



Administrative Approval Action

Abbington Village Apartments: SR-21-18,
Transaction# 547193, AA#3845

City of Raleigh
Development Services Department
One Exchange Plaza
Raleigh, NC 27602
(919) 996-2495
DS.help@raleighnc.gov
www.raleighnc.gov

LOCATION: This site is located on the west side of Forestville Road/ State Route 2049 and north of the intersection of Oak Marsh Drive and Forestville Road. The site address is 2929 Forestville Road and the PIN number is 1748603545.

REQUEST: Development of a 9.58 acre tract comprised of two lots zoned Residential Mixed Use-3- CU (RX-3-CU). Please reference zoning conditions under case Z-3-16. The applicant is proposing 105,656 SF of multifamily space.

**DESIGN
ADJUSTMENT(S)/
ALTERNATES, ETC:**

Please reference the approved plan set for further detail items listed below.

One Design Adjustment was approved by the Development Services Director Designee for this project under DA-73-2018:

1. A Design Adjustment from UDO Section 8.4 – New Streets

One Administrative Alternate was approved by the Planning Director for this project under AAD-15-18:

2. An Administrative Alternate to UDO Section 1.5.6 – Build-to

One Variance was approved by the Board of Adjustment for this project under A-65-18:

3. An Administrative Alternate to UDO Section 1.5.7 – Ground Floor Elevation minimum 2'

FINDINGS: City Administration finds that this request, with the below conditions of approval being met, conforms to the Unified Development Ordinance. This approval is based on a preliminary plan 8/20/2018 by Rick Baker of Timmons Group.

CONDITIONS OF APPROVAL and NEXT STEPS:

This document must be applied to the second sheet of all future submittals except for final plats. This is a preliminary plan and as such no permits have been issued with this approval. To obtain permits and/or completion of the project, the following steps are required:

CONCURRENT SITE REVIEW NOT REQUIRED AT THIS TIME – However, plan revisions or further development that includes land disturbance of 12,000 square feet or greater, public or private infrastructure, shared stormwater devices, etc. will require concurrent site review.

CONCURRENT SITE REVIEW - For land disturbance of 12,000 square feet or greater, public or private infrastructure, shared stormwater devices, etc. Concurrent Site Review may be submitted upon receipt of this signed approval document.



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PRIOR TO THE ISSUANCE OF ANY SITE PERMITS OR APPROVAL OF CONCURRENT REVIEW PROCESS, WHICHEVER IS APPLICABLE:

Engineering

1. Required NCDOT encroachment and/or driveway permits must be approved and copies provided to Development Services – Development Engineering prior to concurrent review approval.
2. A right-of-way obstruction permit must be obtained from Right-of-way Services prior to the commencement of any construction activities within the right-of-way.

Public Utilities

3. A Downstream Sewer Capacity Study in compliance with the City of Raleigh Public Utilities Department Handbook shall be submitted by the Project Engineer for review and approval

Stormwater

4. A stormwater control plan with a stormwater operations and maintenance manual and budget shall be approved (UDO 9.2).
5. A surety equal to of the cost of clearing, grubbing and reseeding a site, shall be paid to the City (UDO 9.4.4).

LEGAL DOCUMENTS - Email to legaldocumentreview@raleighnc.gov. Legal documents must be approved, executed, and recorded prior to or in conjunction with the recorded plat on which the associated easements are shown. Copies of recorded documents must be returned to the City within one business day of recording to avoid withholding of further permit issuance.

<input type="checkbox"/>	City Code Covenant	<input checked="" type="checkbox"/>	Slope Easement
<input checked="" type="checkbox"/>	Stormwater Maintenance Covenant	<input checked="" type="checkbox"/>	Transit Easement
<input checked="" type="checkbox"/>	Utility Placement Easement	<input type="checkbox"/>	Cross Access Easement
<input type="checkbox"/>	Sidewalk Easement	<input checked="" type="checkbox"/>	Public Access Easement
		<input type="checkbox"/>	Other:



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RECORDED MAP(S) - Submit plat to record new property lines, easements, tree conservation areas, etc.). Plats may be submitted for review when the Concurrent Site Review plans, if required, have been deemed ready for mylar signature.

The following items must be approved prior to recording the plat:

Engineering

1. The required right of way for proposed and/or existing streets shall be dedicated to the City of Raleigh and shown on the map approved for recordation.
2. A 5' general utility easement and associated deed of easement shall be approved by the City and the location of the easement shall be shown on the map approved for recordation. The deed of easement shall be recorded at Wake County Register of Deeds within one day of recordation of the recorded plat. A recorded copy of these documents must be provided to the Development Services Department within one day from authorization of lot recordation. If recorded copies of the documents are not provided, further recordings and building permit issuance will be withheld.
3. A public infrastructure surety shall be provided to the City of Raleigh Development Services – Development Engineering program (UDO 8.1.3).
4. Variable width slope easements shall be recorded as shown on the preliminary site plan.
5. A 20' Wide Public Access Easement shall be recorded as shown on the preliminary site plan.

Public Utilities

6. Infrastructure Construction Plans (concurrent submittal) must be approved by the City of Raleigh Public Utilities Department for all public water, public sewer and/or private sewer extensions.

Stormwater

7. A payment equal to twenty-four percent (24%) of the estimated cost of constructing all stormwater control facilities shown on the development plans shall be paid by the developer to the City stormwater facility replacement fund (UDO 9.2.2.G.3).
8. The City form document entitled Declaration of Maintenance Covenant and Grant of Protection Easement for Stormwater Control Facilities shall be approved by the City and recorded with the county register of deeds office (UDO 9.2.2.G).
9. All stormwater control measures and means of transporting stormwater runoff to and from any nitrogen and stormwater runoff control measures shall be shown on all plats for recording as private drainage easements (UDO 9.2).
10. A surety equal to 125% of the cost of the construction of a stormwater device shall be paid to the Engineering Services Department (UDO 9.2.2.D.1.d).



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Transportation

11. A transit deed of easement shall be approved by City staff and the location of the easement shall be shown on a plat approved for recordation. The deed of easement shall be recorded at Wake County Register of Deeds within one day of recordation of the recorded plat. A recorded copy of this document must be provided to the Development Services Department within one day from authorization of lot recording. If a recorded copy of the document is not provided, further recordings and building permit issuance will be withheld.

BUILDING PERMITS – For buildings and structures shown on the approved plans. Commercial building permit plans must include the signed, approved Concurrent Site Review plans attached, if applicable. Permit sets may be reviewed prior to the recordation of required plats, but cannot be approved.

PRIOR TO ISSUANCE OF BUILDING PERMITS:

General

1. Comply with all conditions of Z-03-16
2. A recombination map shall be recorded recombining the existing lot into a single tract.
3. Street names for this development shall be approved by the Raleigh GIS Division and by Wake County.
4. A demolition permit shall be obtained.
5. Provide fire flow analysis.

Engineering

6. A public infrastructure surety shall be provided to the City of Raleigh Development Services – Development Engineering (UDO 8.1.3).
7. Required NCDOT encroachment and/or driveway permits must be approved and copies provided to Development Services – Development Engineering.
8. A transit deed of easement shall be approved by City staff and the location of the easement shall be shown on a plat approved for recordation. The deed of easement shall be recorded at Wake County Register of Deeds within one day of recordation of the recorded plat. A recorded copy of these documents must be provided to the Development Services Department within one day from authorization of lot recording. If a recorded copy of the document is not provided, further recordings and building permit issuance will be withheld.
9. A right-of-way obstruction permit shall be obtained from Right-of-way Services for any construction activity within the right-of-way.



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Public Utilities

10. A plat must be recorded at the Wake County Register of Deeds office for all utility easement dedications.

Stormwater

19. A payment equal to twenty-four percent (24%) of the estimated cost of constructing all stormwater control facilities shown on the development plans shall be paid by the developer to the City stormwater facility replacement fund (UDO 9.2.2.G.3).
20. The City form document entitled Declaration of Maintenance Covenant and Grant of Protection Easement for Stormwater Control Facilities shall be approved by the City and recorded with the county register of deeds office (UDO 9.2.2.G).
21. All stormwater control measures and means of transporting stormwater runoff to and from any nitrogen and stormwater runoff control measures shall be shown on all plats for recording as private drainage easements (UDO 9.2).
22. A surety equal to 125% of the cost of the construction of a stormwater device shall be paid to the Engineering Services Department (UDO 9.2.2.D.1.d).

Urban Forestry

23. A tree impact permit must be obtained for the approved streetscape tree installation in the right of way. This development proposes nine street trees along Street 'A'.

PRIOR TO ISSUANCE OF BUILDING OCCUPANCY PERMITS:

1. All Water, Sanitary Sewer and Reuse facilities shall be installed, inspected, tested and accepted by the City of Raleigh Public Utilities Department for operations and maintenance.
2. Required public right-of-way infrastructure improvements shall be, at a minimum, sufficiently completed to provide the necessary, safe emergency and vehicular access.
3. Required underground storm drainage improvements shall be completed and as-built plan(s) and certification(s) reviewed and accepted by the City of Raleigh Development Services – Development Engineering program.
4. All street lights and street signs required as part of the development approval are installed.
5. Copies of certified inspection reports for alleys and internal access ways are submitted to the City of Raleigh Development Services – Development Engineering program.
6. As-built drawings and associated forms for all Stormwater devices are accepted by the Engineering Services Department (UDO 9.2.2.D.3).
7. Final inspection of all right of way street trees by Urban Forestry Staff.



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EXPIRATION DATES: The expiration provisions of UDO Section 10.2.8 E, including the ability to request extensions in the expiration date, apply to this site plan. If significant construction has not taken place on a project after administrative site review approval, that approval may expire and be declared void, requiring re-approval before permits may be issued. To avoid allowing this plan approval to expire the following must take place by the following dates:

3-Year Expiration Date: 8-22-2021

Obtain a valid building permit for the total area of the project, or a phase of the project.

4-Year Completion Date:

Within four years after issuance of the first building permit for the site plan, the construction of the entire site plan must be completed unless an applicant has been granted vested rights. Failure to complete construction within this specified time frame shall automatically void the approved site plan for which no building permits have been issued.

I hereby certify this administrative decision.

Signed:(Planning Dir./Designee)

Date: 8/22/2018

Staff Coordinator: Daniel L. Stegall

Design Adjustment Staff Response



**DEVELOPMENT
SERVICES
DEPARTMENT**

Per Section 10.2.18.C of the Unified Development Ordinance, the Development Services Director, or designee, shall consult with the heads of other City Departments regarding the review of the request. The Development Services Director, or designee, shall approve, approve with conditions or deny the request, but must do so within 60 days of the receipt of a completed application. Additional time may be necessary if a municipal or state entity is incorporated in the review process or if a detailed engineering study is submitted in conjunction with the request.

PROJECT	Project Name	Abbington Village Apartments	
	Development Case Number	SR-21-18	
	Transaction Number	547193	
	Design Adjustment Number	DA - 73 - 2018	
STAFF RESPONSE	Staff recommendation based upon the findings in the applicable code(s):		
	<input type="checkbox"/> UDO Art. 8.3 Blocks, Lots, Access	<input type="checkbox"/> UDO Art. 8.5 Existing Streets	
	<input checked="" type="checkbox"/> UDO Art. 8.4 New Streets	<input checked="" type="checkbox"/> Raleigh Street Design Manual	
	Staff <input checked="" type="checkbox"/> SUPPORTS <input type="checkbox"/> DOES NOT SUPPORT <input type="checkbox"/> the design adjustment request.		
	DEPARTMENTS		
	<input type="checkbox"/> Dev. Services Planner	<input type="checkbox"/> City Planning	
	<input checked="" type="checkbox"/> Development Engineering <i>L. King</i>	<input type="checkbox"/> Transportation	
	<input type="checkbox"/> Engineering Services	<input type="checkbox"/> Parks & Recreation and Cult. Res.	
	<input type="checkbox"/> Public Utilities		
	CONDITIONS:		
Development Services Director or Designee Action: <input checked="" type="checkbox"/> APPROVE <input type="checkbox"/> APPROVE WITH CONDITIONS <input type="checkbox"/> DENY			

Authorized Signature

KENNETH W. FITCHE, PE, MPA *8/22/2018*
EXCERPTING AND IMPROVING PROJECTS Date

*The Development Services Director may authorize a designee to sign in his/her stead. Please print name and title next to signature. Appeal of the decision from the Development Services Director, or his or her designee, shall be made in writing within 30 days to the Board of Adjustment (see Section 10.2.18.C3b).

Design Adjustment Application



DEVELOPMENT SERVICES DEPARTMENT

The purpose of this request is to seek a Design Adjustment from the Development Services Director, or designee, for a specific project only and, if granted, may be approved with special conditions and provisions. This application and all further action shall be consistent with Section 10.2.18 in the Unified Development Ordinance (UDO). The consideration and decision of this request shall be based solely on the conformance of the findings, as outlined in Sec. 8.3.6, Sec. 8.4.1.E and Sec. 8.5.1.G of the UDO or the Raleigh Street Design Manual.

PROJECT	Project Name Abbington Village Apartments	
	Case Number SR-21-18	
	Transaction Number 547193	
OWNER	Name Raleigh Abbington Village, LLC	
	Address 2964 Peachtree Road NW Suite 200	City Atlanta
	State GA	Zip Code 30305 Phone 404-250-4093
CONTACT	Name Rick Baker	Firm Timmons Group
	Address 5410 Trinity Road; Suite 102	City Raleigh
	State NC	Zip Code 27607 Phone 919-866-4939
REQUEST	I am seeking a Design Adjustment from the requirements set forth in the following:	
	<input type="checkbox"/> UDO Art. 8.3 Blocks, Lots, Access	- See page 2 for findings
	<input checked="" type="checkbox"/> UDO Art. 8.4 New Streets	- See page 3 for findings
	<input type="checkbox"/> UDO Art. 8.5 Existing Streets	- See page 4 for findings
	<input checked="" type="checkbox"/> Raleigh Street Design Manual	- See page 5 for findings
	Provide details about the request; (please attach a memorandum if additional space is needed):	
See attached memorandum.		

It is the responsibility of the applicant to provide all pertinent information needed for the consideration of this request. Applicant must be the Property Owner.

By signing this document, I hereby acknowledge the information on this application is, to my knowledge, accurate.

Owner/Owner's Representative Signature _____ Date 08/02/18

CHECKLIST	
Signed Design Adjustment Application	<input checked="" type="checkbox"/> Included
Page(s) addressing required findings	<input checked="" type="checkbox"/> Included
Plan(s) and support documentation	<input checked="" type="checkbox"/> Included
Notary page (page 6) filled out; Must be signed by property owner	<input checked="" type="checkbox"/> Included
First Class stamped and addressed envelopes with completed notification letter	<input checked="" type="checkbox"/> Included

Submit all documentation, with the exception of the required addressed envelopes and letters to designadjustments@raleighnc.gov.

Deliver the addressed envelopes and letters to:
 Development Services, Development Engineering
 One Exchange Plaza, Suite 500
 Raleigh NC, 27601

For Office Use Only	RECEIVED DATE:	DA - -
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Staff Response

Article 8.4 New Streets



DEVELOPMENT
SERVICES
DEPARTMENT

- A. The requested design adjustment meets the intent of this Article;
YES NO
- B. The requested design adjustment conforms with the Comprehensive Plan and adopted City plans;
YES NO
- C. The requested design adjustment does not increase congestion or compromise safety;
YES NO
- D. The requested design adjustment does not create additional maintenance responsibilities for the City;
YES NO
- E. The requested design adjustment has been designed and certified by a Professional Engineer; and
YES NO
- F. The requested design adjustment shall address Stormwater collection and conveyance and not adversely impact Stormwater collection.
YES NO

STAFF FINDINGS

Staff is in support for both the design adjustment to Street "A" and for Oak Marsh Drive.

Street "A" is not currently a through street and is limited in that the full width cannot be built out at this time. Future development of the parcel to the north and east allows opportunity to mitigate through those designs as traffic increases.

Oak Marsh Drive is currently constructed in such a fashion that the parameters meet that of a Neighborhood Local street section at a design speed of 25 MPH. Staff has determined Oak Marsh Drive is a Neighborhood Street section under the guidelines of the current Raleigh Comprehensive Plan and Raleigh Unified Development Ordinance. The developer is extending Oak Marsh Drive by a length of approximately 80 feet. Creating a section meeting the Neighborhood Street section is not feasible considering the existing parameters and limited length of road extension.

Staff Response Raleigh Street Design Manual



DEVELOPMENT
SERVICES
DEPARTMENT

- A. The requested design adjustment meets the intent of the Raleigh Street Design Manual;
YES NO
- B. The requested design adjustment conforms with the Comprehensive Plan and adopted City plans;
YES NO
- C. The requested design adjustment does not increase congestion or compromise safety;
YES NO
- D. The requested design adjustment does not create additional maintenance responsibilities for the City; and
YES NO
- E. The requested design adjustment has been designed and certified by a Professional Engineer.
YES NO

STAFF FINDINGS

Staff is in support for both the design adjustment to Street "A" and for Oak Marsh Drive.

Street "A" is not currently a through street and is limited in that the full width cannot be built out at this time. Future development of the parcel to the north and east allows opportunity to mitigate through those designs as traffic increases.

Oak Marsh Drive is currently constructed in such a fashion that the parameters meet that of a Neighborhood Local street section at a design speed of 25 MPH. Staff has determined Oak Marsh Drive is a Neighborhood Street section under the guidelines of the current Raleigh Comprehensive Plan and Raleigh Unified Development Ordinance. The developer is extending Oak Marsh Drive by a length of approximately 80 feet. Creating a section meeting the Neighborhood Street section is not feasible considering the existing parameters and limited length of road extension.



TIMMONS GROUP

YOUR VISION ACHIEVED THROUGH OURS.

Provide details about the request;

We are requesting a design adjustment for a new public street (called Street A for purpose of this application) located on the north side of this project for a variation from the Horizontal Alignment Design Criteria listed in Sections 12.1.1 and Table 13 of the Street Design Manual and Section 8.4 of the City of Raleigh UDO from the Neighborhood Street design to the Neighborhood Local street design requirements. More specifically, the horizontal curve adjacent to Forestville Road will have a radius of minimum 150' (Neighborhood Local street standard) where the Neighborhood Street standard is minimum radius is 375'.

Street A will ultimately be constructed to the Neighborhood Street Cross Section as defined by 3.2.2.C of the Street Design Manual. This project will dedicate sufficient right of way and construct enough of the Neighborhood Street to allow for 2-way traffic. The property to the north will dedicate the remaining right of way and complete the ultimate cross section of Street A when that property is developed in the future.

This design adjustment is being requested because if Street A is designed per the Neighborhood Street standards, encroachment for construction activities into the property to the north would be required. The developer of Abbington Village project cannot encroach into that property without authorization from that property owner and the owner of that property has been entirely unresponsive.

It should be noted all attempts will be made to keep design as close as possible to Neighborhood Street requirements. A plan of Street A is included in this package however this design is preliminary and may vary during final design and Concurrent review by staff.

Article 8.4, New Streets

Administrative Design Adjustment Findings



DEVELOPMENT
SERVICES
DEPARTMENT

The Development Services Director may in accordance with *Sec. 10.2.18*, approve a design adjustment, subject to all of the following findings. Describe how each item is met:

- A. The requested design adjustment meets the intent of this Article;
The intent is to provide street typologies and design elements to reflect the character of different areas within the City with adequate travel lanes for vehicles, bicycles and pedestrian connectivity to adjacent parcels and this design adjustment will maintain that intent.
- B. The requested design adjustment conforms with the Comprehensive Plan and adopted City plans;
The design adjustment does conform with the 2030 Comprehensive Plan and will not impact the future land use or future street network.
- C. The requested design adjustment does not increase congestion or compromise safety;
The requested design adjustment will not increase congestion and increases safety for both vehicular and pedestrian traffic along Forestville Road by providing additional connectivity to adjacent parcels.
- D. The requested design adjustment does not create additional maintenance responsibilities for the City;
No additional maintenance responsibilities will be created for the City of Raleigh as the construction of Street A to Neighborhood Local standards will be the same as to the Neighborhood Street standards from a maintenance requirement.
- E. The requested design adjustment has been designed and certified by a Professional Engineer; and
The design adjustment has been designed and certified by Rick Baker, PE who is employed by Timmons Group, Inc a licensed North Carolina engineering consulting firm.
- F. The requested design adjustment shall address Stormwater collection and conveyance and not adversely impact Stormwater collection.
This design adjustment will not adversely impact stormwater collection as stormwater collection and conveyance methodology will remain as per the original design requirements.

Raleigh Street Design Manual

Administrative Design Adjustment Findings



DEVELOPMENT
SERVICES
DEPARTMENT

The Development Services Director may in accordance with *Sec. 10.2.18*, approve a design adjustment, subject to all of the following findings. Describe how each item is met:

- A. The requested design adjustment meets the intent of the Raleigh Street Design Manual;
The intent is to provide street typologies and design elements to reflect the character of different areas within the City with adequate travel lanes for vehicles, bicycles and pedestrian connectivity to adjacent parcels and this design adjustment will maintain that intent.
- B. The requested design adjustment conforms with the Comprehensive Plan and adopted City plans;
The design adjustment does conform with the 2030 Comprehensive Plan and will not impact the future land use or future street network.
- C. The requested design adjustment does not increase congestion or compromise safety;
The requested design adjustment will not increase congestion and increases safety for both vehicular and pedestrian traffic along Forestville Road by providing additional connectivity to adjacent parcels.
- D. The requested design adjustment does not create additional maintenance responsibilities for the City; and
No additional maintenance responsibilities will be created for the City of Raleigh as the construction of Street A to Neighborhood Local standards will be the same as to the Neighborhood Street standards from a maintenance requirement.
- E. The requested design adjustment has been designed and certified by a Professional Engineer.
The design adjustment has been designed and certified by Rick Baker, PE who is employed by Timmons Group, Inc a licensed North Carolina engineering consulting firm.

Individual Acknowledgement



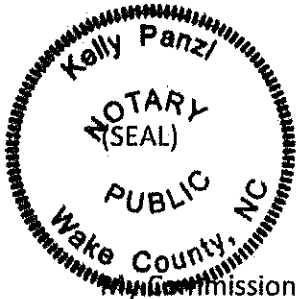
DEVELOPMENT
SERVICES
DEPARTMENT

STATE OF NORTH CAROLINA
COUNTY OF Wake

INDIVIDUAL

I, Kelly Panzi, a Notary Public do hereby certify that
Rick Baker personally appeared before me this day and
acknowledged the due execution of the forgoing instrument.

This the 2 day of August, 2018.



Notary Public Kelly Panzi

Commission Expires: 7/10/19

Design Adjustment Application



DEVELOPMENT SERVICES DEPARTMENT

The purpose of this request is to seek a Design Adjustment from the Development Services Director, or designee, for a specific project only and, if granted, may be approved with special conditions and provisions. This application and all further action shall be consistent with Section 10.2.18 in the Unified Development Ordinance (UDO). The consideration and decision of this request shall be based solely on the conformance of the findings, as outlined in Sec. 8.3.6, Sec. 8.4.1.E and Sec. 8.5.1.G of the UDO or the Raleigh Street Design Manual.

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	Case Number SR-21-18	
	Transaction Number 547193	
OWNER	Name Raleigh Abbington Village, LLC	
	Address 2964 Peachtree Road NW Suite 200	City Atlanta
	State GA	Zip Code 30305
CONTACT	Name Rick Baker	Firm Timmons Group
	Address 5410 Trinity Road; Suite 102	City Raleigh
	State NC	Zip Code 27607
REQUEST	Phone 404-250-4093	
	I am seeking a Design Adjustment from the requirements set forth in the following:	
	<input type="checkbox"/> <u>UDO Art. 8.3 Blocks, Lots, Access</u>	- See page 2 for findings
	<input checked="" type="checkbox"/> <u>UDO Art. 8.4 New Streets</u>	- See page 3 for findings
	<input type="checkbox"/> <u>UDO Art. 8.5 Existing Streets</u>	- See page 4 for findings
	<input checked="" type="checkbox"/> <u>Raleigh Street Design Manual</u>	- See page 5 for findings
Provide details about the request; (please attach a memorandum if additional space is needed):		
See attached memorandum.		

It is the responsibility of the applicant to provide all pertinent information needed for the consideration of this request. Applicant must be the Property Owner.

By signing this document, I hereby acknowledge the information on this application is, to my knowledge, accurate.

[Signature] Owner/Owner's Representative Signature 08/02/18
Date

CHECKLIST	
Signed Design Adjustment Application	<input checked="" type="checkbox"/> Included
Page(s) addressing required findings	<input checked="" type="checkbox"/> Included
Plan(s) and support documentation	<input checked="" type="checkbox"/> Included
Notary page (page 6) filled out; Must be signed by property owner	<input checked="" type="checkbox"/> Included
First Class stamped and addressed envelopes with completed notification letter	<input checked="" type="checkbox"/> Included

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Deliver the addressed envelopes and letters to:
Development Services, Development Engineering
One Exchange Plaza, Suite 500
Raleigh NC, 27601

For Office Use Only	RECEIVED DATE:	DA -	-
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TIMMONS GROUP
YOUR VISION ACHIEVED THROUGH OURS.

Provide details about the request;

We are requesting a design adjustment for an approximate 80' extension of an existing public street, Oak Marsh Drive, on the south side of this project for a variation from the sidewalk location, listed under Section 11.2 of the Street Design Manual and Section 8.4 of the City of Raleigh UDO from the Neighborhood Street design requirements and Tree Planting, Section 11.2.5 of the Street Design Manual and Section 8.4 of the City of Raleigh UDO.

Oak Marsh Drive is classified as a Neighborhood Street and due to the existing horizontal alignment and existing right of way of the street, it is not possible to install sidewalks per the design requirements.

The following are other details of the Design Adjustment request:

- 1) On the north half of the widening, Neighborhood Street section requirements will be met
- 2) On the south side the Neighborhood Street back of curb to back of curb requirement will be met
- 3) On the south side, due to existing right of way line location, the 6' sidewalk will be placed at the back of curb so no planting strip will be provided
- 4) On the south side, streetscape tree plantings will not be provided as no planting strip will be planted.

Article 8.4, New Streets

Administrative Design Adjustment Findings



DEVELOPMENT
SERVICES
DEPARTMENT

The Development Services Director may in accordance with *Sec. 10.2.18*, approve a design adjustment, subject to all of the following findings. Describe how each item is met:

- A. The requested design adjustment meets the intent of this Article;
The intent is to provide street typologies and design elements to reflect the character of different areas within the City with adequate travel lanes for vehicles, bicycles and pedestrian connectivity to adjacent parcels and this design adjustment will maintain that intent.
- B. The requested design adjustment conforms with the Comprehensive Plan and adopted City plans;
The design adjustment does conform with the 2030 Comprehensive Plan and will not impact the future land use or future street network.
- C. The requested design adjustment does not increase congestion or compromise safety;
The requested design adjustment will not increase congestion and increases safety for both vehicular and pedestrian traffic along Oak Marsh Drive by providing additional connectivity to adjacent parcels.
- D. The requested design adjustment does not create additional maintenance responsibilities for the City;
No additional maintenance responsibilities will be created for the City of Raleigh as construction of Oak Marsh Drive to Neighborhood Local standards will be the same as to the Neighborhood Street standards for maintenance requirements.
- E. The requested design adjustment has been designed and certified by a Professional Engineer; and
The design adjustment has been designed and certified by Rick Baker, PE who is employed by Timmons Group, Inc a licensed North Carolina engineering consulting firm.
- F. The requested design adjustment shall address Stormwater collection and conveyance and not adversely impact Stormwater collection.
This design adjustment will not adversely impact stormwater collection as stormwater collection and conveyance methodology will remain as per the original design requirements.

Raleigh Street Design Manual

Administrative Design Adjustment Findings



DEVELOPMENT
SERVICES
DEPARTMENT

The Development Services Director may in accordance with *Sec. 10.2.18*, approve a design adjustment, subject to all of the following findings. Describe how each item is met:

- A. The requested design adjustment meets the intent of the Raleigh Street Design Manual;

The intent is to provide street typologies and design elements to reflect the character of different areas within the City with adequate travel lanes for vehicles, bicycles and pedestrian connectivity to adjacent parcels and this design adjustment will maintain that intent.

- B. The requested design adjustment conforms with the Comprehensive Plan and adopted City plans;

The design adjustment does conform with the 2030 Comprehensive Plan and will not impact the future land use or future street network.

- C. The requested design adjustment does not increase congestion or compromise safety;

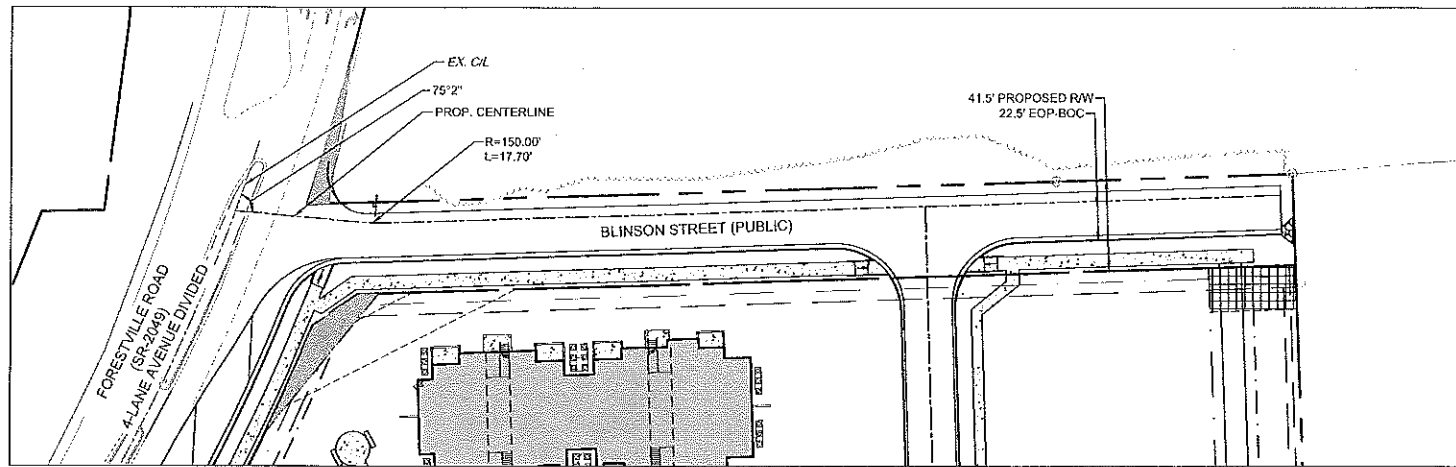
The requested design adjustment will not increase congestion and increase safety for both vehicular and pedestrian traffic along Oak Marsh Drive by providing additional connectivity to adjacent parcels.

- D. The requested design adjustment does not create additional maintenance responsibilities for the City; and

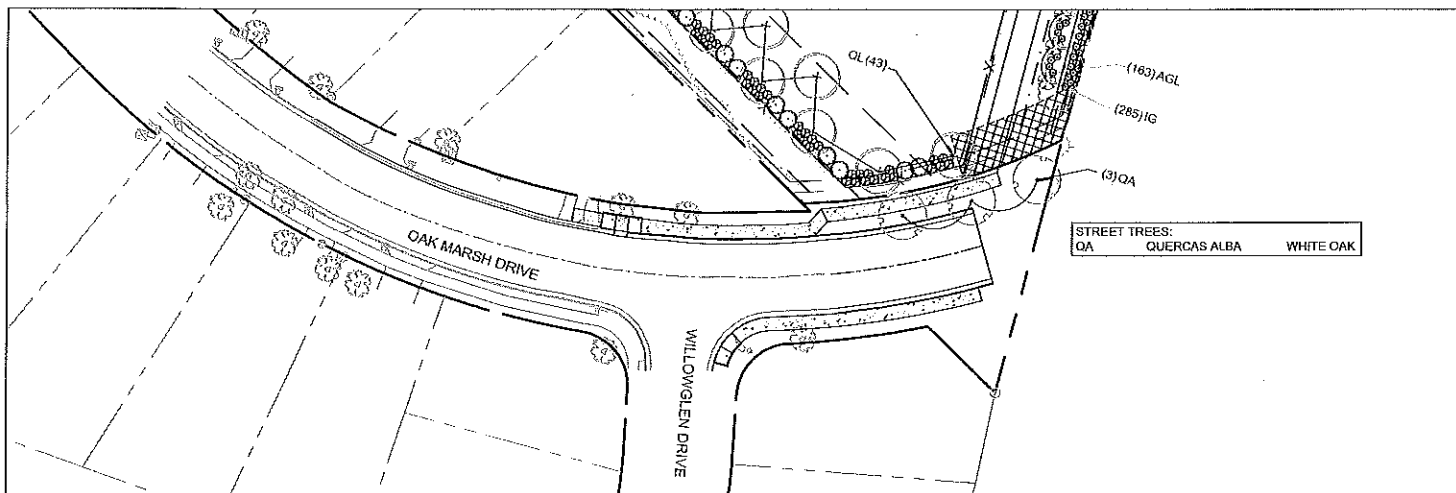
No additional maintenance responsibilities will be created for the City of Raleigh as construction of Oak Marsh Drive to Neighborhood Local standards will be the same as to the Neighborhood Street standards for maintenance requirements.

- E. The requested design adjustment has been designed and certified by a Professional Engineer.

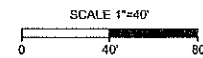
The design adjustment has been designed and certified by Rick Baker, PE who is employed by Timmons Group, Inc a licensed North Carolina engineering consulting firm.



**STREET "A" PLAN VIEW
CITY OF RALEIGH NEIGHBORHOOD STREET**



**OAK MARSH DRIVE ROAD EXTENSION PLAN VIEW
CITY OF RALEIGH NEIGHBORHOOD STREET**



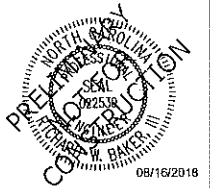
CONCURRENT REVIEW APPROVAL
CITY OF RALEIGH - PLANS AUTHORIZED FOR CONSTRUCTION

PLANS FOR THE PROPOSED USE HAVE BEEN REVIEWED FOR GENERAL COMPLIANCE WITH APPLICABLE CODES. THIS LIMITED REVIEW, AND AUTHORIZATION FOR CONSTRUCTION IS NOT TO BE CONSIDERED TO REPRESENT TOTAL COMPLIANCE WITH ALL LEGAL REQUIREMENTS FOR DEVELOPMENT AND CONSTRUCTION. THE PROPERTY OWNER, DESIGN CONSULTANTS, AND CONTRACTORS ARE EACH RESPONSIBLE FOR COMPLIANCE WITH ALL APPLICABLE CITY, STATE AND FEDERAL LAWS. THIS SPECIFIC AUTHORIZATION BELOW IS NOT A PERMIT, NOR SHALL IT BE CONSIDERED TO PERMIT ANY VIOLATION OF CITY, STATE OR FEDERAL LAW. ALL CONSTRUCTION MUST BE IN ACCORDANCE WITH ALL LOCAL, STATE, AND FEDERAL RULES AND REGULATIONS.

- TRANSPORTATION FIELD SERVICES _____
- PUBLIC UTILITIES _____
- STORMWATER _____
- PLANNING/ZONING _____
- FIRE _____
- URBAN FORESTRY _____
- SITE ACCESSIBILITY _____

PRELIMINARY - NOT RELEASED FOR CONSTRUCTION

ALL CONSTRUCTION TO BE IN ACCORDANCE WITH ALL CITY OF RALEIGH, NCDEQ AND NCDOT STANDARDS, SPECIFICATIONS, AND DETAILS



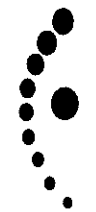
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REVISION DESCRIPTION	DATE
CITY OF RALEIGH	07/10/2018
CITY OF RALEIGH	07/19/2018
CITY OF RALEIGH	07/24/2018
CITY OF RALEIGH	08/07/2018
CITY OF RALEIGH	08/16/2018

YOUR VISION ACHIEVED THROUGH OURS.

DATE	DRAWN BY
03/09/2018	L. RUSH
03/09/2018	B. DOWNS
03/09/2018	R. BAKER

CHECKED BY
SCALE
AS SHOWN



TIMMONS GROUP
NORTH CAROLINA LICENSE NO. C-1652
ABBINGTON VILLAGE
CITY OF RALEIGH - WAKE COUNTY - NORTH CAROLINA
STREET A AND OAK MARSH DRIVE CENTERLINE ALIGNMENTS

JOB NO.
40522
SHEET NO.
EX13.0

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Individual Acknowledgement



DEVELOPMENT
SERVICES
DEPARTMENT

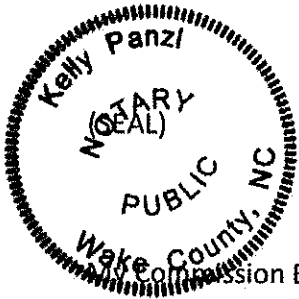
STATE OF NORTH CAROLINA

INDIVIDUAL

COUNTY OF Wake

I, Kelly Panzi, a Notary Public do hereby certify that
RICK Baker personally appeared before me this day and
acknowledged the due execution of the forgoing instrument.

This the 2 day of August, 2018.



Notary Public Kelly Panzi

My Commission Expires: 7/16/19

ABBINGTON VILLAGE ADMINISTRATIVE SITE REVIEW

CASE FILE: SR-21-18 TRANSACTION No. 547193

CITY OF RALEIGH, WAKE COUNTY, NORTH CAROLINA
PIN: 1748603845; 1748601626

Administrative Site Review Application
(for UDO Districts only)

Development Services Customer Service Center | Exchange Plaza, Suite 400 | Raleigh, NC 27601 | 919-996-3495 | fax 919-996-1831
Litchford Satellite Office | 8320 - 130 Litchford Road | Raleigh, NC 27601 | 919-996-4200



When submitting plans, please check the appropriate building type and include the Plan Checklist document.

BUILDING TYPE	FOR OFFICE USE ONLY
<input type="checkbox"/> Detached <input type="checkbox"/> Attached <input checked="" type="checkbox"/> Apartment <input type="checkbox"/> Townhouse	Transaction Number Assigned Project Coordinator Assigned Team Leader
<input type="checkbox"/> General <input type="checkbox"/> Mixed Use <input type="checkbox"/> Open Lot	

Has your project previously been through the Due Diligence or Sketch Plan Review process? If yes, provide the transaction #

GENERAL INFORMATION

Development Name: **Abbington Village**
 Zoning District: **RX-3-CU** Overlay District (if applicable): **n/a** Inside City Limits? Yes No
 Proposed Use: **Residential Mixed Use (Apartment)**
 Property Address(es): **2929 Forestville Rd & 2925 Forestville Rd** Major Street Location: **Louisburg Rd. & Forestville Rd.**
 Wake County Property Identification Number(s) for each parcel to which these guidelines will apply:

P.I.N.	P.I.N.	P.I.N.	P.I.N.
1748-60-3845	1748-60-1626		

What is your project type?
 Mixed Residential Non-Residential Condo Duplex Other: if other, please describe: _____
 Apartment Elderly Facilities Schools Hospitals Hotels/Motels Office Industrial Building
 Non-Residential Condo School Shopping Center Banks Retail Industrial Building
 Duplex Telecommunication Tower Religious Institutions Residential Condo Retail Courtyard Court

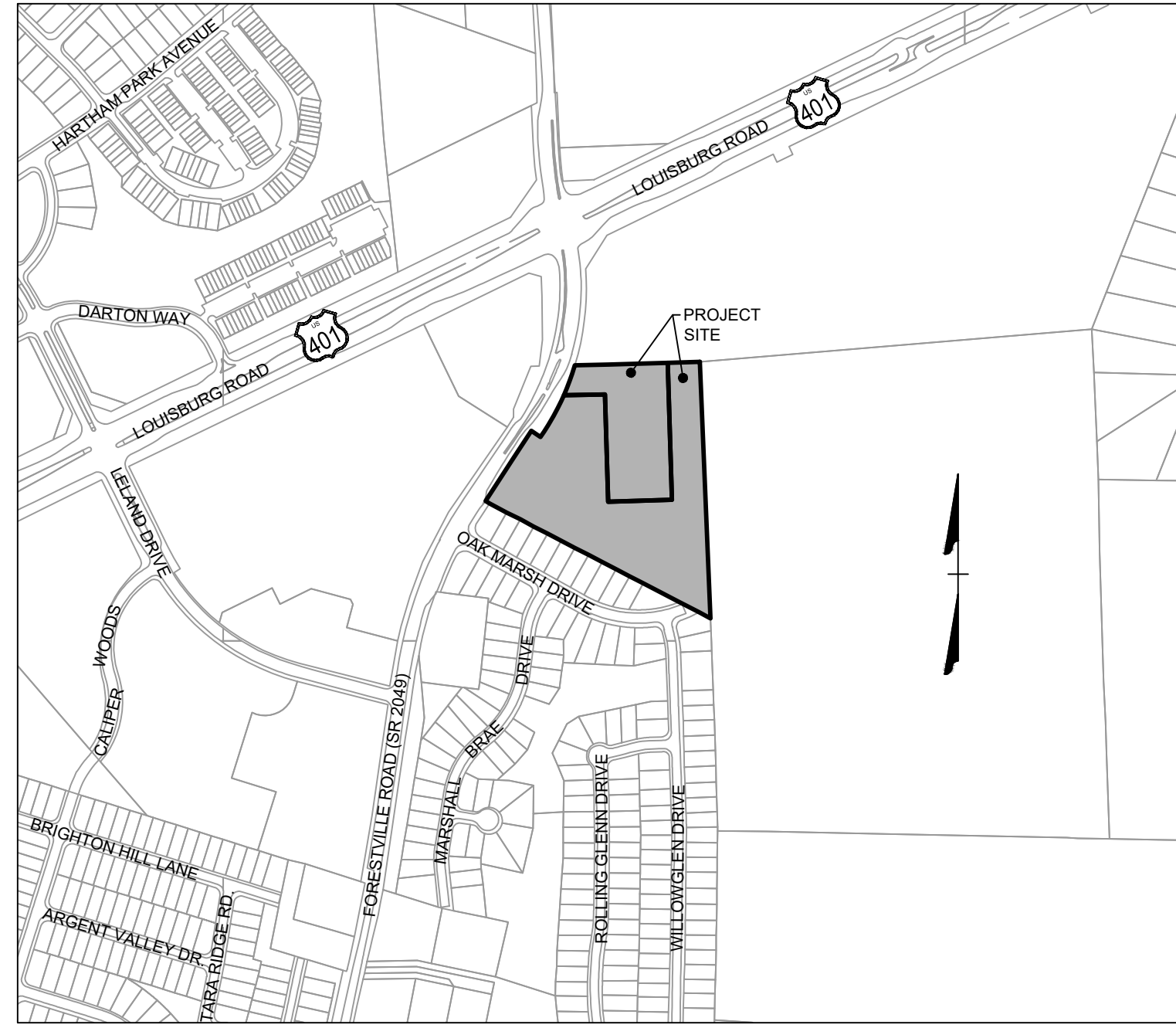
WORK SCOPE
 Per City Code Section 10.2.8.D.1, summarize the project work scope. For additions, changes of use, or occupancy (per Chapter 6 of the UDO), indicate impacts on parking requirements.
 The project consists of demolition of existing buildings and related structures, clearing, grading, water & sewer installation, stormwater structure installation and parking related to 4 separate 3-story apartment buildings & a 1-story clubhouse.

DESIGN ADJUSTMENT OR ADMIN ALTERNATE
 Per City Code Chapter 8, summarize if your project requires either a design adjustment, or Section 10 - Alternate Administrative AE.
AAD-15-18; A-65-18

CLIENT/DEVELOPER/OWNER
 Company: **Rea Ventures Group, LLC** Name (s): **Matt Monroe**
 Address: **2964 Peachtree Road NW, Suite 200, Atlanta, GA 30305**
 Phone: **404-250-4093** Email: **mattmonroe@reaventures.com** Fax: _____

CONSULTANT (Contact Person for Plans)
 Company: **Timmons Group** Name (s): **Rick Baker, PE**
 Address: **5410 Trinity Road, Suite 102, Raleigh, NC 27607**
 Phone: **919.866.4939** Email: **rick.baker@timmons.com** Fax: **919.859.5663**

PAGE 1 OF 3 WWW.RALEIGHNC.GOV REVISION 05.13.16



VICINITY MAP
SCALE: 1" = 500'

RALEIGH BOARD OF ADJUSTMENT DECISIONS
JUNE 11, 2018

A-65-18 - 6/11/18

Decision: **Approved as requested.**

WHEREAS Raleigh Abbington Village, LLC, property owner, requests a 2 foot variance from Section 3.2.4.F.1. of the Unified Development Ordinance in order to construct multiple apartment buildings that have finished ground floor elevations equal to the average curb level of the adjoining street on a 9.58 acre parcel zoned Residential- Mixed-Use-3 Conditional Use and located at 2929 Forestville Road.

Karen M. Kemerali
Karen M. Kemerali, Chair

6/12/2018
Date

DEVELOPMENT TYPE & SITE DATA TABLE (Applicable to all developments)	
Zoning Information	Building Information
Zoning District(s) RX-3-CU	Proposed building use(s) apartments & community bldg
If more than one district, provide the acreage of each: n/a	Existing building(s) sq. ft. gross
Overlay District info:	Proposed building(s) sq. ft. gross 105,656 sq ft
Total Site Acres: 9.58 (within City Limits) <input checked="" type="checkbox"/> Yes <input type="checkbox"/> No 8.80 acres	Total sq. ft. gross (existing & proposed) 105,656 sq ft
Off-street parking: Required 157 Provided 174	Proposed height of building(s):
COA (Certificate of Appropriateness) case # n/a	# of stories (w/ 3-story apt stops & 11-story community bldg)
BDA (Board of Adjustment) case # A-65-18	Ceiling height of 1 st floor: 9'-8 5/8" (apts)
CUD (Conditional Use District) case # z-3-16-Forestville Road	
Stormwater Information	
Existing Impervious Surface: 0.57 acres/square feet	Flood Hazard Area <input type="checkbox"/> Yes <input checked="" type="checkbox"/> No
Proposed Impervious Surface: 3.14 acres/square feet	If Yes, please provide: Alluvial Soils Flood Study FEMA Map Panel # 3720174800J
Neuse River buffer: <input type="checkbox"/> Yes <input checked="" type="checkbox"/> No Wetlands: <input type="checkbox"/> Yes <input checked="" type="checkbox"/> No	
FOR RESIDENTIAL DEVELOPMENTS	
1. Total # of Apartment, Condominium or Residential Units: 85	5. Bedroom Units: 1br 42 2br 24 3br 19 4br or more 0
2. Total # of Congregate Care or Life Care Dwelling Units: 0	6. Infill Development 2.2.7: n/a
3. Total Number of Hotel Units: 0	7. Open Space (only) or Amenity: 39,422 sf
4. Overall Total # of Dwelling Units (1-6 Above): 85	8. Is your project a cottage court? <input type="checkbox"/> Yes <input checked="" type="checkbox"/> No
SIGNATURE BLOCK (Applicable to all developments)	
In filing this plan as the property owner(s), I/we do hereby agree and firmly bind ourselves, my/our heirs, executors, administrators, successors and assigns jointly and severally to construct all improvements as shown on this proposed development plan as approved by the City.	
I hereby designate Timmons Group to serve as my agent regarding this application, to receive and respond to administrative comments, to resubmit plans on my behalf and to represent me in any public meeting regarding this application.	
I/we have read, acknowledge and affirm that this project is conforming to all application requirements applicable with the proposed development use.	
Signed: _____ Date: _____	
Printed Name: _____	
Signed: <i>Matthew Monroe</i> Date: 2-27-2018	
Printed Name: Matthew Monroe	

DEVELOPER:
REA VENTURES GROUP, LLC
2964 PEACHTREE ROAD NW, STE 200
ATLANTA, GA 30305
MATT MONROE
(404) 250-4093
mattmonroe@reaventures.com

CIVIL ENGINEER:
TIMMONS GROUP
5410 TRINITY ROAD, STE. 102
RALEIGH, NC 27607
RICK BAKER, PE
(919) 866-4939
rick.baker@timmons.com

ARCHITECT:
MARTIN RILEY ASSOCIATES - ARCHITECTS, P.C.
215 CHURCH STREET, STE. 200
DECATUR, GA 30030
DAVID THOMPSON
(404) 373-2800
dthompson@martinriley.com

SURVEYOR:
TIMMONS GROUP
5410 TRINITY ROAD, STE. 102
RALEIGH, NC 27607
DAVID BRUBAKER, PLS
(919) 866-4951
david.brubaker@timmons.com

SITE DATA TABLE	
PROJECT NAME:	ABBINGTON VILLAGE
TOWNSHIP:	WAKE FOREST
PROPERTY ZONING:	RX-3-CU
EXISTING USE:	SINGLE FAMILY RESIDENCE
PROPOSED USE:	RESIDENTIAL MIXED USE (APARTMENT)
RIVER BASIN:	NEUSE
SURFACE WATER CLASSIFICATION:	C; NSW
WATERSHED:	LOWER NEUSE

TREE CONSERVATION NOTE:
1) THIS SITE IS LARGER THAN THE 2.0 ACRE THRESHOLD SET WITHIN UDO SECTION 9.1.2. THERE ARE NO WOODED AREAS OR TREES 10-INCH DIAMETER IN THE 65 FT, 32 FT, OR 50 FT TREE CONSERVATION BUFFER YARDS. THEREFORE, NO TREE CONSERVATION IS NEEDED.



PAGE 2 OF 3 WWW.RALEIGHNC.GOV REVISION 05.13.16

Sheet Title	Sheet Number
COVER SHEET	C0.0
ZONING CONDITIONS, BOA AND AA APPROVALS	C0.1
EXISTING CONDITIONS	C1.0
DEMOLITION PLAN	C1.1
SITE LAYOUT PLAN	C2.0
FIRE TRUCK ACCESS PLAN	C2.1
WASTE SERVICES ACCESS PLAN	C2.2
SIGHT DISTANCE TRIANGLE PLAN	C2.3
NCDOT SIGHT DISTANCE TRIANGLE PLAN	C2.4
BUILD-TO & AMENITY AREA PLAN	C2.5
GRADING AND DRAINAGE PLAN	C3.0
UTILITY PLAN	C4.0
LANDSCAPE PLAN	C5.0
LANDSCAPE DETAIL SHEET	C5.1
DETAIL SHEET	C6.0
DETAIL SHEET	C6.1
DETAIL SHEET	C6.2
DETAIL SHEET	C6.3
ARCHITECTURAL ELEVATIONS	A3.01
ARCHITECTURAL ELEVATIONS	A3.02
ARCHITECTURAL ELEVATIONS	A3.03
ARCHITECTURAL ELEVATIONS	A3.04
ARCHITECTURAL ELEVATIONS	A3.05
GAZEBO DETAILS	SA2
DUMPSTER DETAILS	SA3
SITE LIGHTING PLAN	SHEET 1 OF 1

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DATE: **07/10/2018**
07/19/2018
DATE: **03/09/2018**
DRAWN BY: **L. RUSH**
DESIGNED BY: **B. DOWNS**
CHECKED BY: **R. BAKER**
SCALE: **AS SHOWN**

TIMMONS GROUP
NORTH CAROLINA LICENSE NO. C-1652
ABBINGTON VILLAGE
CITY OF RALEIGH - WAKE COUNTY - NORTH CAROLINA
COVER SHEET

JOB NO. **40522**
SHEET NO. **C0.0**

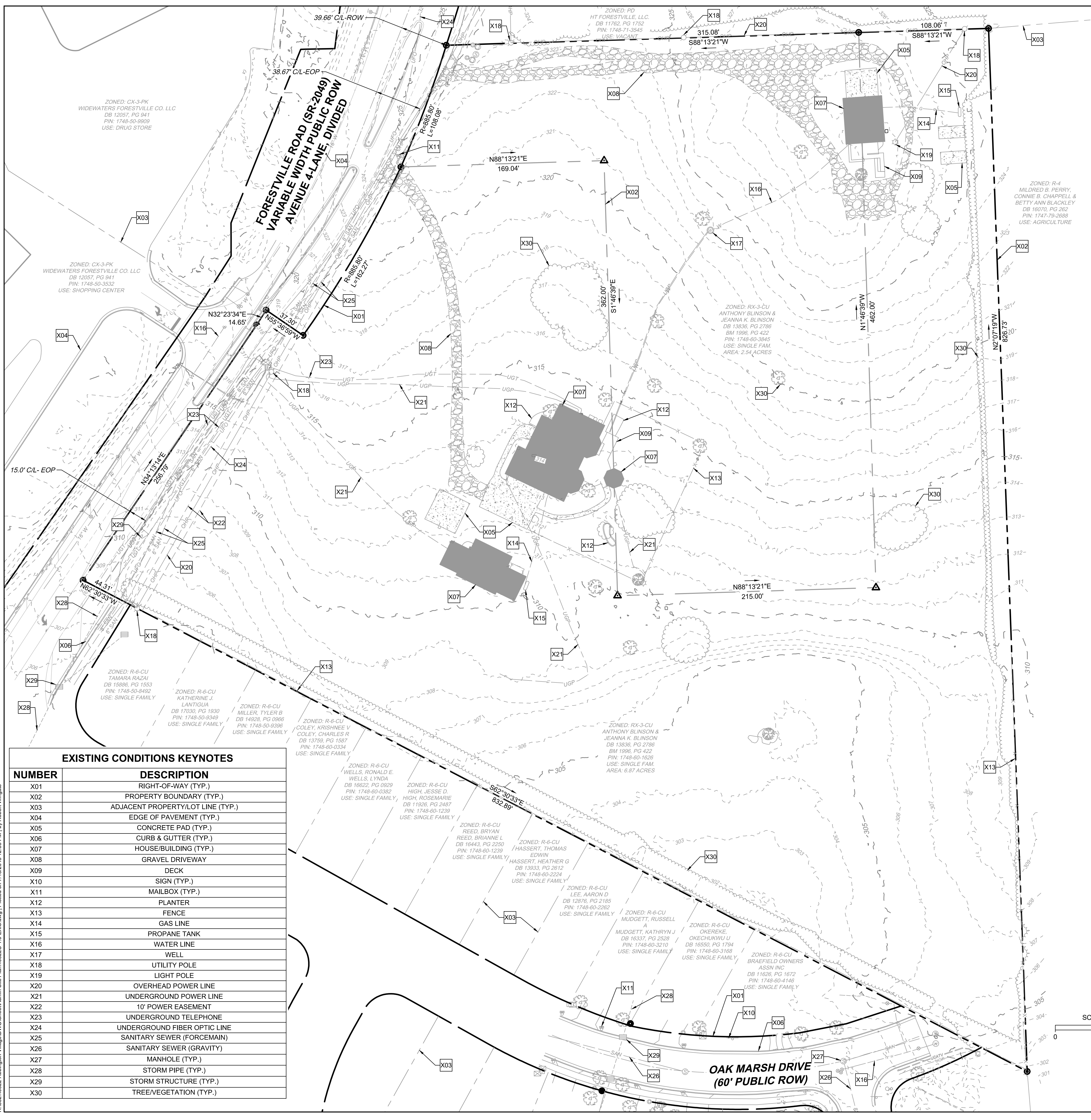
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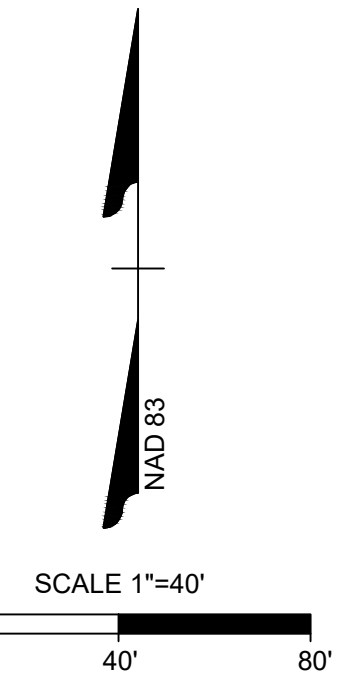
SURVEY NOTES

- ON SITE BOUNDARY, TOPOGRAPHY AND PLANIMETRIC INFORMATION IS TAKEN FROM A SURVEY BY TIMMONS GROUP DATED NOVEMBER 28, 2017. OFFSITE TOPOGRAPHY AND PLANIMETRIC INFORMATION FROM OTHER SOURCES AND HAS NOT BEEN FIELD VERIFIED BY TIMMONS GROUP.
- ALL DISTANCES SHOWN ON SURVEY ARE HORIZONTAL GROUND DISTANCES UNLESS OTHERWISE NOTED.
- THIS SURVEY DOES NOT REPRESENT A TITLE SEARCH BY THIS FIRM.
- BASIS OF BEARING SHOWN HEREON IS NC GRID NAD 83 (2011).
- VERTICAL DATUM SHOWN HEREON IS NAVD88.
- OTHER SOURCES OF INFORMATION INCLUDE CITY OF RALEIGH GIS AND AERIAL IMAGERY.
- NOT LOCATED IN FLOOD HAZARD AREA PER FEMA MAP #3720174800J (EFFECTIVE 05-02-2006).
- RECORDED PROPERTY DATA:
 - ELECTRIC LINE RIGHT-OF-WAY EASEMENT IN FAVOR OF ELECTRIC MEMBERSHIP CORPORATION RECORDED IN BOOK 6981, PAGE 589.
 - DEED FOR HIGHWAY RIGHT-OF-WAY IN FAVOR OF THE DEPARTMENT OF TRANSPORTATION IN BOOK 13933, PAGE 422.
 - DECLARATION OF DEVELOPMENT RESTRICTIONS BY ANTHONY E. BLINSON AND WIFE JEANNA K. BLINSON, RECORDED MAY 3, 2016.
- EXISTING IMPERVIOUS AREA = 0.57 ACRES.
- THE UTILITIES ON THESE PLANS ARE APPROXIMATE ONLY, AND ARE NOT ACCURATE FOR CONSTRUCTION PURPOSES. FOR FIELD MARKS CALL 1-800-632-4949.

LEGEND	
PROPERTY BOUNDARY	---
ADJOINER PROPERTY	---
RIGHT-OF-WAY	---
EXISTING 8" PVC SANITARY SEWER	— 8" SAN —
EXISTING SANITARY MANHOLE	⊕
EXISTING STORM SEWER	---
EXISTING CATCH BASIN	⊞
EXISTING DITCH CENTERLINE	---
EXISTING ROAD CENTERLINE	---
EXISTING FENCE	— X — X —
EXISTING GAS LINE	— G —
EXISTING SANITARY SEWER	— SAN —
EXISTING UNDERGROUND POWER	UGP
EXISTING OVERHEAD POWER	OHP
EXISTING POWER POLE	⊙
EXISTING LAMP POLE	⊙
EXISTING WATER MAIN	— 16"W —
EXISTING WATER VALVE	⊗
EXISTING WATER METER	⊕
EXISTING FIBER OPTIC LINE	— UFO —
EXISTING CABLE TV LINE	— UCATV —
EXISTING UNDERGROUND POWER	UGP
EXISTING UNDERGROUND TELEPHONE	UGT
EXISTING TREE LINE	---



EXISTING CONDITIONS KEYNOTES	
NUMBER	DESCRIPTION
X01	RIGHT-OF-WAY (TYP.)
X02	PROPERTY BOUNDARY (TYP.)
X03	ADJACENT PROPERTY/LOT LINE (TYP.)
X04	EDGE OF PAVEMENT (TYP.)
X05	CONCRETE PAD (TYP.)
X06	CURB & GUTTER (TYP.)
X07	HOUSEBUILDING (TYP.)
X08	GRAVEL DRIVEWAY
X09	DECK
X10	SIGN (TYP.)
X11	MAILBOX (TYP.)
X12	PLANTER
X13	FENCE
X14	GAS LINE
X15	PROPANE TANK
X16	WATER LINE
X17	WELL
X18	UTILITY POLE
X19	LIGHT POLE
X20	OVERHEAD POWER LINE
X21	UNDERGROUND POWER LINE
X22	10' POWER EASEMENT
X23	UNDERGROUND TELEPHONE
X24	UNDERGROUND FIBER OPTIC LINE
X25	SANITARY SEWER (FORCEMAIN)
X26	SANITARY SEWER (GRAVITY)
X27	MANHOLE (TYP.)
X28	STORM PIPE (TYP.)
X29	STORM STRUCTURE (TYP.)
X30	TREE/VEGETATION (TYP.)



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DATE	07/10/2018
DATE	07/19/2018

DRAWN BY
L. RUSH

DESIGNED BY
B. DOWNS

CHECKED BY
R. BAKER

SCALE
AS SHOWN

TIMMONS GROUP

NORTH CAROLINA LICENSE NO. C-1652

ABBINGTON VILLAGE

CITY OF RALEIGH - WAKE COUNTY - NORTH CAROLINA

EXISTING CONDITIONS

JOB NO.
40522

SHEET NO.
C1.0

R:\332\40522-Abbingon Village\DWG\Sheet\Sheet.dwg, Site Plan.dwg, Printed on 7/18/2018 12:08 PM | By Robert Wingate

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CITY OF RALEIGH

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DATE	07/10/2018
DATE	07/19/2018
DATE	03/09/2018
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DESIGNED BY	B. DOWNS
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SCALE	AS SHOWN

TIMMONS GROUP

NORTH CAROLINA LICENSE NO. C-1652

ABBINGTON VILLAGE
CITY OF RALEIGH - WAKE COUNTY - NORTH CAROLINA

SITE LAYOUT PLAN

JOB NO.
40522

SHEET NO.
C2.0

SITE DATA TABLE

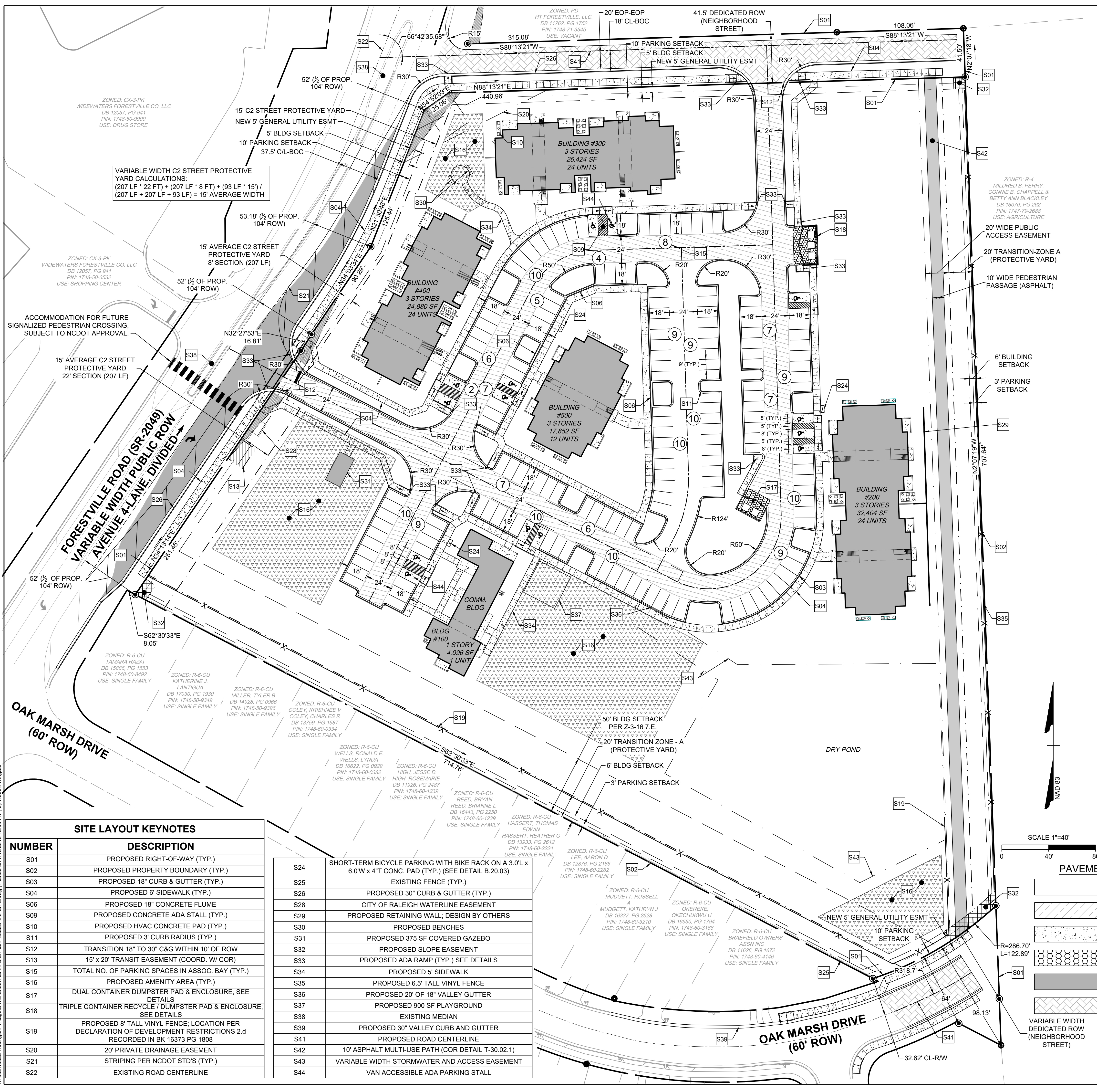
PROJECT NAME:	ABBINGTON VILLAGE
APPLICANT/ PROPERTY OWNER:	REA VENTURES GROUP 2964 PEACHTREE ROAD NW, SUITE 200 ATLANTA, GA 30305 (404) 250-4093
PIN:	1748-60-3845 & 1748-60-1626
DEED REFERENCE:	D.B. 005476 PG. 00821 & D.B. 006823 PG. 00596
PLAT REFERENCE:	B.M. 1992 PG. 1381
PROPERTY ADDRESS:	2929/2925 FORESTVILLE RD, RALEIGH, NC 27616
TOWNSHIP:	WAKE FOREST
PROPERTY ZONING:	RX-3-CU
CURRENT USE:	SINGLE FAMILY RESIDENCE
PROPOSED USE:	RESIDENTIAL MIXED USE (APARTMENTS)
TOTAL PROJECT AREA:	9.41 AC.
FORESTVILLE R/W DEDICATION	17,447 SF
PROPOSED NEW CITY OF RALEIGH PUBLIC R/W DEDICATION	18,469 SF
OAK MARSH DR PUBLIC R/W DEDICATION	5,848 SF
PROJECT AREA AFTER R/W DEDICATION	383,446 SF (8.80 AC)
RIVER BASIN:	NEUSE
SURFACE WATER CLASSIFICATION:	C: NSW
WATERSHED:	LOWER NEUSE
SETBACKS:	
FRONT (FROM PRIMARY STREET):	BLDG.: 5' PARKING: 10'
SIDE STREET:	BLDG.: 5' PARKING: 10'
SIDE:	BLDG.: 0' OR 6' PARKING: 0' OR 3'
REAR:	BLDG.: 0' OR 6' PARKING: 0' OR 3'
PARKING REQUIRED:	
42 - 1 BEDROOM UNITS	47 SPACES (1 SPACE PER UNIT + 1 SPACE PER 10 UNITS FOR VISITORS)
24 - 2 BEDROOM UNITS	51 SPACES (2 SPACES PER UNIT + 1 SPACE PER 10 UNITS FOR VISITORS)
19 - 3 BEDROOM UNITS	59 SPACES (3 SPACE PER UNIT + 1 SPACE PER 10 UNITS FOR VISITORS)
85 TOTAL UNITS:	157 SPACES (INCLUDING 6 ADA SPACES)
PARKING PROVIDED:	174 SPACES (INCLUDING 14 ADA SPACES)
BICYCLE PARKING REQUIRED:	1 SPACE PER 20 UNITS
BICYCLE PARKING PROVIDED:	6 SPACES (2 SPACES PER U-RAIL)
IMPERVIOUS SURFACE SUMMARY:	
EXISTING ONSITE IMPERVIOUS AREA:	0.57 ACRES
PROP. ONSITE POST-DEV. IMPERVIOUS:	3.14 ACRES
OUTDOOR AMENITY AREA:	
REQUIRED:	38,333 SF
PROVIDED:	39,422 SF

SITE LAYOUT NOTES:

- ALL CONSTRUCTION SHALL BE IN ACCORDANCE WITH THE CITY OF RALEIGH AND NCDOT STANDARDS AND SPECIFICATIONS.
- ALL DIMENSIONS ARE TO FACE OF CURB, EDGE OF PAVING, BUILDING WALL FACE OR PROPERTY LINE, UNLESS OTHERWISE NOTED.
- CONTRACTOR SHALL FIELD VERIFY ALL DIMENSIONS, UTILITIES AND GRADES PRIOR TO CONSTRUCTION. CONTRACTOR SHALL NOTIFY THE ENGINEER OF ANY EXISTING DISCREPANCIES PRIOR TO COMMENCING ANY RELATED CONSTRUCTION.
- AT LEAST 72 HOURS PRIOR TO CONSTRUCTION OR EXCAVATION THE CONTRACTOR SHALL NOTIFY "NORTH CAROLINA ONE CALL" (811) OR (1-800-632-4949) TO HAVE EXISTING UTILITIES LOCATED.
- PARKING SPACES ARE 9'0" WIDE X 18' LONG MINIMUM EXCEPT HANDICAP SPACES WHICH ARE 8'0" WIDE MINIMUM WITH 8'0" VAN ACCESS AND 5'0" STANDARD ACCESS AISLES.
- REFER TO ARCHITECTURAL DRAWINGS FOR DIMENSIONS OF THE BUILDING.
- CONTRACTOR SHALL NOTIFY THE ENGINEER OF ANY DIMENSIONAL CONFLICTS PRIOR TO THE BEGINNING OF CONSTRUCTION.
- ALL CURB AND GUTTER ONSITE SHALL BE 18" WIDE. ALL CURB AND GUTTER IN THE PUBLIC RIGHT OF WAY SHALL BE 30" WIDE.
- TRANSITION FROM 30" TO 18" CURB AND GUTTER IS TO OCCUR ON-SITE. THIS TRANSITION SHALL BE 10' LONG IMMEDIATELY ADJACENT TO PUBLIC RIGHT OF WAY.
- ALL DISTURBED CURB & GUTTER AND ASPHALT SHALL BE REPLACED PER CITY OF RALEIGH OR NCDOT STANDARDS AND SPECIFICATIONS.
- ALL DRIVEWAY DESIGN AND CONSTRUCTION MUST COMPLY WITH THE RALEIGH STREET DESIGN MANUAL. DRIVEWAYS SHALL BE PERMITTED SEPARATELY.
- NO SIGHT OBSTRUCTING OR PARTIALLY OBSTRUCTING WALL, FENCE, FOLIAGE, BERMING, PARKED VEHICLES OR SIGN BETWEEN THE HEIGHTS OF TWENTY-FOUR (24) INCHES AND EIGHT (8) FEET ABOVE THE CURB LINE ELEVATION, OR THE NEAREST TRAVELED WAY IF NO CURBING EXISTS, SHALL BE PLACED WITHIN A SIGHT TRIANGLE OF A PUBLIC STREET, PRIVATE STREET OR DRIVEWAY CONTAINED EITHER ON THE PROPERTY OR ON AN ADJOINING PROPERTY.

PAVEMENT SECTION LEGEND

[Pattern]	LIGHT DUTY ASPHALT; SEE DETAIL
[Pattern]	HEAVY DUTY ASPHALT; SEE DETAIL
[Pattern]	LIGHT DUTY CONCRETE; SEE DETAIL
[Pattern]	HEAVY DUTY CONCRETE; SEE DETAIL
[Pattern]	NCDOT ASPHALT; SEE DETAIL
[Pattern]	RALEIGH ASPHALT; SEE DETAIL T-10.12



SITE LAYOUT KEYNOTES

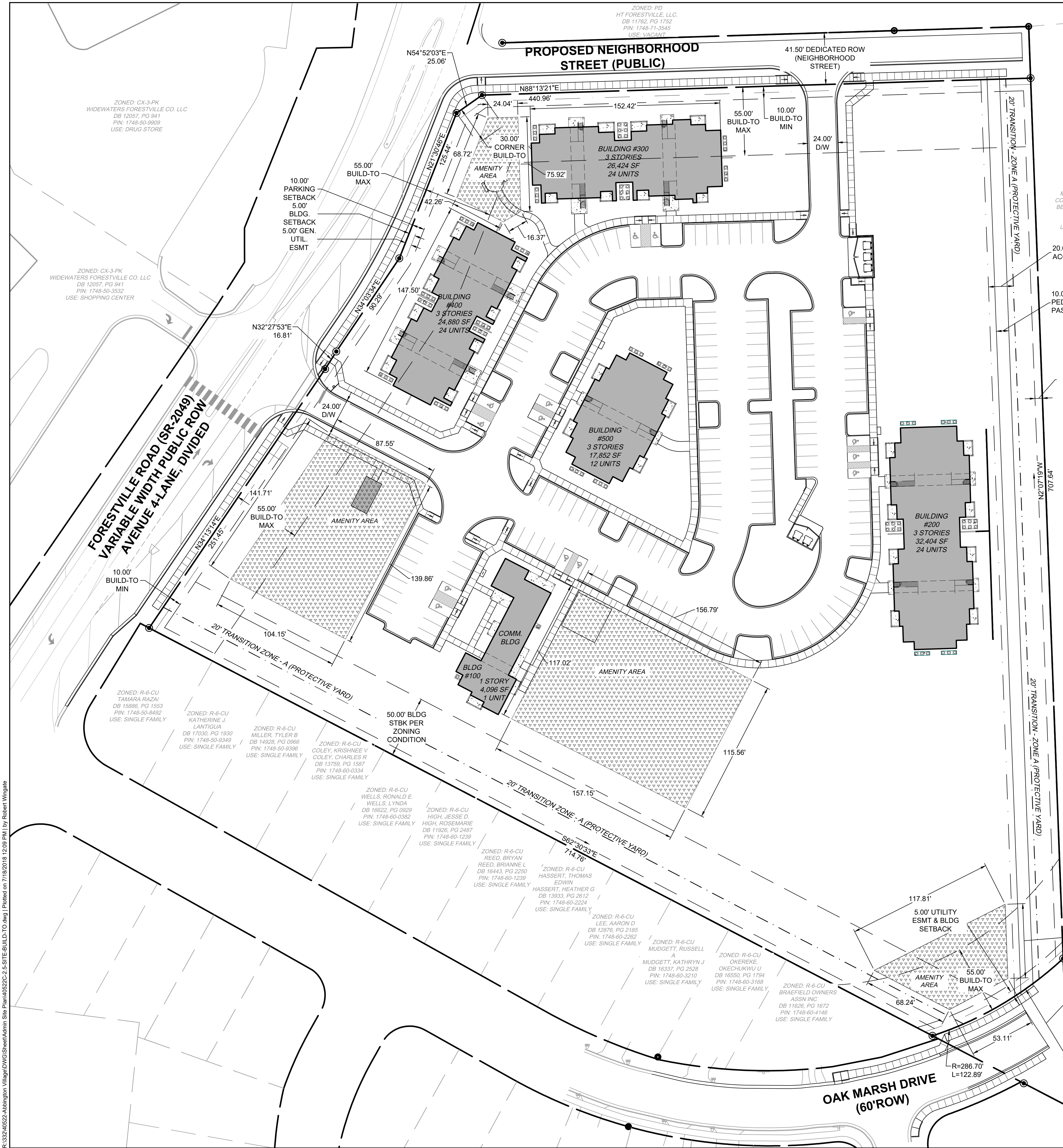
NUMBER	DESCRIPTION
S01	PROPOSED RIGHT-OF-WAY (TYP.)
S02	PROPOSED PROPERTY BOUNDARY (TYP.)
S03	PROPOSED 18" CURB & GUTTER (TYP.)
S04	PROPOSED 6" SIDEWALK (TYP.)
S06	PROPOSED 18" CONCRETE FLUME
S09	PROPOSED CONCRETE ADA STALL (TYP.)
S10	PROPOSED HVAC CONCRETE PAD (TYP.)
S11	PROPOSED 3" CURB RADIUS (TYP.)
S12	TRANSITION 18" TO 30" C&G WITHIN 10' OF ROW
S13	15' x 20' TRANSIT EASEMENT (COORD. W/ COR)
S15	TOTAL NO. OF PARKING SPACES IN ASSOC. BAY (TYP.)
S16	PROPOSED AMENITY AREA (TYP.)
S17	DUAL CONTAINER DUMPSTER PAD & ENCLOSURE; SEE DETAILS
S18	TRIPLE CONTAINER RECYCLE / DUMPSTER PAD & ENCLOSURE; SEE DETAILS
S19	PROPOSED 8" TALL VINYL FENCE; LOCATION PER DECLARATION OF DEVELOPMENT RESTRICTIONS 2.d RECORDED IN BK 16373 PG 1808
S20	20' PRIVATE DRAINAGE EASEMENT
S21	STRIPING PER NCDOT STD'S (TYP.)
S22	EXISTING ROAD CENTERLINE

S24	SHORT-TERM BICYCLE PARKING WITH BIKE RACK ON A 3.0'L x 6.0'W x 4'T CONC. PAD (TYP.) (SEE DETAIL B.20.03)
S25	EXISTING FENCE (TYP.)
S26	PROPOSED 30" CURB & GUTTER (TYP.)
S28	CITY OF RALEIGH WATERLINE EASEMENT
S29	PROPOSED RETAINING WALL; DESIGN BY OTHERS
S30	PROPOSED BENCHES
S31	PROPOSED 375 SF COVERED GAZEBO
S32	PROPOSED SLOPE EASEMENT
S33	PROPOSED ADA RAMP (TYP.) SEE DETAILS
S34	PROPOSED 5' SIDEWALK
S35	PROPOSED 6.5' TALL VINYL FENCE
S36	PROPOSED 20" OF 18" VALLEY GUTTER
S37	PROPOSED 900 SF PLAYGROUND
S38	EXISTING MEDIAN
S39	PROPOSED 30" VALLEY CURB AND GUTTER
S41	PROPOSED ROAD CENTERLINE
S42	10' ASPHALT MULTI-USE PATH (COR DETAIL T-30.02.1)
S43	VARIABLE WIDTH STORMWATER AND ACCESS EASEMENT
S44	VAN ACCESSIBLE ADA PARKING STALL

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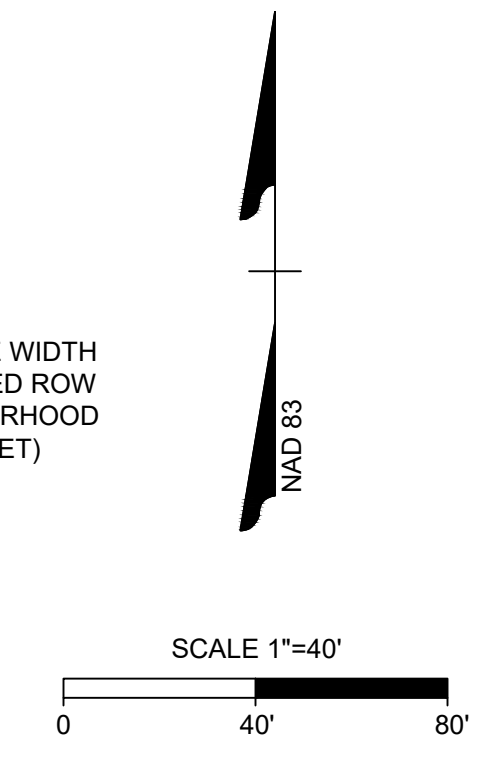
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BUILD-TO TABLE

STREET TYPE	FRONTAGE (LF)	% REQ'D w/ BLDG	LF REQ'D w/ BLDG	% PROV'D w/ BLDG	LF PROV'D w/ BLDG	% PROV'D w/ BLDG & AMENITY	LF PROV'D w/ BLDG & AMENITY
PRIMARY STREET (FORESTVILLE RD.)	486.71 LF	70%	340.70 LF	30.32%	147.58 LF	81.23%	398.26 LF
SIDE STREET (PROP. NEIGHBORHOOD ST.)	331.57 LF	35%	116.05 LF	45.97%	152.42 LF	54.18%	179.64 LF
SIDE STREET (OAK MARSH DR. EXTENSION)	122.89 LF	35%	43.01 LF	0%	0 LF	86.27%	106.02 LF
CORNER*	25.06 LF	N/A	YES	0%	0 LF	100%	YES

- *UDO 1.5.6.C
 1. ON CORNER LOTS, A BUILDING FACADE MUST BE PLACED WITHIN THE BUILD-TO FOR THE FIRST 30 FEET ALONG THE STREET EXTENDING FROM THE BLOCK CORNER.



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DATE	REVISION DESCRIPTION
07/10/2018	
07/19/2018	

DATE: 10/02/17
 DRAWN BY: L. RUSH
 DESIGNED BY: B. DOWNS
 CHECKED BY: R. BAKER
 SCALE: AS SHOWN

TIMMONS GROUP

NORTH CAROLINA LICENSE NO. C-1652

ABBINGTON VILLAGE
 CITY OF RALEIGH - WAKE COUNTY - NORTH CAROLINA

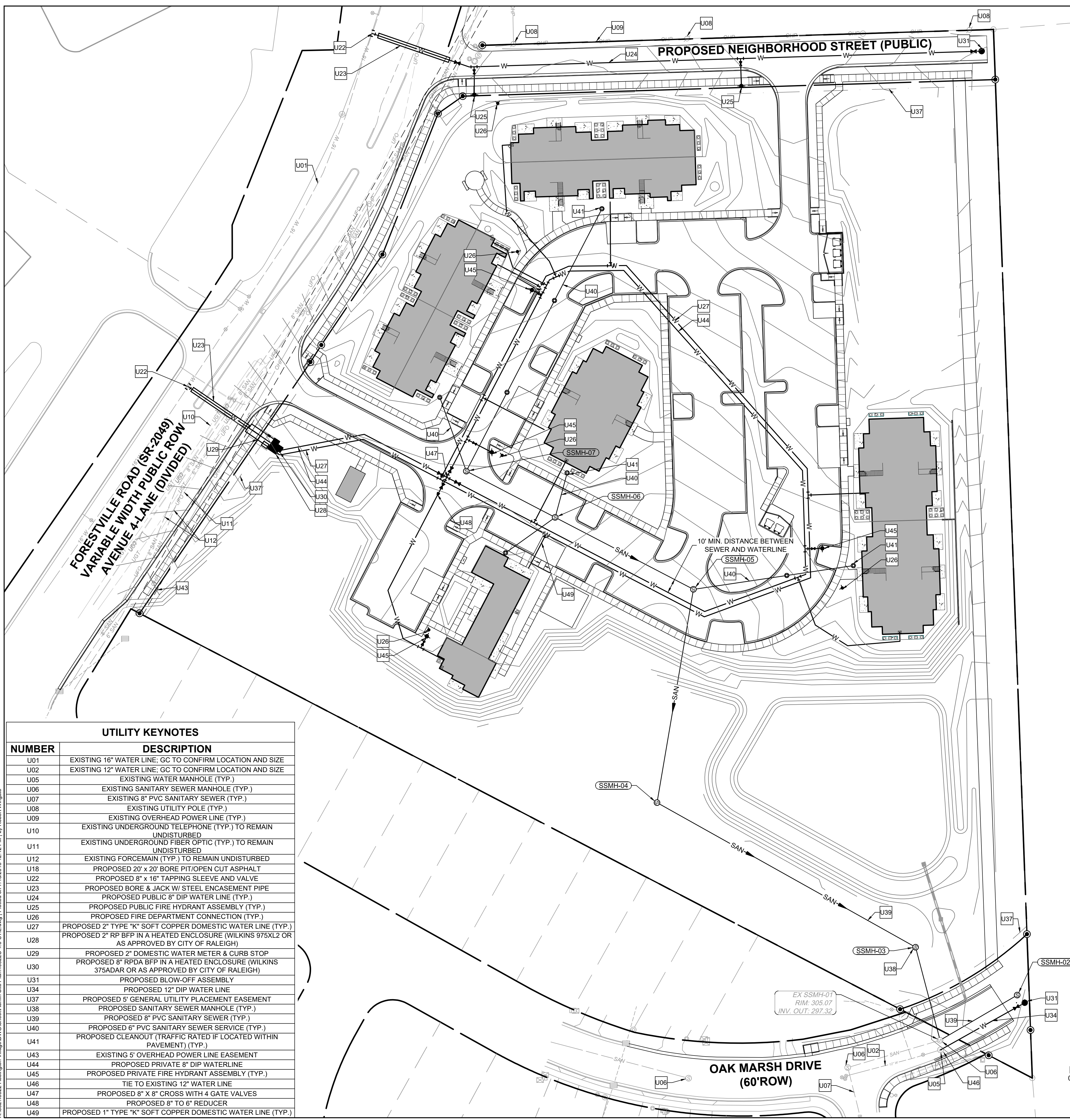
BUILD-TO & AMENITY AREA PLAN

JOB NO. 40522
 SHEET NO. C2.5

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STANDARD UTILITY NOTES:

- ALL MATERIALS & CONSTRUCTION METHODS SHALL BE IN ACCORDANCE WITH CITY OF RALEIGH DESIGN STANDARDS, DETAILS & SPECIFICATIONS (REFERENCE: CORPUD HANDBOOK, CURRENT EDITION).
- CONTRACTOR SHALL LOCATE AND PROTECT ALL EXISTING PUBLIC AND PRIVATE UTILITIES AND NOTIFY THE ENGINEER OF ANY DISCREPANCIES OR CONFLICTS PRIOR TO BEGINNING CONSTRUCTION.
- UTILITY SEPARATION REQUIREMENTS:
 - A DISTANCE OF 10' SHALL BE MAINTAINED BETWEEN SANITARY SEWER & ANY PRIVATE OR PUBLIC WATER SUPPLY SOURCE SUCH AS AN IMPOUNDED RESERVOIR USED AS A SOURCE OF DRINKING WATER. IF ADEQUATE LATERAL SEPARATION CANNOT BE ACHIEVED, FERROUS SANITARY SEWER PIPE SHALL BE SPECIFIED & INSTALLED TO WATERLINE SPECIFICATIONS. HOWEVER, THE MINIMUM SEPARATION SHALL NOT BE LESS THAN 25' FROM A PRIVATE WELL OR 50' FROM A PUBLIC WELL.
 - WHEN INSTALLING WATER AND/OR SEWER MAINS, THE HORIZONTAL SEPARATION BETWEEN UTILITIES SHALL BE 10'. IF THIS SEPARATION CANNOT BE MAINTAINED DUE TO EXISTING CONDITIONS, THE VARIATION ALLOWED IS THE WATER MAIN IN A SEPARATE TRENCH WITH THE ELEVATION OF THE WATER MAIN AT LEAST 18" ABOVE THE TOP OF THE SEWER & MUST BE APPROVED BY THE PUBLIC UTILITIES DIRECTOR. ALL DISTANCES ARE MEASURED FROM OUTSIDE DIAMETER TO OUTSIDE DIAMETER.
 - WHERE IT IS IMPOSSIBLE TO OBTAIN PROPER SEPARATION, OR ANYTIME A SANITARY SEWER PASSES OVER A WATER MAIN, DIP MATERIALS OR STEEL ENCASUREMENT EXTENDED 10' ON EACH SIDE OF CROSSING MUST BE SPECIFIED & INSTALLED TO WATERLINE SPECIFICATIONS.
 - 5.0' MINIMUM HORIZONTAL SEPARATION IS REQUIRED BETWEEN ALL SANITARY SEWER & STORM SEWER FACILITIES, UNLESS DIP MATERIAL IS SPECIFIED FOR SANITARY SEWER.
 - MAINTAIN 18" MIN. VERTICAL SEPARATION AT ALL WATER MAIN & RCP STORM DRAIN CROSSINGS; MAINTAIN 24" MIN. VERTICAL SEPARATION AT ALL SANITARY SEWER & RCP STORM DRAIN CROSSINGS. WHERE ADEQUATE SEPARATIONS CANNOT BE ACHIEVED, SPECIFY DIP MATERIALS & A CONCRETE CRADLE HAVING 6" MIN. CLEARANCE (PER CORPUD DETAILS W-41 & S-49).
 - ALL OTHER UNDERGROUND UTILITIES SHALL CROSS WATER & SEWER FACILITIES WITH 18" MIN. VERTICAL SEPARATION REQUIRED.
- ANY NECESSARY FIELD REVISIONS ARE SUBJECT TO REVIEW & APPROVAL OF AN AMENDED PLAN &/OR PROFILE BY THE CITY OF RALEIGH PUBLIC UTILITIES DEPARTMENT PRIOR TO CONSTRUCTION.
- CONTRACTOR SHALL MAINTAIN CONTINUOUS WATER & SEWER SERVICE TO EXISTING RESIDENCES & BUSINESSES THROUGHOUT CONSTRUCTION OF PROJECT. ANY NECESSARY SERVICE INTERRUPTIONS SHALL BE PRECEDED BY A 24-HOUR ADVANCE NOTICE TO THE CITY OF RALEIGH PUBLIC UTILITIES DEPARTMENT.
- CONTRACTOR SHALL COORDINATE THE LOCATION OR RELOCATION OF ALL OVERHEAD AND UNDERGROUND COMMUNICATION LINES, ELECTRIC AND GAS SERVICE WITH THE APPROPRIATE UTILITY COMPANY AND/OR THE CITY PRIOR TO BEGINNING CONSTRUCTION. CONTRACTOR SHALL PROVIDE CONDUITS AS REQUIRED FOR THESE UTILITIES UNDER PAVED AREAS. CONTRACTOR SHALL ENSURE THAT ALL OVERHEAD UTILITY LINES ARE ADJUSTED BY APPROPRIATE UTILITY COMPANY TO MAINTAIN ACCEPTABLE CLEARANCES FOR FIRE APPARATUS, CONSTRUCTION EQUIPMENT, AND VEHICULAR ACCESS.
- 3.0' MINIMUM COVER IS REQUIRED ON ALL WATER MAINS & SEWER FORCE MAINS.
- IT IS THE DEVELOPER'S RESPONSIBILITY TO ABANDON OR REMOVE EXISTING WATER & SEWER SERVICES NOT BEING USED IN REDEVELOPMENT OF A SITE UNLESS OTHERWISE DIRECTED BY THE CITY OF RALEIGH PUBLIC UTILITIES DEPARTMENT. THIS INCLUDES ABANDONING TAP AT MAIN & REMOVAL OF SERVICE FROM ROW OR EASEMENT PER CORPUD HANDBOOK PROCEDURE.
- INSTALL 2" TYPE "K" COPPER WATER SERVICE WITH METER LOCATED AT ROW OR WITHIN A 2'X2' WATERLINE EASEMENT IMMEDIATELY ADJACENT.
- INSTALL 6" SCHEDULE 40 PVC SEWER SERVICES @ 1.0% MINIMUM GRADE WITH CLEANOUTS LOCATED AT ROW OR EASEMENT LINE & SPACED EVERY 75 LINEAR FEET MAXIMUM.
- PRESSURE REDUCING VALVES ARE REQUIRED ON ALL WATER SERVICES EXCEEDING 80 PSI. BACKWATER VALVES ARE REQUIRED ON ALL SANITARY SEWER SERVICES HAVING BUILDING DRAINS LOWER THAN 1.0' ABOVE THE NEXT UPSTREAM MANHOLE.
- ALL ENVIRONMENTAL PERMITS APPLICABLE TO THE PROJECT MUST BE OBTAINED FROM NCDOQ, USACE AND/OR FEMA FOR ANY RIPARIAN BUFFER, WETLAND &/OR FLOODPLAIN IMPACTS (RESPECTIVELY) PRIOR TO CONSTRUCTION.
- NC DOT ENCROACHMENT AGREEMENTS ARE REQUIRED FOR ANY UTILITY WORK (INCLUDING MAIN EXTENSIONS & SERVICE TAPS) WITHIN STATE ROW PRIOR TO CONSTRUCTION.
- CROSS-CONNECTION CONTROL PROTECTION DEVICES ARE REQUIRED BASED ON DEGREE OF HEALTH HAZARD INVOLVED AS LISTED IN APPENDIX-B OF THE RULES GOVERNING PUBLIC WATER SYSTEMS IN NORTH CAROLINA. THESE GUIDELINES ARE THE MINIMUM REQUIREMENTS. THE DEVICES SHALL MEET AMERICAN SOCIETY OF SANITARY ENGINEERING (ASSE) STANDARDS OR BE ON THE UNIVERSITY OF SOUTHERN CALIFORNIA APPROVAL LIST. THE DEVICES SHALL BE INSTALLED AND TESTED (BOTH INITIAL AND PERIODIC TESTING THEREAFTER) IN ACCORDANCE WITH THE MANUFACTURER'S RECOMMENDATIONS OR THE LOCAL CROSS-CONNECTION CONTROL PROGRAM, WHICHEVER IS MORE STRINGENT. CONTACT JOANIE HARTLEY AT (919) 996-5923 OR JOANIE.HARTLEY@RALEIGHNC.GOV FOR MORE INFORMATION.
- CONTRACTORS WORKING (EXCAVATION, BORING, OR OTHER SUBSURFACE BREACH) AROUND OR IN THE VICINITY OF EXISTING WATER LINES 12 INCHES IN DIAMETER OR LARGER SHALL BE REQUIRED TO PHYSICALLY SPOT THE EXISTING LINE TO BE VERIFIED BY P.U.D. DISTRIBUTION STAFF OR INSPECTION STAFF. IF OTHER EXISTING LINES SIZES ARE IN QUESTION OF CONFLICT THE CONTRACTOR SHALL BE DIRECTED BY P.U.D. STAFF OF THE LEVEL OF SUBSURFACE INVESTIGATION NEEDED TO LOCATE THE EXISTING LINE.
- SANITARY SEWER EXTENSION FROM EXISTING SSMH-01 TO SSMH-02 TO BE PUBLIC.
- SANITARY SEWER EXTENSION FROM EXISTING SSMH-01 TO SSMH-07 TO BE PRIVATE.

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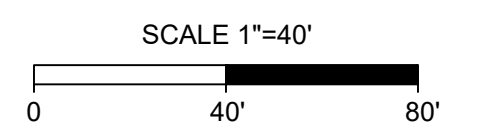
DRAWN BY	L. RUSH
DESIGNED BY	B. DOWNS
CHECKED BY	R. BAKER
SCALE	AS SHOWN

TIMMONS GROUP

ABBINGTON VILLAGE
 CITY OF RALEIGH - WAKE COUNTY - NORTH CAROLINA
 UTILITY PLAN
 NORTH CAROLINA LICENSE NO. C-1652

JOB NO.	40522
SHEET NO.	C4.0

UTILITY KEYNOTES	
NUMBER	DESCRIPTION
U01	EXISTING 16" WATER LINE; GC TO CONFIRM LOCATION AND SIZE
U02	EXISTING 12" WATER LINE; GC TO CONFIRM LOCATION AND SIZE
U05	EXISTING WATER MANHOLE (TYP.)
U06	EXISTING SANITARY SEWER MANHOLE (TYP.)
U07	EXISTING 8" PVC SANITARY SEWER (TYP.)
U08	EXISTING UTILITY POLE (TYP.)
U09	EXISTING OVERHEAD POWER LINE (TYP.)
U10	EXISTING UNDERGROUND TELEPHONE (TYP.) TO REMAIN UNDISTURBED
U11	EXISTING UNDERGROUND FIBER OPTIC (TYP.) TO REMAIN UNDISTURBED
U12	EXISTING FORCEMAIN (TYP.) TO REMAIN UNDISTURBED
U18	PROPOSED 20' x 20' BORE PIT/OPEN CUT ASPHALT
U22	PROPOSED 8" x 16" TAPPING SLEEVE AND VALVE
U23	PROPOSED BORE & JACK W/ STEEL ENCASEMENT PIPE
U24	PROPOSED PUBLIC 8" DIP WATER LINE (TYP.)
U25	PROPOSED PUBLIC FIRE HYDRANT ASSEMBLY (TYP.)
U26	PROPOSED FIRE DEPARTMENT CONNECTION (TYP.)
U27	PROPOSED 2" TYPE "K" SOFT COPPER DOMESTIC WATER LINE (TYP.)
U28	PROPOSED 2" RP BFP IN A HEATED ENCLOSURE (WILKINS 975XL2 OR AS APPROVED BY CITY OF RALEIGH)
U29	PROPOSED 2" DOMESTIC WATER METER & CURB STOP
U30	PROPOSED 8" RPDA BFP IN A HEATED ENCLOSURE (WILKINS 375ADAR OR AS APPROVED BY CITY OF RALEIGH)
U31	PROPOSED BLOW-OFF ASSEMBLY
U34	PROPOSED 12" DIP WATER LINE
U37	PROPOSED 5' GENERAL UTILITY PLACEMENT EASEMENT
U38	PROPOSED SANITARY SEWER MANHOLE (TYP.)
U39	PROPOSED 8" PVC SANITARY SEWER (TYP.)
U40	PROPOSED 6" PVC SANITARY SEWER SERVICE (TYP.)
U41	PROPOSED CLEANOUT (TRAFFIC RATED IF LOCATED WITHIN PAVEMENT) (TYP.)
U43	EXISTING 5" OVERHEAD POWER LINE EASEMENT
U44	PROPOSED PRIVATE 8" DIP WATERLINE
U45	PROPOSED PRIVATE FIRE HYDRANT ASSEMBLY (TYP.)
U46	TIE TO EXISTING 12" WATER LINE
U47	PROPOSED 8" X 8" CROSS WITH 4 GATE VALVES
U48	PROPOSED 8" TO 6" REDUCER
U49	PROPOSED 1" TYPE "K" SOFT COPPER DOMESTIC WATER LINE (TYP.)

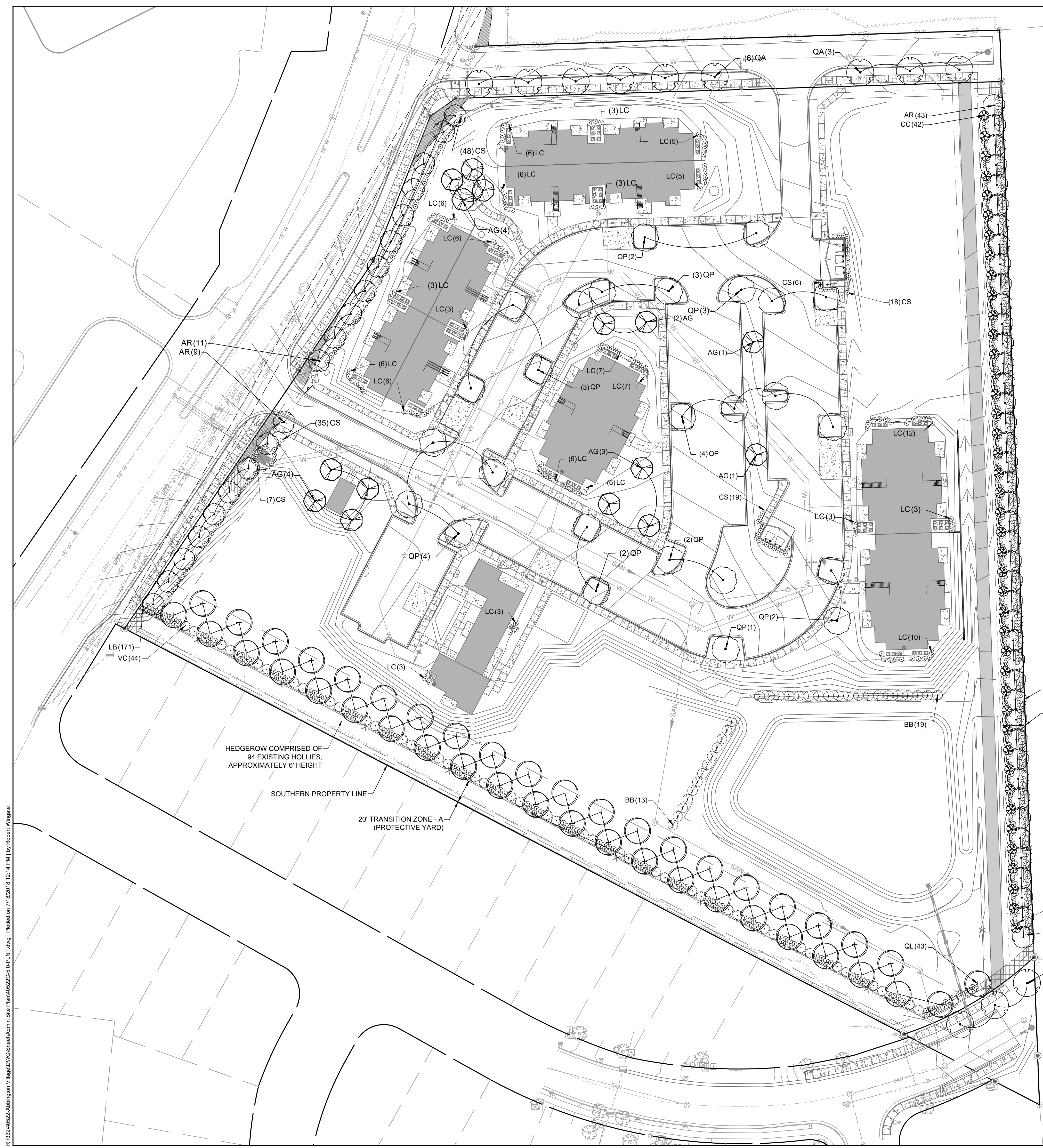


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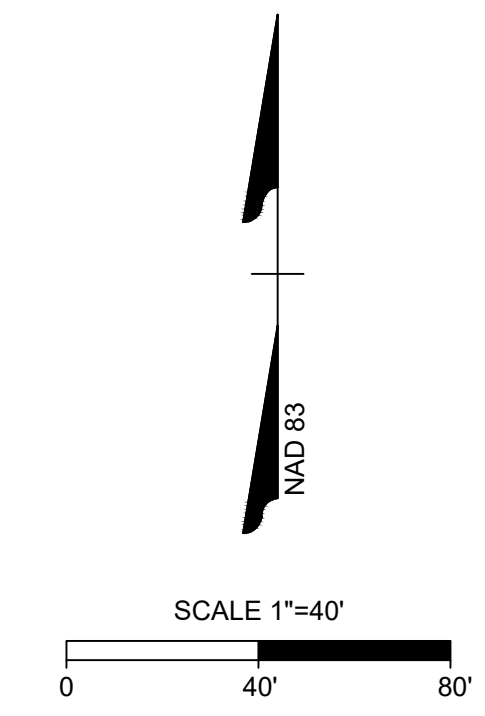


TREES	CODE	QTY	BOTANICAL NAME	COMMON NAME	SIZE	CONTAINER
	AG	15	ACER GRISEUM	PAPERBARK MAPLE	3" CALIPER	B&B; 10-FT HT.
	AR	63	ACER RUBRUM 'AUTUMN BLAZE'	AUTUMN BLAZE RED MAPLE	3" CALIPER	B&B; 10-FT HT.
	CC	42	CERCIS CANADENSIS	EASTERN REDBUD MULTI TRUNK	3" CALIPER	B&B; 10-FT HT.
	QA	12	QUERCUS ALBA	WHITE OAK	3" CALIPER	B&B; 10-FT HT.
	QL	43	QUERCUS LAURIFOLIA	LAUREL-LEAVED OAK	3" CALIPER	B&B; 10-FT HT.
	QP	26	QUERCUS PHELLOS	WILLOW OAK	3" CALIPER	B&B; 10-FT HT.
SHRUBS	CODE	QTY	BOTANICAL NAME	COMMON NAME	SIZE	CONTAINER
	AGL	163	ABELIA X GRANDIFLORA 'LITTLE RICHARD'	LITTLE RICHARD ABELIA	18" HT/SPRD	3 GAL
	BB	32	BUDDLEIA DAVIDII 'PURPLE HAZE'	PURPLE HAZE BUTTERFLY BUSH	36" HT/SPRD	7 GAL
	CS	124	CAMELLIA SASANQUA	SASANQUA CAMELLIA	36" HT/SPRD	7 GAL
	IG	285	ILEX GLABRA	INKBERRY HOLLY	18" HT/SPRD	3 GAL
	LB	171	LOROPETALUM CHINENSE RUBRUM 'BURGUNDY'	BURGUNDY LOROPETALUM	18" HT/SPRD	3 GAL
	LC	118	LOROPETALUM CHINENSE 'SUZANNE'	SUZANNE LOROPETALUM	18" HT/SPRD	3 GAL
	VC	44	VIBURNUM AWABUKI 'CHINDO'	CHINDO VIBURNUM	36" HT/SPRD	7 GAL

CITY OF RALEIGH LANDSCAPE REQUIREMENTS

REQUIREMENT	CALCULATION	REQUIRED	PROVIDED
VEHICULAR SURFACE AREA:			
UDO 7.1.7.F.: 1 SHADE TREE PER 2,000 S.F. OF V.S.A.	TOTAL V.S.A. = 74,146 S.F. 65,133 / 2,000 = 33 TREES	33 TREES	33 TREES, 3" CALIPER, 10' HT.
STREET TREES:			
FORESTVILLE ROAD IS AN NCDOT ROAD - STREET TREES ARE NOT ALLOWED INSIDE THE ROW PER NCDOT POLICY. CITY TYPE C2 PROTECTIVE YARD IS REQUIRED. NEIGHBORHOOD STREET ON NORTH SIDE (STREET 'A') REQUIRE 3" CAL. STREET TREES AT 40' O.C.			
STREET PROTECTIVE YARD: UDO 7.2.4			
C2 STREET PROTECTIVE YARD 4 SHADE TREES PER 100 FT. 15 SHRUBS PER 100 FT.	505 LF FRONTAGE (505 / 100) x 4 = 20 TREES (505 / 100) x 15 = 76 SHRUBS	20 TREES 76 SHRUBS	20 DECIDUOUS TREES 79 EVERGREEN SHRUBS
TYPE 2 PROTECTIVE YARD, SOUTHERN PROPERTY LINE: (ALL MATERIAL TO BE EVERGREEN, PER DEVELOPMENT RESTRICTIONS; DB 016373, PG 01888)			
716 LINEAR FEET 6 SHADE TREES / 100' 6 UNDERSTORY TREES / 100' 30 EVERGREEN SHRUBS / 100'	716 LF (716 / 100) x 6 = 43 TREES (716 / 100) x 6 = 43 TREES (716 / 100) x 30 = 215 SHRUBS	43 SHADE TREES 43 UNDERSTORY 215 SHRUBS	43 SHADE TREES, 10' HT. 94 EXISTING HOLLIES, 6' HT. 215 SHRUBS, 18" HT.
TYPE 2 PROTECTIVE YARD, EASTERN PROPERTY LINE: UDO 3.5.3			
706 LINEAR FEET 6 SHADE TREES / 100' 5 UNDERSTORY TREES / 100' 60 EVERGREEN SHRUBS / 100'	706 LF (716 / 100) x 6 = 43 TREES (716 / 100) x 5 = 35 TREES (716 / 100) x 30 = 424 SHRUBS	43 SHADE TREES 35 UNDERSTORY 424 SHRUBS	43 SHADE TREES, 10' HT. 35 UNDERSTORY, 4-6' HT. 424 SHRUBS, 18" HT.

- LANDSCAPE NOTES:**
- ALL LANDSCAPING SHALL BE IN ACCORDANCE WITH CITY U.D.O. SECTIONS 7.1.7 AND 7.2.
 - STREET TREES SHALL BE INSTALLED AND MAINTAINED IN ACCORDANCE WITH THE REQUIREMENTS OF CHAPTER 2 OF THE RALEIGH CITY TREE MANUAL.



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REVISION DESCRIPTION	DATE
CITY OF RALEIGH	07/17/2018
CITY OF RALEIGH	07/19/2018

DATE: 01/16/2018
DRAWN BY: E. WOLFE
DESIGNED BY: E. WOLFE
CHECKED BY: R. BAKER
SCALE: AS SHOWN

TIMMONS GROUP

NORTH CAROLINA LICENSE NO. C-1652

ABBINGTON VILLAGE
CITY OF RALEIGH - WAKE COUNTY - NORTH CAROLINA

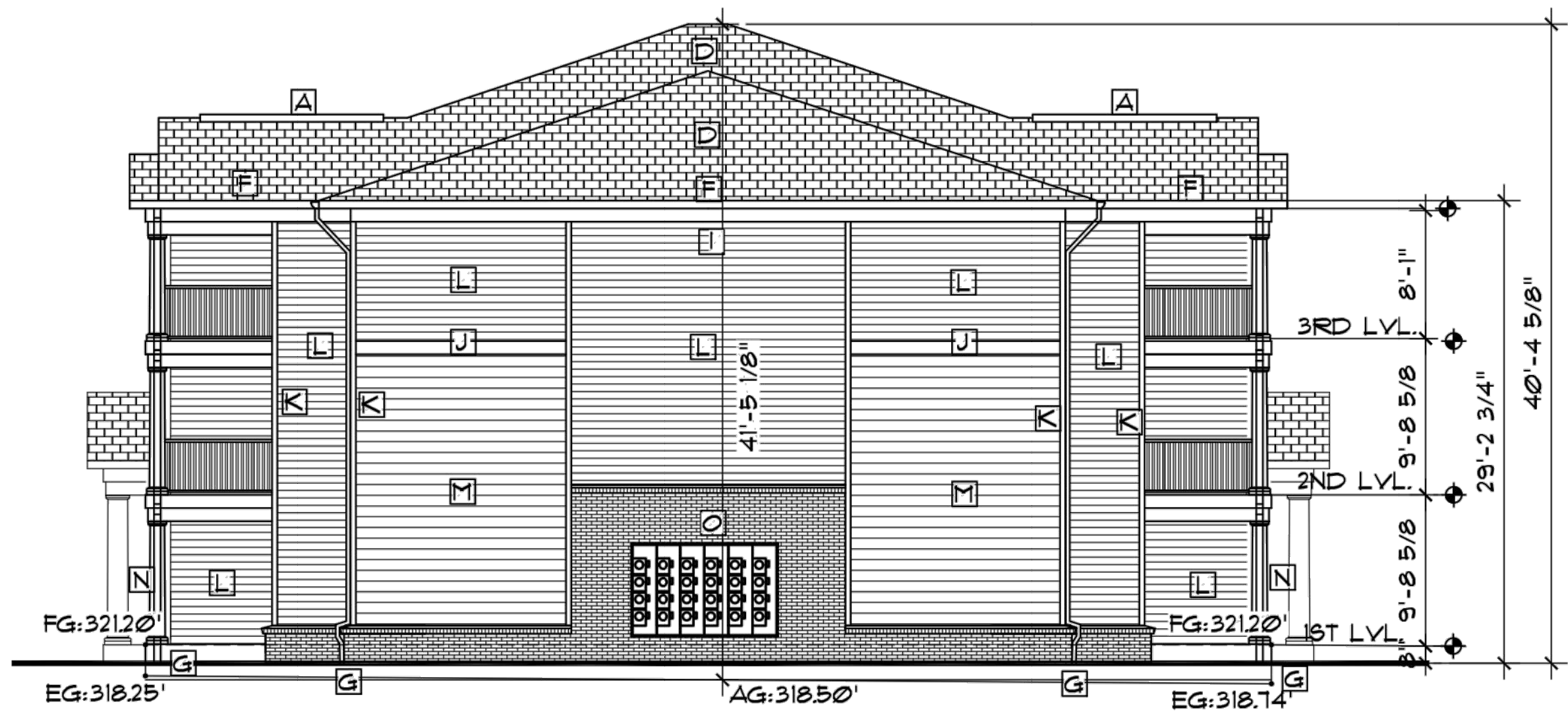
LANDSCAPE PLAN

JOB NO.	40522
SHEET NO.	C5.0

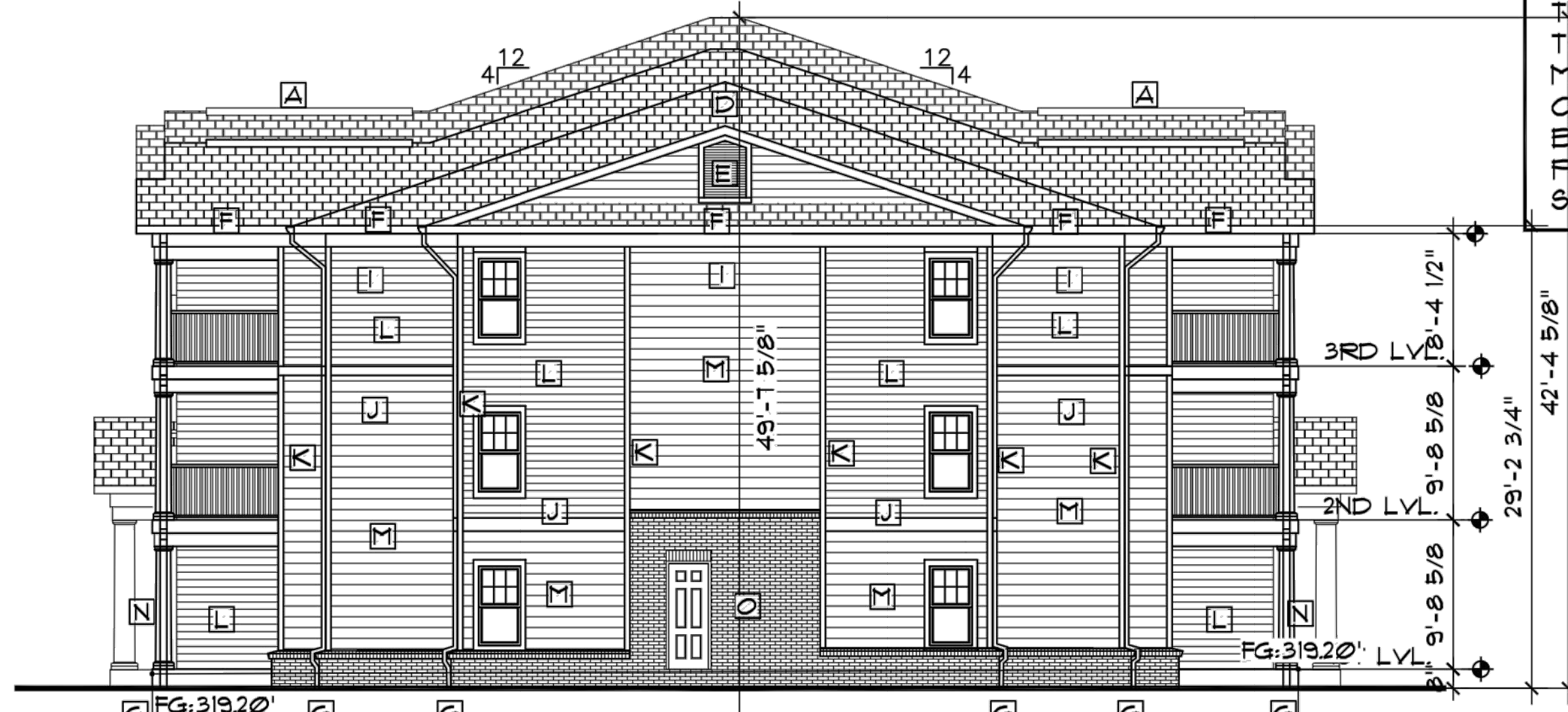
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4 BUILDING #200 LEFT ELEVATION (NORTH)
 1/8" = 1'-0"



3 BUILDING #200 RIGHT ELEVATION (SOUTH)
 1/8" = 1'-0"

OPENING LIMITERS SHALL BE PROVIDED WHERE THE SILL OF AN OPERABLE WINDOW IS LESS THAN 24" ABOVE THE FINISHED FLOOR AND MORE THAN 12" ABOVE THE FINISHED GRADE OR OTHER SURFACE BELOW, A LIMITER SHALL BE INSTALLED ON THE OPERABLE SASH TO PREVENT THE PASSAGE OF A 4" DIAMETER SPHERE THROUGH THE WINDOW OPENING.

- ELEVATION KEY NOTES:**
- A CONTINUOUS RIDGE VENT HOLD BACK 1" FROM DRAFTSTOPPING OR OTHER INTERSECTION
 - B DRAFTSTOP
 - C SURFACE VENTS - ROOF PLANS FOR LOCATION
 - D 30 YR. ANTI-RINGAL ARCHITECTURAL SHINGLES, TYP.
 - E FUNCTIONAL 2'6"x3'6" GABLE VENT
 - F PREFINISHED SEAMLESS 5" ALUM. GUTTER
 - G PREFINISHED 4"x6" ALUM. DOWNSPOUTS W/ STRAPPING EVERY 10' MIN. 2 STRAPS PER SPOUT
 - H FIBER CEMENT SHAKES
 - I 3/4" CEMENT FIBER FRIEZE BAND
 - J 3/8" CEMENT FIBER ACCENT BAND
 - K 3/8" CEMENT FIBER CORNER BD.
 - L FIBER CEMENT SIDING W/ 6" EXPOSURE
 - M FIBER CEMENT SIDING W/ 9" EXPOSURE
 - N FIBER CEMENT WRAPPED COLUMNS
 - O BRICK VENEER

REVISED	PROJECT	DATE	DRAWN BY / CHECKED BY
	2015-132	1/6/18	DET

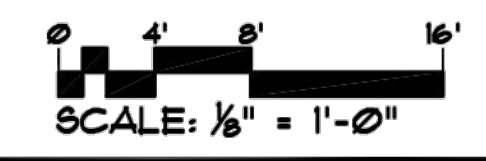


2 BUILDING #200 REAR ELEVATION (EAST)
 1/8" = 1'-0"

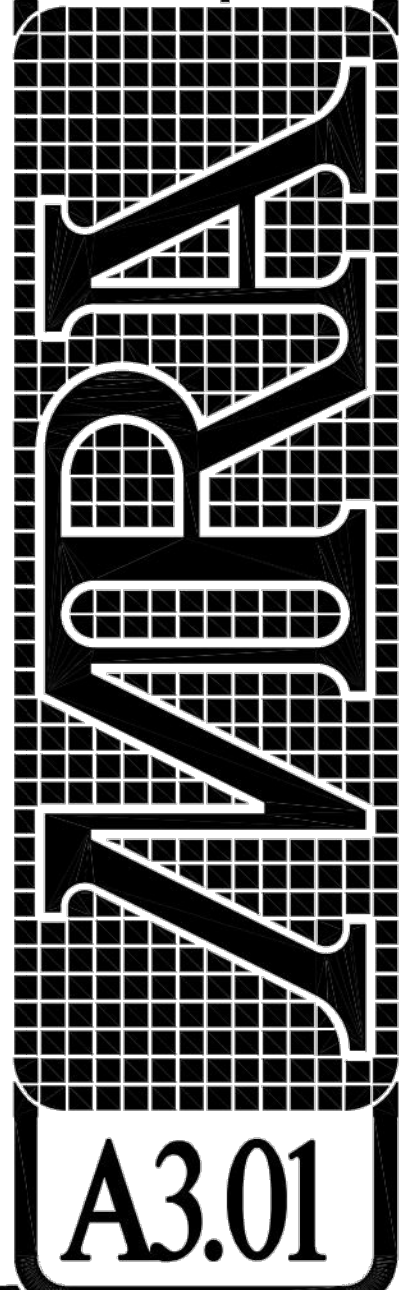


1 BUILDING #200 PARKING ELEVATION (WEST)
 1/8" = 1'-0"

TYPICAL DOWNSPOUTS SHALL BE CONNECTED TO UNDERGROUND
 EG: EXISTING GRADE
 FG: IMPROVED GRADE
 AG: AVERAGE GRADE



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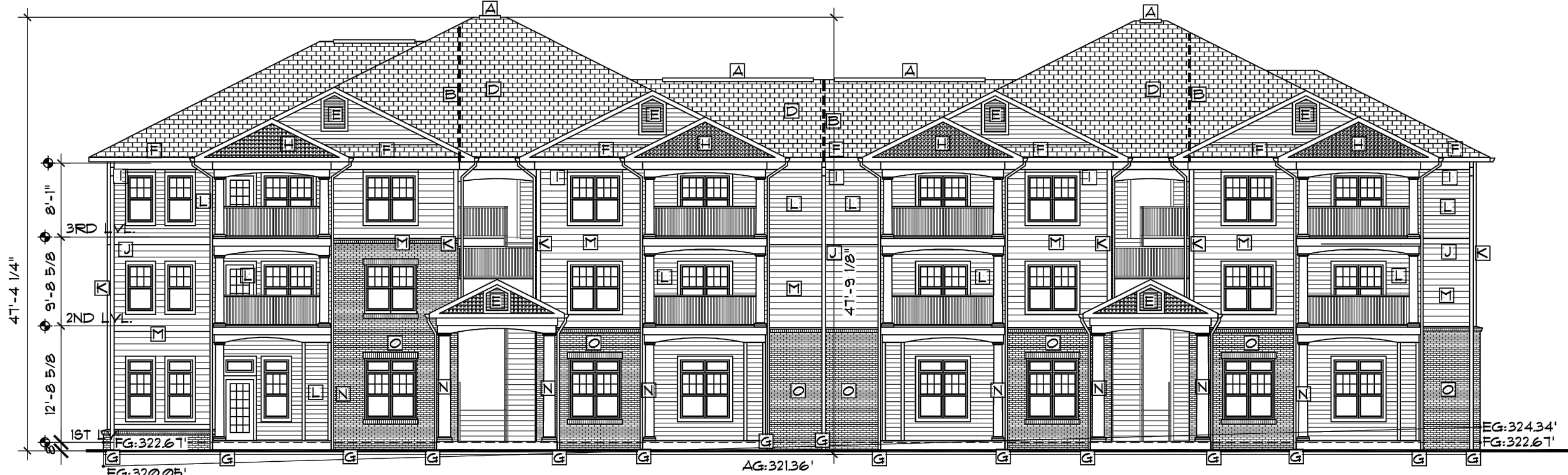


OPENING LIMITERS SHALL BE PROVIDED WHERE THE SILL OF AN OPERABLE WINDOW IS LESS THAN 24" ABOVE THE FINISHED FLOOR AND MORE THAN 12" ABOVE THE FINISHED GRADE OR OTHER SURFACE BELOW, A LIMITER SHALL BE INSTALLED ON THE OPERABLE SASH TO PREVENT THE PASSAGE OF A 4" DIAMETER SPHERE THROUGH THE WINDOW OPENING.

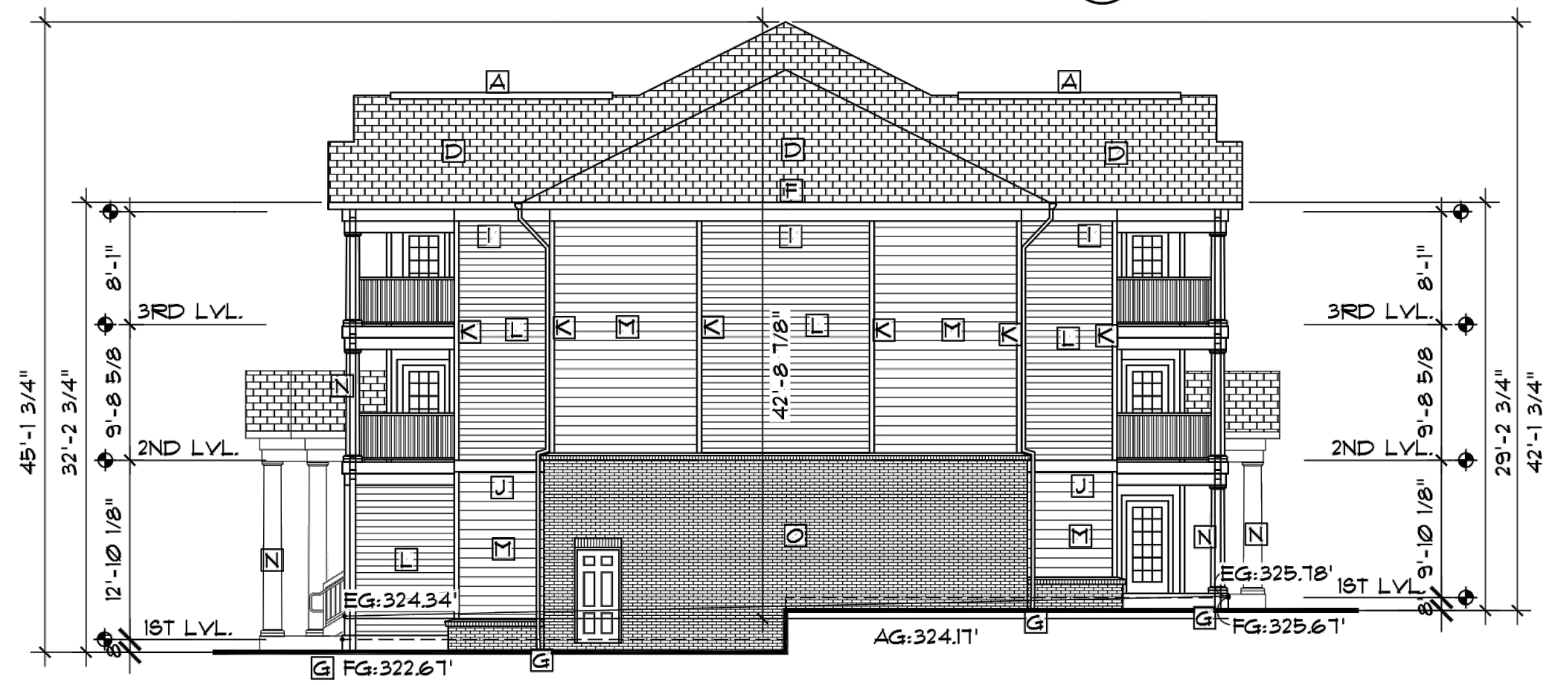
- ELEVATION KEY NOTES:**
- A CONTINUOUS RIDGE VENT HOLD BACK 12" FROM DRAFTSTOPPING OR OTHER INTERSECTION
 - B DRAFTSTOP
 - C SURFACE VENTS - ROOF PLANS FOR LOCATION
 - D 30 YR ANTI-FUNGAL, ARCHITECTURAL SHINGLES, TYP.
 - E FUNCTIONAL 2'6"x3'6" GABLE VENT
 - F PREFINISHED SEAMLESS 5" ALUM. GUTTER
 - G PREFINISHED 4"x5" ALUM. DOWNSPOUTS W/ STRAPPING EVERY 10' MIN. 2 STRAPS PER SPOUT
 - H FIBER CEMENT SHAKES
 - I 3/10 CEMENT FIBER FRIEZE BAND
 - J 3/8 CEMENT FIBER ACCENT BAND
 - K 3/6 CEMENT FIBER CORNER BD.
 - L FIBER CEMENT SIDING W/ 6" EXPOSURE
 - M FIBER CEMENT SIDING W/ 9" EXPOSURE
 - N FIBER CEMENT WRAPPED COLUMN
 - O BRICK VENEER

REVISIONS

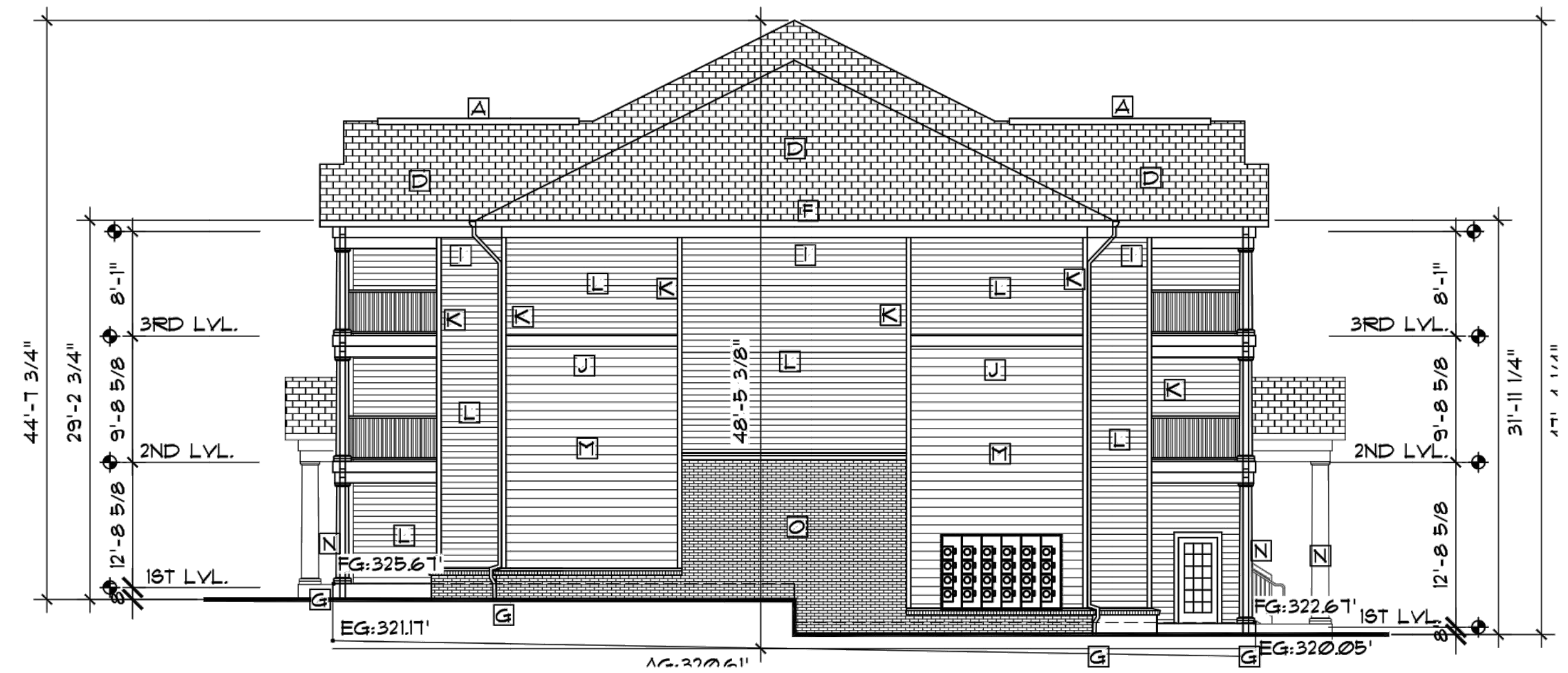
PROJECT	2015-132
DATE	7/6/18
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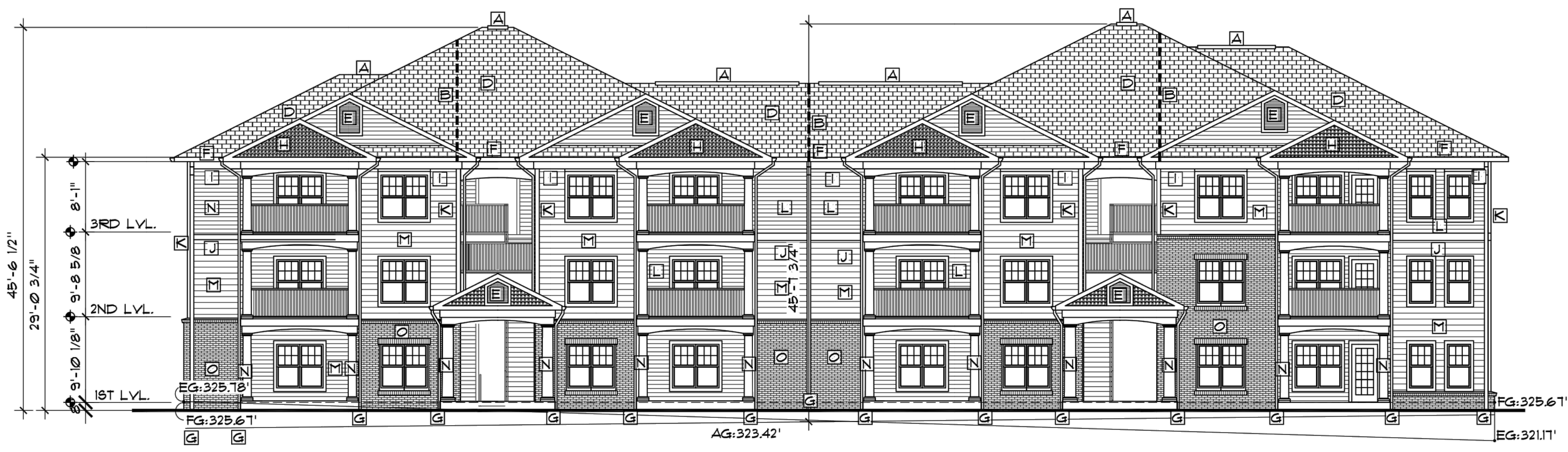
4 BUILDING #300 PARKING ELEVATION (SOUTH)
1/8" = 1'-0"



3 BUILDING #300 RIGHT SIDE ELEVATION (EAST)
1/8" = 1'-0"



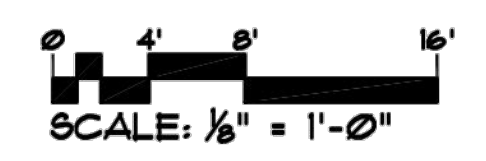
2 BUILDING #300 LEFT SIDE ELEVATION (WEST)
1/8" = 1'-0"



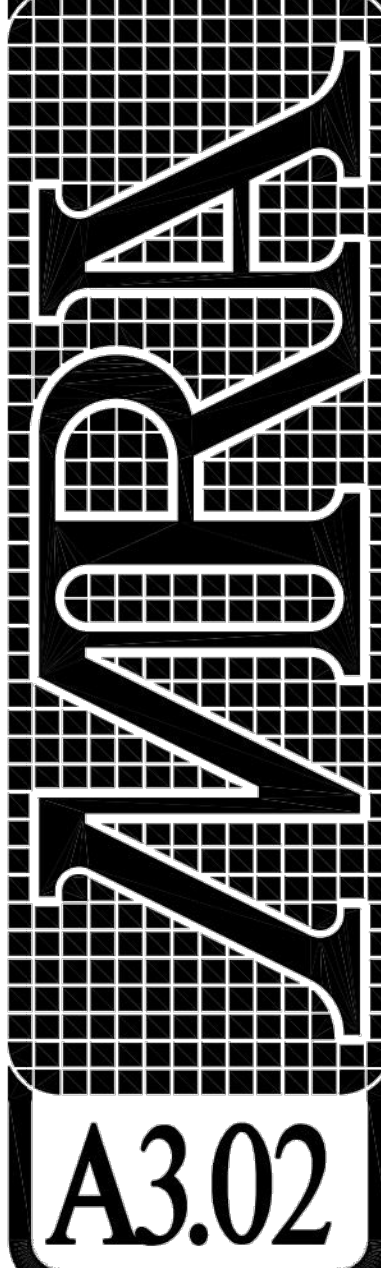
1 BUILDING #300 STREET ELEVATION (NORTH)
1/8" = 1'-0"
NEW STREET TO BE NAMED

TYPICAL
DOWNSPOUTS SHALL BE
CONNECTED TO UNDERGROUND

EG: EXISTING GRADE
FG: IMPROVED GRADE
AG: AVERAGE GRADE



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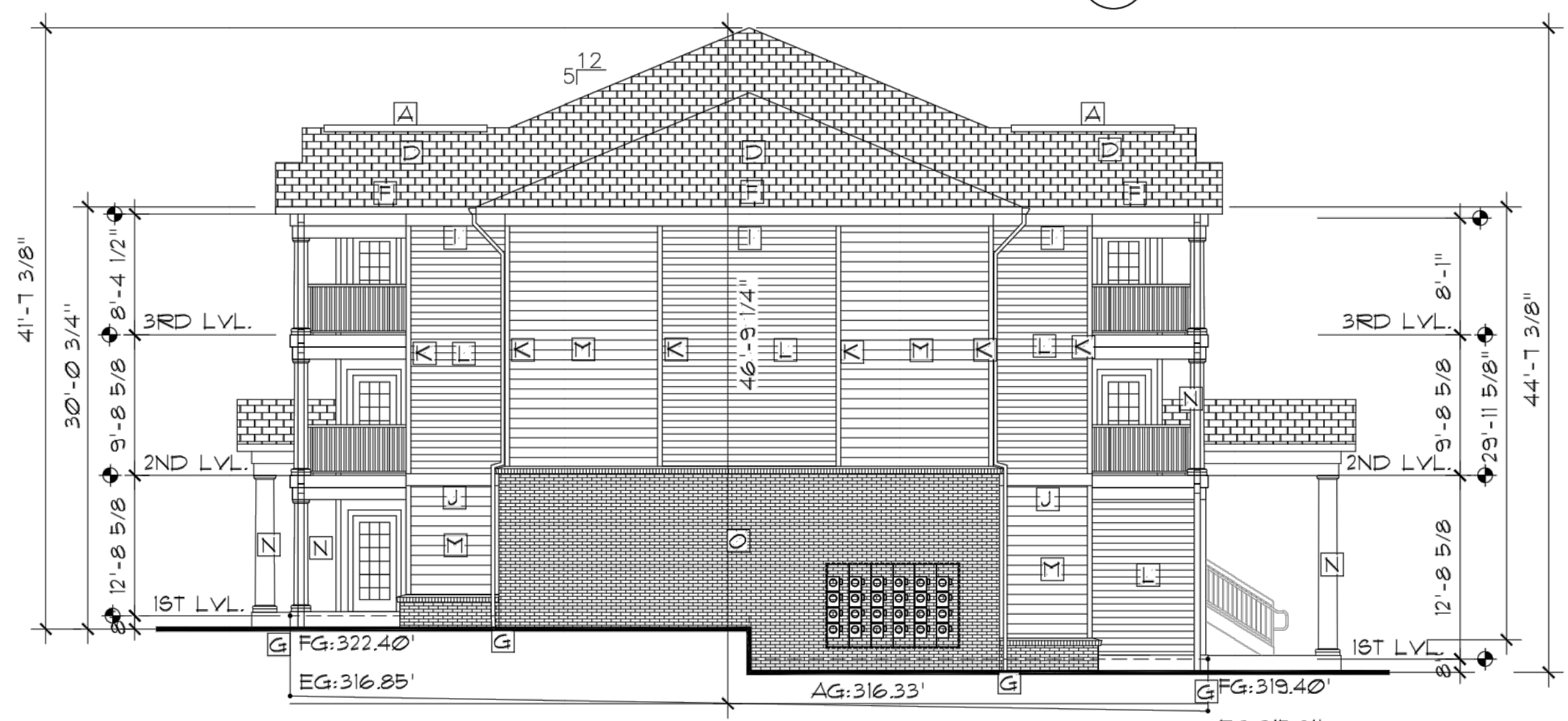
PLOTTED: Jul 12, 2018 - 3:08pm LOCATION: PAREA\2015-132 Abbingtion Village, Raleigh, Wake County, NC\SHEETS\ 2015-132_A3.03.dwg Plotted By: Jkang - Copyright 2018



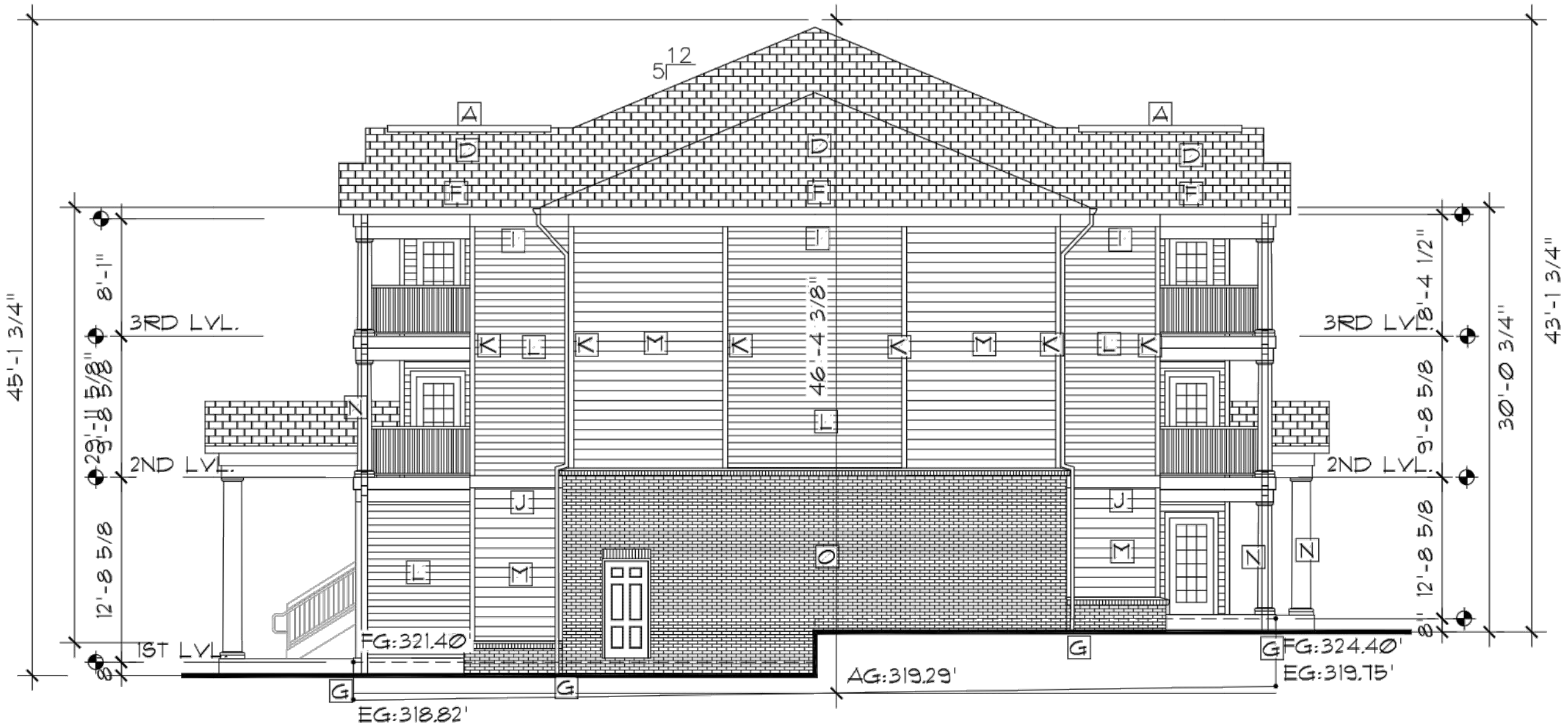
4 BUILDING #400 STREET ELEVATION (WEST)
1/8" = 1'-0"

OPENING LIMITERS SHALL BE PROVIDED WHERE THE SILL OF AN OPERABLE WINDOW IS LESS THAN 24" ABOVE THE FINISHED FLOOR AND MORE THAN 12" ABOVE THE FINISHED GRADE OR OTHER SURFACE BELOW, A LIMITER SHALL BE INSTALLED ON THE OPERABLE SASH TO PREVENT THE PASSAGE OF A 4" DIAMETER SPHERE THROUGH THE WINDOW OPENING.

- ELEVATION KEY NOTES:**
- A CONTINUOUS RIDGE VENT HOLD BACK 1" FROM DRAFTSTOPPING OR OTHER INTERSECTION
 - B DRAFTSTOP
 - C SURFACE VENTS - ROOF PLANS FOR LOCATION
 - D 30 YR ANTI-RUNGAL ARCHITECTURAL SHINGLES, TYP.
 - E FUNCTIONAL 2'6"x3'6" GABLE VENT
 - F PREFINISHED BEAMLESS 5" ALUM. GUTTER
 - G PREFINISHED 4"x5" ALUM. DOWNSPOUTS W/ STRAPPING EVERY 10' MIN. 2 STRAPS PER SPOUT
 - H FIBER CEMENT SHAKES
 - I 3/4" CEMENT FIBER FRIEZE BAND
 - J 3/8" CEMENT FIBER ACCENT BAND
 - K 3/4" CEMENT FIBER CORNER BD.
 - L FIBER CEMENT SIDING W/ 6" EXPOSURE
 - M FIBER CEMENT SIDING W/ 9" EXPOSURE
 - N FIBER CEMENT WRAPPED COLUMNS
 - O BRICK VENEER



3 BUILDING #400 LEFT SIDE ELEVATION (SOUTH)
1/8" = 1'-0"



2 BUILDING #400 RIGHT SIDE ELEVATION (NORTH)
1/8" = 1'-0"

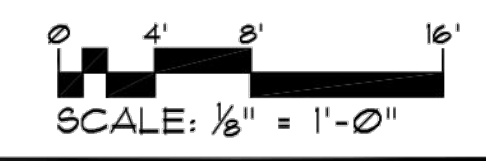


1 BUILDING #400 PARKING ELEVATION (EAST)
1/8" = 1'-0"

TYPICAL DOWNSPOUTS SHALL BE CONNECTED TO UNDERGROUND

EG: EXISTING GRADE
FG: IMPROVED GRADE
AG: AVERAGE GRADE

BUILDING #400 FACES FORESTVILLE ROAD



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RALEIGH, NC

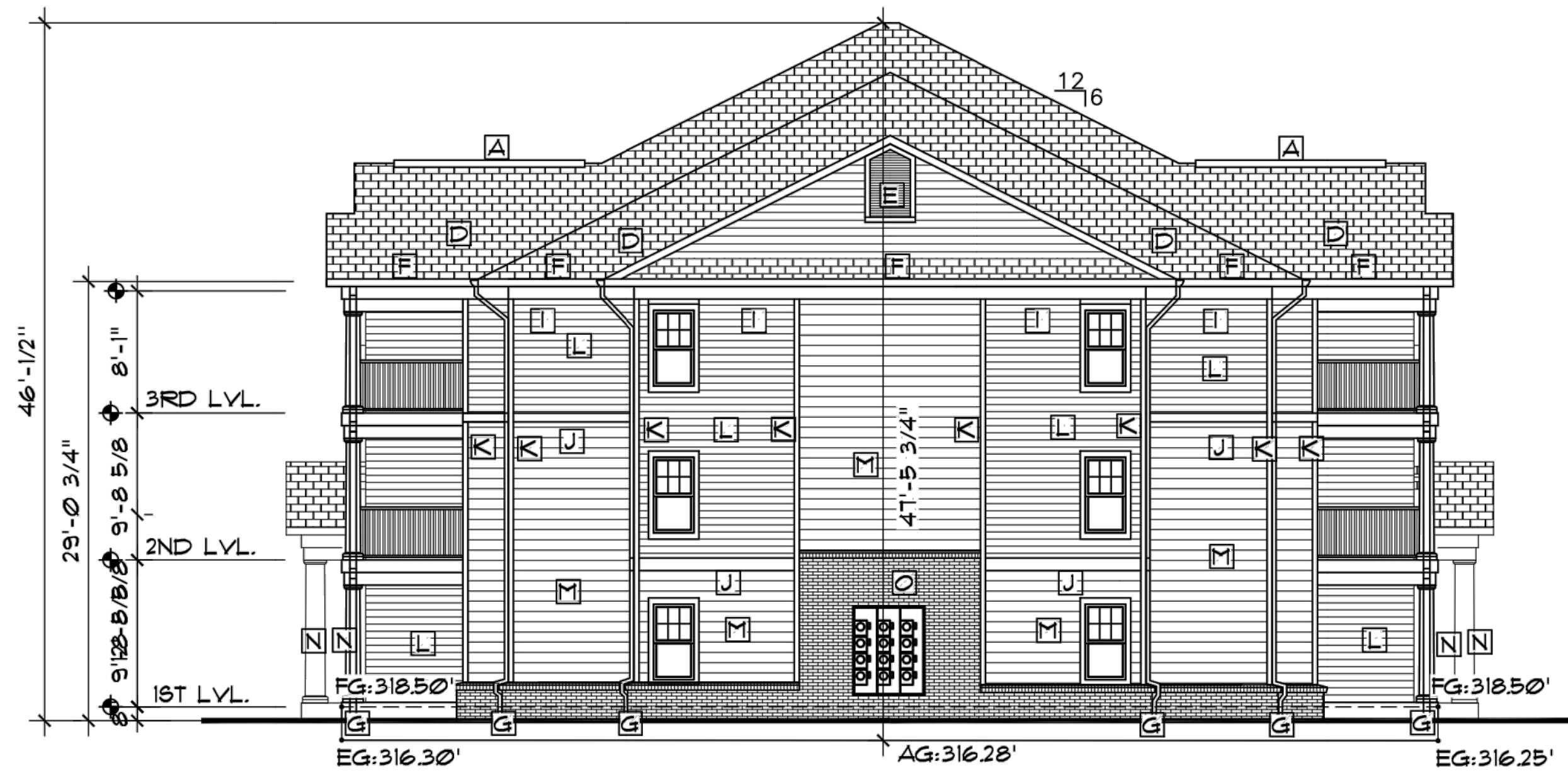
A3.03

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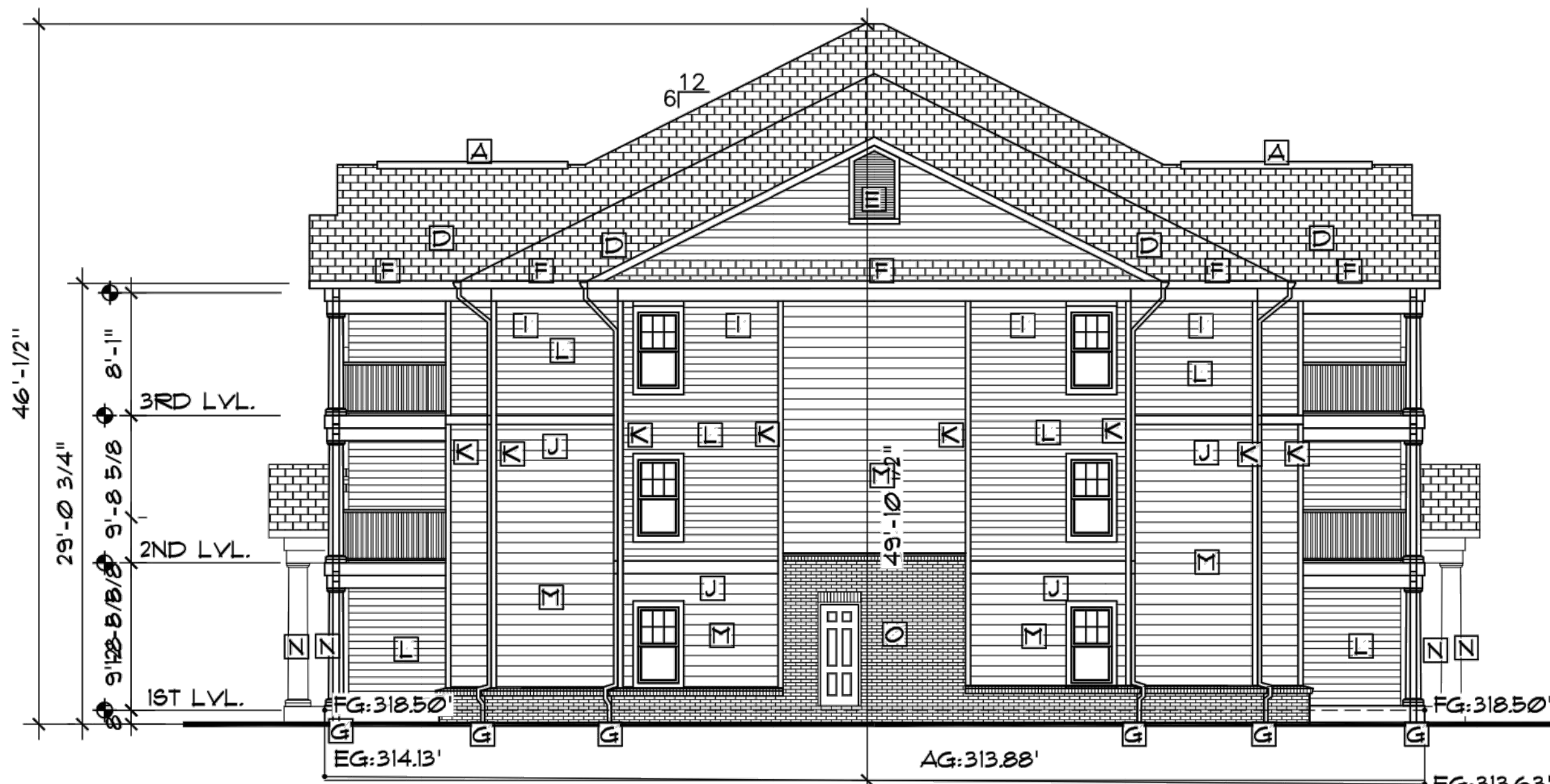
4 BUILDING #500 FRONT AND REAR ELEVATION (EAST)
1/8" = 1'-0"



3 BUILDING #500 LEFT ELEVATION (NORTH)
1/8" = 1'-0"



2 BUILDING #500 FRONT AND REAR ELEVATION (WEST)
1/8" = 1'-0"

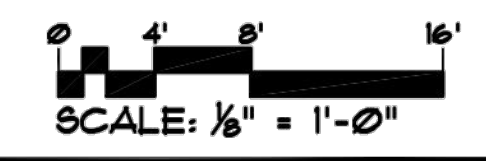


1 BUILDING #500 RIGHT ELEVATIONS (SOUTH)
1/8" = 1'-0"

OPENING LIMITERS SHALL BE PROVIDED WHERE THE SILL OF AN OPERABLE WINDOW IS LESS THAN 24" ABOVE THE FINISHED FLOOR AND MORE THAN 72" ABOVE THE FINISHED GRADE OR OTHER SURFACE BELOW, A LIMITER SHALL BE INSTALLED ON THE OPERABLE SASH TO PREVENT THE PASSAGE OF A 4" DIAMETER SPHERE THROUGH THE WINDOW OPENING.

- ELEVATION KEY NOTES:**
- A CONTINUOUS RIDGE VENT HOLD BACK 1" FROM DRAFTSTOPPING OR OTHER INTERSECTION
 - B DRAFTSTOP
 - C SURFACE VENTS - ROOF PLANS FOR LOCATION
 - D 30 YR. ANTI-RINGAL, ARCHITECTURAL SHINGLES, TYP.
 - E FUNCTIONAL 2'6"x3'6" GABLE VENT
 - F PREFINISHED SEAMLESS 5" ALUM. GUTTER
 - G PREFINISHED 4"x6" ALUM. DOWNSPOUTS W/ STRAPPING EVERY 10' MIN. 2 STRAPS PER SPOUT
 - H FIBER CEMENT SHAKES
 - I 3/4" CEMENT FIBER FRIEZE BAND
 - J 3/8" CEMENT FIBER ACCENT BAND
 - K 3/4" CEMENT FIBER CORNER BD.
 - L FIBER CEMENT SIDING W/ 6" EXPOSURE
 - M FIBER CEMENT SIDING W/ 9" EXPOSURE
 - N FIBER CEMENT WRAPPED COLUMNS
 - O PRE-MANUF. 4'0"x1'0" CUPOLA

TYPICAL DOWNSPOUTS SHALL BE CONNECTED TO UNDERGROUND
EG: EXISTING GRADE
FG: IMPROVED GRADE
AG: AVERAGE GRADE



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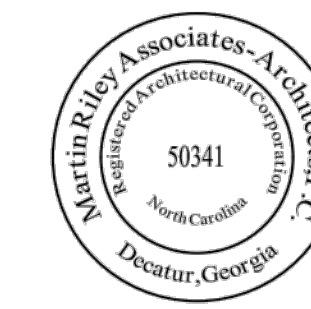
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A3.04

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OPENING LIMITERS SHALL BE PROVIDED WHERE THE SILL OF AN OPERABLE WINDOW IS LESS THAN 24" ABOVE THE FINISHED FLOOR AND MORE THAN 72" ABOVE THE FINISHED GRADE OR OTHER SURFACE BELOW, A LIMITER SHALL BE INSTALLED ON THE OPERABLE SASH TO PREVENT THE PASSAGE OF A 4" DIAMETER SPHERE THROUGH THE WINDOW OPENING.

- ELEVATION KEY NOTES:**
- Ⓐ CONTINUOUS RIDGE VENT HOLD BACK 12" FROM DRAFTSTOP OR OTHER INTERSECTION
 - Ⓑ DRAFTSTOP
 - Ⓒ SURFACE VENTS - ROOF PLANS FOR LOCATION
 - Ⓓ 30 YR. ANTI-RINGAL, ARCHITECTURAL SHINGLES, TYP.
 - Ⓔ FUNCTIONAL 2'6"x3'6" GABLE VENT
 - Ⓕ PREFINISHED SEAMLESS 5" ALUM. GUTTER
 - Ⓖ PREFINISHED 4"x6" ALUM. DOWNSPOUTS W/ STRAPPING EVERY 10' MIN. 2 STRAPS PER SPOUT
 - Ⓗ FIBER CEMENT SHAKES
 - Ⓜ 3/4" CEMENT FIBER FRIEZE BAND
 - Ⓝ 3/8" CEMENT FIBER ACCENT BAND
 - Ⓚ 3/8" CEMENT FIBER CORNER BD.
 - Ⓛ FIBER CEMENT SIDING W/ 6" EXPOSURE
 - Ⓜ FIBER CEMENT SIDING W/ 9" EXPOSURE
 - Ⓝ FIBER CEMENT WRAPPED COLUMNS
 - Ⓞ PRE-MANUF. 4'0"x1'0" CUPOLA

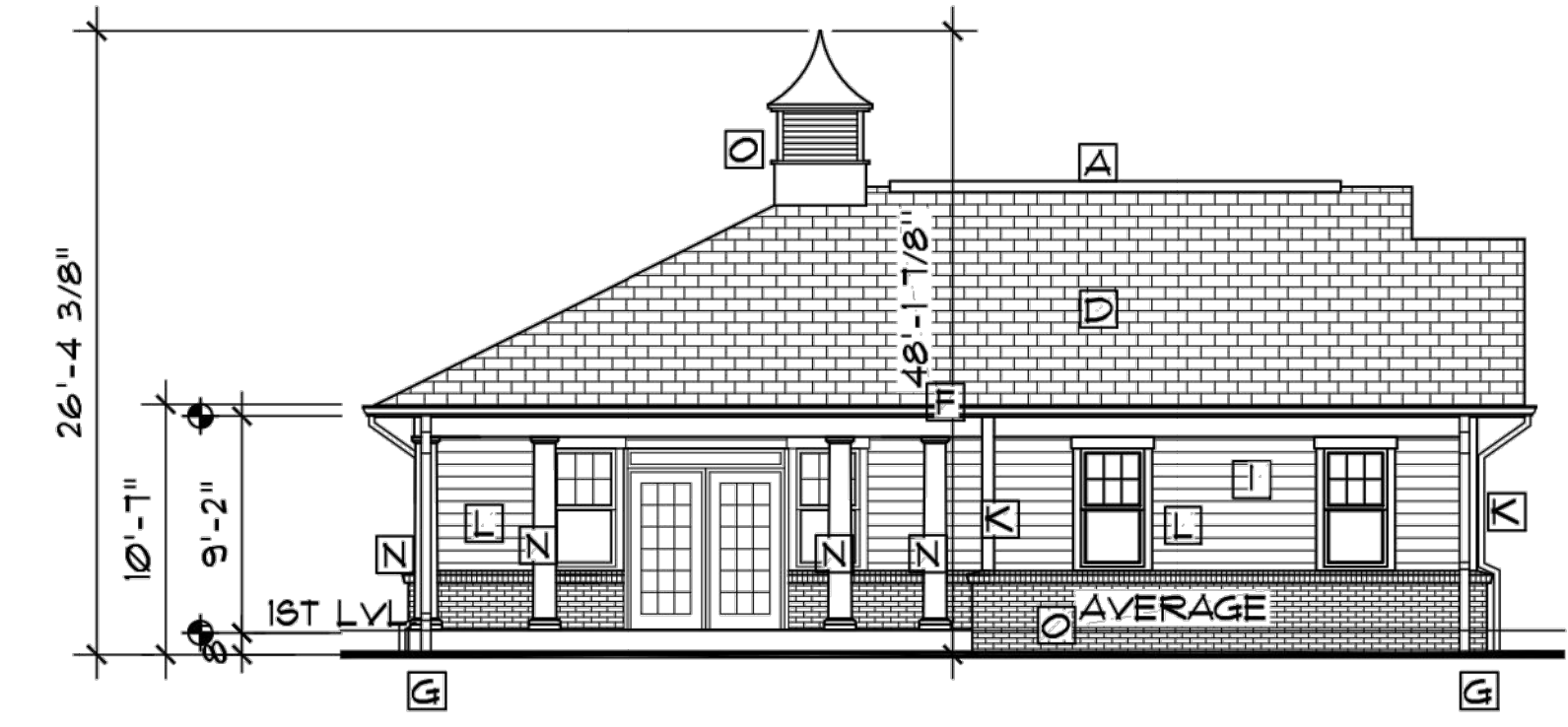
TYPICAL DOWNSPOUTS SHALL BE CONNECTED TO UNDERGROUND

PROJECT	2015-132
DATE	6/18/18
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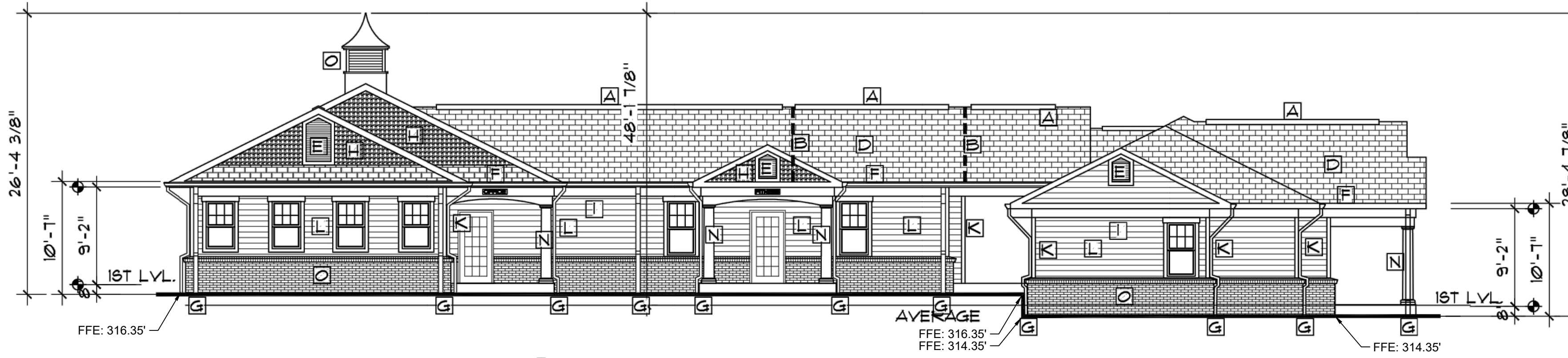
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ABBINGTON VILLAGE
 RALEIGH, NC



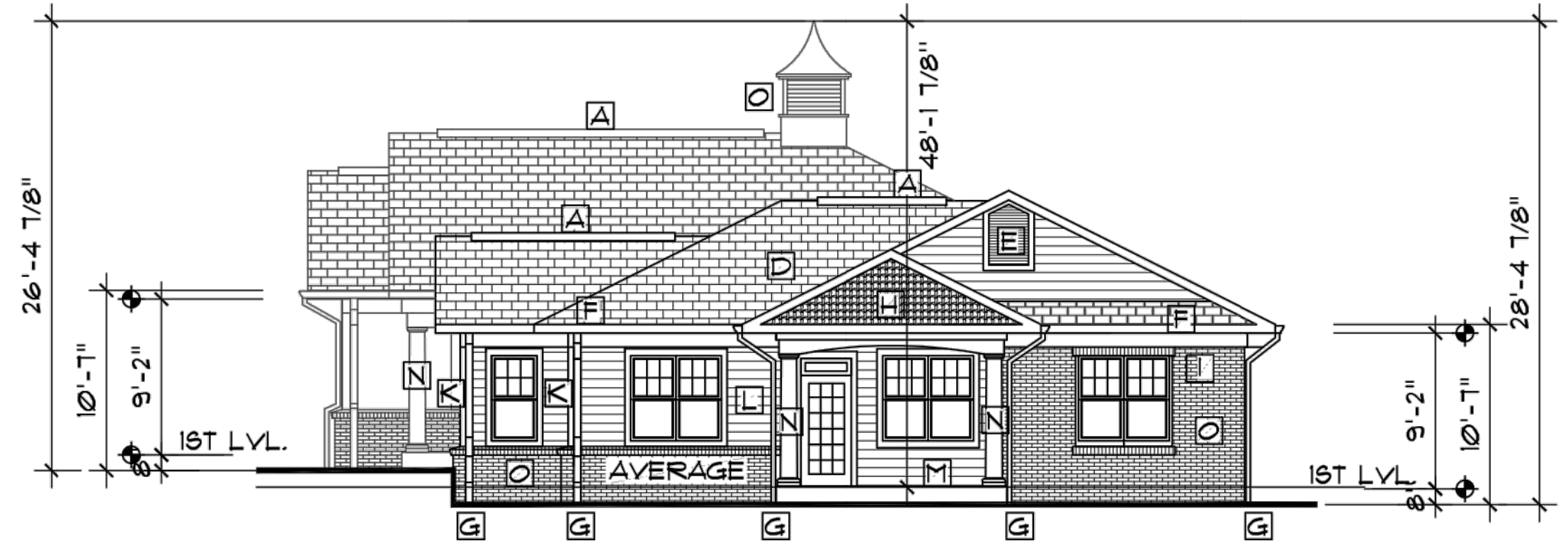
4 BUILDING #100 REAR ELEVATION (EAST)
 1/8" = 1'-0"



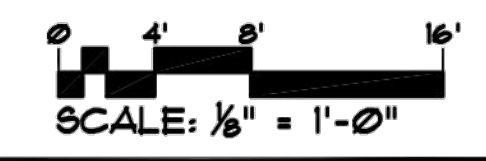
3 BUILDING #100 LEFT SIDE ELEVATION (NORTH)
 1/8" = 1'-0"



3 BUILDING #100 FRONT ELEVATION (WEST)
 1/8" = 1'-0"

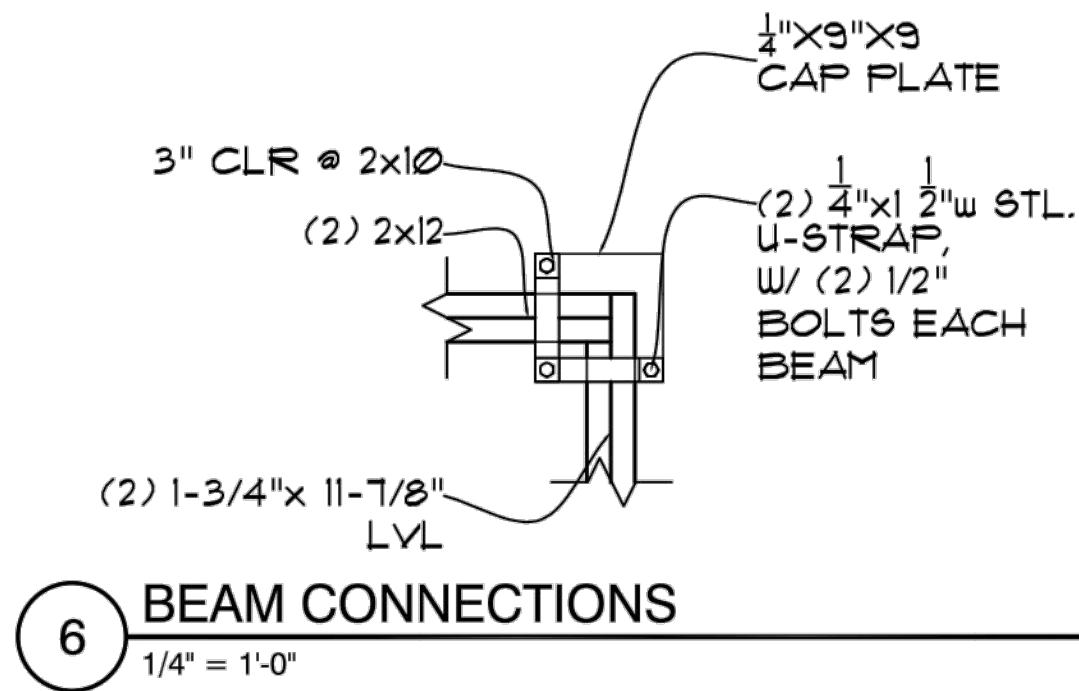


1 BUILDING #100 RIGHT SIDE ELEVATION (SOUTH)
 1/8" = 1'-0"

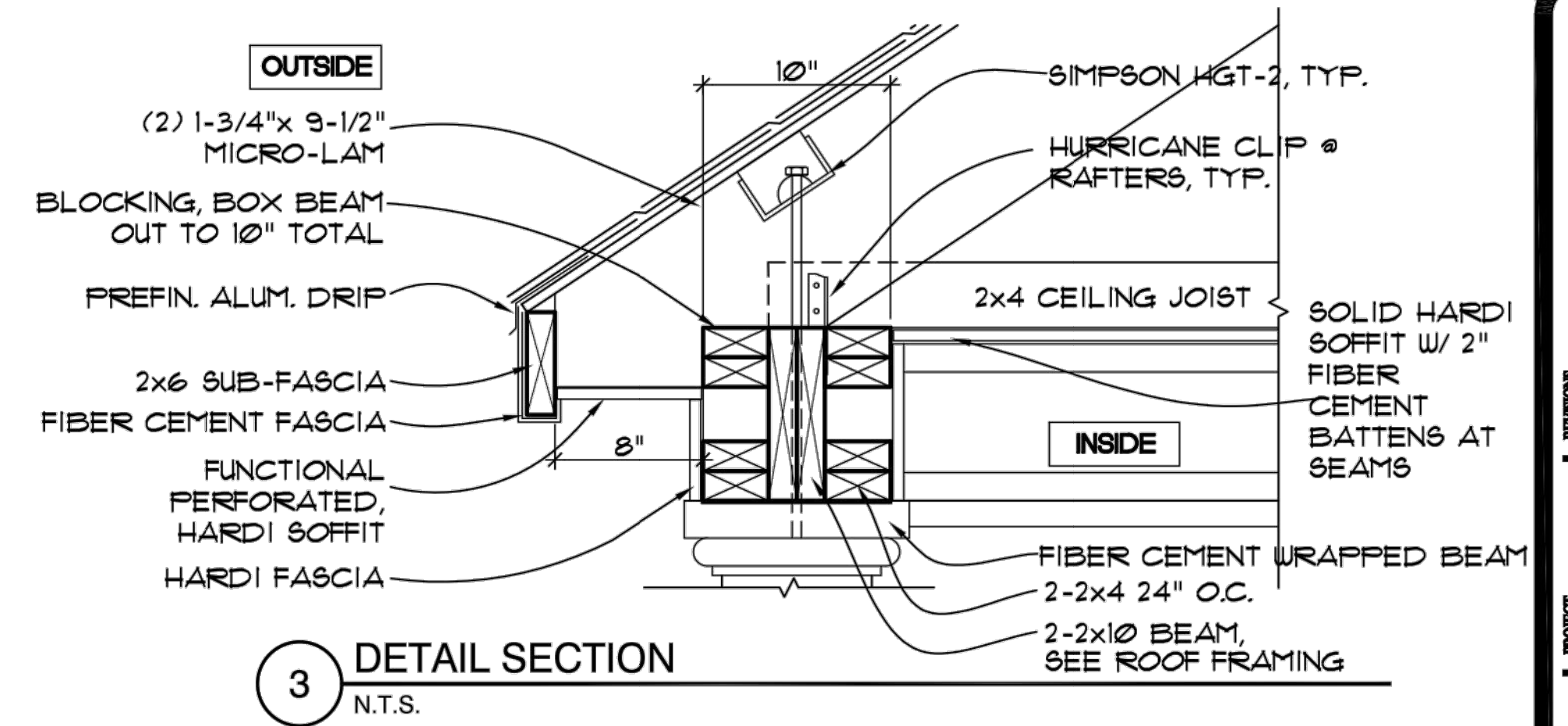


A3.05

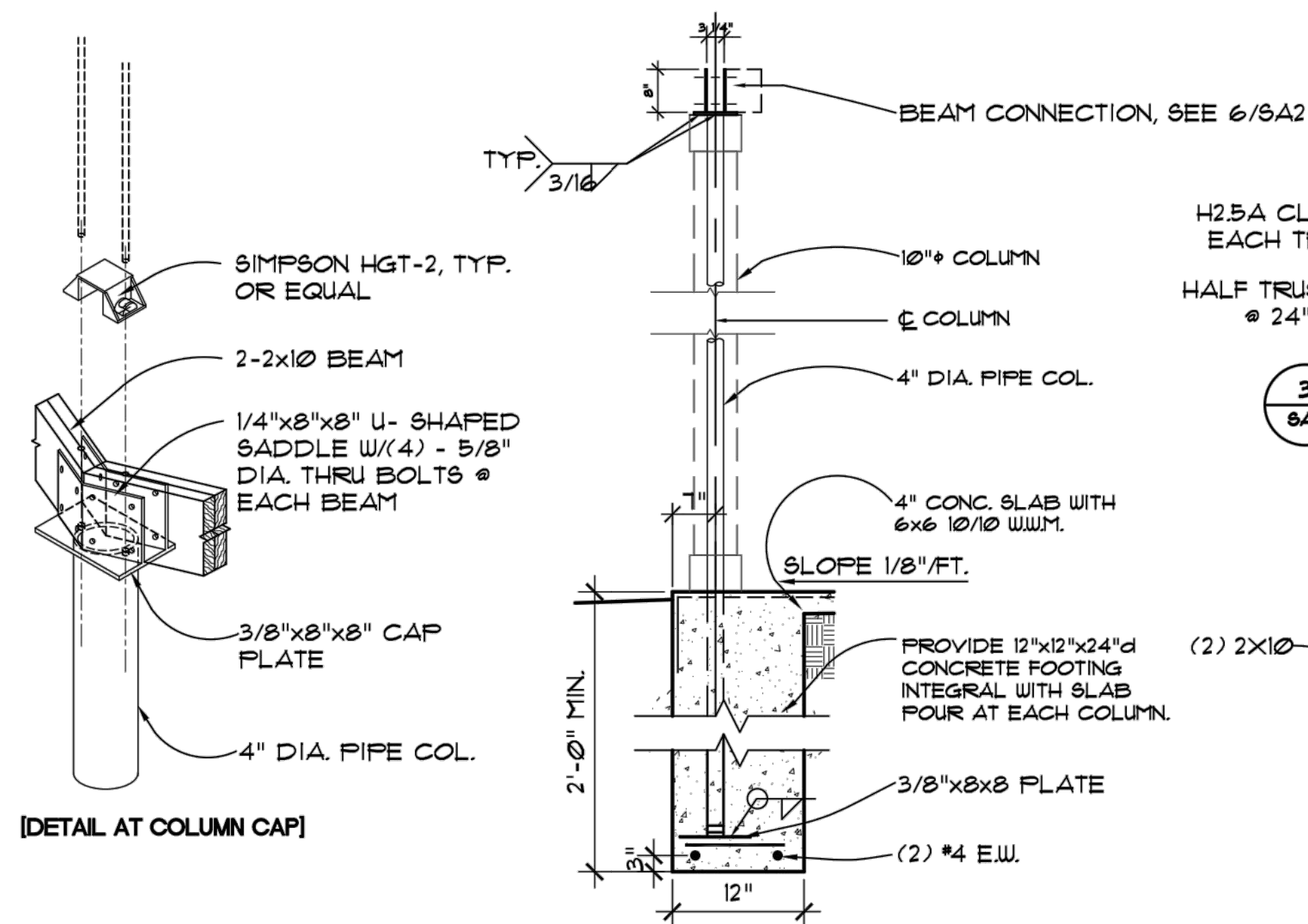
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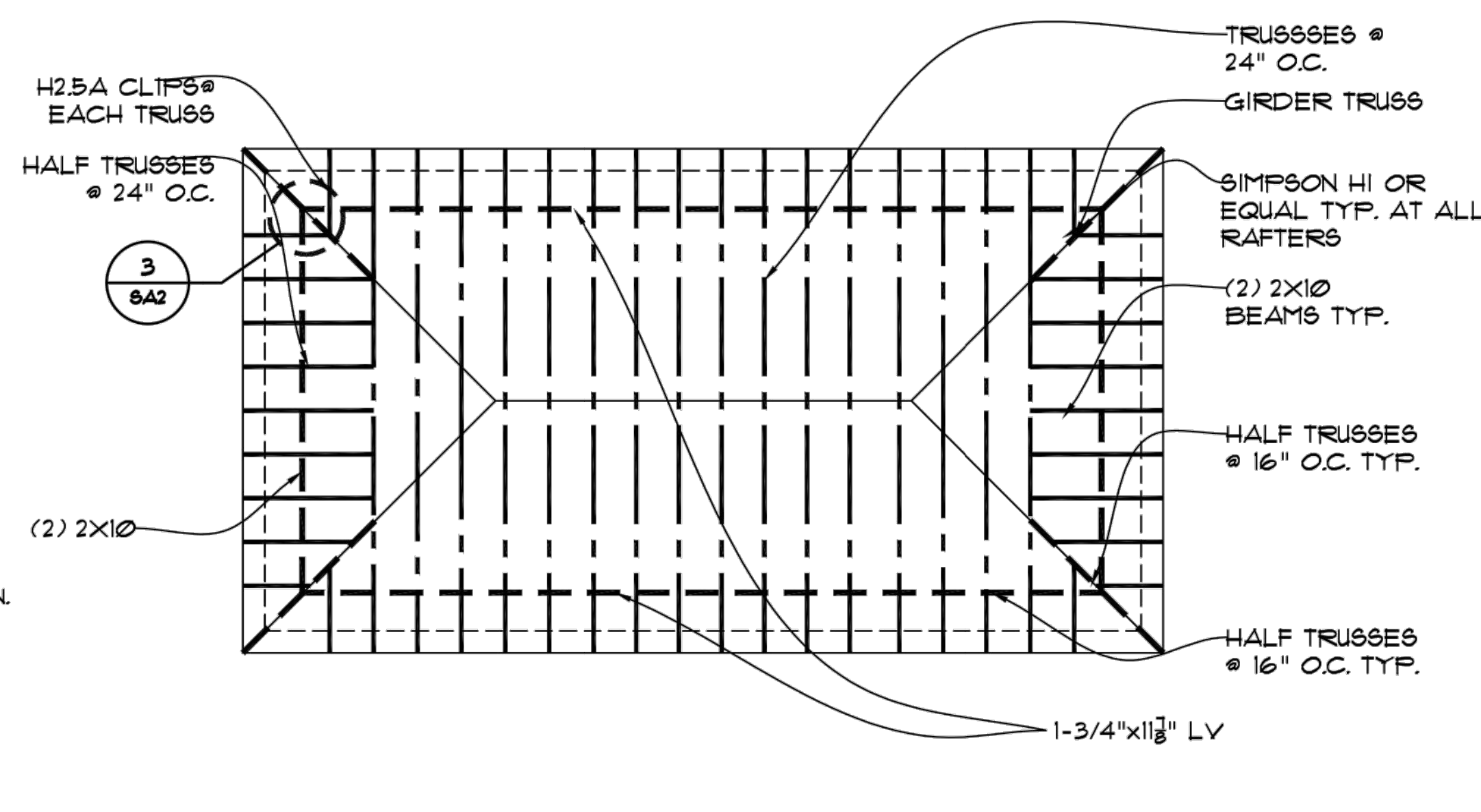
6 BEAM CONNECTIONS
1/4" = 1'-0"



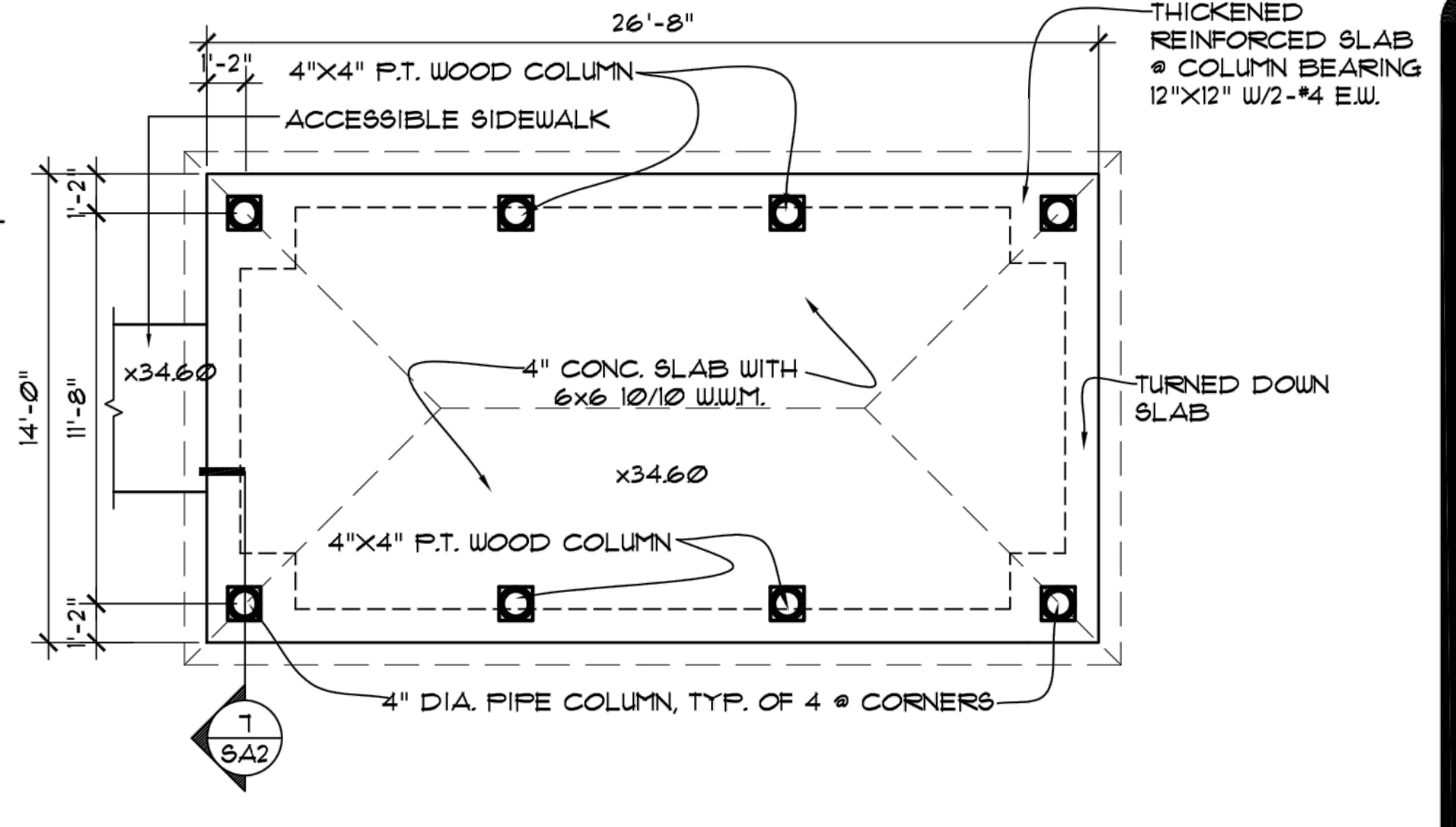
3 DETAIL SECTION
N.T.S.



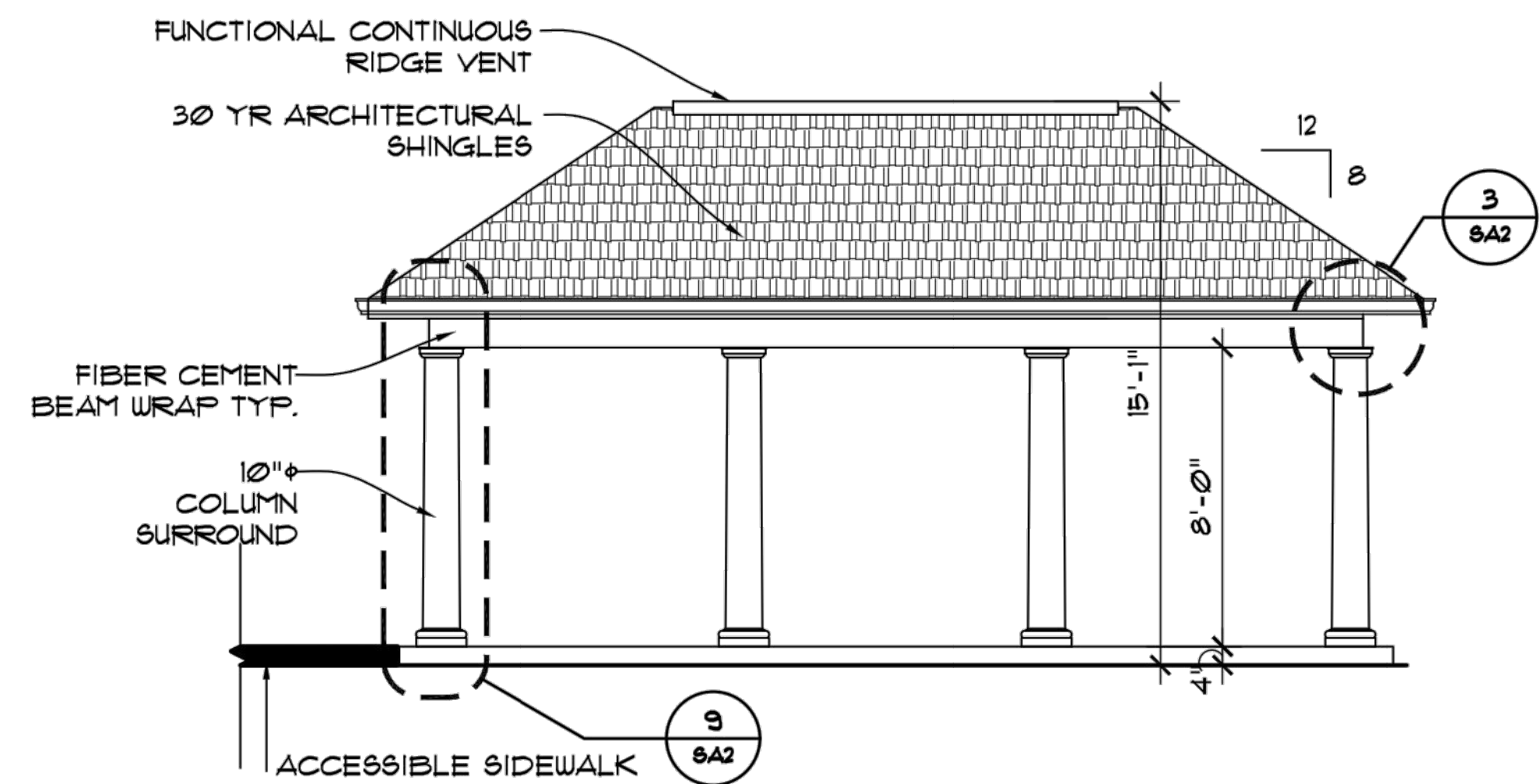
7 REINF. COLUMN SECTION-3D VIEW
N.T.S.



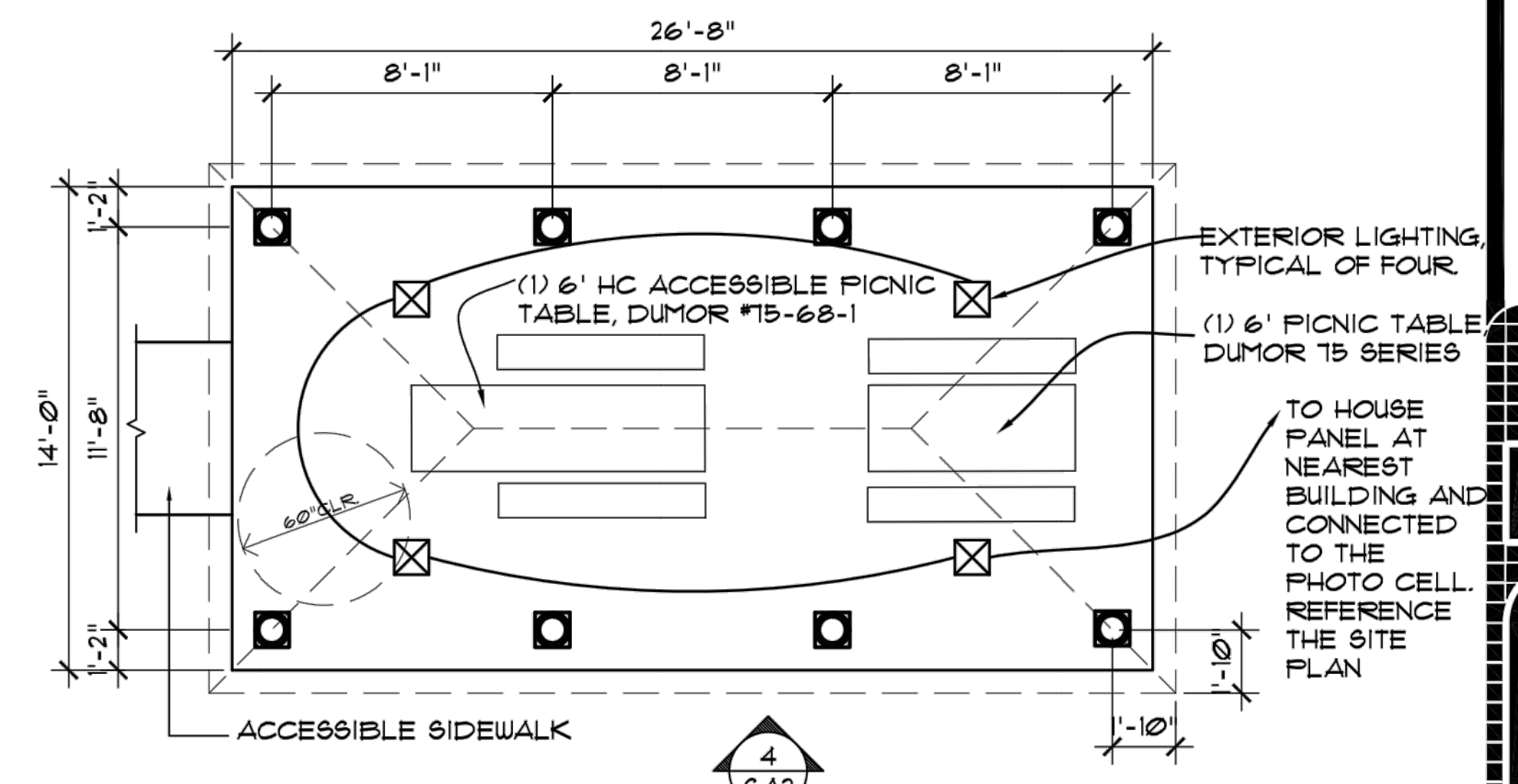
5 GAZEBO ROOF FRAMING PLAN
1/4" = 1'-0"



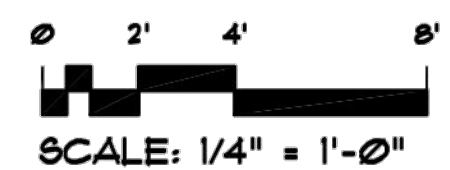
2 GAZEBO FOUNDATION PLAN
1/4" = 1'-0"



4 GAZEBO ELEVATION
1/4" = 1'-0"



1 GAZEBO FLOOR PLAN
1/4" = 1'-0"

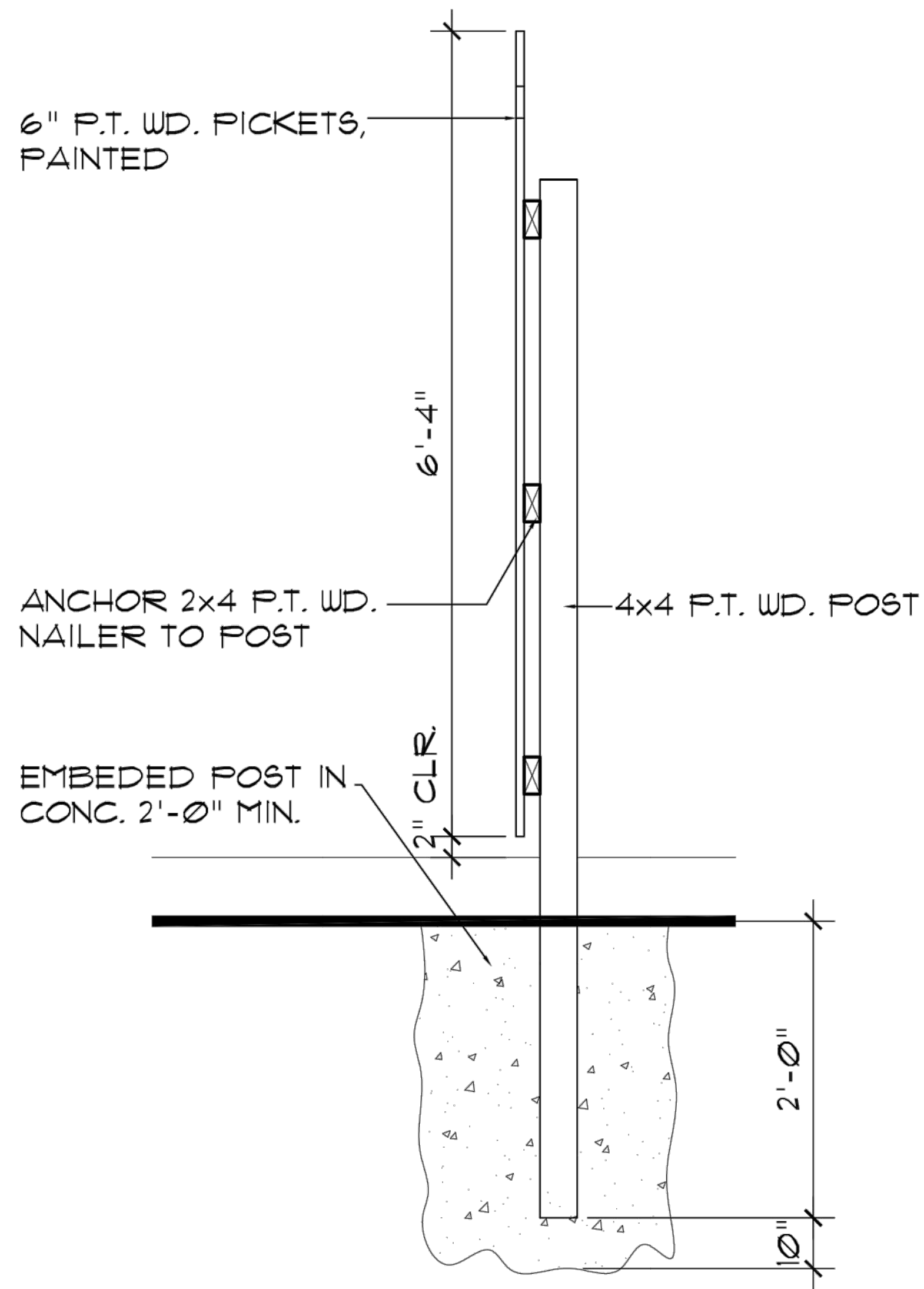


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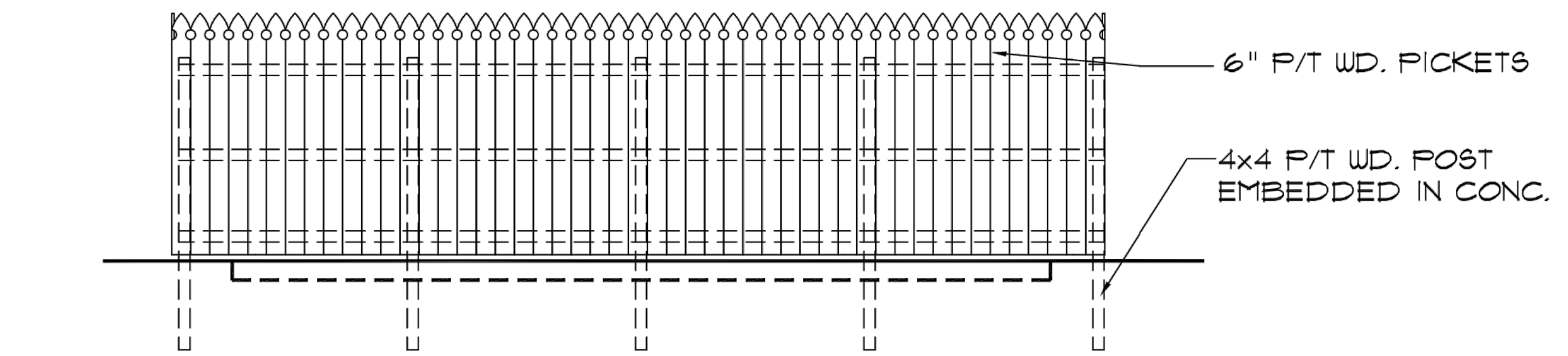
ZARRA
 SA2

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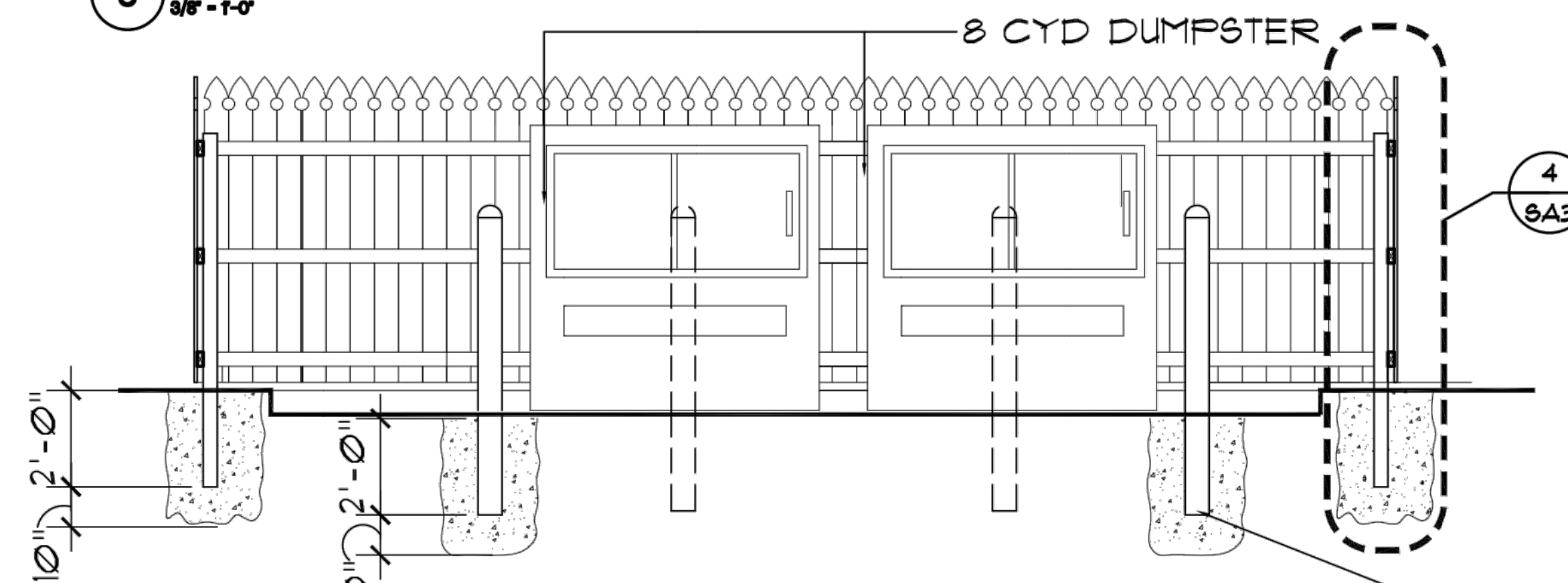
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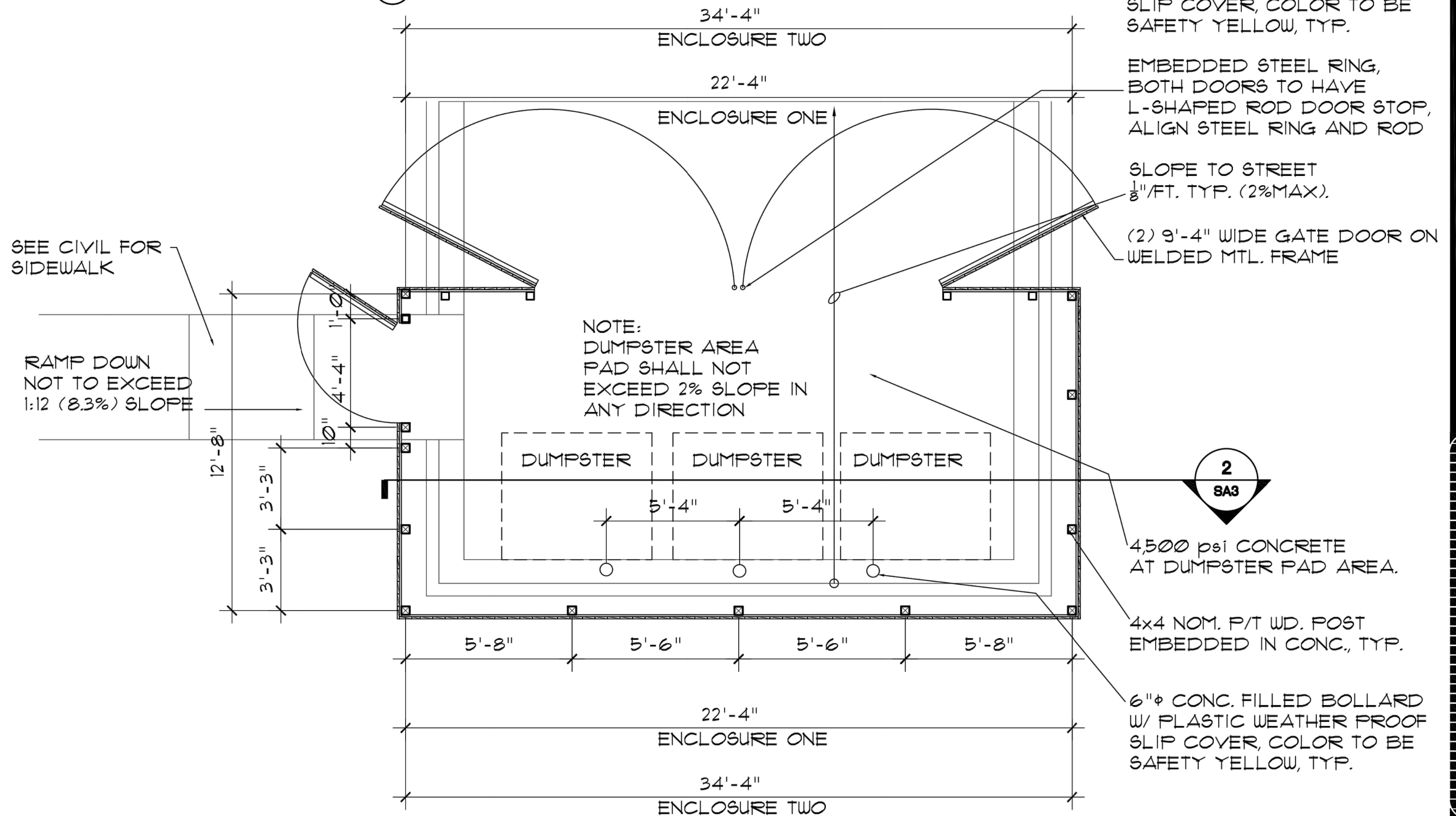
4 ENLARGED DETAIL AT DUMPSTER GATE DOOR
3/8" = 1'-0"



3 DUMPSTER SCREEN REAR ELEVATION
3/8" = 1'-0"

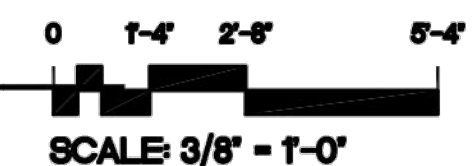


2 DUMPSTER SCREEN FRONT ELEVATION/SECTION
3/8" = 1'-0"



1 DUMPSTER SCREEN PLAN
3/8" = 1'-0"

VERIFY DUMPSTER SIZE WITH OWNER



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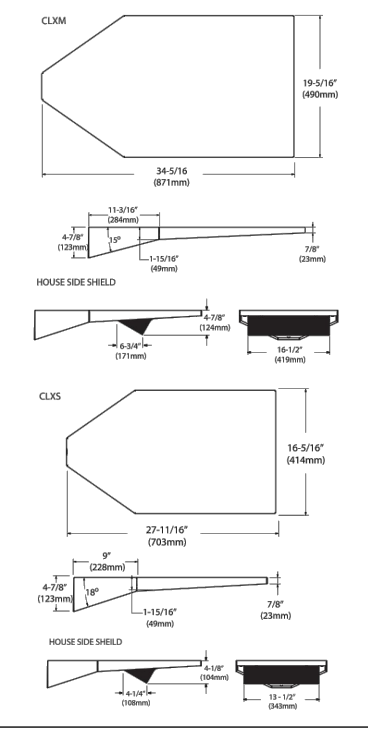
REVISIONS

REV #	DATE	BY:
1	7/9/18	J.P.

WLS LIGHTING SYSTEMS LED AREA CLX SERIES



DIMENSIONS



Approved By: _____ Project Name: _____
 Location: 1919 Windsor Place • Fort Worth, TX 76110 • Date: _____
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WLS LIGHTING SYSTEMS LED AREA CLX SERIES

ORDERING INFORMATION SELECT APPROPRIATE CHOICE FROM EACH COLUMN TO FORMULATE ORDER CODE. Refer to example below.

SERIES	DISTRIBUTION	LIGHT SOURCE	DRIVE	COLOR TEMPERATURE	LINE VOLTAGE	FINISH	LUMINAIRE	OPTIONS	ACCESSORIES
CLXS	3 - Type III 5 - Type V FP - Forward Throw SE - Type V Enhanced FPE - Forward Throw Enhanced	LED	SS - Super Saver HS - High Output	CW - Cool White HW - Neutral White 347 - 400	UE - Universal 120-277V	BRZ - Bronze BLK - Black PLP - Platinum Plus WH - White SVB - Satin Venetian GFF - Graphite MSV - Metallic CC - Custom Color	PCB - Photocell CPC - Photocell PLP - Platinum Plus NO - No Options	GS - Glass Shield PC - Photocell RPP - Round Pole WM - Wall Mount BA - Ballus Arm UB - Upright Bracket	SP - Single Fixing DF - Double Fixing NA - No Accessories

CLXM 5 LED SS CW UE BRZ NO NA

ORDER: WLS-CLX

FOOTNOTES:

- Product must be installed properly - see Accessories.
- SE and FPE not available in CLX.

LUMINAIRE EPA CHART - CLXS	LUMINAIRE EPA CHART - CLXM	LUMINAIRE EPA CHART - CLXL
Single 0.4	Single 0.5	Single 0.7
DOF 0.6	DOF 0.8	DOF 1.1
TRF 1.4	TRF 1.7	TRF 2.3
TRCOP 1.6	TRCOP 1.7	TRCOP 2.2
QDF 1.8	QDF 1.9	QDF 2.6

LIGHT OUTPUT - CLXS

Type 3 - Type III	Type 5 - Type V	Type III - Type V	Type III - Type V	Watts (Nominal)
10100	11400	11400	8200	7000
10100	15000	15700	11000	10000
10100	16000	16600	12000	9700
10100	14200	15200	11000	10500

LIGHT OUTPUT - CLXM

Type 3 - Type III	Type 5 - Type V	Type III - Type V	Type III - Type V	Watts (Nominal)
10100	23600	23600	15500	15000
10100	30000	31300	21000	21000
10100	20000	20000	15000	15000
10100	27600	28500	20200	20400

LIGHT OUTPUT - CLXL

Type 3 - Type III	Type 5 - Type V	Type III - Type V	Type III - Type V	Watts (Nominal)
10100	45800	49500	30700	34100
10100	52400	57300	35200	39400
10100	45800	49500	30700	34100
10100	52400	57300	35200	39400

LEFT AND RIGHT VIEWS OF TYPE III REFLECTORS (TOP VIEW)

Note: Optics are not field-replaceable. For O180 Forward Mount installations specify left (L) and/or right (R) side mounting. Orientation is based on opening of the pole and looking out at the area to be lit.

LED chips are frequently updated therefore values may increase.

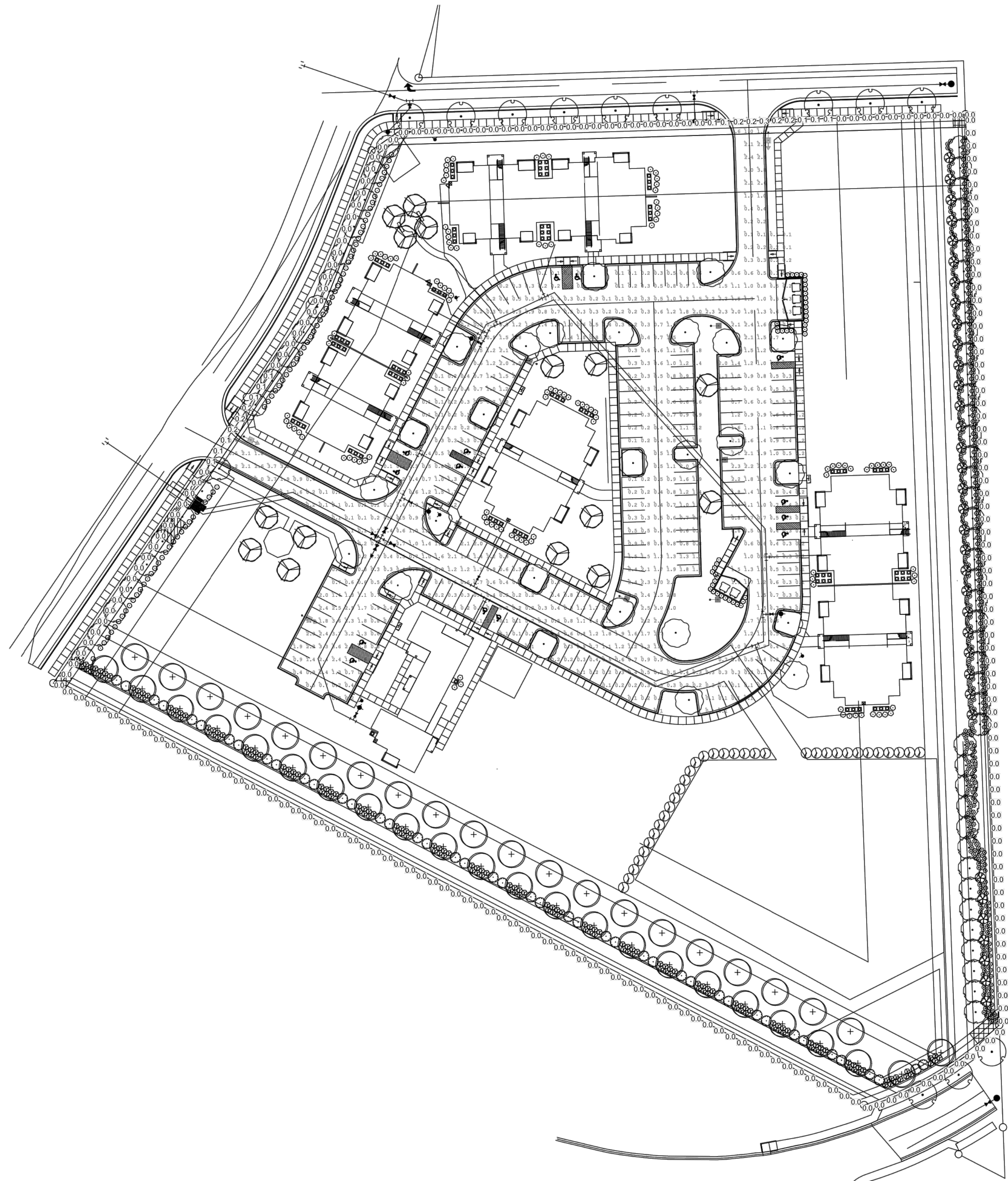
Approved By: _____ Project Name: _____
 Location: 1919 Windsor Place • Fort Worth, TX 76110 • Date: _____
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Calculation Summary

Label	Units	Avg	Max	Min	Avg/Min	Max/Min	PtSpCr	PtSpCrb
PARKING AND DRIVE	Fc	0.84	3.8	0.1	8.40	38.00	10	10
PROPERTY LINE	Fc	0.01	0.3	0.0	N.A.	N.A.	10	N.A.

Luminaire Schedule

Symbol	Qty	Label	Total Lamp Lumens	LLF	Description	Lum. Watts
●	6	A	N.A.	0.950	WLS-CLXM-SB-LED-SS-NW 20' MOUNTING HEIGHT	182.2
●	3	B	N.A.	0.950	WLS-CLXM-FPE-LED-SS-NW-GS 20' MOUNTING HEIGHT	181.9



BASED ON THE INFORMATION PROVIDED, ALL DIMENSIONS AND LUMINAIRE LOCATIONS SHOWN REPRESENT RECOMMENDED POSITIONS. THE ENGINEER AND/OR ARCHITECT MUST DETERMINE APPLICABILITY OF THE LAYOUT TO EXISTING OR FUTURE FIELD CONDITIONS.

THIS LIGHTING PATTERN REPRESENTS ILLUMINATION LEVELS CALCULATED FROM LABORATORY DATA TAKEN UNDER CONTROLLED CONDITIONS UTILIZING CURRENT INDUSTRY STANDARD LAMP RATINGS IN ACCORDANCE WITH ILLUMINATING ENGINEERING SOCIETY APPROVED METHODS. ACTUAL PERFORMANCE OF ANY MANUFACTURER'S LUMINAIRE MAY VARY DUE TO VARIATION IN ELECTRICAL VOLTAGE, TOLERANCE IN LAMPS AND OTHER VARIABLE FIELD CONDITIONS.

ABBINGTON VILLAGE
RALEIGH, NC

WLS LIGHTING SYSTEMS

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