



# Administrative Approval Action

Hammond Business Place: SR-16-18,  
Transaction #545559, AA#3869

City of Raleigh  
Development Services Department  
One Exchange Plaza  
Raleigh, NC 27602  
(919) 996-2495  
DS.help@raleighnc.gov  
www.raleighnc.gov

**LOCATION:** This site is located at the southeastern corner of the intersection of Rush Street and Hammond Road. The addresses are 3050, 3060 and 3080 Hammond Business Place and the PIN number is 1702740671.

**REQUEST:** Development of the final phase of a 19.55 acre tract zoned Industrial Mixed Use-3 (IX-3) for Office and Warehouse space. There are five existing buildings with 76,800 square foot of office and warehouse space. The applicant is requesting approval for an additional three buildings totaling 44,400 square feet of space.

**DESIGN  
ADJUSTMENT(S)/  
ALTERNATES, ETC:**

One Design Adjustment has been approved by the Development Services Designee for this project, noted below.

1. A Design Adjustment waiving the block perimeter requirement in the UDO Section 8.3, has been approved. Reference case DA-82-2018.

One Variance request has been approved by Board of Adjustment on Jun 11, 2018 for this project, noted below. Reference Case A-58-18.

2. The applicant requested a variance from UDO Section 7.1.1.B.4 that requires developments increasing gross floor area by more than 25% to bring both the existing parking and the new parking into conformance with all related parking standards.

One Administrative Alternate request has been approved by the Planning Director for this project, noted below. Reference case AAD-16-18 for details.

3. The applicant proposed an alternate design to Transparency in UDO Section 1.5.9.

**FINDINGS:** City Administration finds that this request, with the below conditions of approval being met, conforms to the Unified Development Ordinance. This approval is based on a preliminary plan dated 9/3/2018 by Taylor Blakely of Blakely Design Group.

## **CONDITIONS OF APPROVAL and NEXT STEPS:**

*This document must be applied to the second sheet of all future submittals except for final plats. This is a preliminary plan and as such no permits have been issued with this approval. To obtain permits and/or completion of the project, the following steps are required:*

**CONCURRENT SITE REVIEW NOT REQUIRED AT THIS TIME** – However, plan revisions or further development that includes land disturbance of 12,000 square feet or greater, public or private infrastructure, shared stormwater devices, etc. will require concurrent site review.



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**CONCURRENT SITE REVIEW** - For land disturbance of 12,000 square feet or greater, public or private infrastructure, shared stormwater devices, etc. Concurrent Site Review may be submitted upon receipt of this signed approval document.

*The following items are required prior to approval of Concurrent Site Review plans:*

**Engineering**

1. A right-of-way obstruction permit must be obtained from Right-of-way Services prior to the commencement of any construction activities within the right-of-way.

**Stormwater**

2. A surety equal to of the cost of clearing, grubbing and reseeding a site, shall be paid to the City (UDO 9.4.4).

**Urban Forestry**

3. Submit a final tree conservation plan that includes metes and bounds descriptions of all tree conservation areas that excludes the area now crossed by the slope easement and show tree protection fencing as required (UDO 9.1.5).
4. Tree protection fence must be inspected by Urban Forestry staff prior to the issuance of a grading permit.

<input type="checkbox"/>	City Code Covenant	<input checked="" type="checkbox"/>	Slope Easement
<input type="checkbox"/>	Stormwater Maintenance Covenant	<input checked="" type="checkbox"/>	Transit Easement
<input checked="" type="checkbox"/>	Utility Placement Easement	<input checked="" type="checkbox"/>	Cross Access Easement
<input type="checkbox"/>	Sidewalk Easement	<input type="checkbox"/>	Public Access Easement
		<input type="checkbox"/>	Other:

**RECORDED MAP(S)** - Submit plat to record new property lines, easements, tree conservation areas, etc.). Plats may be submitted for review when the Concurrent Site Review plans, if required, have been deemed ready for mylar signature.

*The following items must be approved prior to recording the plat:*

**General**

1. Street names for this development shall be approved by the Raleigh GIS Division and by Wake County.



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## Engineering

2. The required right of way for proposed and/or existing streets shall be dedicated to the City of Raleigh and shown on the map approved for recordation.
3. A 5' general utility easement and associated deed of easement shall be approved by the City and the location of the easement shall be shown on the map approved for recordation. The deed of easement shall be recorded at Wake County Register of Deeds within one day of recordation of the recorded plat. A recorded copy of these documents must be provided to the Development Services Department within one day from authorization of lot recordation. If recorded copies of the documents are not provided, further recordings and building permit issuance will be withheld.
4. A slope easement and associated deed of easement shall be approved by the City and the location of the easement shall be shown on the map approved for recordation. The deed of easement shall be recorded at Wake County Register of Deeds within one day of recordation of the recorded plat. A recorded copy of these documents must be provided to the Development Services Department within one day from authorization of lot recordation. If recorded copies of the documents are not provided, further recordings and building permit issuance will be withheld.
5. An offer of cross access agreement among the lots identified as PINs 1702740671 and 1702812547 shall be approved by the Development Services Department for recording in the Wake County Registry, and a copy of the recorded offer of cross access easement shall be returned to the Development Services Department within one day of plat recordation. If a recorded copy of the document is not provided within this time, further recordings and building permit issuance will be withheld.

## Stormwater

6. All stormwater control measures and means of transporting stormwater runoff to and from any nitrogen and stormwater runoff control measures shall be shown on all plats for recording as private drainage easements (UDO 9.2).

## Transportation

7. A transit deed of easement shall be approved by City staff and the location of the easement shall be shown on a plat approved for recordation. The deed of easement shall be recorded at Wake County Register of Deeds within one day of recordation of the recorded plat. A recorded copy of this document must be provided to the Development Services Department within one day from authorization of lot recording. If a recorded copy of the document is not provided, further recordings and building permit issuance will be withheld.

## Urban Forestry

8. A tree conservation plat shall be re-recorded with metes and bounds showing the designated tree conservation areas excluding slope easement (UDO 9.1).



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**BUILDING PERMITS** – For buildings and structures shown on the approved plans. Commercial building permit plans must include the signed, approved Concurrent Site Review plans attached, if applicable. Permit sets may be reviewed prior to the recordation of required plats but cannot be approved.

*The following items must be approved prior to the issuance of building permits:*

## General

1. Provide fire flow analysis.

## Engineering

2. A fee-in-lieu for 1' of sidewalk width along Rush Street and 6' sidewalks along entirety of Hammond Road frontage shall be paid to the City of Raleigh (UDO 8.1.10).

## Stormwater

3. All stormwater control measures and means of transporting stormwater runoff to and from any nitrogen and stormwater runoff control measures shall be shown on all plats for recording as private drainage easements (UDO 9.2).

## Urban Forestry

4. A tree conservation plat shall be re-recorded with metes and bounds showing the designated tree conservation areas excluding the slope easement (UDO 9.1).
5. A tree impact permit must be obtained for the approved streetscape existing tree designation in the right of way. This development designates 10 street trees along Rush St.

*The following are required prior to issuance of building occupancy permit:*

1. Required public right-of-way infrastructure improvements shall be, at a minimum, sufficiently completed to provide the necessary, safe emergency and vehicular access.
2. Required underground storm drainage improvements shall be completed and as-built plan(s) and certification(s) reviewed and accepted by the City of Raleigh Development Services – Development Engineering program.
3. All street lights and street signs required as part of the development approval are installed.
4. Copies of certified inspection reports for alleys and internal access ways are submitted to the City of Raleigh Development Services – Development Engineering program.
5. Final inspection of all tree conservation areas and right of way street trees by Urban Forestry Staff.





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**EXPIRATION DATES:** The expiration provisions of UDO Section 10.2.8 E, including the ability to request extensions in the expiration date, apply to this site plan. If significant construction has not taken place on a project after administrative site review approval, that approval may expire and be declared void, requiring re-approval before permits may be issued. To avoid allowing this plan approval to expire the following must take place by the following dates:

**3-Year Expiration Date:** 9-26-2021

Obtain a valid building permit for the total area of the project, or a phase of the project.

**4-Year Completion Date:**

Within four years after issuance of the first building permit for the site plan, the construction of the entire site plan must be completed unless an applicant has been granted vested rights. Failure to complete construction within this specified time frame shall automatically void the approved site plan for which no building permits have been issued.

I hereby certify this administrative decision.

Signed:(Planning Dir./Designee) *Angie Biley Tyle* Date: 9/26/2018  
Staff Coordinator: Daniel L. Stegall

# Design Adjustment Staff Response



**DEVELOPMENT  
SERVICES  
DEPARTMENT**

Per Section 10.2.18.C of the Unified Development Ordinance, the Development Services Director, or designee, shall consult with the heads of other City Departments regarding the review of the request. The Development Services Director, or designee, shall approve, approve with conditions or deny the request, but must do so within 60 days of the receipt of a completed application. Additional time may be necessary if a municipal or state entity is incorporated in the review process or if a detailed engineering study is submitted in conjunction with the request.

PROJECT	Project Name	Hammond Business Park	
	Development Case Number	SR-16-18	
	Transaction Number	545559	
	Design Adjustment Number	DA - 82 - 2018	
STAFF RESPONSE	<b>Staff recommendation based upon the findings in the applicable code(s):</b>		
	<input checked="" type="checkbox"/> UDO Art. 8.3 Blocks, Lots, Access	<input type="checkbox"/> UDO Art. 8.5 Existing Streets	
	<input type="checkbox"/> UDO Art. 8.4 New Streets	<input type="checkbox"/> Raleigh Street Design Manual	
	Staff <input checked="" type="checkbox"/> SUPPORTS <input type="checkbox"/> DOES NOT SUPPORT <input type="checkbox"/> the design adjustment request.		
	<b>DEPARTMENTS</b>		
	<input type="checkbox"/> Dev. Services Planner	<input type="checkbox"/> City Planning	
	<input checked="" type="checkbox"/> Development Engineering <i>K. K... 9-14-18</i>	<input type="checkbox"/> Transportation	
	<input type="checkbox"/> Engineering Services	<input type="checkbox"/> Parks & Recreation and Cult. Res.	
	<input type="checkbox"/> Public Utilities		
	<b>CONDITIONS:</b>		
Development Services Director or Designee Action: <input checked="" type="checkbox"/> APPROVE <input type="checkbox"/> APPROVE WITH CONDITIONS <input type="checkbox"/> DENY			

✍

**KENNETH W. DICKEY, PE, MPA**  
 ENGINEERING AND INFRASTRUCTURE MANAGER
 

 Date 9/26/2018

\*The Development Services Director may authorize a designee to sign in his/her stead. Please print name and title next to signature. Appeal of the decision from the Development Services Director, or his or her designee, shall be made in writing within 30 days to the Board of Adjustment (see Section 10.2.18.C3b).

# Design Adjustment Application



DEVELOPMENT SERVICES DEPARTMENT

The purpose of this request is to seek a Design Adjustment from the Development Services Director, or designee, for a specific project only and, if granted, may be approved with special conditions and provisions. This application and all further action shall be consistent with Section 10.2.18 in the Unified Development Ordinance (UDO). The consideration and decision of this request shall be based solely on the conformance of the findings, as outlined in Sec. 8.3.6, Sec. 8.4.1.E and Sec. 8.5.1.G of the UDO or the Raleigh Street Design Manual.

PROJECT	Project Name Hammod Business Park		
	Case Number		
	Transaction Number 545559		
OWNER	Name Hammond Road Properties East, LLC		
	Address P. O. Box 586		City Greenville
	State N.C.	Zip Code 27835	Phone 919259-9360
ENGINEER	Name Taylor Blakely		Firm Blakely Design Group
	Address 700 Exposition Place, Ste 105		City Raleigh
	State N. C.	Zip Code 27615	Phone 919-412-5415
REQUEST	I am seeking a Design Adjustment from the requirements set forth in the following:		
	<input checked="" type="checkbox"/> UDO Art. 8.4 Blocks, Lots, Access	- See page 2 for findings	
	<input type="checkbox"/> UDO Art. 8.4 New Streets	- See page 3 for findings	
	<input type="checkbox"/> UDO Art. 8.5 Existing Streets	- See page 4 for findings	
	<input type="checkbox"/> Raleigh Street Design Manual	- See page 5 for findings	
	Provide details about the request; (please attach a memorandum if additional space is needed):		
The requirement is to provide a maximum block perimeter of 4,000 feet (IX-3 zoning). We cannot meet this requirement because of existing features. There is a major floodplain in the front that parallels Hammond Road. This floodplain is approximately 200 feet wide. The rear of the property is bounded by a major railroad line. Therefore trying to construct a new street connection would be impossible.			

It is the responsibility of the applicant to provide all pertinent information needed for the consideration of this request. Applicant must be the Property Owner.

By signing this document, I hereby acknowledge the information on this application is, to my knowledge, accurate.

Owner/Owner's Representative Signature

Date

CHECKLIST	
Signed Design Adjustment Application	<input checked="" type="checkbox"/> Included
Page(s) addressing required findings	<input checked="" type="checkbox"/> Included
Plan(s) and support documentation	<input checked="" type="checkbox"/> Included
Notary page (page 6) filled out; Must be signed by property owner	<input checked="" type="checkbox"/> Included
First Class stamped and addressed envelopes with completed notification letter	<input checked="" type="checkbox"/> Included

Submit all documentation, with the exception of the required addressed envelopes and letters to [designadjustments@raleighnc.gov](mailto:designadjustments@raleighnc.gov).

Deliver the addressed envelopes and letters to:  
Development Services, Development Engineering  
One Exchange Plaza, Suite 500  
Raleigh NC, 27601

For Office Use Only	RECEIVED DATE:	DA - -
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Individual  
Acknowledgement



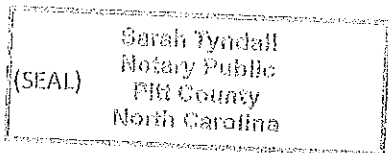
DEVELOPMENT  
SERVICES  
DEPARTMENT

STATE OF NORTH CAROLINA  
COUNTY OF PIH

INDIVIDUAL

I, Sarah Tyndall, a Notary Public do hereby certify that  
JONATHAN TEST personally appeared before me this day and  
acknowledged the due execution of the forgoing instrument.

This the 5<sup>th</sup> day of AUGUST, 2018.



Notary Public Sarah Tyndall

My Commission Expires: JUNE 22, 2021





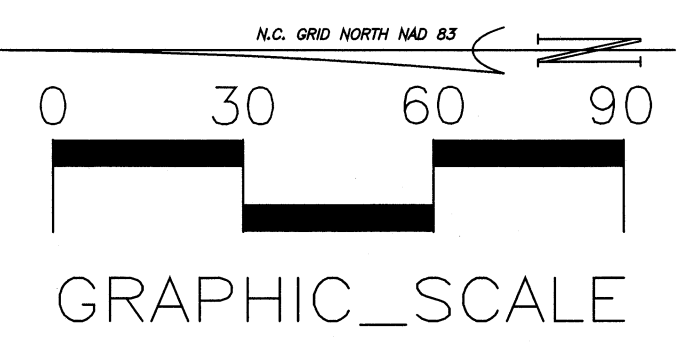
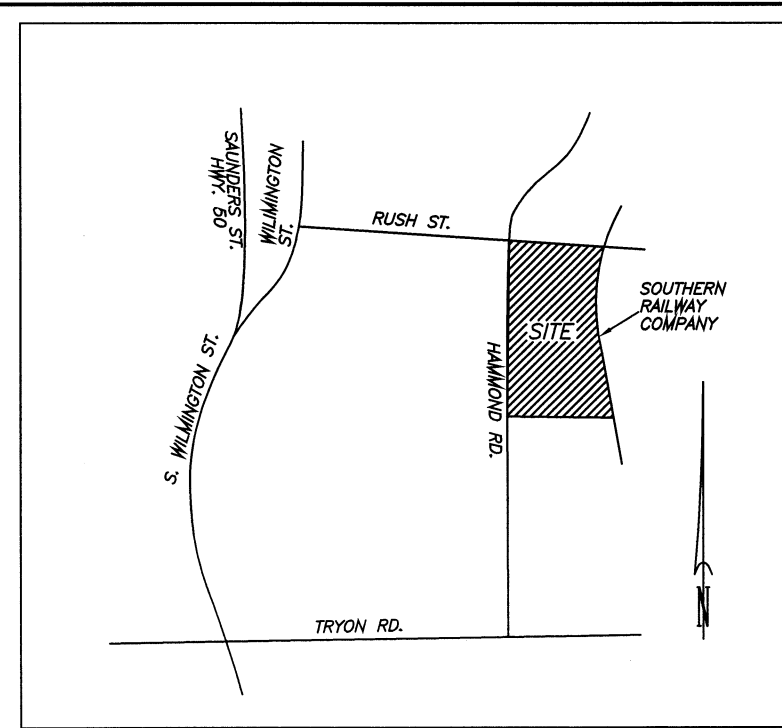




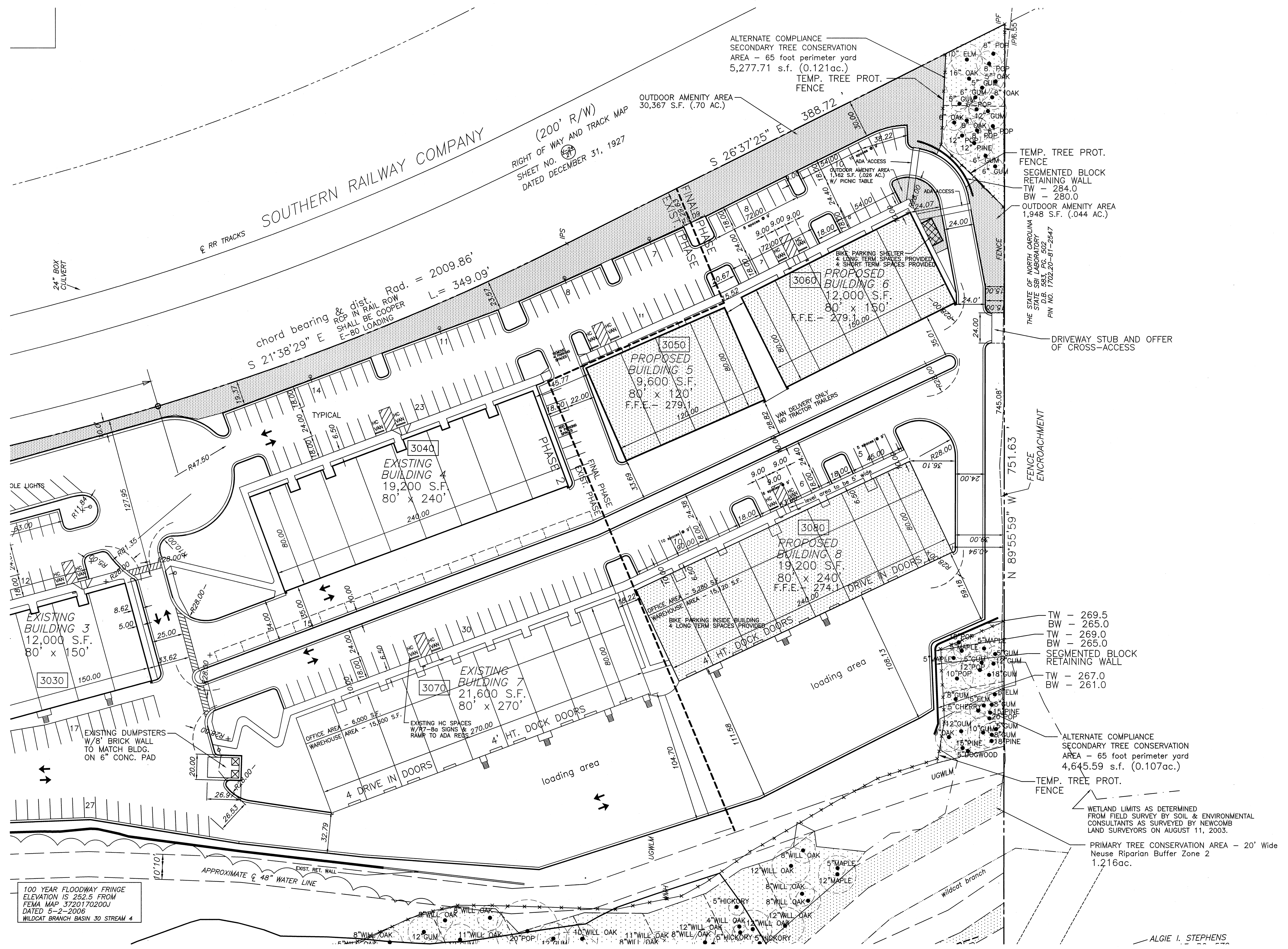








- LEGEND**
- (CMP)---CORRUGATED METAL PIPE
  - (IPS)---IRON PIPE SET
  - (IPF)---IRON PIPE FOUND
  - (RW)---RIGHT OF WAY MONUMENT FOUND
  - (UGWLM)---UNDERGROUND WATER LINE MARKER
  - (WM)---WATER MANHOLE
  - (MH)---MANHOLE
  - (RCP)---REINFORCED CONCRETE PIPE
  - (CB)---CATCH BASIN
  - (JB)---JUNCTION BOX



VICINITY MAP  
NO SCALE

**BLAKELY DESIGN GROUP**  
 Site Planning  
 Landscape Architecture

**SITE PLAN LARGE SCALE - PROPOSED BUILDING 5, 6, & 8**  
**HAMMOND BUSINESS PARK - PROPOSED BUILD. 5, 6, & 8**  
 3050, 3060, & 3080 HAMMOND BUSINESS PLACE

DATE	FEB. 19, 18
SCALE	1"=40'
DRAWN	BTB
JOB NO.	
REVISIONS	8-7-18 BTB REVISION PER C.O.R. STAFF 9-3-18 BTB REVISED PER C.O.R. STAFF
SHEET	C1.1

700 Expedition Place, Suite 105, Raleigh, North Carolina, 27615  
 Telephone (919) 870-1868 Fax (919) 870-0752  
 E-Mail: info@blakelydesign.com

ALGIE I. STEPHENS

C:\Documents and Settings\Troyer\My Documents\TAFET PROJECTS\TAFET HAMMOND RD BLDG 5-6-8 12-5-17\TAFTHAM-FLEX-building 5-6-8 - 8-8-18.dwg, 9/3/2018 12:45:01 PM, Xerox 6204 Wide Format

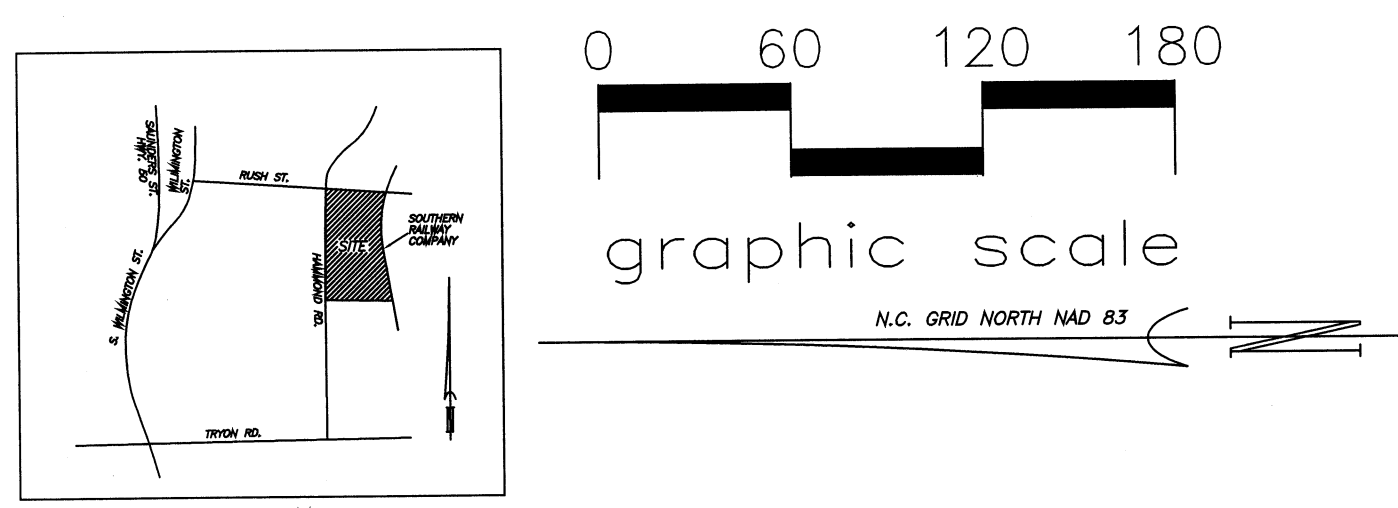












VICINITY MAP  
NO SCALE

LEGEND  
 (C) - CONCRETE METAL PIPE  
 (P) - POLYETHYLENE GLYCOL PIPE  
 (S) - 12" SLOPE  
 (U) - UNDERGROUND WATER LINE MARKER  
 (M) - METAL MANHOLE  
 (C) - CONCRETE CONCRETE PIPE  
 (S) - 12" SLOPE  
 (C) - CONCRETE BOX

LINE TABLE

LINE	STATION	DISTANCE	CHORD BEARING
L1	N 72°52'00" W	18.84	S 12°10'00" E
L2	N 19°00'00" W	7.25	

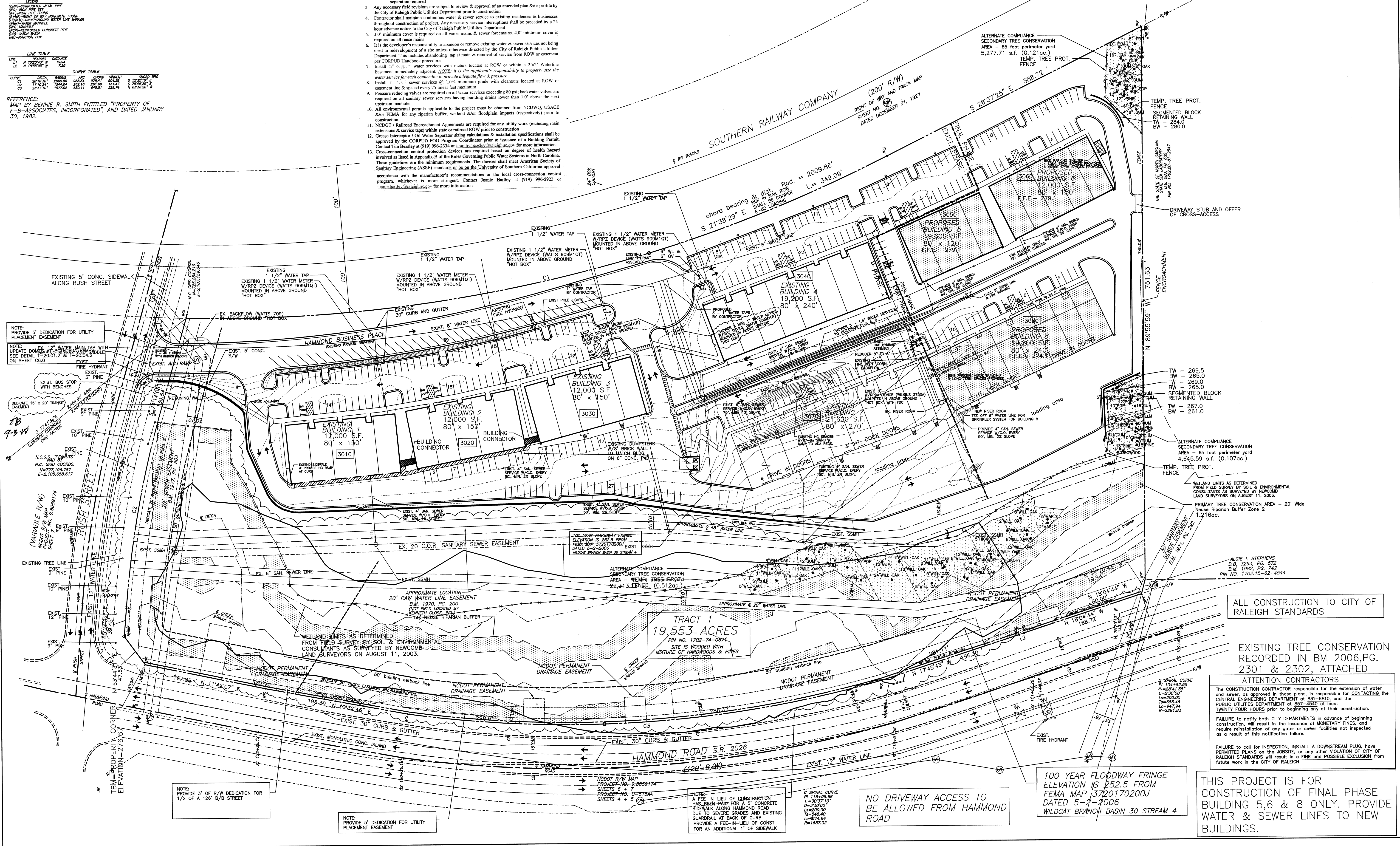
CURVE TABLE

CHORD BEARING	CHORD DISTANCE	CHORD BEARING
S 12°10'00" E	19.84	S 72°52'00" W
S 72°52'00" W	19.84	S 12°10'00" E

REFERENCE:  
 MAP BY BENNIE R. SMITH ENTITLED "PROPERTY OF F-B-ASSOCIATES, INCORPORATED", AND DATED JANUARY 30, 1982.

- STANDARD UTILITY NOTES (as applicable):**
- All materials & construction methods shall be in accordance with City of Raleigh design standards, details & specifications (reference: CORPUD Handbook, current edition).
  - Utility separation requirements:
    - A distance of 100' shall be maintained between sanitary sewer & any private or public water supply source such as an impounded reservoir used as a source of drinking water. If adequate lateral separation cannot be achieved, ferrous sanitary sewer pipe shall be specified & installed to watertight specifications. However, the minimum separation shall be at least 25' from a private well or 50' from a public well.
    - When installing water &/or sewer mains, the horizontal separation between utilities shall be 10'. If this separation cannot be maintained due to existing conditions, the variation allowed is the water main in a separate trench with the elevation of the water main at least 18" above the top of the sewer & must be approved by the Public Utilities Director. All distances are measured from outside diameter to outside diameter.
    - Where it is impossible to obtain proper separation, anytime a sanitary sewer passes over a watermain, DIP materials or steel encasement extended 10' on each side of crossing must be specified & installed to watertight specifications.
    - 5.0' minimum horizontal separation is required between all sanitary sewer & storm sewer facilities, unless DIP material is specified for sanitary sewer.
    - Maintain 18" min. vertical separation at all watermain & RCP storm drain crossings; maintain 24" min. vertical separation at all sanitary sewer & RCP storm drain crossings. Where adequate separations cannot be achieved, specify DIP materials & a concrete cradle having 6" min. clearance (per CORPUD details W-1 & S-9).
    - All other underground utilities shall cross water & sewer facilities with 18" min. vertical separation required.
  - Any necessary field revisions are subject to review & approval of an amended plan &/or profile by the City of Raleigh Public Utilities Department prior to construction.
  - Contractor shall maintain continuous water & sewer service to existing residences & businesses throughout construction of project. Any necessary service interruptions shall be preceded by a 24 hour advance notice to the City of Raleigh Public Utilities Department.
  - 3.0' minimum cover is required on all water mains & sewer force mains. 4.0' minimum cover is required on all reuse mains.
  - It is the developer's responsibility to abandon or remove existing water & sewer services not being used in redevelopment of a site unless otherwise directed by the City of Raleigh Public Utilities Department. This includes abandoning tap at main & removal of service from ROW or easement per CORPUD Handbook procedure.
  - Install 10' water services with meters located at ROW or within a 2'x2' Watertight Easement immediately adjacent. *NOTE: It is the applicant's responsibility to properly size the water service for each connection to provide adequate flow & pressure.*
  - Install 1" sewer services @ 1.0% minimum grade with cleanouts located at ROW or easement line & spaced every 75 linear feet maximum.
  - Pressure reducing valves are required on all water services exceeding 80 psi; backwater valves are required on all sanitary sewer services having building drains lower than 10' above the next upstream manhole.
  - All environmental permits applicable to the project must be obtained from NCDRW, USACE &/or FEMA for any riparian buffer, wetland &/or floodplain impacts (respectively) prior to construction.
  - NCDOT Railroad Encroachment Agreements are required for any utility work (including main extension & service lines) within state or railroad ROW prior to construction.
  - Grease Interceptor / Oil Water Separator sizing calculations & installation specifications shall be approved by the CORPUD FOG Program Coordinator prior to issuance of a Building Permit. Contact Tim Beasley at (919) 996-2334 or [timbeasley@raleighnc.gov](mailto:timbeasley@raleighnc.gov) for more information.
  - Cross-connection control protection devices are required based on degree of health hazard involved as listed in Appendix-B of the Rules Governing Public Water Systems in North Carolina. These guidelines are the minimum requirements. The devices shall meet American Society of Sanitary Engineering (ASSE) standards or be on the University of Southern California approval accordance with the manufacturer's recommendations or the local cross-connection control program, whichever is more stringent. Contact Jeanie Hartley at (919) 996-9213 or [jeaniehartley@raleighnc.gov](mailto:jeaniehartley@raleighnc.gov) for more information.

- NOTES**
- BOUNDARY AND TOPOGRAPHIC INFORMATION TAKEN FROM MAP PREPARED BY KENNETH CLOSE SURVEYOR DATED MAY 26, 2006. ALSO LATEST TPO FROM NEWCOMB LAND SURVEYORS DATED JULY 2015.
  - ALL CONSTRUCTION SHALL BE PERFORMED IN ACCORDANCE WITH THE CURRENT CITY OF RALEIGH STANDARDS, SPECIFICATIONS AND DETAILS.
  - CONTRACTOR SHALL SECURE ALL NECESSARY PERMITS FOR CONSTRUCTION SHOWN ON THESE PLANS, PERMITS, SPECIFICATIONS AND DETAILS.
  - ALL DIMENSIONS AND STAKING POINT LOCATIONS ARE TO BACK OF CURB UNLESS OTHERWISE NOTED.
  - ANY WORK SHOWN ON THESE PLANS THAT IS FOUND TO BE IN CONFLICT WITH THE CITY OF RALEIGH ZONING AND SETBACK REQUIREMENTS SHALL BE IMMEDIATELY REPORTED TO THE LANDSCAPE ARCHITECT FOR ADJUSTMENT.
  - LOCATIONS FOR EXISTING UTILITIES SHOWN ON THESE PLANS ARE APPROXIMATE. CONTRACTOR SHALL VERIFY THE LOCATION OF ALL UTILITIES AND SHALL BE RESPONSIBLE FOR ANY DAMAGE TO SAME.
  - CONTRACTOR SHALL AT ALL TIMES MAINTAIN ADEQUATE SAFETY MEASURES, ACTIVITIES, AND BARRICADES FOR THE PROTECTION OF ALL UTILITIES AND ABOUT THE LOCATION OF THE SITE.
  - CONTRACTOR SHALL PAINT PERMANENT INSTALL SIGNS AND CONSTRUCT NECESSARY SIGNAGE AS PER THE NORTH CAROLINA STATE BUILDING CODE FOR ALL HANDICAP PARKING SPACES AS SHOWN ON PLAN.
  - CONTRACTOR SHALL DELINEATE PARKING SPACE LINES, HANDICAP SYMBOLS, DIRECTIONAL ARROWS, LANE MARKINGS, STOP AND YIELD MESSAGES, ETC. AS SHOWN ON THE PLANS WITH TRAFFIC MARKING PAINT ACCORDING TO THE MANUFACTURER'S SPECIFICATIONS. USE WHITE PAINT.
  - CALL NORTH CAROLINA ONE CALL CENTER @ 1-800-832-4549 BEFORE DIGGING.
  - THIS SITE IS WITHIN A 100 YEAR FLOODWAY FRINGE AREA PANEL 1720170200J 5-2-06
  11. DENIED AREA IS 3.00 ACRES.
  12. THIS SITE IS WITHIN A 100 YEAR FLOODWAY FRINGE AREA PANEL 1720170200J 5-2-06
  13. SITE MUST BE STABILIZED AND SEEDING PRIOR TO ISSUANCE OF CERTIFICATE OF OCCUPANCY.



ALL CONSTRUCTION TO CITY OF RALEIGH STANDARDS

EXISTING TREE CONSERVATION RECORDED IN BM 2006, PG. 2301 & 2302, ATTACHED ATTENTION CONTRACTORS

THE CONSTRUCTION CONTRACTOR responsible for the extension of water and sewer, as approved in these plans, is responsible for CONTACTING THE CENTRAL ENGINEERING DEPARTMENT AT 831-8810, and the PUBLIC UTILITIES DEPARTMENT AT 857-4540 at least TWENTY FOUR HOURS prior to beginning any of their construction. FAILURE to notify both city DEPARTMENTS in advance of beginning construction, will result in the issuance of MONETARY FINES, and require reinstatement of any water or sewer facilities not inspected as a result of this notification failure.

FAILURE to call for INSPECTION, INSTALL A DOWNSTREAM PLUG, have PERMITTED PLANS on the JOB SITE, or any other VIOLATION OF CITY OF RALEIGH STANDARDS will result in a FINE and POSSIBLE EXCLUSION from future work in the CITY OF RALEIGH.

THIS PROJECT IS FOR CONSTRUCTION OF FINAL PHASE BUILDING 5, 6 & 8 ONLY. PROVIDE WATER & SEWER LINES TO NEW BUILDINGS.

NO DRIVEWAY ACCESS TO BE ALLOWED FROM HAMMOND ROAD

100 YEAR FLOODWAY FRINGE ELEVATION IS 252.5 FROM FEMA MAP 3720170200J DATED 5-2-2006 WILDCAT BRANCH BASIN 30 STREAM 4

**BLAKELY DESIGN GROUP**  
 Site Planning  
 Landscape Architecture  
 700 Expedition Place, Suite 105, Raleigh, North Carolina 27615  
 Telephone (919) 870-0732  
 Fax (919) 870-1886  
 E-Mail [info@blakelydesigngroup.com](mailto:info@blakelydesigngroup.com)

OVERALL UTILITY PLAN - PROPOSED BUILDING 5, 6 & 8  
 HAMMOND BUSINESS PARK - PROPOSED BUILDING 5, 6 & 8  
 3050, 3060 & 3080 HAMMOND BUSINESS PLACE

DATE FEB. 19, 18  
 SCALE 1"=60'  
 DRAWN BTB  
 JOB NO.  
 REVISIONS  
 8-7-18 BTB REVISED PER C.O.R. STAFF  
 9-3-18 BTB REVISED PER C.O.R. STAFF  
 SHEET C4.1



DATE	08/08/18
DR.	RDB
CH.	DSM
PROJ. #	18010
REVISIONS	DATE

TRANSPARENCY CALCULATIONS FOR RIGHT (NORTH) ELEVATION ONLY.

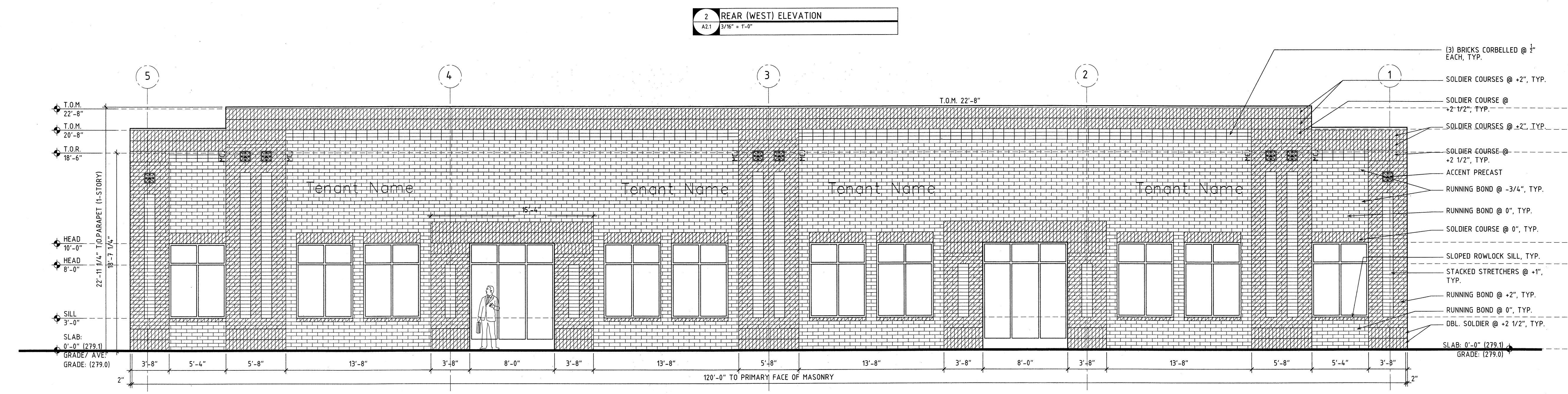
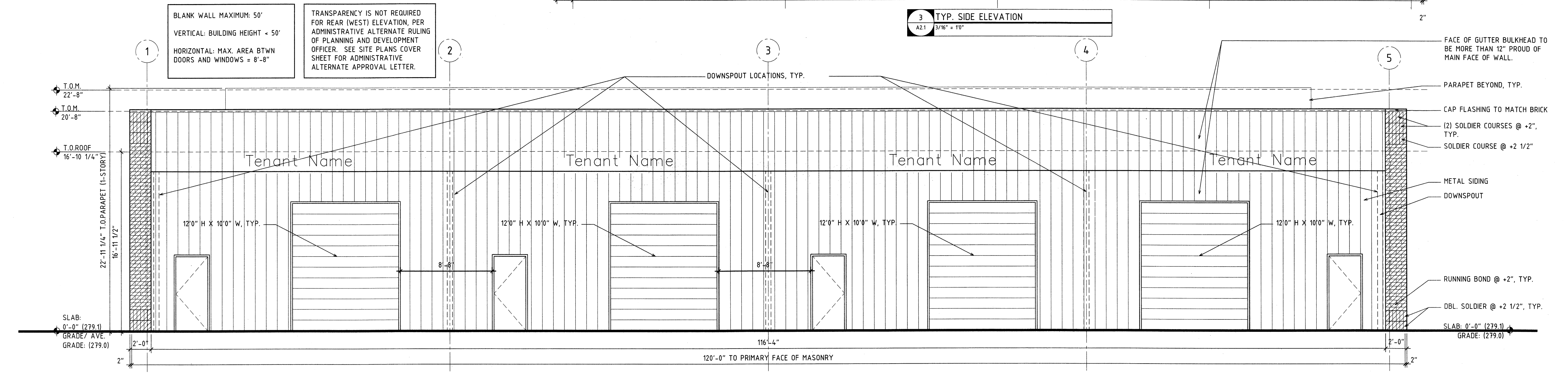
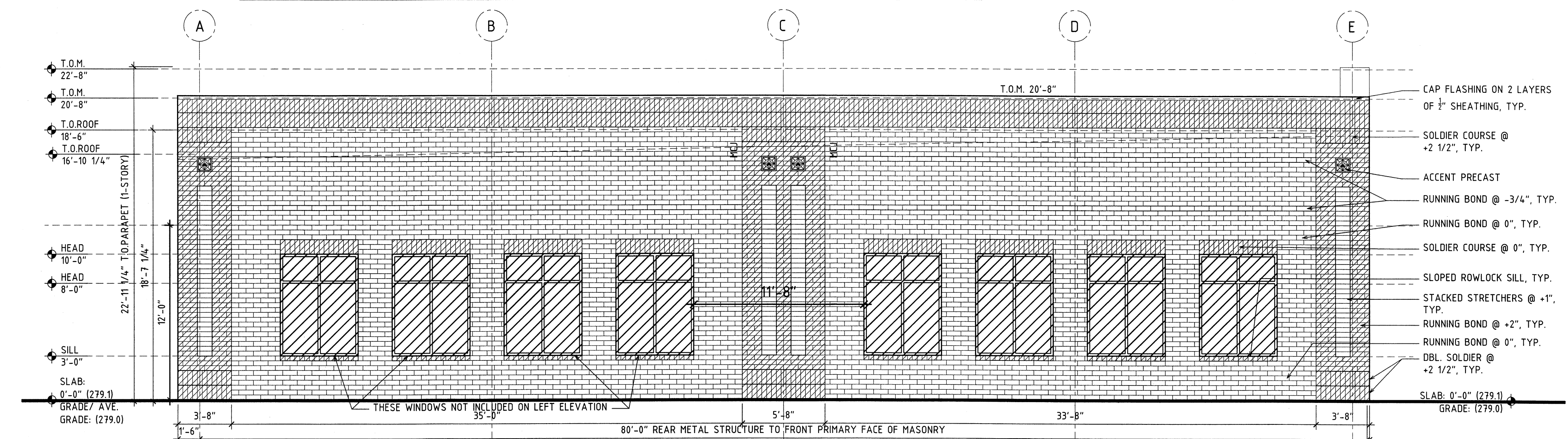
MINIMUM TRANSPARENCY REQUIRED (ON RIGHT ELEV ONLY) BTWN 0' & 12': 20%	TRANSPARENCY UP TO 12': 30% TOTAL AREA: 980 SF TOTAL GLAZING: 296 SF
MINIMUM TRANSPARENCY REQUIRED (ON RIGHT ELEV ONLY) BTWN 3' & 8': >10%	TRANSPARENCY BTWN 3' & 8': 22% TOTAL AREA: 980 SF GLAZING BTWN 3' & 8': 216 SF

BLANK WALL DIMENSIONS FOR RIGHT (NORTH) ELEVATION ONLY.

BLANK WALL MAXIMUM (FOR RIGHT ELEV ONLY): 50'  
 VERTICAL: BUILDING HEIGHT < 50'  
 HORIZONTAL: MAX. AREA BTWN DOORS AND WINDOWS = 11'-8"

EXTERIOR FINISH NOTES:

- BODY BRICK COLOR: TAYLOR COPPERTONE WIRE CUT UTILITY
- ACCENT BRICK COLOR: PALMETTO CHOCOLATE WIRE CUT UTILITY
- MORTAR: 637 LIGHT HEATHER BEIGE
- MASONRY CONTROL JOINT COLOR: BASF SONOLASTIC REDWOOD TAN
- METAL SIDING:
  - BASE: SANDSTONE
  - PARAPET: SAGEBRUSH TAN
- CAP FLASHING: SAGEBRUSH TAN
- WINDOW GLASS: BRONZE TINTED INSULATED
- STOREFRONT: CHAMPAGNE
- HOLLOW METAL & OVERHEAD DOORS: BURNISHED SLATE



1 FRONT ELEVATION  
 A2.1 3/16" = 1'-0"



DATE	08/08/18
DR.	RDB
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PROJ. #	18010.1
REVISIONS	DATE

TRANSPARENCY CALCULATIONS FOR RIGHT (NORTH) ELEVATION ONLY.

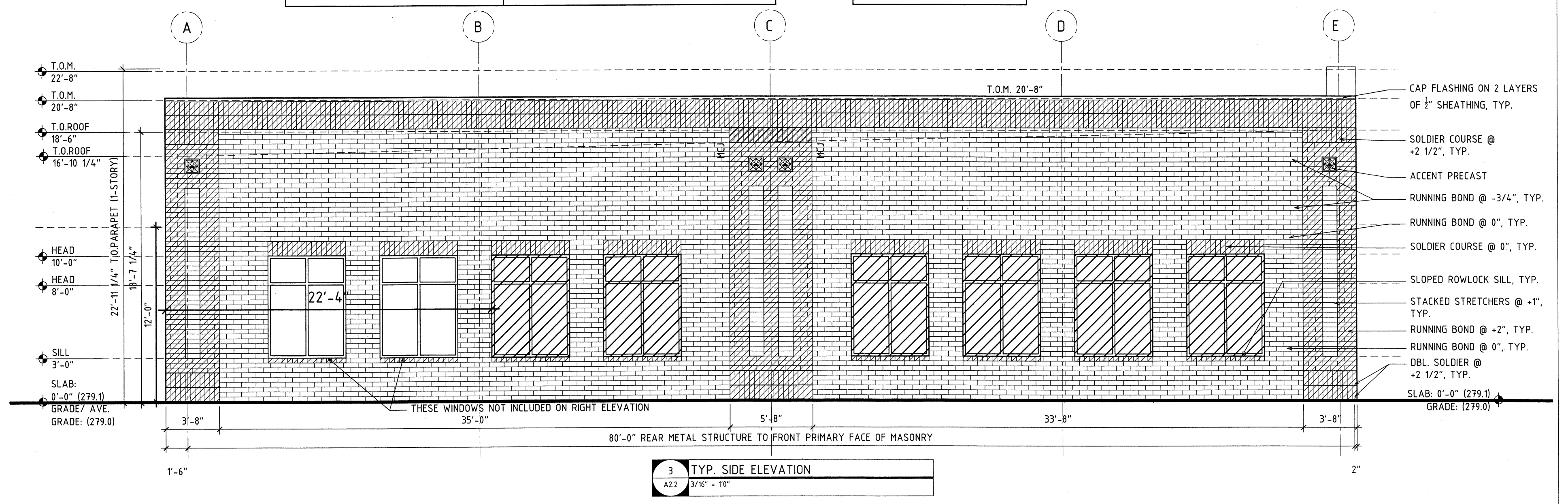
MINIMUM TRANSPARENCY REQUIRED (ON RIGHT ELEV ONLY) BTWN 0' & 12': 20%	TRANSPARENCY UP TO 12': 23% TOTAL AREA: 980 SF TOTAL GLAZING: 222 SF
MINIMUM TRANSPARENCY REQUIRED (ON RIGHT ELEV ONLY) BTWN 3' & 8': >10%	TRANSPARENCY BTWN 3' & 8': 17% TOTAL AREA: 980 SF GLAZING BTWN 3' & 8': 162 SF

BLANK WALL DIMENSIONS FOR RIGHT (NORTH) ELEVATION ONLY.

BLANK WALL MAXIMUM (FOR RIGHT ELEV ONLY): 50'  
VERTICAL: BUILDING HEIGHT = 50'  
HORIZONTAL: MAX. AREA BTWN DOORS AND WINDOWS = 22'-4"

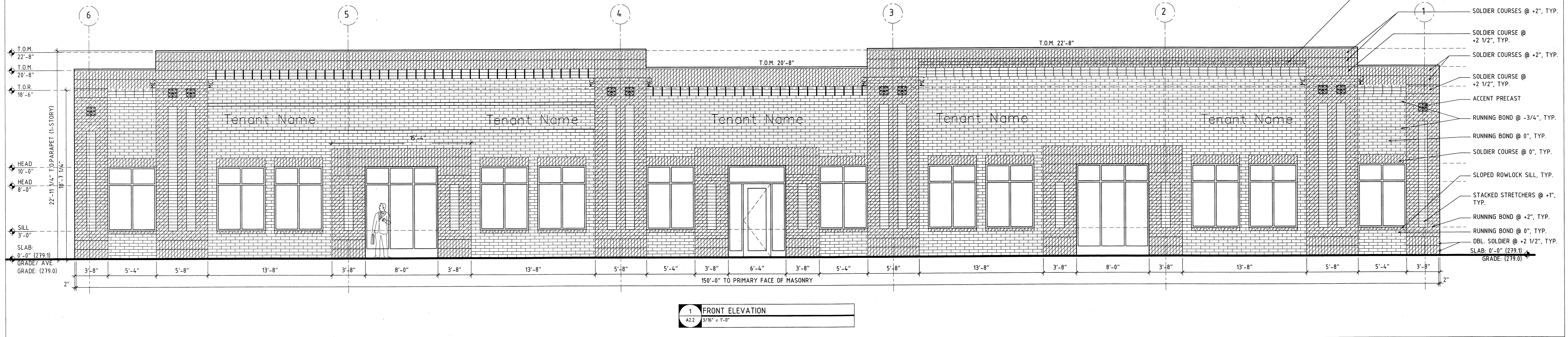
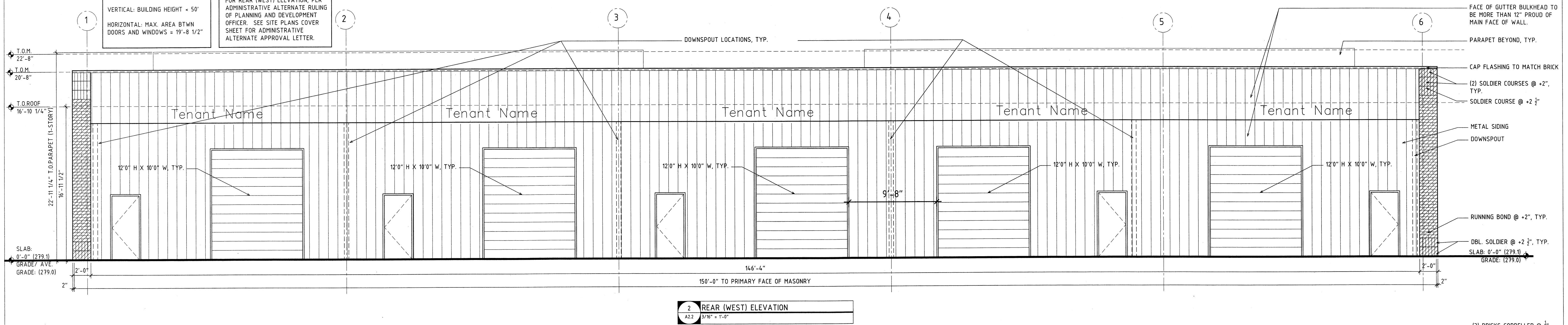
EXTERIOR FINISH NOTES:

- BODY BRICK COLOR: TAYLOR COPPERTONE WIRE CUT UTILITY
- ACCENT BRICK COLOR: PALMETTO CHOCOLATE WIRE CUT UTILITY
- MORTAR: 637 LIGHT HEATHER BEIGE
- MASONRY CONTROL JOINT COLOR: BASF SONOLASTIC REDWOOD TAN
- METAL SIDING: BASE: SANDSTONE, PARAPET: SAGEBRUSH TAN
- CAP FLASHING: SAGEBRUSH TAN
- WINDOW GLASS: BRONZE TINTED INSULATED
- STOREFRONT: CHAMPAGNE
- HOLLOW METAL & OVERHEAD DOORS: BURNISHED SLATE



BLANK WALL MAXIMUM: 50'  
VERTICAL: BUILDING HEIGHT = 50'  
HORIZONTAL: MAX. AREA BTWN DOORS AND WINDOWS = 19'-8 1/2"

TRANSPARENCY IS NOT REQUIRED FOR REAR (WEST) ELEVATION, PER ADMINISTRATIVE ALTERNATE RULING OF PLANNING AND DEVELOPMENT OFFICER. SEE SITE PLANS COVER SHEET FOR ADMINISTRATIVE ALTERNATE APPROVAL LETTER.





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MINIMUM TRANSPARENCY REQUIRED  
 BTWN 0' & 12': 20%

TRANSPARENCY UP TO 12': 23%  
 TOTAL AREA: 980 SF  
 TOTAL GLAZING: 222 SF

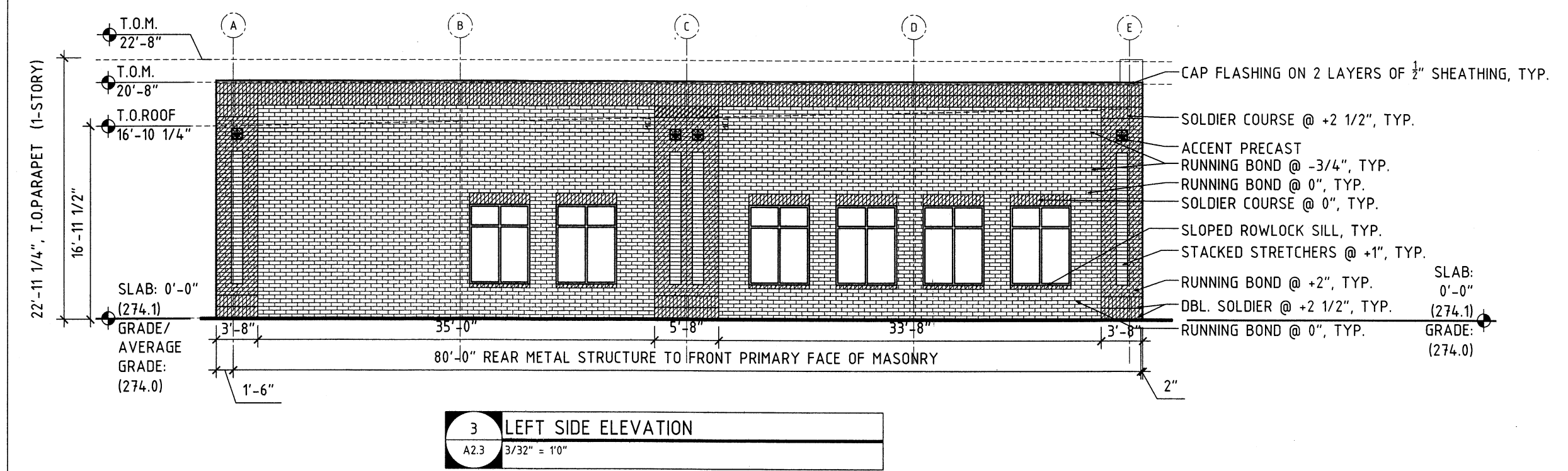
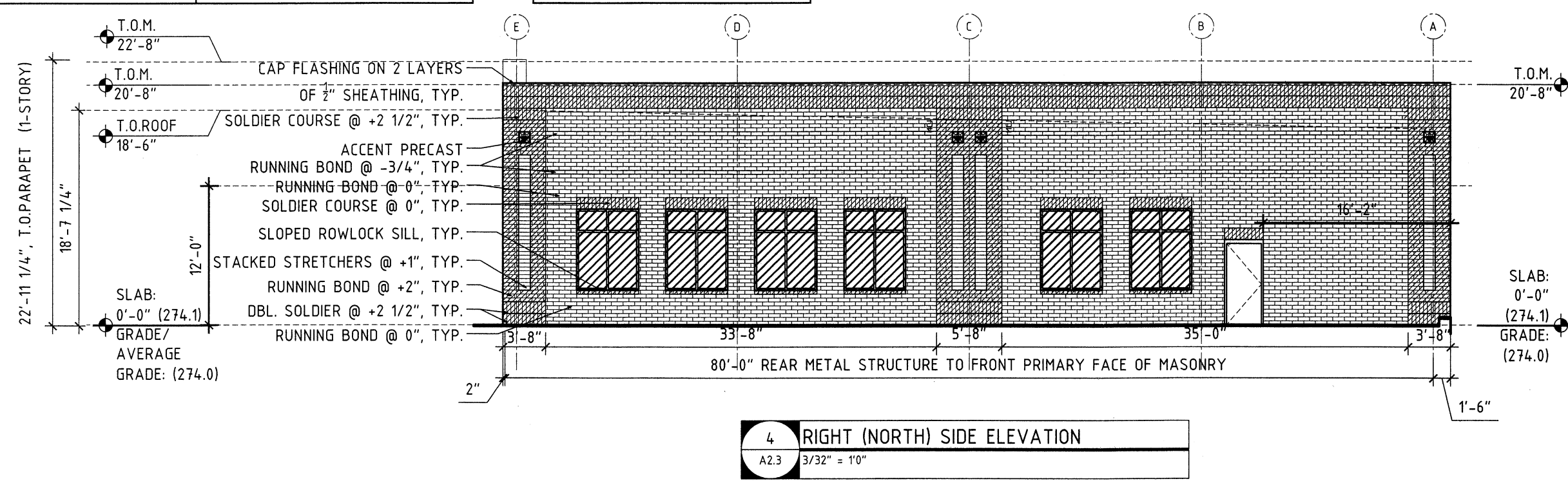
MINIMUM TRANSPARENCY REQUIRED  
 BTWN 3' & 8': >10%

TRANSPARENCY BTWN 3' & 8': 17%  
 TOTAL AREA: 980 SF  
 GLAZING BTWN 3' & 8': 162 SF

BLANK WALL MAXIMUM: 50'  
 VERTICAL: BUILDING HEIGHT = 50'  
 HORIZONTAL: MAX. AREA BTWN  
 DOORS AND WINDOWS = 16'-2"

**EXTERIOR FINISH NOTES:**

- BODY BRICK COLOR: TAYLOR COPPERTONE WIRE CUT UTILITY
- ACCENT BRICK COLOR: PALMETTO CHOCOLATE WIRE CUT UTILITY
- MORTAR: 637 LIGHT HEATHER BEIGE
- MASONRY CONTROL JOINT COLOR: BASF SONOLASTIC REDWOOD TAN
- METAL SIDING:  
 BASE: SANDSTONE  
 PARAPET: SAGEBRUSH TAN
- CAP FLASHING: SAGEBRUSH TAN
- WINDOW GLASS: BRONZE TINTED INSULATED
- STOREFRONT: CHAMPAGNE
- HOLLOW METAL & OVERHEAD DOORS: BURNISHED SLATE



BLANK WALL MAXIMUM: 50'  
 VERTICAL: BUILDING HEIGHT = 50'  
 HORIZONTAL: MAX. AREA BTWN  
 DOORS AND WINDOWS = 19'-8 1/2"

TRANSPARENCY IS NOT REQUIRED  
 FOR REAR (WEST) ELEVATION, PER  
 ADMINISTRATIVE ALTERNATE RULING  
 OF PLANNING AND DEVELOPMENT  
 OFFICER. SEE SITE PLANS COVER  
 SHEET FOR ADMINISTRATIVE  
 ALTERNATE APPROVAL LETTER.

