administrative Site Review Application (for UDO Districts only)

Development Services Customer Service Center | Exchange Plaza, Suite 400 | Raleigh, NC 27601 | 919-996-2495 | eFax 919-996-1831
 Litchford Satellite Office | 8320 - 130 Litchford Road | Raleigh, NC 27601 | 919-996-4200

When submitting plans, please check the appropriate building type and include the Plan Checklist document.

BUILDING TYPE	FOR OFFICE USE ONLY
<input type="checkbox"/> Detached <input type="checkbox"/> Attached <input type="checkbox"/> Apartment <input type="checkbox"/> Townhouse	<input checked="" type="checkbox"/> General <input type="checkbox"/> Mixed Use <input type="checkbox"/> Open Lot
Transaction Number Assigned Project Coordinator Assigned Team Leader	

Has your project previously been through the Due Diligence or Sketch Plan Review process? If yes, provide the transaction #

GENERAL INFORMATION
 Development Name: CARDAMOM MARKET
 Zoning District: CX-3 Overlay District (if applicable) Inside City Limits? Yes No
 Proposed Use: RETAIL
 Property Address(es): 1605 Ronald Drive Major Street Locator: Wake Forest Rd
 Wake County Property Identification Number(s) for each parcel to which these guidelines will apply:
 P.I.N. 1716506490 P.I.N. P.I.N. P.I.N.

What is your project type?
 Mixed Residential Non-Residential Condo School Hospital Home/Hotels Office
 Duplex Telecommunication Tower Religious Institutions Residential Condo Retail Industrial Building
 Cottage Court
 Other: If other, please describe: RESTAURANT/BAR

WORK SCOPE: Per City Code Section 10.2.8.D.1, summarize the project work scope. For additions, changes of use, or occupancy (per Chapter 6 of the UDO), indicate impacts on parking requirements.
 Construction of grocery with restaurant dining building, parking lot, utilities, and landscaping

DESIGN ADJUSTMENT OR ADMIN ALTERNATE: Per City Code Chapter 8, summarize if your project requires either a design adjustment, or Section 10 - Alternate Administrative AE
 NA

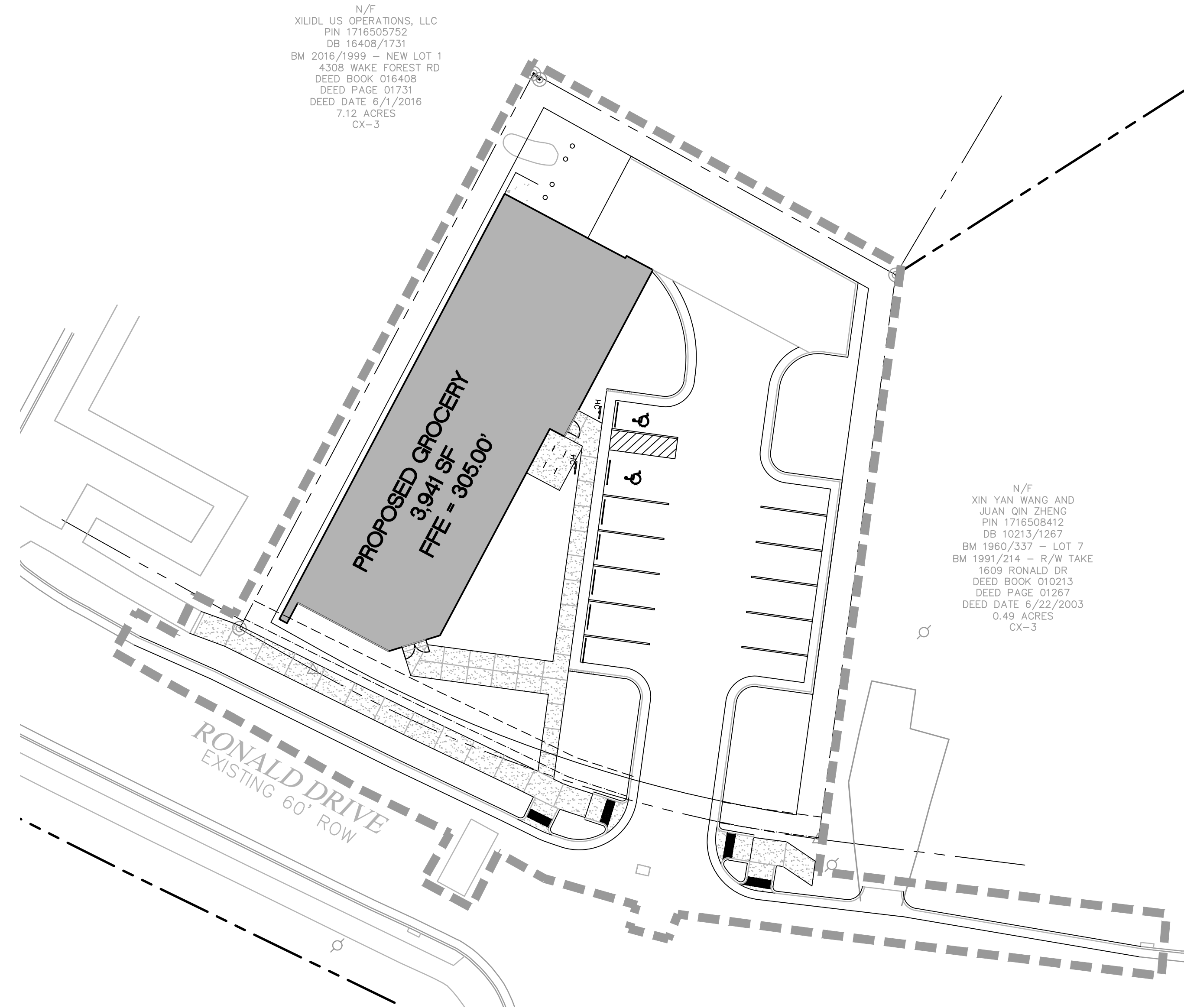
CLIENT/DEVELOPER/OWNER: Company: Eugene and Martha Gomes
 Address: 6260-112 Glenwood Ave, Raleigh NC, 27612
 Phone: 919.889.5141 Email: eugenebgomes@bellsouth.net Fax:

CONSULTANT (Contact Person for Plans): Company: ColeJenest & Stone Name(s): Paul Medling
 Address: 119 E. Hargett Street Suite 300
 Phone: 919 645 5967 Email: pmedling@colejeneststone.com Fax:

WWW.RALEIGHNC.GOV REVISION 05.13.16

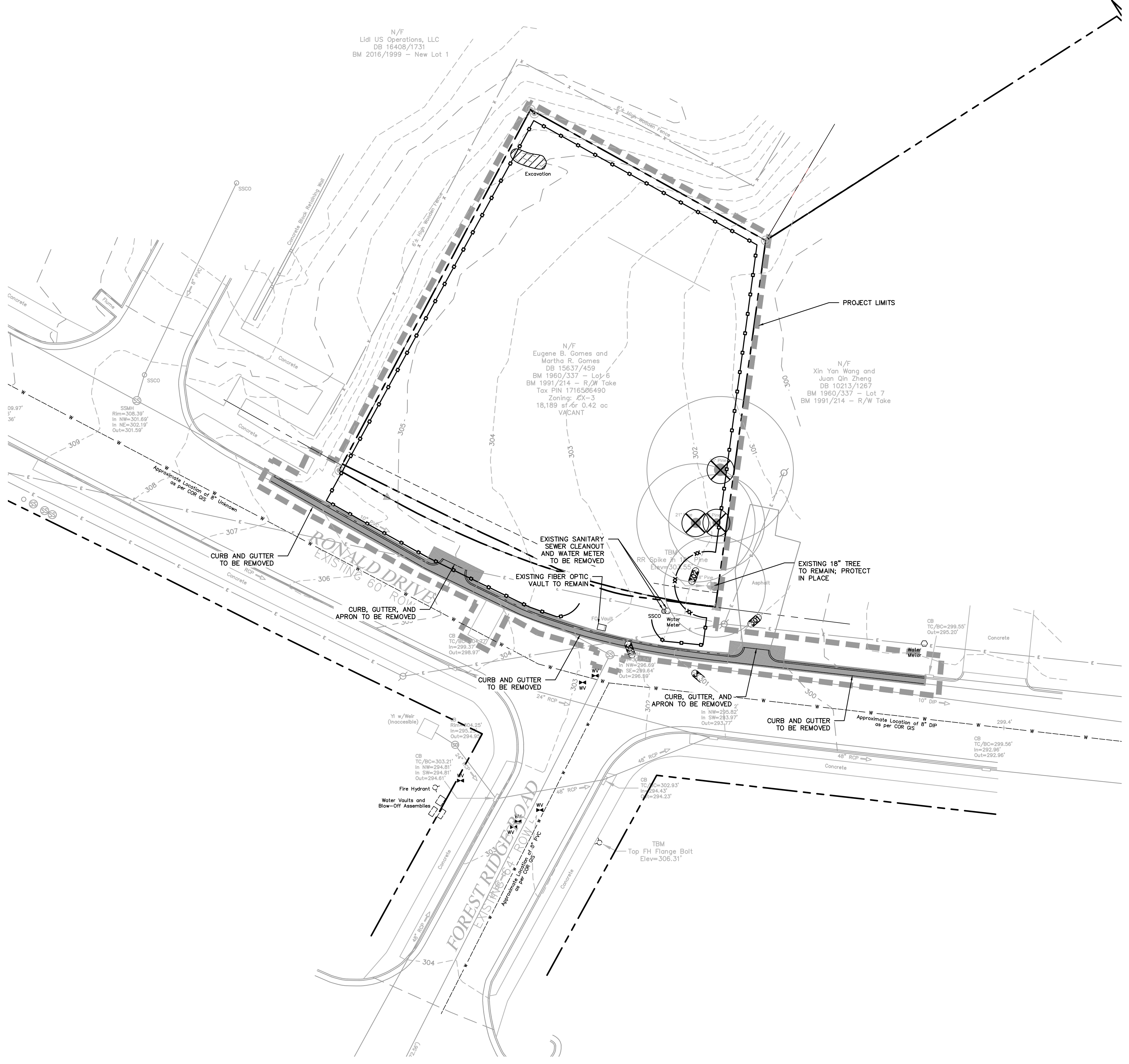
DEVELOPMENT TYPE & SITE DATA TABLE (Applicable to all developments)	
Zoning District(s) CX-3	Proposed building use(s) RETAIL & RESTAURANT / BAR
If more than one district, provide the acreage of each:	Existing Building(s) sq. ft. gross 000
Overlay District	Proposed Building(s) sq. ft. gross 3,330
Total Site Acres Inside City Limits <input checked="" type="checkbox"/> Yes <input type="checkbox"/> No 0.42	Total sq. ft. gross (existing & proposed) 3,330
Off street parking: Required 13 Provided 13	Proposed height of building(s) 16' 11-3/8"
COA (Certificate of Appropriateness) case #	# of stories 1
BOA (Board of Adjustment) case # A-	Ceiling height of 1 st floor 12'
CUO (Conditional Use District) case # Z-	
Stormwater Information	
Existing Impervious Surface 000sf acres/square feet	Flood Hazard Area <input type="checkbox"/> Yes <input checked="" type="checkbox"/> No
Proposed Impervious Surface 11,624.12sf acres/square feet	If Yes, please provide: Alluvial Soils FEMA Map Panel # Flood Study
Neuse River Buffer <input type="checkbox"/> Yes <input checked="" type="checkbox"/> No	Wetlands <input type="checkbox"/> Yes <input checked="" type="checkbox"/> No
FOR RESIDENTIAL DEVELOPMENTS	
1. Total # of Apartment, Condominium or Residential Units	5. Bedroom Units: 1br 2br 3br 4br or more
2. Total # of Congregate Care or Life Care Dwelling Units	6. Infill Development 2.2.7
3. Total Number of Hotel Units	7. Open Space (only) or Amenity
4. Overall Total # of Dwelling Units (1-6 Above)	8. Is your project a cottage court? <input type="checkbox"/> Yes <input type="checkbox"/> No
SIGNATURE BLOCK (Applicable to all developments)	

In filing this plan as the property owner(s), I/we do hereby agree and firmly bind ourselves, my/our heirs, executors, administrators, successors and assigns jointly and severally to construct all improvements and make all dedications as shown on this proposed development plan as approved by the City.
 ColeJenest&Stone, P.A.
 I hereby designate _____ to serve as my agent regarding this application, to receive and respond to administrative comments, to resubmit plans on my behalf and to represent me in any public meeting regarding this application.
 I/we have read, acknowledge and affirm that this project is conforming to all application requirements applicable with the proposed development use:
 Signed: [Signature] Date: 09-11-18
 Printed Name: [Name]
 Signed: [Signature] Date: 09-11-18
 Printed Name: [Name]



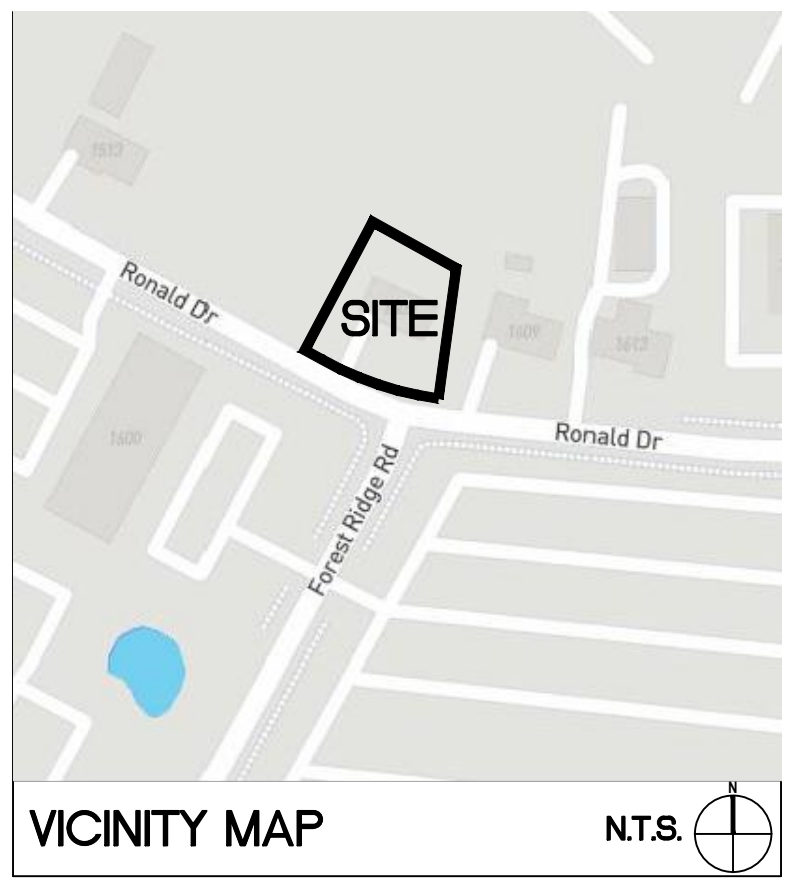
Inclusion Studio
 206 New Bern Place
 Raleigh, NC 27601
 inclusionstudio.com
 ColeJenest & Stone
 119 E. Hargett Street
 Raleigh, NC 27601
 Phone: 919-719-1800
 CARDAMOM MARKET
 1605 RONALD DRIVE,
 RALEIGH, NORTH CAROLINA
 27606
 REVISION: 05/18/2018
 1ST ROUND REVIEW COMMENTS
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 REVISED STORM INLET NEAR DUMPSTERS
 COVER ADMINISTRATIVE SITE REVIEW
 C000
 09-28-2018
 50478.00

N/F
Lidi US Operations, LLC
DB 16408/1731
BM 2016/1999 - New Lot 1



DEMOLITION NOTES

1. CONTRACTOR IS RESPONSIBLE FOR THE COORDINATION AND SEQUENCING OF DEMOLITION AS DESCRIBED BY THESE DOCUMENTS AND SPECIFICATIONS. CONTRACTOR IS TO OBTAIN ALL PERMITS.
2. THE CONTRACTOR SHALL VERIFY THE EXISTENCE, LOCATION, AND DEPTH OF ALL BURIED UTILITIES (ELECTRICAL, MECHANICAL, WATER, SEWER, TELECOMMUNICATION, GAS, ETC.) WITHIN THE CONSTRUCTION AREA PRIOR TO ANY EXCAVATION. UTILITIES ARE ILLUSTRATED FOR INFORMATION PURPOSES ONLY. THE OMISSION OF, OR INCLUSION OF, UTILITY LOCATIONS ON THE PLANS IS NOT TO BE CONSIDERED AS THE NON-EXISTENCE OR DEFINITE LOCATION OF EXISTING UNDERGROUND UTILITIES. PRIOR TO CONSTRUCTION, THE CONTRACTOR SHALL NOTIFY AND MEET WITH ALL UTILITY OWNERS WHOSE FACILITIES WILL BE AFFECTED TO DETERMINE UTILITY LOCATIONS. THE CONTRACTOR SHALL PROTECT ALL UTILITIES FROM DAMAGE CAUSED BY HIS OPERATIONS OR THOSE OF HIS AGENTS. ANY DAMAGE TO EXISTING UNDERGROUND UTILITIES SHALL BE REPAIRED AT THE CONTRACTOR'S EXPENSE.
3. CONTRACTOR IS RESPONSIBLE FOR COORDINATION OF ANY REQUIRED UTILITY DEMOLITION OR RELOCATION WITH THE APPLICABLE UTILITY OWNER. THE CONTRACTOR SHALL COORDINATE THIS WORK WITH THE RESPECTIVE UTILITY OWNERS SO AS NOT TO ADVERSELY AFFECT THE PROJECT SCHEDULE.
4. ALL MATERIAL GENERATED BY THE DEMOLITION WILL BE HAULED FROM THE SITE AND DISPOSED OF PER LOCAL ORDINANCES.
5. INSTALL 6' CHAIN LINK FENCE AROUND PERIMETER OF PROPERTY DURING DEMOLITION AND CONSTRUCTION.
6. ALL EXISTING ASPHALT PAVEMENT SHALL BE SAW-CUT AT THE LIMIT OF DEMOLITION WHERE CONSTRUCTION PLANS SHOW TIE-INS. SAW-CUT JOINT SHALL BE ONE FOOT FROM THE EXISTING EDGE OF PAVEMENT, MINIMUM.
7. ALL EXISTING CONCRETE PAVEMENT, SIDEWALK AND/OR CURB AND GUTTER SHALL BE REMOVED TO THE NEAREST EXISTING CONTROL JOINT BEYOND THE LIMIT OF DEMOLITION SHOWN ON THE PLAN. WHERE NO EXISTING CONTROL JOINTS ARE PRESENT WITHIN FIVE FEET OF THE LIMIT OF DEMOLITION, CONCRETE PAVEMENTS SHALL BE SAW-CUT.
8. ALL STREETS SHALL REMAIN OPEN AND UNOBSTRUCTED TO TRAFFIC AT ALL TIMES.
9. CONTRACTOR IS RESPONSIBLE FOR TRAFFIC CONTROL DURING DEMOLITION WHERE CONSTRUCTION PLANS SHOW TIE-INS. CONSTRUCTION PER WORK AREA TRAFFIC CONTROL HANDBOOK STANDARDS. (W.A.T.C.H.)
10. CONTRACTOR SHALL COORDINATE ALL DEMOLITION OR INSTALLATION WORK ALONG RONALD DRIVE WITH THE CITY OF RALEIGH.
11. DEMOLITION OF STORM DRAINAGE AND SANITARY SEWER SYSTEM(S) BY CONTRACTOR SHALL ALLOW FOR CONTINUOUS USE OF THE SYSTEM(S).
12. CONTRACTOR SHALL REPAIR OR REPLACE ANY ADJACENT CONCRETE CURBING AND/OR SIDEWALK DAMAGED AS PART OF DEMOLITION PROCESS.
13. EXISTING WELLS, IF ANY, SHALL BE ABANDONED IN ACCORDANCE WITH NORTH CAROLINA ADMINISTRATIVE CODE 15A NCAC 02C.0113.



SURVEY DISCLAIMER
TOPOGRAPHIC SURVEY ISSUE DATE 02/28/18. PROVIDED BY BOUNDARY ZONE, INC. BRADLEY L. HUNTER (NCPLS L-3565), 2205 GANDUM DRIVE, SUITE C, APEX, NC 27523. PHONE 919-363-9226

LEGEND

SYMBOL	DESCRIPTION	NOTES
	CONCRETE TO BE REMOVED	-/-
	ASPHALT TO BE REMOVED	-/-
	CURB TO BE REMOVED	-/-
	TREE TO BE REMOVED	-/-
	SILT FENCE	-/-
	TREE PROTECTION FENCING	-/-
	PROJECT LIMIT	-/-
	CONSTRUCTION FENCE	-/-



Know what's below.
Call before you dig.

1. CONTRACTOR IS FULLY RESPONSIBLE FOR CONTACTING APPROPRIATE PARTIES AND ASSURING THAT EXISTING UTILITIES ARE LOCATED PRIOR TO CONSTRUCTION.
2. CONTRACTOR IS RESPONSIBLE FOR PLACING BARRICADES USING FLAG MEN, ETC. AS NECESSARY TO INSURE SAFETY TO THE PUBLIC.
3. ALL PAVEMENT CUTS, CONCRETE OR ASPHALT, ARE TO BE REPLACED ACCORDING TO STANDARDS OF THE NORTH CAROLINA DEPARTMENT OF TRANSPORTATION AND CITY OF RALEIGH SPECIFICATIONS.
4. SHORING WILL BE ACCORDING TO OSHA TRENCHING STANDARDS PART 1926 SUBPART F, OR AS AMENDED.

CARDAMOM MARKET
1605 RONALD DRIVE,
RALEIGH, NORTH CAROLINA
27606

NOT FOR CONSTRUCTION

Inclusion Studio
206 New Bern Place
Raleigh, NC 27601
inclusionstudio.com

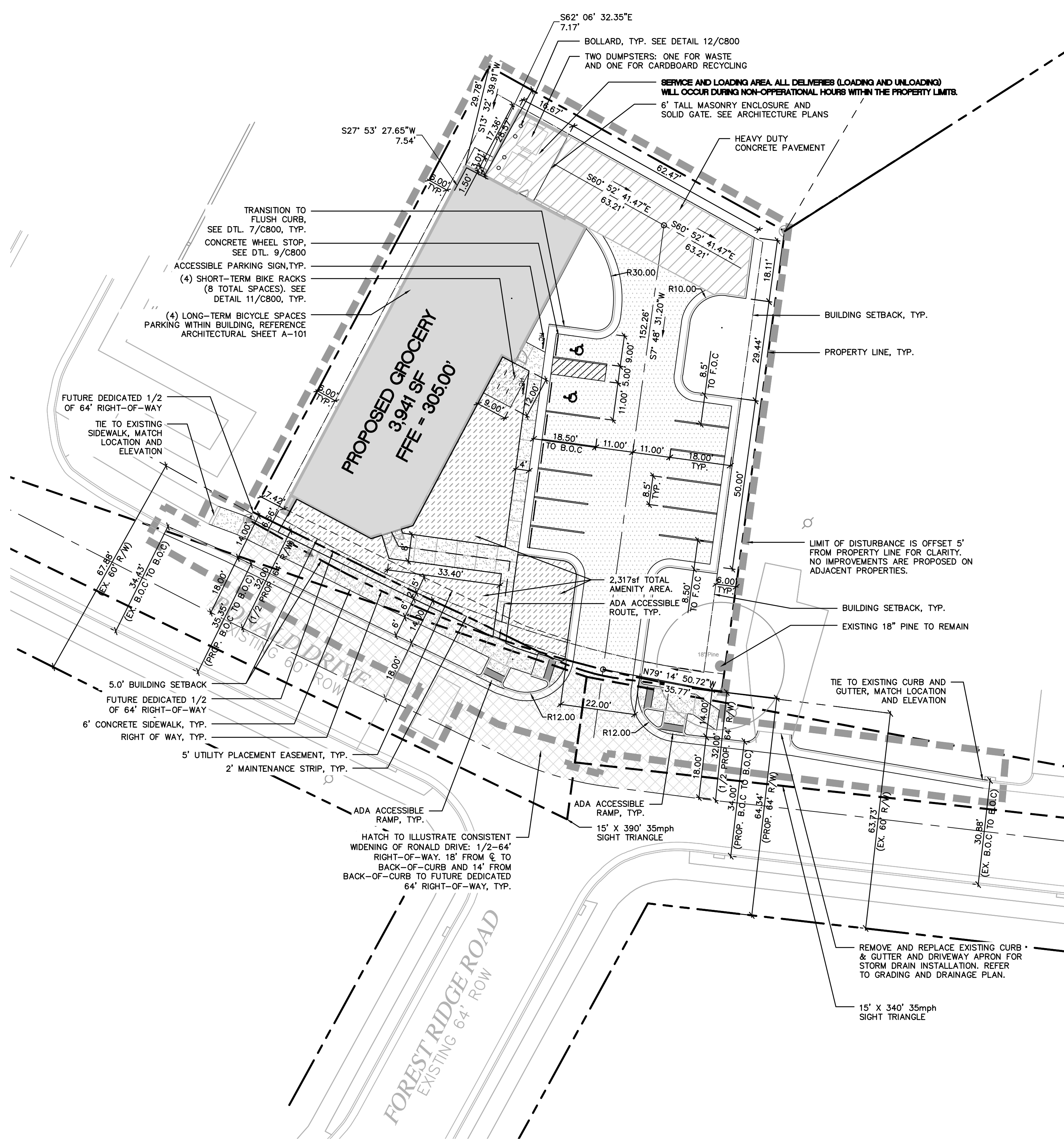
Coleman & Stone
1111 W. GOLF COURSE RD.
RALEIGH, NC 27601
Phone: 919-719-1800

REVISIONS:

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5	09/28/2018	5TH ROUND REVIEW COMMENTS - REVISED STORM INLET NEAR DUMPSTERS

PROPOSED DEMOLITION PLAN
ADMINISTRATIVE SITE REVIEW
SCALE: 1"=20'

C-100
09 28 2018
50478.00



SITE DATA:

PROJECT NAME: CARDUMOM MARKET
 PROJECT ADDRESS: 1605 RONALD DRIVE, RALEIGH, NC
 PROJECT PIN: 1716506490
 PARCEL INFO: DB15637/459, BM1960/237 LOT 6, BM1991/214 R/W TAKE
 JURISDICTION: CITY OF RALEIGH, WAKE COUNTY, ATLANTIC CAC
 TOWNSHIP: RALEIGH
 ZONING: CX-3 COMMERCIAL MIXED USE
 LAND USE: EXISTING: VACANT, PROPOSED: RETAIL AND RESTAURANT/BAR
 ADJACENT ZONING: CX-3
 ADJACENT LAND USE: EXISTING: MIXED USE, RETAIL
 ACREAGE: 18,189 SF / 0.42 AC
 IMPERVIOUS COVER: EXISTING: 0.00 ACRES, PROPOSED: 0.267 ACRES (11,624.12 SF)
 MINIMUM SETBACKS: BUILDING: FRONT: 5', SIDE: 0' OR 6', REAR: 0' OR 6'
 PARKING: PRIMARY STREET: 10', SIDE LOT: 0' OR 3', REAR LOT: 0' OR 3'

PARKING SUMMARY:

RESTAURANT / KITCHEN AREA: (1/150sf GROSS OR 1/5 SEATS) - 635sf GROSS AND 20 SEATS: 4 SPACES REQUIRED
 RETAIL AND STORAGE, OFFICE, AND BATHROOMS: (1/300sf GROSS) - 2,695sf GROSS: 9 SPACES REQUIRED
 TOTAL RESTAURANT / KITCHEN AND RETAIL CALCS: 13 SPACES PROVIDED
 TOTAL PARKING PROVIDED: 13
 RETAIL: 1 BICYCLE PARKING PER 5000 SF, 4 MIN. PARKING PER 25,000 SF, 4 MIN. LONG TERM - 1 BICYCLE
 RESTAURANT / KITCHEN: SHORT TERM - 1 BICYCLE PARKING PER 50,000 SF, 4 MIN. LONG TERM - 1 BICYCLE
 TOTAL REQUIRED BICYCLE PARKING: RETAIL: 4, RESTAURANT / KITCHEN: 4 (SHORT TERM), 4 (LONG TERM) - LOCATED WITHIN BUILDING, REFERENCE ARCHITECTURAL SHEET A-101
 TOTAL PROVIDED BICYCLE PARKING: 12

TREE CONSERVATION:

NOT REQUIRED PER UDO SEC. 9.1.2
 SITE IS LESS THAN 2 ACRES

HEIGHT:

MAX ALLOWED: 50' (3 STORIES)
 PROPOSED: 16'-11" (1 STORY)

GROSS FLOOR AREA (GFA):

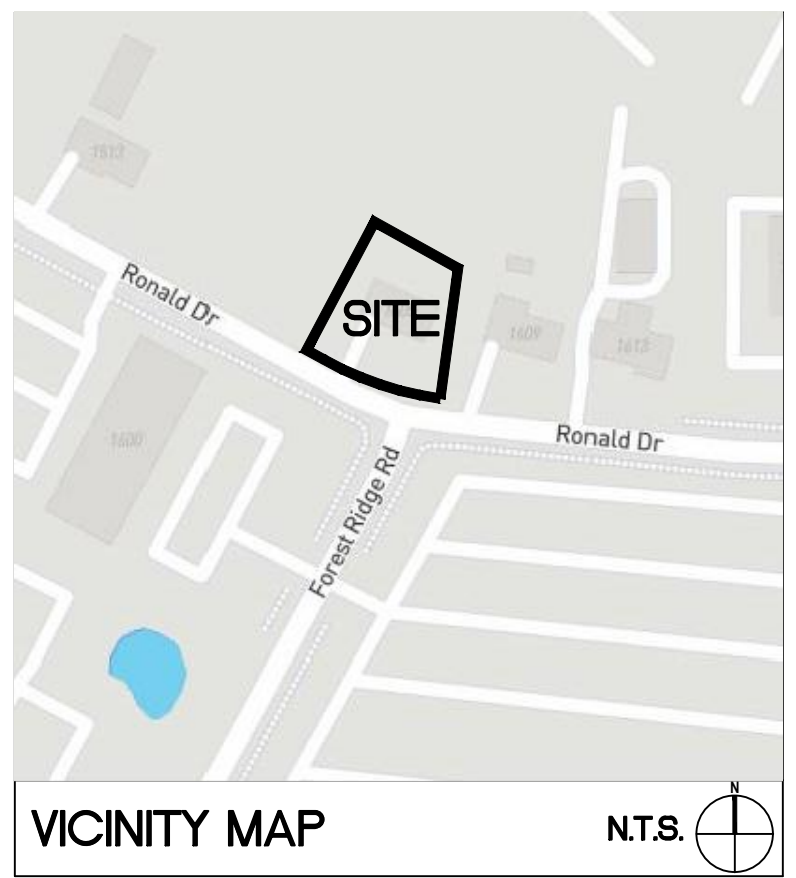
EXISTING: 0 GSF
 PROPOSED: 3,330 GSF

AMENITY AREA SUMMARY:

PROJECT SITE: 18,189 SF / 0.42 AC
 REQUIRED AREA (10%): 1,818.9 SF / 0.042 AC
 PROPOSED AREA (12.7%): 2,317 SF / 0.054 AC

STAKING AND MATERIALS NOTES

- ALL DIMENSIONS ARE TO FACE OF CURB, FACE OF BUILDING, OR CENTERLINE UNLESS OTHERWISE NOTED.
- ALL DIMENSIONS ARE AT 90 DEGREES UNLESS OTHERWISE NOTED.
- ALL BACK OF CURB RADII AT PARKING LOT ISLANDS ARE 4.5- FEET UNLESS OTHERWISE NOTED.
- PARKING STALL DIMENSIONS ARE 18.0' (TO FACE OF CURB) X 8.5' WIDE UNLESS OTHERWISE NOTED.
- REFER TO ARCHITECTURAL PLANS FOR ACTUAL BUILDING DIMENSIONS.
- ANY DISCREPANCIES BETWEEN THE CONTRACT DOCUMENTS AND ACTUAL FIELD CONDITIONS SHALL BE CALLED TO THE ATTENTION OF THE OWNER AND ENGINEER PRIOR TO PROCEEDING WITH THE WORK.
- THE CONTRACTOR SHALL CONTACT ALL OWNERS OF UTILITIES, EASEMENTS, AND RIGHTS-OF-WAY, PUBLIC AND PRIVATE, PRIOR TO WORKING IN THESE AREAS.
- ALL ASPHALT PAVING SHALL CONFORM TO THE APPLICABLE PROVISIONS OF THE NCDOT STANDARD SPECIFICATIONS FOR ROADS AND STRUCTURES, LATEST EDITION AND CITY OF RALEIGH STANDARD DETAILS.
- CONTRACTOR SHALL FURNISH AND INSTALL ALL PAVEMENT MARKINGS AS SHOWN ON THE PLANS.
- ALL SIGNS, PAVEMENT MARKINGS, AND OTHER TRAFFIC CONTROL DEVICES SHALL CONFORM TO THE LATEST EDITION OF THE MANUAL ON UNIFORM TRAFFIC CONTROL DEVICES (MUTCD).
- ALL PARKING STALL STRIPING SHALL BE 4-INCH WHITE LINES, UNLESS OTHERWISE NOTED.
- STOP SIGNS SHALL BE R1-1, 30"x30".
- NO DEMOLITION LANDFILLS ALLOWED ON SITE.



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LEGEND

SYMBOL	DETAIL
[Symbol]	PROPOSED SIDEWALK 2/C800
[Symbol]	PROPOSED ACCESSIBLE RAMP 4/C800
[Symbol]	PROPOSED ACCESSIBLE SPACE 8/C800
[Symbol]	PROPOSED ACCESSIBLE SIGN 8/C800
[Symbol]	PROPOSED BICYCLE RACK 11/C800
[Symbol]	LIGHT DUTY BITUMINOUS CONCRETE 1A/C800
[Symbol]	HEAVY DUTY BITUMINOUS CONCRETE 1B/C800
[Symbol]	AMENITY AREA ---
[Symbol]	PROPOSED 2'-6" CURB & GUTTER 3/C800
[Symbol]	1/2-64' R/W - CONSISTENT WIDENING OF RONALD DR. ---



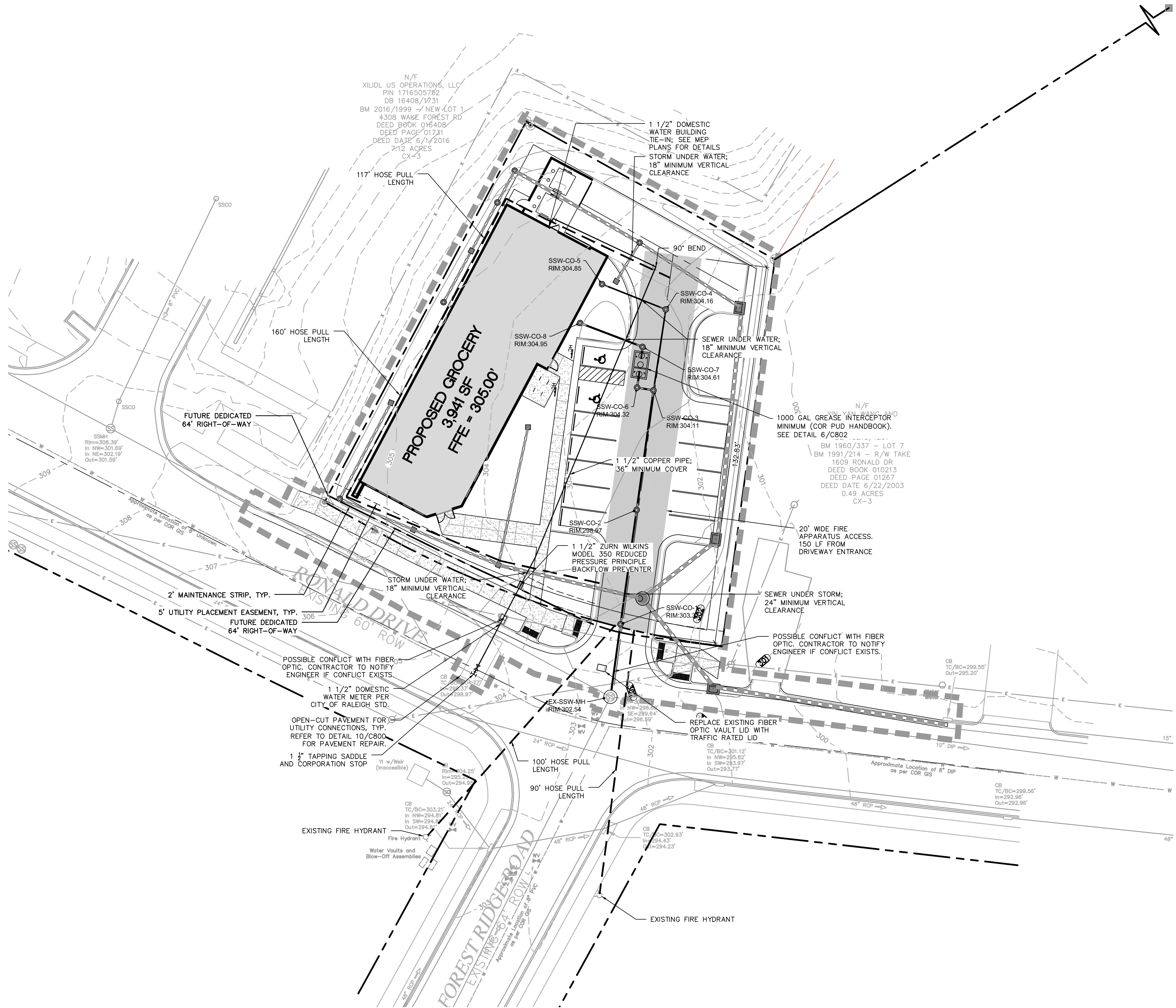
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- SHORING WILL BE ACCORDING TO OSHA TRENCHING STANDARDS PART 1926 SUBPART F, OR AS AMENDED.

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PROPOSED SITE PLAN
 ADMINISTRATIVE SITE REVIEW
 SCALE: 1"=20'
 0 10 20 40



CITY OF RALEIGH STANDARD UTILITY NOTES

- ALL MATERIALS & CONSTRUCTION METHODS SHALL BE IN ACCORDANCE WITH CITY OF RALEIGH DESIGN STANDARDS, DETAILS & SPECIFICATIONS (REFERENCE: CORPUD HANDBOOK, CURRENT EDITION).
- UTILITY SEPARATION REQUIREMENTS:
 - A DISTANCE OF 100' SHALL BE MAINTAINED BETWEEN SANITARY SEWER & ANY PRIVATE OR PUBLIC WATER SUPPLY SOURCE SUCH AS AN IMPOUNDED RESERVOIR USED AS A SOURCE OF DRINKING WATER, IF ADEQUATE LATERAL SEPARATION CANNOT BE ACHIEVED, FERROUS SANITARY SEWER PIPE SHALL BE MAINTAINED & INSTALLED TO WATERLINE SPECIFICATIONS. HOWEVER, THE MINIMUM SEPARATION SHALL NOT BE LESS THAN 25' FROM A PRIVATE WELL OR 50' FROM A PUBLIC WELL.
 - WHEN INSTALLING WATER AND/OR SEWER MAINS, THE HORIZONTAL SEPARATION BETWEEN UTILITIES SHALL BE 10'. IF THIS SEPARATION CANNOT BE MAINTAINED DUE TO EXISTING CONDITIONS, THE VARIATION ALLOWED IS THE WATER MAIN IN A SEPARATE TRENCH WITH THE ELEVATION OF THE WATER MAIN AT LEAST 18" ABOVE THE TOP OF THE SEWER AND MUST BE APPROVED BY THE PUBLIC UTILITIES DIRECTOR. ALL DISTANCES ARE MEASURED FROM OUTSIDE DIAMETER TO OUTSIDE DIAMETER.
 - WHERE IT IS IMPOSSIBLE TO OBTAIN PROPER SEPARATION, OR ANYTIME A SANITARY SEWER PASSES OVER A WATERMAIN, DIP MATERIALS OR STEEL ENCASUREMENT EXTENDED 10' ON EACH SIDE OF CROSSING MUST BE SPECIFIED & INSTALLED TO WATERLINE SPECIFICATIONS.
 - 5.0' MINIMUM HORIZONTAL SEPARATION IS REQUIRED BETWEEN ALL SANITARY SEWER AND STORM SEWER FACILITIES, UNLESS DIP MATERIAL IS SPECIFIED FOR SANITARY SEWER.
 - MAINTAIN 18" MIN. VERTICAL SEPARATION AT ALL WATERMAIN AND RCP STORM DRAIN CROSSINGS; MAINTAIN 24" MIN. VERTICAL SEPARATION AT ALL SANITARY SEWER AND RCP STORM DRAIN CROSSINGS, WHERE ADEQUATE SEPARATIONS CANNOT BE ACHIEVED. SPECIFY DIP MATERIALS AND A CONCRETE CRADLE HAVING 6" MIN. CLEARANCE (PER CORPUD DETAILS W-41 & S-49).
 - ALL OTHER UNDERGROUND UTILITIES SHALL CROSS WATER & SEWER FACILITIES WITH 18" MIN. VERTICAL SEPARATION REQUIRED.
- ANY NECESSARY FIELD REVISIONS ARE SUBJECT TO REVIEW & APPROVAL OF AN AMENDED PLAN AND/OR PROFILE BY THE CITY OF RALEIGH PUBLIC UTILITIES DEPARTMENT PRIOR TO CONSTRUCTION.
- CONTRACTOR SHALL MAINTAIN CONTINUOUS WATER & SEWER SERVICE TO EXISTING RESIDENCES AND BUSINESSES THROUGHOUT CONSTRUCTION OF PROJECT. ANY NECESSARY SERVICE INTERRUPTIONS SHALL BE PRECEDED BY A 24 HOUR ADVANCE NOTICE TO THE CITY OF RALEIGH PUBLIC UTILITIES DEPARTMENT.
- 3.0' MINIMUM COVER IS REQUIRED ON ALL WATER MAINS AND SEWER FORCEMAINS. 4.0' MINIMUM COVER IS REQUIRED ON ALL REUSE MAINS.
- IT IS THE DEVELOPER'S RESPONSIBILITY TO ABANDON OR REMOVE EXISTING WATER AND SEWER SERVICES NOT BEING USED IN REDEVELOPMENT OF A SITE UNLESS OTHERWISE DIRECTED BY THE CITY OF RALEIGH PUBLIC UTILITIES DEPARTMENT. THIS INCLUDES ABANDONING TAP AT MAIN AND REMOVAL OF SERVICE FROM ROW OR EASEMENT PER CORPUD HANDBOOK PROCEDURE.
- INSTALL 1 1/2" COPPER* WATER SERVICES WITH METERS LOCATED AT ROW OR WITHIN A 2'X2' WATERLINE EASEMENT IMMEDIATELY ADJACENT. NOTE: IT IS THE APPLICANT'S RESPONSIBILITY TO PROPERLY SIZE THE WATER SERVICE FOR EACH CONNECTION TO PROVIDE ADEQUATE FLOW & PRESSURE.
- INSTALL 6" PVC* SEWER SERVICES @ 1.0% MINIMUM GRADE WITH CLEANOUTS LOCATED AT ROW OR EASEMENT LINE & SPACED EVERY 75' LINEAR FEET MAXIMUM.
- PRESSURE REDUCING VALVES ARE REQUIRED ON ALL WATER SERVICES EXCEEDING 80 PSI; BACKWATER VALVES ARE REQUIRED ON ALL SANITARY SEWER SERVICES HAVING BUILDING DRAINS LOWER THAN 1.0' ABOVE THE NEXT UPSTREAM MANHOLE.
- ALL ENVIRONMENTAL PERMITS APPLICABLE TO THE PROJECT MUST BE OBTAINED FROM NCDWM, USACE &/OR FEMA FOR ANY RIPARIAN BUFFER, WETLAND &/OR FLOODPLAIN IMPACTS (RESPECTIVELY) PRIOR TO CONSTRUCTION.
- NCDOT / RAILROAD ENCROACHMENT AGREEMENTS ARE REQUIRED FOR ANY UTILITY WORK (INCLUDING MAIN EXTENSIONS AND SERVICE TAPS) WITHIN STATE OR RAILROAD ROW PRIOR TO CONSTRUCTION.
- GREASE INTERCEPTOR / OIL WATER SEPARATOR SIZING CALCULATIONS & INSTALLATION SPECIFICATIONS SHALL BE APPROVED BY THE CORPUD FOG PROGRAM COORDINATOR PRIOR TO ISSUANCE OF A BUILDING PERMIT. CONTACT STEPHEN CALVERLY AT (919) 996-2334 OR STEPHEN.CALVERLY@RALEIGH.NC.GOV FOR MORE INFORMATION.
- CROSS-CONNECTION CONTROL PROTECTION DEVICES ARE REQUIRED BASED ON DEGREE OF HEALTH HAZARD INVOLVED AS LISTED IN APPENDIX-B OF THE RULES GOVERNING PUBLIC WATER SYSTEMS IN NORTH CAROLINA. THESE GUIDELINES ARE THE MINIMUM REQUIREMENTS. THE DEVICES SHALL MEET AMERICAN SOCIETY OF SANITARY ENGINEERING (ASSE) STANDARDS OR BE ON THE UNIVERSITY OF SOUTHERN CALIFORNIA APPROVAL LIST. THE DEVICES SHALL BE INSTALLED AND TESTED (BOTH INITIAL AND PERIODIC TESTING THEREAFTER) IN ACCORDANCE WITH THE MANUFACTURER'S RECOMMENDATIONS OR THE LOCAL CROSS-CONNECTION CONTROL PROGRAM, WHICHEVER IS MORE STRINGENT. CONTACT JOANIE HELVEY AT (919) 212-5923 OR JOANIE.HARTLEY@RALEIGH.NC.GOV FOR MORE INFORMATION.



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SYMBOL	DETAIL
	EXISTING WATER MAIN -/-
	EXISTING SAN. SWR. LINE AND MANHOLE -/-
	PROPOSED WATER LINE -/-
	PROPOSED METER AND BACKFLOW PREVENTION DEVICES 102/C802
	PROPOSED SANITARY SEWER LINE/LATERAL -/-
	PROPOSED CLEANOUT 7/C802
	EXISTING FIRE HYDRANT -/-

WATER SERVICE NOTES

- 1 1/2" WATER METER FOR DOMESTIC SERVICE FURNISHED AND INSTALLED BY CONTRACTOR/UTILITY IN BELOW GRADE CONCRETE VAULT PREPARED BY CONTRACTOR IN ACCORDANCE WITH UTILITY DEPARTMENT STANDARDS. SEE DETAIL 1/C802. CONTRACTOR IS RESPONSIBLE FOR SCHEDULING INSTALLATION WITH UTILITY AND PAYING ALL FEES.

BACKFLOW PREVENTION NOTES

- 1 1/2" REDUCED PRESSURE PRINCIPLE BACKFLOW PREVENTION ASSEMBLY AS APPROVED BY CITY OF RALEIGH AND INSTALLED BY CONTRACTOR DURING CONSTRUCTION. ASSEMBLY TO BE INSTALLED ABOVE-GROUND WITH INSULATED ENCLOSURE PER CITY OF RALEIGH REQUIREMENTS. SEE DETAIL 2/C802.
- THERE SHALL BE NO TAPS, PIPING BRANCHES, UNAPPROVED BYPASS PIPING, HYDRANTS, FIRE DEPT. CONNECTION POINTS, OR OTHER WATER USING APPURTENANCES CONNECTED TO THE SUPPLY LINE BETWEEN ANY WATER METER AND ITS CITY OF RALEIGH-REQUIRED BACKFLOW PREVENTER.
- EACH CITY OF RALEIGH-REQUIRED BACKFLOW PREVENTION ASSEMBLY IS REQUIRED TO BE TESTED BY AN APPROVED CERTIFIED TESTER PRIOR TO PLACING THE WATER SYSTEM IN SERVICE.
- DUCTILE IRON, COPPER, OR OTHER METALLIC PIPING (NO PVC) IS TO BE USED WITHIN 5 FT. OF ALL BACKFLOW PREVENTION DEVICES.
- TAMPER SWITCHES SHALL BE INSTALLED ON THE FIRE LINE BACKFLOW PREVENTER. INSTALL 3/4" CONDUIT FROM FIRE LINE BACKFLOW VAULT TO BUILDING ALARM SYSTEM INSIDE BUILDING. COORDINATE WITH ELECTRICAL DRAWINGS AND ALARM SYSTEM MANUFACTURER.

SANITARY SEWER SCHEDULE							
FROM	TO	SIZE (IN)	MATERIAL	LENGTH (FT)	SLOPE (FT/FT)	INV OUT (FT)	INV IN (FT)
SSW-CO-8	SSW-CO-7	6"	PVC	23	0.0700	300.50	298.86
SSW-CO-7	GT	6"	PVC	6	0.0200	298.86	298.73
GT	SSW-CO-6	6"	PVC	8	0.0200	298.56	298.40
SSW-CO-5	SSW-CO-4	4"	PVC	24	0.0100	298.57	298.33
SSW-CO-4	SSW-CO-3	4"	PVC	29	0.0100	298.33	298.05
SSW-CO-6	SSW-CO-3	6"	PVC	6	0.0892	298.40	297.88
SSW-CO-3	SSW-CO-2	6"	PVC	42	0.0100	297.88	297.45
SSW-CO-2	SSW-CO-1	6"	PVC	40	0.0100	297.45	297.05
SSW-CO-1	EX-SSW-MH	6"	PVC	26	0.0100	297.05	296.79

ATTENTION CONTRACTORS
 THE CONSTRUCTION CONTRACTOR RESPONSIBLE FOR THE EXTENSION OF WATER, SEWER AND/OR REUSE, AS APPROVED IN THESE PLANS, IS RESPONSIBLE FOR CONTACTING THE PUBLIC WORKS DEPARTMENT AT (919) 996-8810 AND THE PUBLIC UTILITIES DEPARTMENT AT (919) 996-8840 AT LEAST TWENTY-FOUR HOURS PRIOR TO BEGINNING ANY OF THEIR CONSTRUCTION.
 FAILURE TO NOTIFY BOTH CITY DEPARTMENTS IN ADVANCE OF BEGINNING CONSTRUCTION WILL RESULT IN THE ISSUANCE OF MONETARY FINES AND REQUIRE REINSTATEMENT OF ANY WATER OR SEWER FACILITIES NOT INSPECTED AS A RESULT OF THIS NOTIFICATION FAILURE.
 FAILURE TO CALL FOR INSPECTION, INSTALL A DOWNSTREAM PLUG, HAVE PERMITTED PLANS ON THE JOBSITE, OR ANY OTHER VIOLATION OF CITY OF RALEIGH STANDARDS WILL RESULT IN A FINE AND POSSIBLE EXCLUSION FROM FUTURE WORK IN THE CITY OF RALEIGH.



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- SHORING WILL BE ACCORDING TO OSHA TRENCHING STANDARDS PART 1926 SUBPART P, OR AS AMENDED.

Inclusion Studio
 206 New Bern Place
 Raleigh, NC 27601
 inclusionstudio.com

FOR CONSTRUCTION

ColeJenest & Stone
 ColeJenest & Stone
 131 S. WILMINGTON
 BLVD., SUITE 200
 WAKEFIELD, NC 27587
 Phone: 919-719-1800

CARDAMOM MARKET
 1605 RONALD DRIVE,
 RALEIGH, NORTH CAROLINA
 27606

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PROPOSED UTILITY PLAN
ADMINISTRATIVE SITE REVIEW
C500
 09/28/2018
 50478.00

PLANTING NOTES

1. SIZE AND GRADING STANDARDS OF PLANT MATERIAL SHALL CONFORM TO THE LATEST EDITION OF "AMERICAN STANDARDS FOR NURSERY STOCK", BY THE AMERICAN NURSERY & LANDSCAPE ASSOCIATION, INC.
2. HEIGHT AND WIDTH SPECIFICATIONS INDICATED ON PLANT SCHEDULE SHALL TAKE PRECEDENCE OVER CONTAINER SIZE AND CALIPER.
3. ALL ANNUAL/PERENNIAL BEDS SHALL BE AMENDED BY THE CONTRACTOR. CONTRACTOR SHALL PROVIDE TOPSOIL AS REQUIRED TO RAISE GRADES.
4. CONTRACTOR SHALL MOUND ALL PARKING LOT ISLANDS TO 8" ABOVE BACK OF CURB AT THE CENTER OF ISLAND. CONTRACTOR SHALL SUPPLY AND PLACE ADDITIONAL TOPSOIL IF NECESSARY FOR MOUNDING AS INDICATED ON CONSTRUCTION DOCUMENTS.
5. CONTRACTOR SHALL MULCH ALL SHRUB BEDS WITH 4" AGED SHREDDED HARDWOOD BARK.
6. ALL DISTURBED AREAS NOT INDICATED TO RECEIVE SOD OR MULCH SHALL BE SEEDED BY THE CONTRACTOR.
7. CONTRACTOR SHALL REMOVE ALL HARD LUMPS OF CLAY, STONES OVER 1" IN DIAMETER, AND ALL CONSTRUCTION DEBRIS INCLUDING GRAVEL, ROOTS, LIMBS AND OTHER DELETERIOUS MATTER WHICH WOULD BE HARMFUL OR PREVENT PROPER ESTABLISHMENT AND/OR MAINTENANCE OF LAWN AND PLANTING AREAS.
8. IN AREAS WHERE CONSTRUCTION GRAVEL IS EMBEDDED IN THE SOIL, CONTRACTOR SHALL REMOVE CONTAMINATED SOIL TO A DEPTH OF 8" AND FILL WITH CLEAN TOPSOIL. CONTRACTOR SHALL REMOVE TOPSOIL AT NO CHARGE TO OWNER IF REQUIRED TO FILL THESE EXCAVATIONS.
9. CONTRACTOR SHALL RESEED/RESOD LAWN AREAS DAMAGED DUE TO PLANT MATERIAL INSTALLATION.
10. CONTRACTOR SHALL COORDINATE ALL PLANTING IN THE RIGHT-OF-WAY WITH THE CITY OF RALEIGH.
11. ALL STRAPPING AND TOP 2/3 OF WIRE BASKET SHALL BE CUT AWAY AND REMOVED BY THE CONTRACTOR FROM ROOT BALL PRIOR TO BACKFILLING PLANTING PIT. CONTRACTOR SHALL REMOVE TOP 1/3 OF THE BURLAP FROM ROOT BALL.
12. FOR NEW TREE PLANTING AREAS, CONTRACTOR SHALL REMOVE ALL PAVEMENT, GRAVEL SUB-BASE AND CONSTRUCTION DEBRIS; REMOVE COMPACTED SOIL AND ADD 24" NEW TOPSOIL, OR AMEND THE TOP 24" OF EXISTING SOIL, TO MEET SPECIFIED TOPSOIL/PLANTING MIX STANDARDS FOR TREES (WITHIN ENTIRE MINIMUM AREA OF 274 SQUARE FEET PER TREE)
13. SHADE TREES SHALL BE A MINIMUM 25 TO 30 FEET FROM OVERHEAD DISTRIBUTION OR TRANSMISSION LINES. IF TREES CONFLICT WITH POWER LINES OR SIGNS, CONTRACTOR SHALL CONTACT LANDSCAPE ARCHITECT TO RESOLVE BEFORE PLANTING.
14. MINIMUM TREE SIZE AT PLANTING SHALL BE 3 INCH CALIPER FOR SHADE TREES.
15. INSTALLER SHALL BE RESPONSIBLE TO REPAIR OR REPLACE PLANTINGS THAT FAIL IN MATERIALS, WORKMANSHIP, OR GROWTH WITHIN SPECIFIED WARRANTY PERIOD (ONE YEAR FROM DATE OF FINAL ACCEPTANCE BY OWNER).
16. FOR SODDED AREAS, AN ACCEPTABLE LAWN AT THE END OF THE MAINTENANCE PERIOD SHALL CONSIST OF A HEALTHY, UNIFORM, CLOSE STAND OF GRASS, FREE OF WEEDS AND SURFACE IRREGULARITIES, WITH TOTAL GRASS COVERAGE EXCEEDING 90 PERCENT OVER ANY 10 SQ. FT. AND BARE SPOTS NOT EXCEEDING 5 BY 5 INCHES, WITH AT LEAST 85% OF THE TOTAL GRASS COVERAGE CONSISTING OF THE SPECIFIED GRASS SPECIES.
17. STREET TREES SHALL BE PLANTED BETWEEN OCTOBER AND APRIL PER CITY OF RALEIGH REQUIREMENTS.
18. CONTRACTOR SHALL ACQUIRE CITY OF RALEIGH TREE IMPACT PERMIT. TREE IMPACT PERMIT REQUIRED PRIOR TO BUILDING PERMIT ISSUANCE.



SURVEY DISCLAIMER
TOPOGRAPHIC SURVEY ISSUE DATE 02/28/18. PROVIDED BY BOUNDARY ZONE, INC. BRADLEY L. HUNTER (NCPLS L-3565), 2205 CANNON DRIVE, SUITE C, APEX, NC 27523. PHONE 919-363-9226

LEGEND

SYMBOL	DETAIL
	EXISTING TREE -/-
	PROPOSED TREE 5/C803
	PROPOSED SHRUBS 4/C803
	PROPOSED SOD 3/C803
	PROPOSED GROUNDCOVER 2/C803

LANDSCAPE CALCULATIONS

PARKING LOT SCREENING PERIMETER ISLAND LANDSCAPING:
30 SHRUBS PER 100 LF

197LF PARKING AREA	REQUIRED	PROVIDED
	59 SHRUBS	80 SHRUBS

STREET PROTECTIVE YARD:
NOT REQUIRED

PARKING LOT LANDSCAPING TREE COVERAGE:
1 SHADE TREE PER 2000 SF PARKING AREA

3,987SF PARKING AREA	REQUIRED	PROVIDED
	2 SHADE TREES	9 SHADE TREES

AVENUE 2-LANE, UNDIVIDED PLANTING AREA REQUIRED STREET TREES:
6' WIDTH PLANTING AREA WITH SHADE TREES LESS THAN OR EQUAL TO 40' ON-CENTER

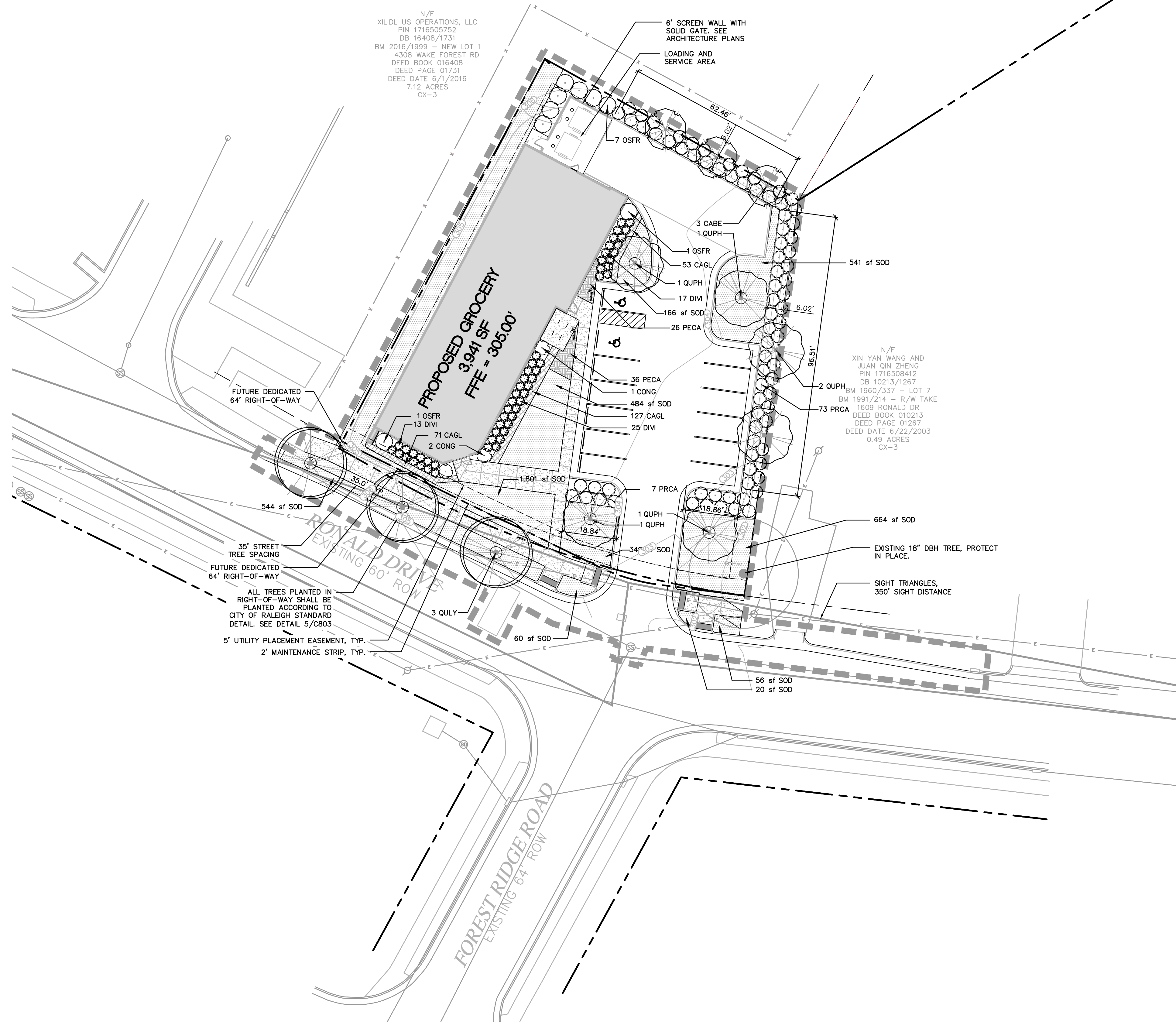
	REQUIRED	PROVIDED
	3 SHADE TREES	3 SHADE TREES

PLANT SCHEDULE

SHADE TREE	QTY	BOTANICAL NAME / COMMON NAME	CONT	SIZE	SPAC	REMARKS
CABE	1	CARPINUS BETULUS 'FASTIGIATA' / PYRAMIDAL EUROPEAN HORNBEAN	B&B	3" CAL MIN. 10' HT. MIN	A.I.	MATCHING SPECIMEN
QULY	3	QUERCUS LYRATA 'HIGHBEAM' / HIGHBEAM OVERCUP OAK	B&B	3" CAL MIN. 10' HT. MIN	40' O.C.	
QUPH	6	QUERCUS PHELLOS / WILLOW OAK	B&B	3" CAL MIN. 10' HT. MIN	A.I.	MATCHING SPECIMEN
SHRUBS	QTY	BOTANICAL NAME / COMMON NAME	CONT	SIZE	SPAC	REMARKS
CONG	3	CHAMAECYPARIS OBTUSA 'NANA GRACILIS' / DWARF HINOKI FALSE CYPRESS	3 GAL	24"-30" HT.	A.I.	
DIVI	55	DISTYLIUM MYRICOIDES 'VINTAGE JADE' / VINTAGE JADE DISTYLIUM	3 GAL	18" - 24" HT. / SPR.	3' O.C.	
OSFR	9	OSMANTHUS FRAGRANS / SWEET OLIVE	7 GAL	48" HT./SPR.	6' O.C.	
PRCA	80	PRUNUS LAUROCERASUS 'CAUSICA NANA' / DWARF ENGLISH LAUREL	7 GAL	42" HT./SPR.	4.5' O.C.	
GROUND COVERS	QTY	BOTANICAL NAME / COMMON NAME	CONT	SIZE	SPAC	REMARKS
CAGL	251	CAREX GLAUCA / BLUE SEDGE	4" POT	FULL	12" o.c.	
PECA	62	PENNISETUM ALOPECUROIDES 'CASSIAN'S CHOICE' / CASSIAN FOUNTAIN GRASS	3 GAL	FULL	18" o.c.	
SOD	4,683 SF	TIFTUF BERMUDA SOD / TIFTUF BERMUDA SOD	SOD			



1. CONTRACTOR IS FULLY RESPONSIBLE FOR CONTACTING APPROPRIATE PARTIES AND ASSURING THAT EXISTING UTILITIES ARE LOCATED PRIOR TO CONSTRUCTION.
2. CONTRACTOR IS RESPONSIBLE FOR PLACING BARRICADES USING FLAG MEN, ETC. AS NECESSARY TO INSURE SAFETY TO THE PUBLIC.
3. ALL PAVEMENT CUTS, CONCRETE OR ASPHALT, ARE TO BE REPLACED ACCORDING TO STANDARDS OF THE NORTH CAROLINA DEPARTMENT OF TRANSPORTATION AND CITY OF RALEIGH SPECIFICATIONS.
4. SHORING WILL BE ACCORDING TO OSHA TRENCHING STANDARDS PART 1926 SUBPART P, OR AS AMENDED.



N/F
XIDL US OPERATIONS, LLC
PIN 1716505752
DB 16408/1731
BM 2016/1999 - NEW LOT 1
4308 WAKE FOREST RD
DEED BOOK 016408
DEED PAGE 01731
DEED DATE 6/1/2016
7.12 ACRES
CX-3

N/F
XIN YAN WANG AND
JUAN QIN ZHENG
PIN 1716508412
DB 10213/1267
BM 1991/337 - LOT 7
BM 1991/214 - R/W TAKE
1609 RONALD DR
DEED BOOK 010213
DEED PAGE 01267
DEED DATE 6/22/2003
0.49 ACRES
CX-3

ALL TREES PLANTED IN RIGHT-OF-WAY SHALL BE PLANTED ACCORDING TO CITY OF RALEIGH STANDARD DETAIL. SEE DETAIL 5/C803

5' UTILITY PLACEMENT EASEMENT, TYP.
2' MAINTENANCE STRIP, TYP.

FUTURE DEDICATED 64' RIGHT-OF-WAY

35' STREET TREE SPACING
FUTURE DEDICATED 64' RIGHT-OF-WAY

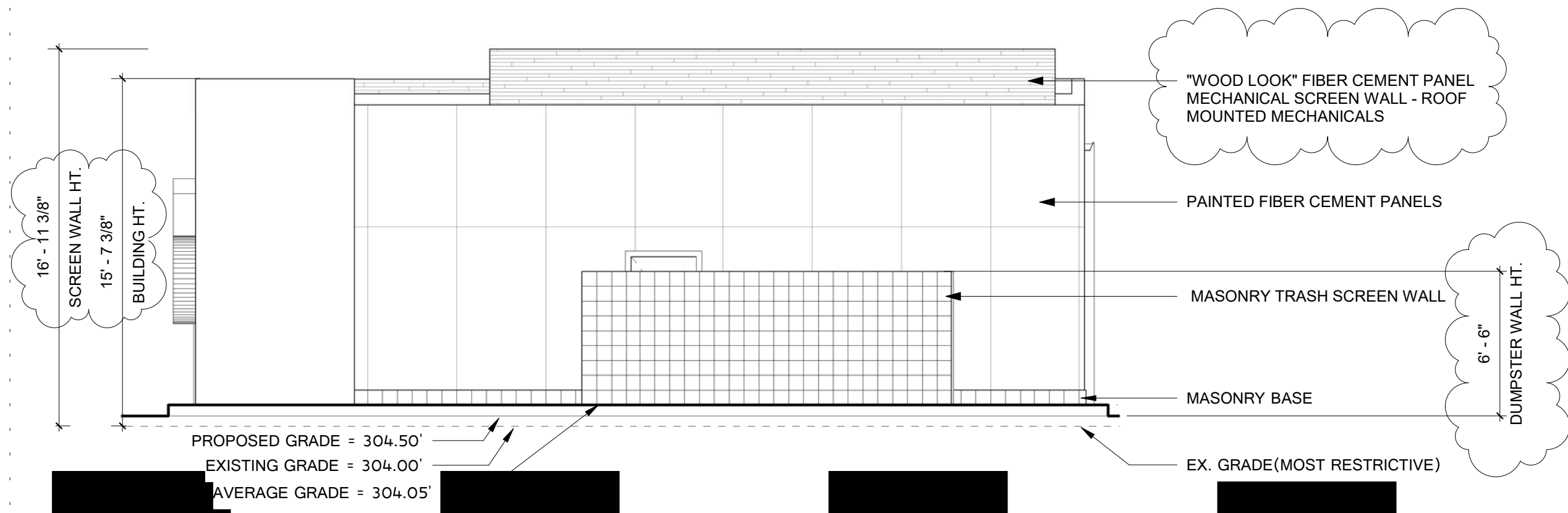
SIGHT TRIANGLES, 350' SIGHT DISTANCE

EXISTING 18" DBH TREE, PROTECT IN PLACE.

RONALD DRIVE
EXISTING 60' ROW

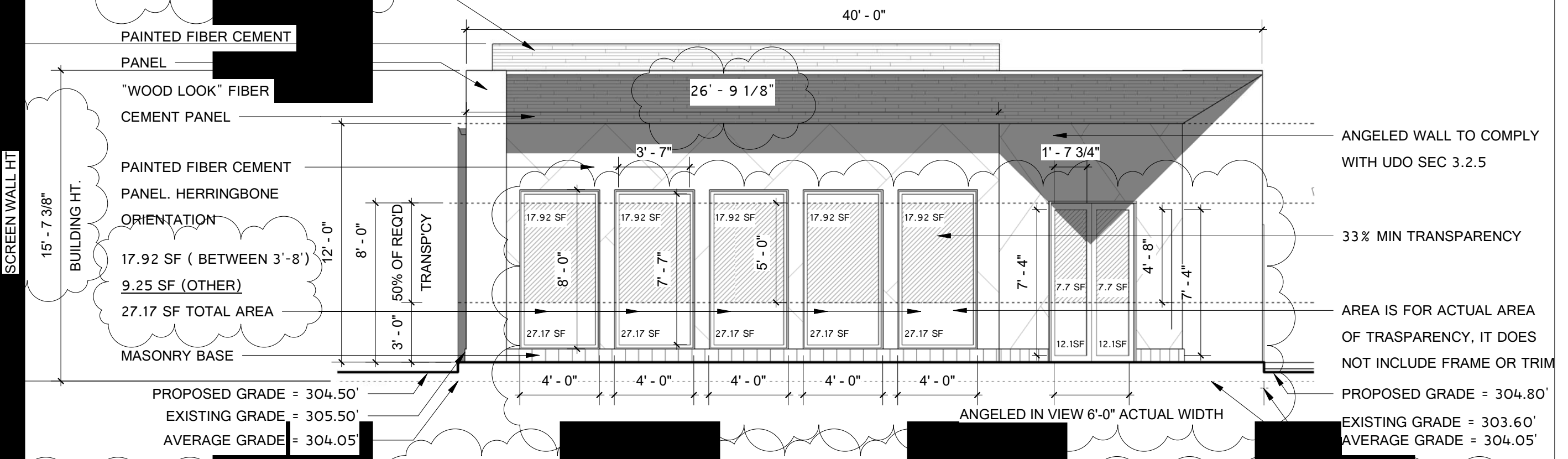
FOREST RIDGE ROAD
EXISTING 64' ROW

PROPOSED GROCERY
3,941 SF
FFE = 305,00'



PROPOSED GRADE = 304.50'
 EXISTING GRADE = 304.00'
 AVERAGE GRADE = 304.05'

4 NORTH ELEVATION
 A-201 SCALE: 3/16" = 1'-0"



PROPOSED GRADE = 304.50'
 EXISTING GRADE = 305.50'
 AVERAGE GRADE = 304.05'

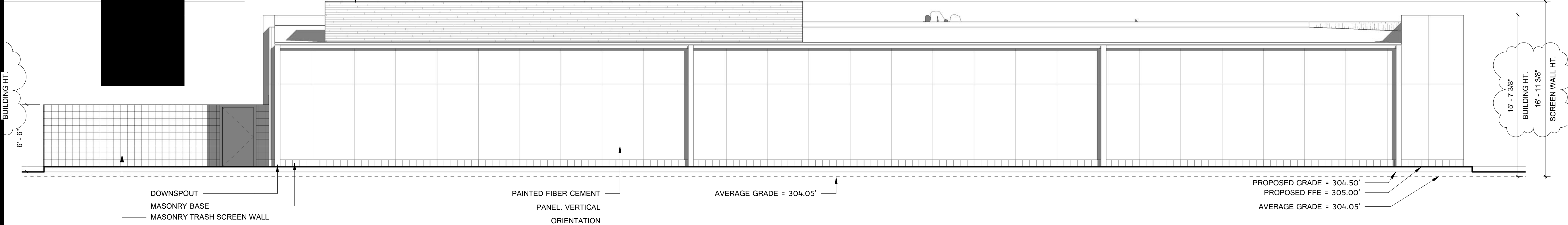
3 SOUTH FACADE
 A-201 SCALE: 3/16" = 1'-0"

STREET FACADE TRANSPARENCY CALCULATION

TOTAL WALL AREA (BETWEEN 0'-12")	= 480 SF
REQ. PERCENTAGE OF TRANSP. (33%)	= 158.4 SF
PROV. PERCENTAGE OF TRANSP. (BETWEEN 0'-12")	= 175.45 SF
50% OF REQUIRED TRANSPARENCY (BETWEEN 3'-8")	= 79.2 SF
PROV. TRANSPARENCY (BETWEEN 3'-8")	= 104.98 SF

NOTE: AVERAGE GRADE IS 304.05'. ALL BUILDING HEIGHTS AND SCREEN WALL HEIGHTS ARE TAKEN FROM THIS ELEVATION.

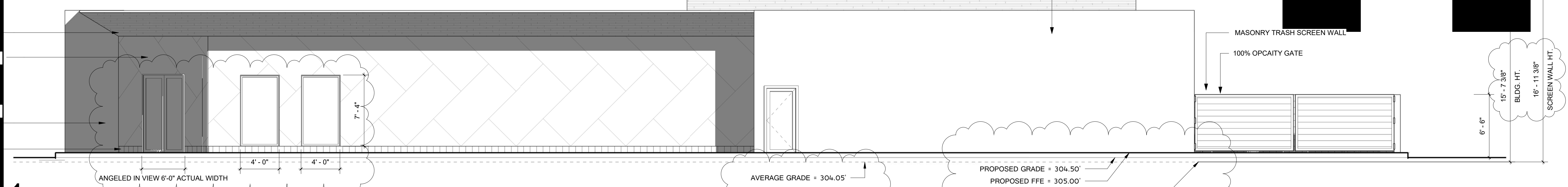
"WOOD LOOK" FIBER CEMENT PANEL
 MECHANICAL SCREEN WALL - ROOF MOUNTED MECHANICALS



PROPOSED GRADE = 304.50'
 PROPOSED FFE = 305.00'
 AVERAGE GRADE = 304.05'

2 WEST ELEVATION
 A-201 SCALE: 3/16" = 1'-0"

"WOOD LOOK" FIBER CEMENT PANEL
 PAINTED FIBER CEMENT PANEL, HERRINGBONE ORIENTATION
 PAINTED FIBER CEMENT PANEL
 MASONRY BASE



AVERAGE GRADE = 304.05'

PROPOSED GRADE = 304.50'
 PROPOSED FFE = 305.00'
 AVERAGE GRADE = 304.05'

1 EAST ELEVATION
 A-201 SCALE: 3/16" = 1'-0"