



Administrative Approval Action

SR-15-18, John Chavis Memorial Park Ph. 1
Transaction # 545506, AA # 3839

City of Raleigh
Development Services Department
One Exchange Plaza
Raleigh, NC 27602
(919) 996-2495
DS.help@raleighnc.gov
www.raleighnc.gov

LOCATION: This site is located on the south and west side of Chavis Way, as well as the north side of Martin Luther King Jr. Boulevard. The site is addressed at 501 Martin Luther King Jr. Blvd, which is inside City limits.

REQUEST: Development of a municipal park on a 21.4 acre tract zoned R-10 with a new 41,601 square foot Civic building to serve as a Community Center. Total building space on site will be 44,072 square feet.

DESIGN ADJUSTMENT(S)/ALTERNATES, ETC: A design adjustment has been approved for the John Chavis Memorial Park, a designated historic park, to waive the requirement to provide a public street section through the site to meet the block perimeter based on R-10 zoning. The topography, site layout of existing buildings, private infrastructure and homes on the perimeter of the park all support the findings for design adjustment approval.

FINDINGS: City Administration finds that this request, with the below conditions of approval being met, conforms to the Unified Development Ordinance. This approval is based on a preliminary plan submitted by Clearscapes, dated 7/18/18.

CONDITIONS OF APPROVAL and NEXT STEPS:

Note: *This document must be applied to the second sheet of all future submittals with the exception of final plats.*

PRIOR TO THE ISSUANCE OF ANY SITE PERMITS OR APPROVAL OF CONCURRENT REVIEW PROCESS, WHICHEVER IS APPLICABLE:

ENGINEERING

1. Next Step: A right-of-way obstruction permit must be obtained from Right-of-way Services prior to the commencement of any construction activities within the right-of-way.

STORMWATER

2. The State of North Carolina shall approve any proposed disturbance within the riparian buffer prior to the issuance of a mass grading permit or other site permit, whichever comes first.
3. Next Step: A stormwater control plan with a stormwater operations and maintenance manual and budget shall be approved by the Stormwater Engineer in compliance with Part 10A Chapter 9 of the Unified Development Ordinance.

Next Step: In accordance with Part 10A Section 9.4.4 of the Unified Development Ordinance, a surety equal to of the cost of clearing, grubbing and reseeding a site, shall be paid to the City.

URBAN FORESTRY

4. Obtain required tree impact permits from the City of Raleigh.



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5. Next Step: Prior to the issuance of a mass grading permit or other site permit, whichever comes first, submit a final tree conservation plan with a permit approved by Urban Forestry staff that includes metes and bounds descriptions of all tree conservation areas and tree protection fencing as required.
6. Next Step: Tree protection fence must be located in the field and inspected by Urban Forestry staff prior to the issuance of a mass grading permit or other site permit, whichever comes first.

PRIOR TO ISSUANCE OF BUILDING PERMITS:

GENERAL

1. A Final Plat shall be recorded with the Wake County Register of Deeds office for all Recombinations, Right of Way and/or Easement Dedications, and Tree Conservation Areas.
2. A demolition permit shall be obtained.
3. Provide fire flow analysis.

ENGINEERING

4. In accordance with Part 10A Section 8.1.10, a fee-in-lieu for 1' sidewalk to supplement the existing 5' sidewalk shall be paid to the City of Raleigh along all park public street frontage.

URBAN FORESTRY

19. A final inspection of required tree conservation areas by Urban Forestry staff must be completed.
20. A tree impact permit must be obtained for the approved park tree installation.

Prior to issuance of building occupancy permit:

1. All Water, Sanitary Sewer and Reuse facilities shall be installed, inspected, tested and accepted by the City of Raleigh Public Utilities Department for operations and maintenance.
2. Next Step: Required public right-of-way infrastructure improvements shall be, at a minimum, sufficiently completed to provide the necessary, safe emergency and vehicular access.
3. Next Step: Required underground storm drainage improvements shall be completed and as-built plan(s) and certification(s) reviewed and accepted by the City of Raleigh Development Services – Development Engineering program.
4. Next Step: All street lights and street signs required as part of the development approval are installed.
5. Next Step: Copies of certified inspection reports for alleys and internal access ways are submitted to the City of Raleigh Development Services – Development Engineering program.



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6. Next Step: As-built drawings and associated forms for all Stormwater devices are accepted by the Engineering Services Department
7. Next Step: Final inspection of all required Tree Conservation Areas by Urban Forestry Staff.

EXPIRATION DATES: The expiration provisions of UDO Section 10.2.8 E, including the ability to request extensions in the expiration date, apply to this site plan. If significant construction has not taken place on a project after administrative site review approval, that approval may expire and be declared void, requiring re-approval before permits may be issued. To avoid allowing this plan approval to expire the following must take place by the following dates:

3-Year Expiration Date: 8-1-2021

Obtain a valid building permit for the total area of the project, or a phase of the project.

4-Year Completion Date:

Within four years after issuance of the first building permit for the site plan, the construction of the entire site plan must be completed unless an applicant has been granted vested rights. Failure to complete construction within this specified time frame shall automatically void the approved site plan for which no building permits have been issued.

I hereby certify this administrative decision.

Signed:(Planning Dir./Designee) Austin B. Long Date: 8/1/2018

Staff Coordinator: Ryan Boivin

Design Adjustment Staff Response



**DEVELOPMENT
SERVICES
DEPARTMENT**

Per Section 10.2.18.C of the Unified Development Ordinance, the Development Services Director, or designee, shall consult with the heads of other City Departments regarding the review of the request. The Development Services Director, or designee, shall approve, approve with conditions or deny the request, but must do so within 60 days of the receipt of a completed application. Additional time may be necessary if a municipal or state entity is incorporated in the review process or if a detailed engineering study is submitted in conjunction with the request.

PROJECT	Project Name	John Chavis Memorial Park	
	Development Case Number	SR-15- 2018	
	Transaction Number	545506	
	Design Adjustment Number	DA - 16 - 2018	
STAFF RESPONSE	Staff recommendation based upon the findings in the applicable code(s):		
	<input checked="" type="checkbox"/> <u>UDO Art. 8.3 Blocks, Lots, Access</u>	<input type="checkbox"/> <u>UDO Art. 8.5 Existing Streets</u>	
	<input type="checkbox"/> <u>UDO Art. 8.4 New Streets</u>	<input type="checkbox"/> <u>Raleigh Street Design Manual</u>	
	Staff SUPPORTS <input checked="" type="checkbox"/> DOES NOT SUPPORT <input type="checkbox"/> the design adjustment request.		
	DEPARTMENTS		
	<input type="checkbox"/> Dev. Services Planner	<input type="checkbox"/> City Planning	
	<input checked="" type="checkbox"/> Development Engineering <i>KC Beard</i>	<input type="checkbox"/> Transportation	
	<input type="checkbox"/> Engineering Services	<input type="checkbox"/> Parks & Recreation and Cult. Res.	
	<input type="checkbox"/> Public Utilities		
	CONDITIONS:		
Development Services Director or Designee Action: <input type="checkbox"/> APPROVE <input type="checkbox"/> APPROVE WITH CONDITIONS <input type="checkbox"/> DENY			

Authorized Signature

Date

*The Development Services Director may authorize a designee to sign in his/her stead. Please print name and title next to signature. Appeal of the decision from the Development Services Director, or his or her designee, shall be made in writing within 30 days to the Board of Adjustment (see Section 10.2.18.C3b).

Staff Response

Article 8.3 Blocks Lots, Access



DEVELOPMENT
SERVICES
DEPARTMENT

The Development Services Director may in accordance with *Sec. 10.2.18*. approve a design adjustment, subject to all of the following findings.

- A. The requested design adjustment meets the intent of this Article;
YES NO
- B. The requested design adjustment conforms with the Comprehensive Plan and adopted City plans;
YES NO
- C. The requested design adjustment does not increase congestion or compromise Safety;
YES NO
- D. The requested design adjustment does not create any lots without direct street Frontage;
YES NO
- E. The requested design adjustment is deemed reasonable due to one or more of the following:
1. Topographic changes are too steep;
 2. The presence of existing buildings, stream and other natural features;
 3. Site layout of developed properties;
 4. Adjoining uses or their vehicles are incompatible;
 5. Strict compliance would pose a safety hazard; or
 6. Does not conflict with an approved or built roadway construction project
 7. adjacent to or in the vicinity of the site.
- YES NO

STAFF FINDINGS

The topography, site layout of existing buildings, private infrastructure, and homes on the perimeter of the park, in addition to the stream and Neuse River Riparian Buffer that bisects the park, limits the introduction of a public street through the designated historic park. This park is listed on the National Register and protected by National Park Service's Land and Water Conservation Fund. This site has provided pedestrian access through the park to all public streets around the perimeter of the park and the improvements will continue to contribute to the Park's commitment to provide numerous activity zones for additional pedestrian connections.

Design Adjustment Application



DEVELOPMENT SERVICES DEPARTMENT

The purpose of this request is to seek a Design Adjustment from the Development Services Director, or designee, for a specific project only and, if granted, may be approved with special conditions and provisions. This application and all further action shall be consistent with Section 10.2.18 in the Unified Development Ordinance (UDO). The consideration and decision of this request shall be based solely on the conformance of the findings, as outlined in Sec. 8.3.6, Sec. 8.4.1.E and Sec. 8.5.1.G of the UDO or the Raleigh Street Design Manual.

PROJECT	Project Name John Chavis Memorial Park		
	Case Number SR-15-18		
	Transaction Number 545506		
OWNER	Name City of Raleigh Parks, Recreation, and Cultural Resources (Lora Greco)		
	Address 222 W. Hargett St. Suite 601		City Raleigh
	State NC	Zip Code 27601	Phone 919.996.4771
CONTACT	Name M. Eric Davis		Firm Surface678, P.A.
	Address 215 Morris Street, Suite 150		City Durham
	State NC	Zip Code 27701	Phone 919.419.1199
REQUEST	I am seeking a Design Adjustment from the requirements set forth in the following:		
	<input checked="" type="checkbox"/> UDO Art. 8.3 Blocks, Lots, Access	- See page 2 for findings	
	<input type="checkbox"/> UDO Art. 8.4 New Streets	- See page 3 for findings	
	<input type="checkbox"/> UDO Art. 8.5 Existing Streets	- See page 4 for findings	
	<input type="checkbox"/> Raleigh Street Design Manual	- See page 5 for findings	
	Provide details about the request; (please attach a memorandum if additional space is needed):		
Within an R10 zone, the requested linear foot of a block perimeter is 2,500 linear feet. However, John Chavis Memorial Park encompasses the vast majority of the block which has a perimeter of 5,600 linear feet. The parcel is already bisected by Little Rock Creek, is divided into several parcels and any further divisions would not be feasible nor practical given the existing conditions and historic nature of the park. See attached page showing the existing block perimeter, which in turn is the proposed block perimeter.			

It is the responsibility of the applicant to provide all pertinent information needed for the consideration of this request. Applicant must be the Property Owner.

By signing this document, I hereby acknowledge the information on this application is, to my knowledge, accurate.

Owner/Owner's Representative Signature

3.23.2018
Date

CHECKLIST

Signed Design Adjustment Application	<input checked="" type="checkbox"/> Included
Page(s) addressing required findings	<input checked="" type="checkbox"/> Included
Plan(s) and support documentation	<input checked="" type="checkbox"/> Included
Notary page (page 6) filled out; Must be signed by property owner	<input checked="" type="checkbox"/> Included
First Class stamped and addressed envelopes with completed notification letter	<input checked="" type="checkbox"/> Included

Submit all documentation, with the exception of the required addressed envelopes and letters to designadjustments@raleighnc.gov.

Deliver the addressed envelopes and letters to:
Development Services, Development Engineering
One Exchange Plaza, Suite 500
Raleigh NC, 27601

For Office Use Only	RECEIVED DATE:	DA -	-
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Article 8.3, Blocks, Lots, Access Administrative Design Adjustment Findings



DEVELOPMENT
SERVICES
DEPARTMENT

The Development Services Director may in accordance with *Sec. 10.2.18*, approve a design adjustment, subject to all of the following findings. Describe how each item is met:

- A. The requested design adjustment meets the intent of this Article;
Even with a larger than preferred block perimeter the "intent" of this Article is met. Over the years, the park has developed a well-connected street network that is both safe and efficient for vehicular and pedestrian circulation. The park's trail system also provides a safe and convenient network of trail-ways for pedestrians and bikers alike.
- B. The requested design adjustment conforms with the Comprehensive Plan and adopted City plans;
Given the existing conditions and historical nature of this park we fear any further parcel division to conform to the Comprehensive Plan for R10 zoning would not be feasible or practical.
- C. The requested design adjustment does not increase congestion or compromise Safety;
Maintaining a block perimeter of 5,600 linear feet will not increase congestion or compromise safety within the block.
- D. The requested design adjustment does not create any lots without direct street Frontage;
All 6 parcels have direct street frontage. (See attached page showing existing block perimeter where in turn is the proposed block perimeter).
- E. The requested design adjustment is deemed reasonable due to one or more of the following:
1. Topographic changes are too steep;
 2. The presence of existing buildings, stream and other natural features;
 3. Site layout of developed properties;
 4. Adjoining uses or their vehicles are incompatible;
 5. Strict compliance would pose a safety hazard; or
 6. Does not conflict with an approved or built roadway construction project
 7. adjacent to or in the vicinity of the site.
- (2) Given that the parcel has already been bisected by Little Rock Creek any further parcel division would be detrimental to the historical character of the site.
- (3) Given the historical nature of the park and the layout of the park and surrounding neighborhoods any modifications to these properties would be impractical and detrimental to the neighborhood structure.

Individual Acknowledgement



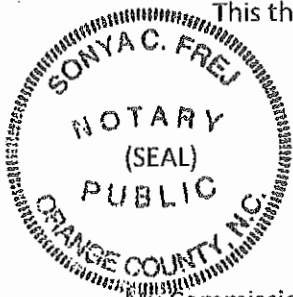
DEVELOPMENT
SERVICES
DEPARTMENT

STATE OF NORTH CAROLINA
COUNTY OF Durham

INDIVIDUAL

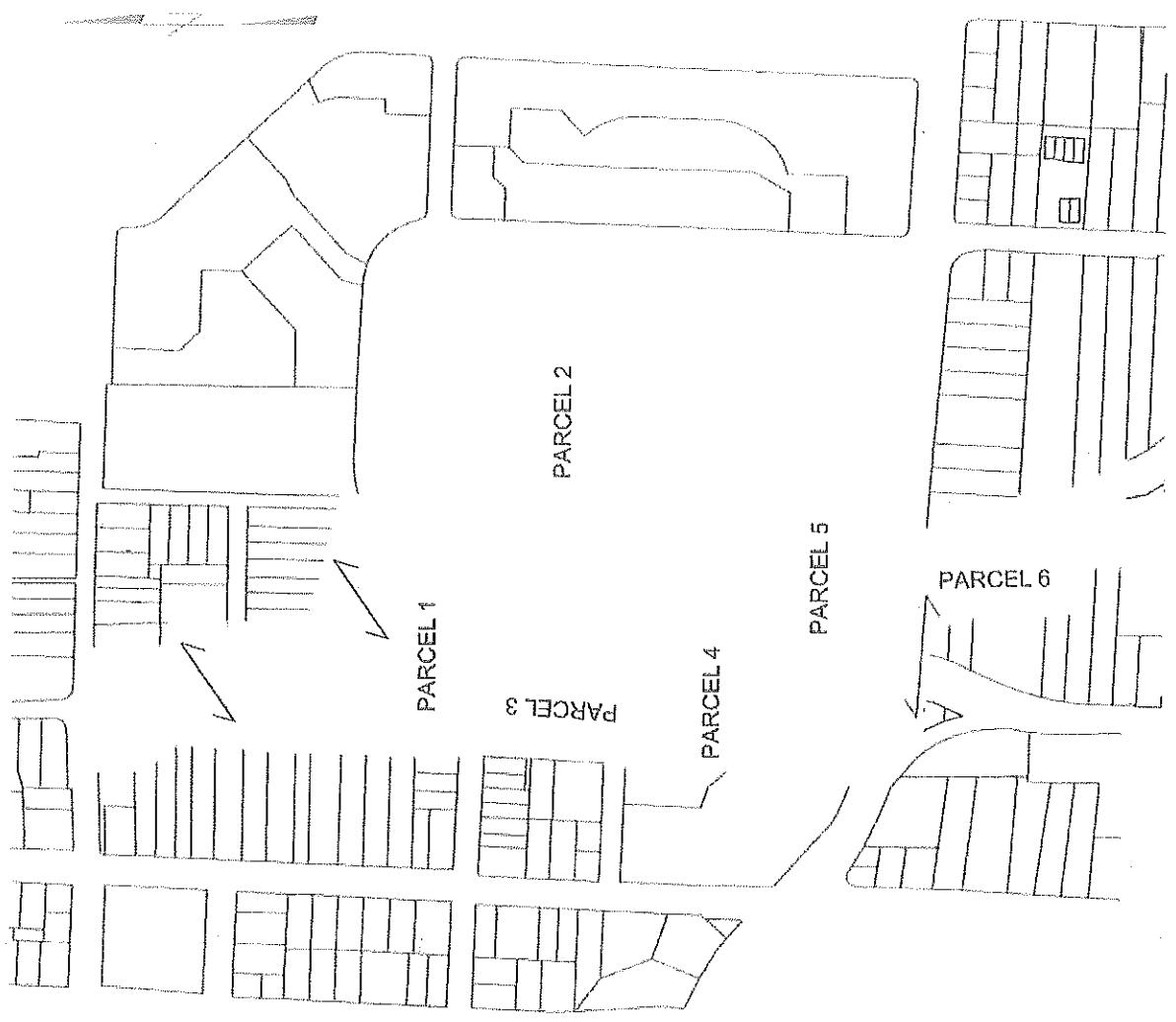
I, Sonya C. Frej, a Notary Public do hereby certify that
Robert Pratt personally appeared before me this day and
acknowledged the due execution of the forgoing instrument.

This the 23rd day of March, 2018.



Notary Public Sonya C. Frej

My Commission Expires: 6-7-2022



SITE DATA

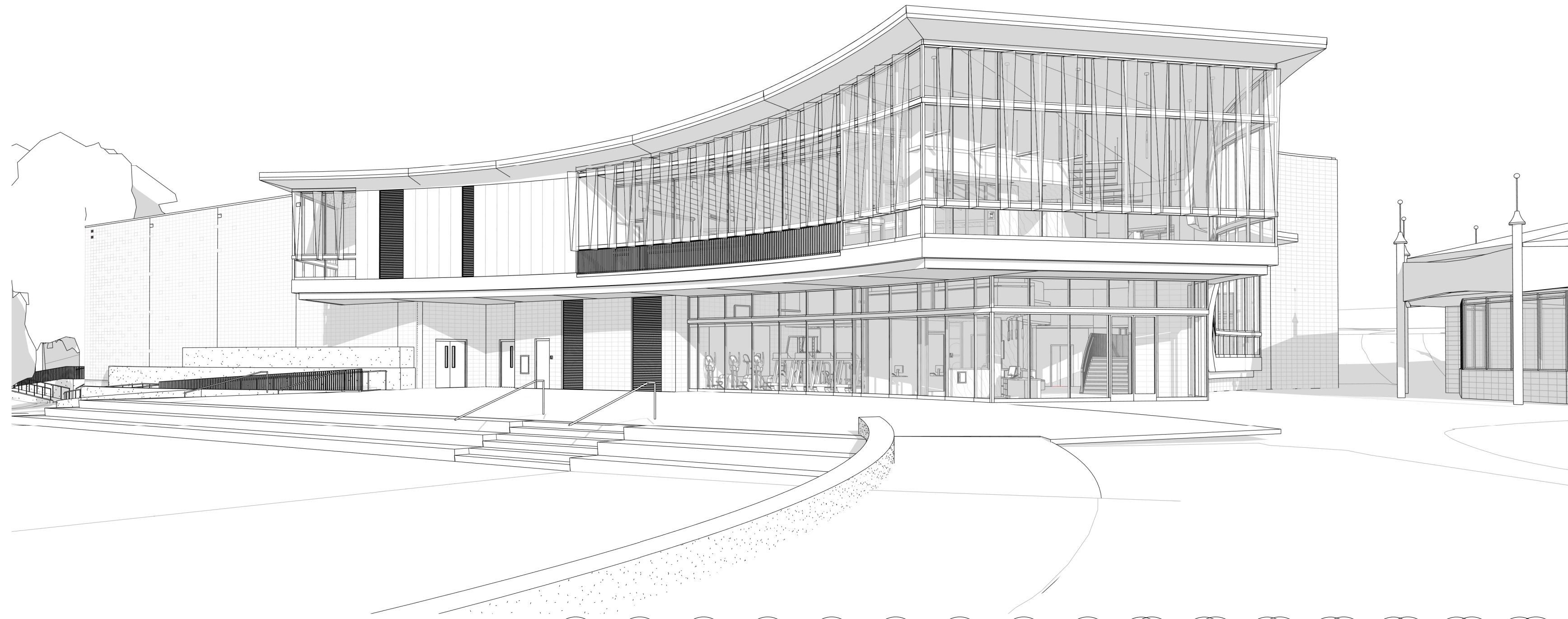
<p>PARCEL 1 OWNER: CITY OF RALEIGH PIN: 1703-95-3754 ADDRESS: 520 E LENOIR ST DEED REFERENCE: DEED BOOK: 10777 PAGE: 555 ZONING: R-20 (RESIDENTIAL-20)</p>	<p>PARCEL 2 OWNER: CITY OF RALEIGH PIN: 1703-95-8305 ADDRESS: 501 MARTIN LUTHER KING JR BLVD DEED REFERENCE: DEED BOOK: 10777 PAGE: 555 BOOK OF MAPS: 2012 PAGE: 445 ZONING: R-20 (RESIDENTIAL-20)</p>	<p>PARCEL 3 OWNER: CITY OF RALEIGH PIN: 1703-95-5316 ADDRESS: 807 CAPE AVE DEED REFERENCE: DEED BOOK: 1924 PAGE: 539 ZONING: R-20 (RESIDENTIAL-20)</p>	<p>PARCEL 4 OWNER: STATE OF NORTH CAROLINA PIN: 1703-95-2099 ADDRESS: 520 CAPE AVE DEED REFERENCE: NO DEED FOUND ZONING: R-20 (RESIDENTIAL-20)</p>	<p>PARCEL 5 OWNER: STATE OF NORTH CAROLINA PIN: 1703-94-3897 ADDRESS: 513 MARTIN LUTHER KING JR BLVD DEED REFERENCE: DEED BOOK: 173 PAGE: 441 ZONING: R-20 (RESIDENTIAL-20)</p>	<p>PARCEL 6 OWNER: STATE OF NORTH CAROLINA PIN: 1703-94-7369 ADDRESS: 1001 GARNER RD DEED REFERENCE: NO DEED FOUND ZONING: R-20 (RESIDENTIAL-20)</p>
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MAP BOOK REFERENCES:
 BOOK OF MAPS: 2004 PAGE: 1937
 BOOK OF MAPS: 2012 PAGE: 445
 BOOK OF MAPS: 2005 PAGE: 2242
 BOOK OF MAPS: 1991 PAGE: 444

JOHN CHAVIS MEMORIAL PARK PHASE 1

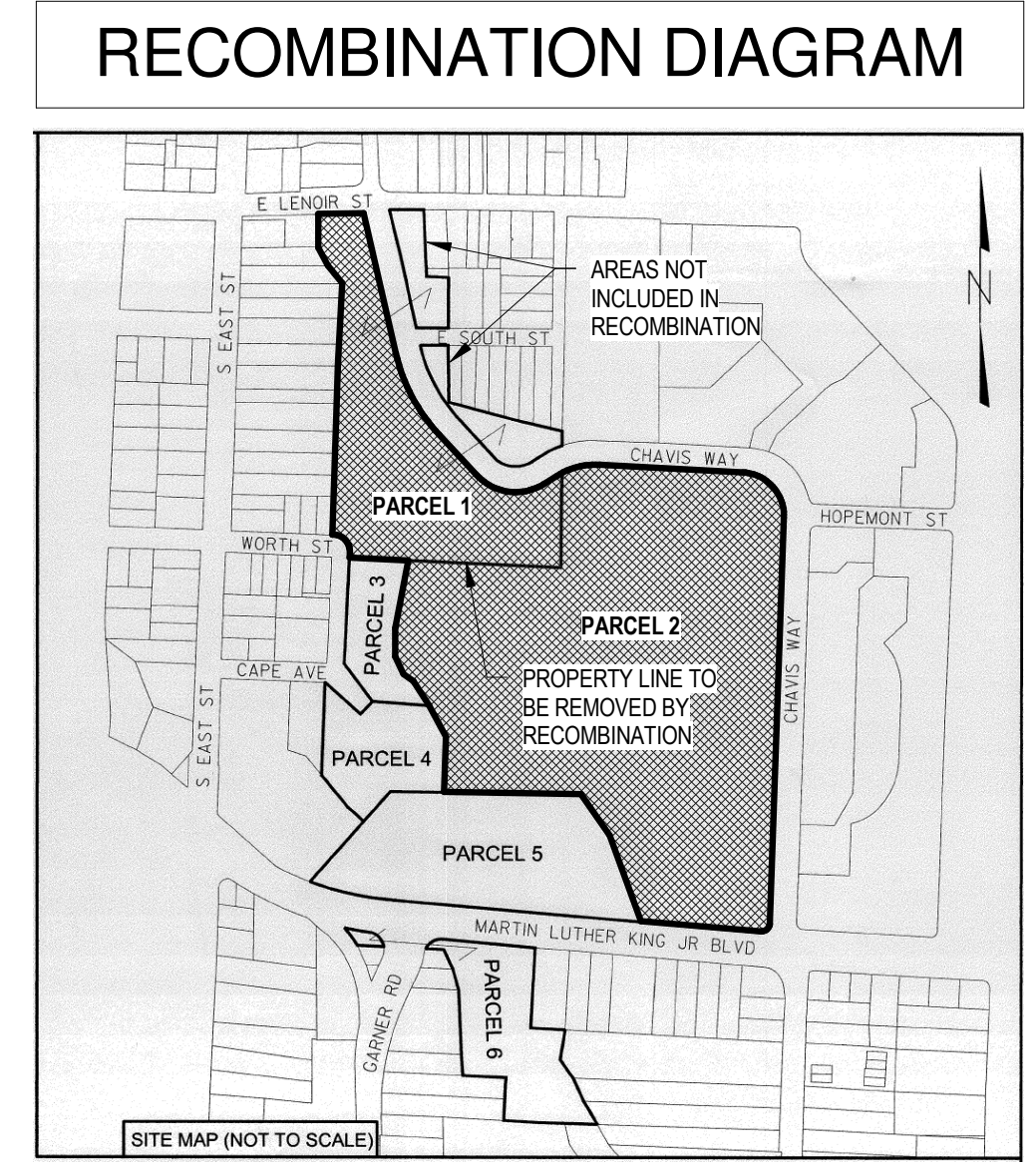
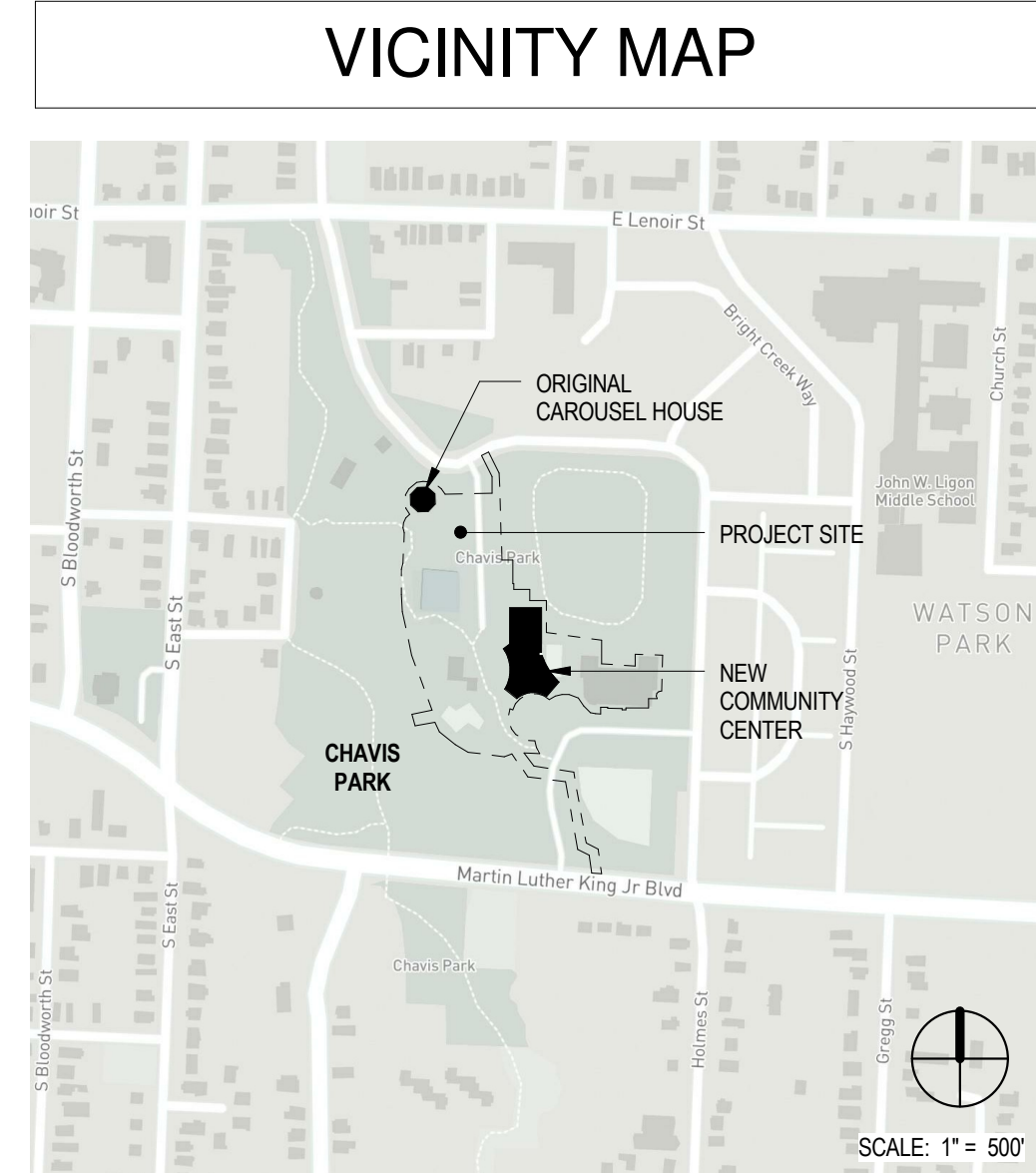
Administrative Site Review SR-15-18, Transaction #545506

CLEARSCAPES
ARCHITECTURE + ART
http://www.clearscapes.com/
311-200 W. Martin Street
Raleigh, North Carolina 27601
(919) 821-2775
(919) 821-0804 Fax
artarc@clearscapes.com



Sheet Number	Sheet Name	Sheet Number	Sheet Name
G000	COVER	L143	LAYOUT PLAN
G001	GENERAL NOTES	L151	GRADING PLAN
C001	EXISTING CONDITIONS	L152	GRADING PLAN
C100	DEMOLITION PLAN	L153	GRADING PLAN
C200	STORMWATER PLAN	L161	PLANTING PLAN
C300	UTILITY PLAN	L162	PLANTING PLAN
C500	DETAILS	L163	PLANTING PLAN
C501	DETAILS	L164	TCA WITH EROSION CONTROL OVERLAY
C502	DETAILS	L165	TCA PLAN
C503	DETAILS	L501	DETAILS
V101	EXISTING CONDITIONS	L502	DETAILS
V102	SITE/SITE CORRIDOR	L503	DETAILS
L101	REFERENCE PLAN	L504	DETAILS
L121	DEMOLITION PLAN	L505	DETAILS
L122	DEMOLITION PLAN	L506	DETAILS
L123	DEMOLITION PLAN	L507	DETAILS
L131	MATERIALS PLAN	A201	BUILDING ELEVATIONS
L132	MATERIALS PLAN	A202	BUILDING ELEVATIONS
L133	MATERIALS PLAN	A203	ORIGINAL CAROUSEL HOUSE - ELEV. + SECTIONS
L140	OVERALL LAYOUT PLAN	A414	ENCLOSURE PLANS AND DETAILS
L141	LAYOUT PLAN	A415	ENCLOSURE PLANS AND DETAILS
L142	LAYOUT PLAN	E002	ELECTRICAL SITE PLAN
		E003	ELECTRICAL SITE PHOTOMETRICS
		E004	LIGHTING CUT SHEETS

SITE BUILDINGS GROSS SQUARE FOOTAGE	
SITE EXISTING BUILDINGS:	25,189
SITE EXISTING BUILDINGS DEMOLISHED:	22,718
PROPOSED BUILDINGS:	41,601
EXISTING + PROPOSED TOTAL:	44,072



Administrative Site Review Application (for UDO Districts only)

Development Services Customer Service Center | Exchange Plaza, Suite 400 | Raleigh, NC 27601 | 919-996-2495 | efax 919-996-1831
Litchford Satellite Office | 8320 - 130 Litchford Road | Raleigh, NC 27601 | 919-996-4200

When submitting plans, please check the appropriate building type and include the Plan Checklist document.

BUILDING TYPE	FOR OFFICE USE ONLY
<input type="checkbox"/> Detached	<input type="checkbox"/> General
<input type="checkbox"/> Attached	<input type="checkbox"/> Mixed Use
<input type="checkbox"/> Apartment	<input type="checkbox"/> Open Lot
<input type="checkbox"/> Townhouse	Transaction Number
	Assigned Project Coordinator
	Assigned Team Leader

Has your project previously been through the Due Diligence or Sketch Plan Review process? If yes, provide the transaction #

GENERAL INFORMATION

Development Name: **JOHN CHAVIS MEMORIAL PARK PHASE I**

Zoning District: **R-10** Overlay District (if applicable): **N/A** Inside City Limits? Yes No

Proposed Use: **CIVIC - COMMUNITY CENTER, PARK PLAZA, PLAYGROUND**

Property Address(es): **505 MARTIN LUTHER KING JR. BLVD.** Major Street Locator:

Wake County Property Identification Number(s) for each parcel to which these guidelines will apply:

P.I.N. 1703953754	P.I.N. 1703958305	P.I.N.	P.I.N.
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What is your project type? Apartment Elderly Facilities Hospitals Hotels/Motels Office

Mixed Residential Non-Residential Condo School Shopping Center Banks Industrial Building

Duplex Telecommunication Tower Religious Institutions Residential Condo Retail Cottage Court

Other: if other, please describe: **COMMUNITY CENTER & PARK**

WORK SCOPE Per City Code Section 10.2.8.D.1, summarize the project work scope. For additions, changes of use, or occupancy (per Chapter 6 of the UDO), indicate impacts on parking requirements.
NEW COMMUNITY CENTER, NEW CENTRAL PLAZA WITH WATER PLAY FEATURES, RENOVATION AND EXPANSION OF EXISTING PLAYGROUND, RENOVATION OF EXISTING CAROUSEL HOUSE, ASSOCIATED SITE IMPROVEMENTS, AND DEMOLITION OF THE EXISTING COMMUNITY CENTER, POOL AND BATH HOUSE.

DESIGN ADJUSTMENT OR ADMIN ALTERNATE Per City Code Chapter 8, summarize if your project requires either a design adjustment, or Section 10 - Alternate Administrative AE.

CLIENT/DEVELOPER/OWNER

Company CITY OF RALEIGH - PROR	Name (s) LUKE WALLENBECK
Address 222 W. HARGETT ST., RALEIGH, NC 27601	
Phone 919.996.4796	Email LUKE.WALLENBECK@RALEIGHNC.GOV Fax 919.996.7061

CONSULTANT (Contact Person for Plans)

Company CLEARSCAPES	Name (s) EMILY MORGAN
Address 311-200 W. MARTIN ST., RALEIGH, NC 27601	
Phone 919.821.2775	Email EMORGAN@CLEARSCAPES.COM Fax 919.821.0804

PAGE 1 OF 3 WWW.RALEIGHNC.GOV REVISION 05.13.16

DEVELOPMENT TYPE & SITE DATA TABLE (Applicable to all developments)

Zoning Information	Building Information
Zoning District(s) R-10	Proposed building use(s) CIVIC
If more than one district, provide the acreage of each: N/A	Existing Building(s) sq. ft. gross 2,471
Overlay District N/A	Proposed Building(s) sq. ft. gross 41,601
Total Site Acres <input type="checkbox"/> Inside City Limits <input checked="" type="checkbox"/> Yes <input type="checkbox"/> No	Total sq. ft. gross (existing & proposed) 44,072
Off street parking: Required 110 Provided 174	Proposed height of building(s) 31'-10" (FROM AVG. GRADE)
COA (Certificate of Appropriateness) case #	# of stories 2
BOA (Board of Adjustment) case # A-	Ceiling height of 1 st Floor VARIES, 10'-0" MIN.
CUD (Conditional Use District) case # Z-	

Stormwater Information

Existing Impervious Surface 163,150 SF acres/square feet	Flood Hazard Area <input type="checkbox"/> Yes <input checked="" type="checkbox"/> No
Proposed Impervious Surface 132,620 SF acres/square feet	If Yes, please provide:
Neuse River Buffer <input checked="" type="checkbox"/> Yes <input type="checkbox"/> No	Alluvial Soils
Wetlands <input type="checkbox"/> Yes <input checked="" type="checkbox"/> No	FEMA Map Panel #
	Flood Study

FOR RESIDENTIAL DEVELOPMENTS

1. Total # of Apartment, Condominium or Residential Units	5. Bedroom Units: 1br 2br 3br 4br or more
2. Total # of Congregate Care Or Life Care Dwelling Units	6. Infill Development 2.2.7
3. Total Number of Hotel Units	7. Open Space (only) or Amenity
4. Overall Total # of Dwelling Units (1-6 Above)	8. Is your project a cottage court? <input type="checkbox"/> Yes <input type="checkbox"/> No

SIGNATURE BLOCK (Applicable to all developments)

In filing this plan as the property owner(s), I/we do hereby agree and firmly bind ourselves, my/our heirs, executors, administrators, successors and assigns jointly and severally to construct all improvements and make all dedications as shown on this proposed development plan as approved by the City.

I hereby designate Emily Morgan to serve as my agent regarding this application, to receive and respond to administrative comments, to submit plans on my behalf and to represent me in any public meeting regarding this application.

I/we have read, acknowledge and affirm that this project is conforming to all application requirements applicable with the proposed development use.

Signed Luke Wallenbeck Date 6/22/2018

Printed Name Luke Wallenbeck

Signed _____ Date _____

Printed Name _____

CONSULTANTS

Landscapes
Surface 678, PA
http://surface678.com/
215 Morris Street, Suite 150
Durham, North Carolina 27701
(919) 419-1199
(919) 419-1669 Fax

Structural
Lysaght and Associates
http://www.lysaghtassociates.com/
120 Saint Mary's Street
Raleigh, North Carolina 27605
919.833.0495
919.833.7630 Fax

MEP Engineer
Sigma Engineered Solutions
http://www.sigmas.com/
2100 Gateway Centre Blvd #100
Morrisville, North Carolina 27560
(919) 840-9300
(919) 840-9600 Fax

Civil Engineer
Calyx Engineers + Consultants
http://www.calyxengineers.com/
6750 Tryon Road
Cary, North Carolina 27518
(919) 836-4800
(919) 851-1918 Fax

SEALS

NOT FOR CONSTRUCTION

ADMINISTRATIVE SITE REVIEW
09.22.2017

PROJECT

John Chavis Memorial Park
505 Martin Luther King Jr Blvd
Raleigh, NC 27601

REVISIONS

No.	Description	Date
1	Administrative Site Review Comments 1	03.23.18
2	Administrative Site Review Comments 2	06.22.18
3	Administrative Site Review Comments 3	07.18.18

PROJECT DATA

DATE: 06.22.2017
DRAWN: EMGB
CHECKED: FB
PROJECT NO: 2014-0170
PRINTING: ADMINISTRATIVE SITE REVIEW

SHEET DATA

COVER

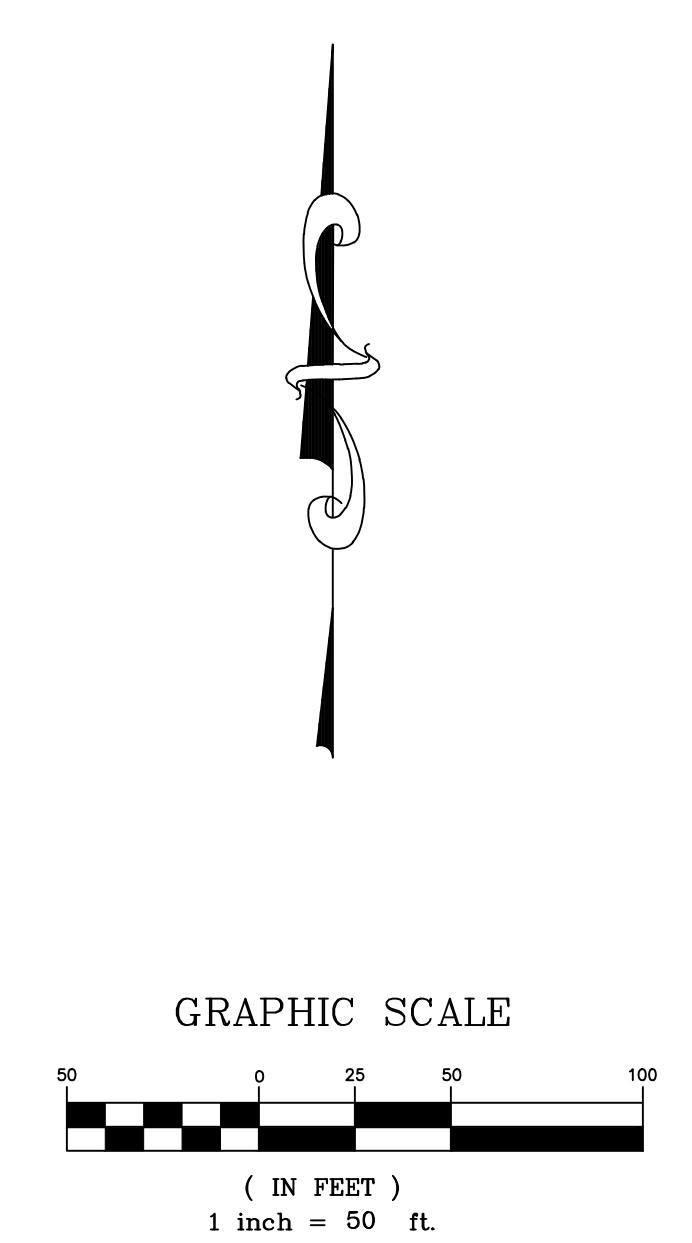
SHEET NO.

G000



LEGEND

⊗	WATER MANHOLE	BRK	BRICK
⊕	FIRE HYDRANT	CONC	CONCRETE
⊙	WATER VALVE	CP	CONCRETE PAD
⊖	WATER METER	CP	POWER METER
FDC	FIRE DEPARTMENT CONNECTION	⊕	POWER HAND HOLE
ICV	IRRIGATION CONTROL VALVE	⊕	POWER MANHOLE
BFP	BACK FLOW PREVENTER	●	POWER POLE
PIV	POST INDICATOR VALVE	⊕	LIGHT POLE
⊕	STORM DRAINAGE MANHOLE	⊕	TRAFFIC SIGNAL BOX
RCP	REINFORCED CONCRETE PIPE	⊕	TRANSFORMER
CB	CATCH BASIN	⊕	TELEPHONE MAHWHOLE
DI	DROP INLET	⊕	TELEPHONE PEDISTAL
CI	CURB INLET	⊕	TELEPHONE HANDHOLE
RCBC	REINFORCED CONCRETE BOX CULVERT	⊕	TELEVISION PEDISTAL
CMP	CORRUGATED METAL PIPE	⊕	GAS VALVE
WD	WOOD	⊕	SANITARY SEWER MANHOLE
MTL	METAL	⊕	SANITARY SEWER CLEANOUT
CONC S/W	CONCRETE SIDE WALK	COL	COLUMN
DIP	DUCTILE IRON PIPE	R/W	RIGHT OF WAY
PVC	POLYVINYL CHLORIDE PIPE	OEIP	EXISTING IRON PIPE
⊕	BOLLARD	OEIR	EXISTING IRON REBAR
C&G	CURB AND GUTTER	FFE	FINISHED FLOOR ELEVATION
ASP	ASPHALT	⊕	SIGN
—	HANDRAIL	L/A	LANDSCAPE AREA
—	GUARD RAIL	TCA	TREE CONSERVATION AREA
OHP	OVERHEAD POWER LINE	CLF	CHAIN LINK FENCE
EB	ELECTRIC BOX	—	BENCH
		—	TREE
		WE	WORKOUT EQUIPMENT



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Structural

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ADMIN SITE REVIEW
09.22.2017

J hn Chavi
Me rial Par
505 Martin Luther King Jr Blvd
Raleigh, NC 27601

REVISIONS

No.	Description	Date
1	Administrative Site Review Comments 1	03.23.18
2	Administrative Site Review Comments 2	06.22.18

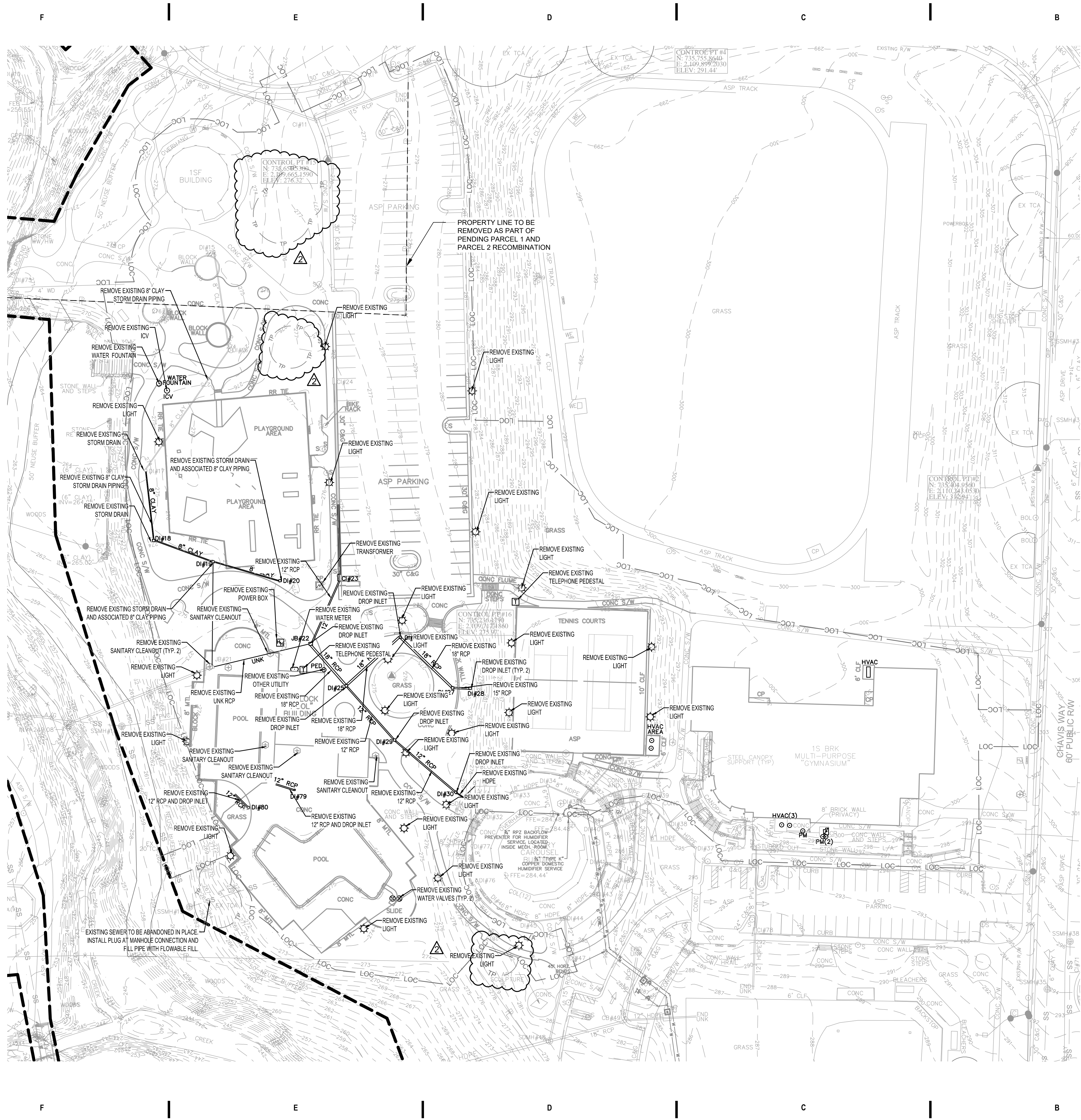
PROJECT DATA

DATE: 09/22/2017
DRAWN: BLW
CHECKED: JLP
PROJECT NO: 2014-0170
PRINTING: ADMIN SITE REVIEW

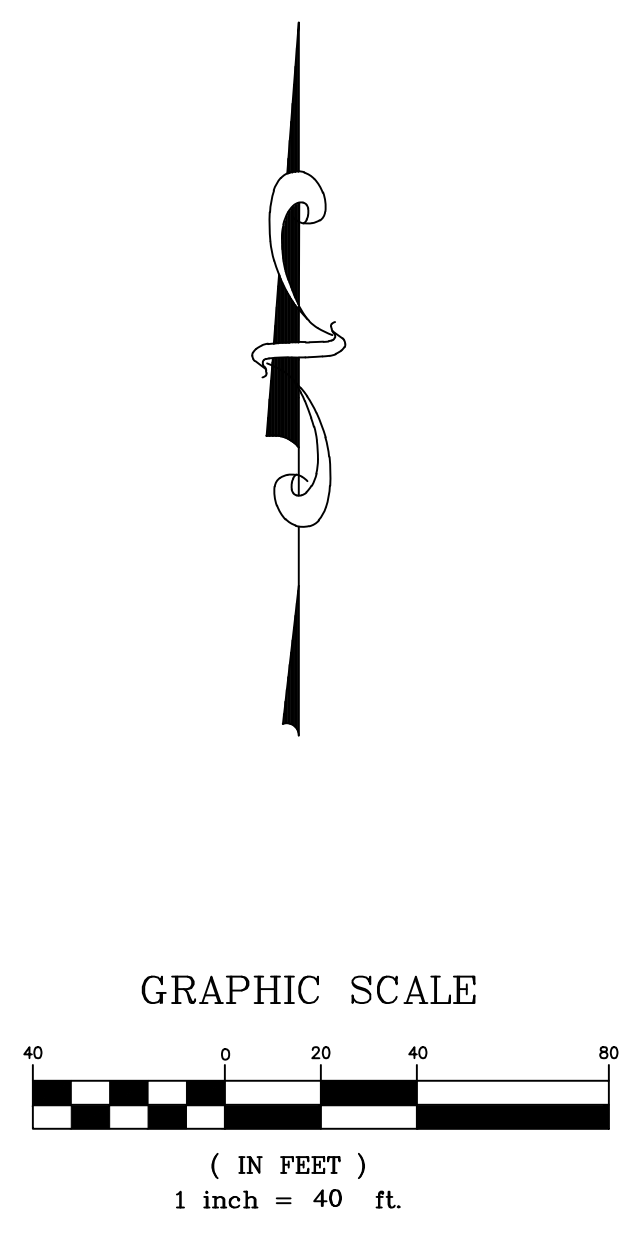
SHEET DATA

EXISTING
CONDITIONS

SHEET NO.
C001



NOTES:
 1. ALL EXISTING UTILITY MATERIALS TO BE ABANDONED PER CPRPUD STANDARDS. THE REUSE OF RELOCATED UTILITY MATERIALS IS PROHIBITED.



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ADMIN: SITE REVIEW
 09.22.2017

Jñ hn Chaviñ
Meñ ñ rial Parñ
 505 Martin Luther King, Jr Blvd
 Raleigh, NC 27601

REVISIONS

No.	Description	Date
1	Administrative Site Review Comments 1	03.23.18
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PROJECT DATA
 DATE: 09/22/2017
 DRAWN: BLW
 CHECKED: JLP
 PROJECT NO: 2014-0170
 PRINTING: ADMIN. SITE REVIEW

SHEET DATA
DEMO PLAN

SHEET NO.
C100

EXISTING CONDITIONS NOTES

1. LOCATION AND TOPOGRAPHICAL INFORMATION WAS TAKEN FROM AN ACTUAL FIELD SURVEY PERFORMED BY MULKEY ENGINEERS DATED 07-02-2015.
2. SURFACE 678-PA ASSUMES NO RESPONSIBILITY FOR DESIGN OR CONSTRUCTION CHANGES CAUSED BY INACCURACIES IN SURVEYS.



LEGEND

⊙	WATER MANHOLE	BRK	BRICK
⊕	FIRE HYDRANT	CONC	CONCRETE
⊖	WATER VALVE	CP	CONCRETE PAD
⊗	WATER METER	PM	POWER METER
⊕ FDC	FIRE DEPARTMENT CONNECTION	⊕ P	POWER HAND HOLE
⊖ ICV	IRRIGATION CONTROL VALVE	⊙	POWER MANHOLE
⊖ BFP	BACK FLOW PREVENTER	⊙	POWER POLE
⊖ PIV	POST INDICATOR VALVE	⊙	LIGHT POLE
⊖ SDMH	STORM DRAINAGE MANHOLE	⊙	TRAFFIC SIGNAL BOX
RCP	REINFORCED CONCRETE PIPE	⊙	TRANSFORMER
CB	CATCH BASIN	⊙	TELEPHONE MAHOLE
DI	DROP INLET	⊙	TELEPHONE PEDISTAL
CI	CURB INLET	⊙	TELEPHONE HANDHOLE
RCBC	REINFORCED CONCRETE BOX CULVERT	⊙	TELEVISION PEDISTAL
CMP	CORRUGATED METAL PIPE	⊙	GAS VALVE
WD	WOOD	⊙ SSMH	SANITARY SEWER MANHOLE
MTL	METAL	⊙	SANITARY SEWER CLEANOUT
CONC S/W	CONCRETE SIDE WALK	COL	COLUMN
DIP	DUCTILE IRON PIPE	R/W	RIGHT OF WAY
PVC	POLYVINYL CHLORIDE PIPE	OEIP	EXISTING IRON PIPE
OBOL	BOLLARD	OEIR	EXISTING IRON REBAR
C&G	CURB AND GUTTER	FFE	FINISHED FLOOR ELEVATION
ASP	ASPHALT	OS	SIGN
	HANDRAIL	L/A	LANDSCAPE AREA
	GUARD RAIL	TCA	TREE CONSERVATION AREA
OHP	OVERHEAD POWER LINE	CLF	CHAIN LINK FENCE
EB	ELECTRIC BOX	WE	BENCH
			TREE
			WORKOUT EQUIPMENT

SUE LEGEND

—	UNDERGROUND WATERLINE
—	UNDERGROUND WATERLINE
—	UNDERGROUND ELECTRIC LINE
—	UNDERGROUND TELEPHONE LINE
—	UNDERGROUND FIBEROPTIC LINE
—	UNDERGROUND UNKNOWN LINE
DR	DROP
EOI	UNDERGROUND UNKNOWN LINE
DATUR	DRAWN ACCORDING TO RECORD

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NOT FOR CONSTRUCTION

SITE PLAN S/ BMITTAL
09/22/2017

Jh Chavi
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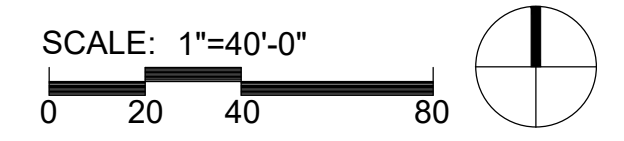
REVISIONS

No.	Description	Date
1	ADMINISTRATIVE SITE REVIEW COMMENTS	03.23.18
2	ADMINISTRATIVE SITE REVIEW COMMENTS	06.22.18
3	ADMINISTRATIVE SITE REVIEW COMMENTS	07.18.18

PROJECT DATA
DATE: 9/22/2017
DRAWN: RW, LC
CHECKED: ED
PROJECT NO: 2014-0170
PRINTING: SITE PLAN SUBMITTAL

EXISTING CONDITIONS

SHEET NO
V101



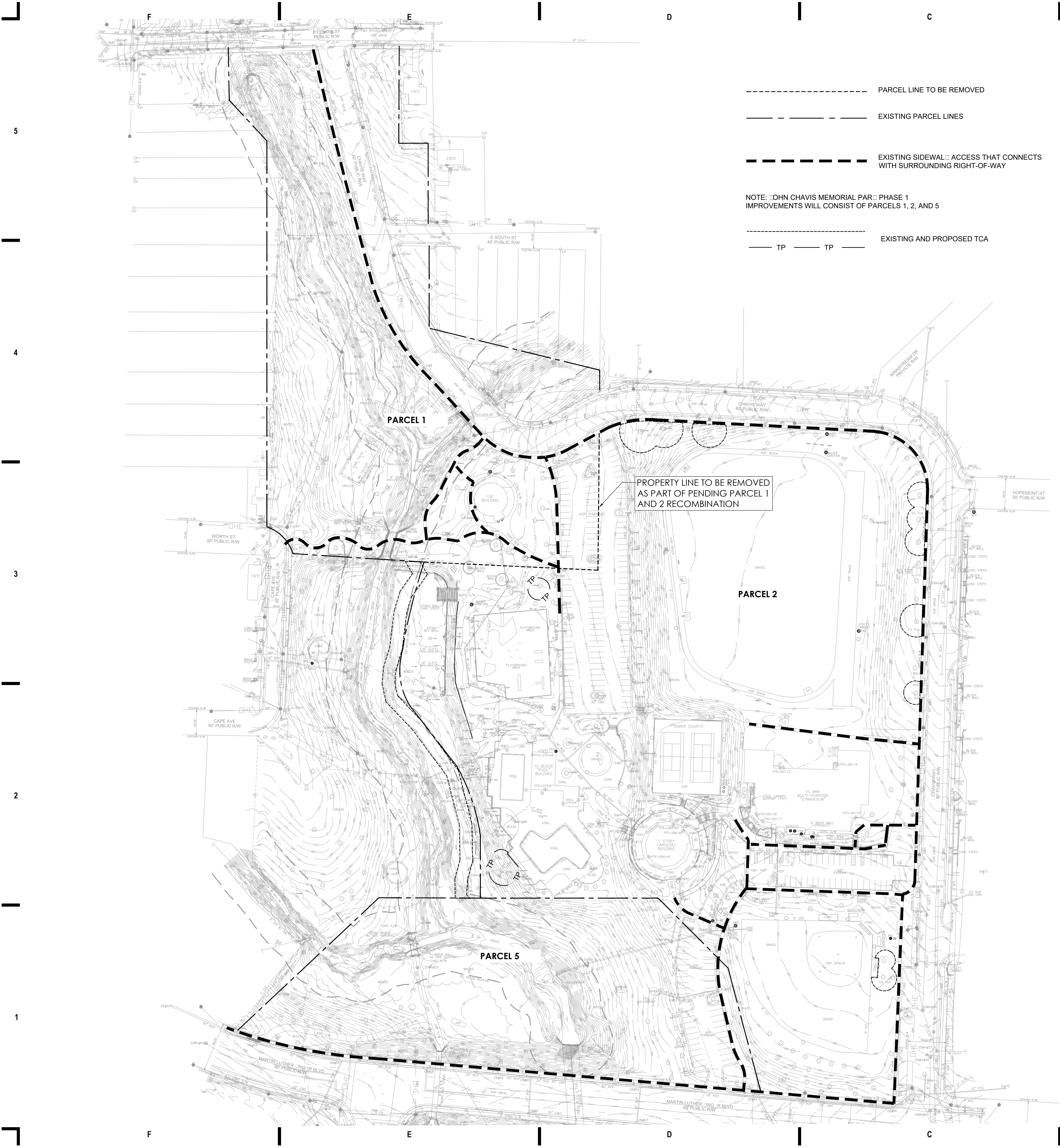
REVISIONS

No.	Description	Date
1	ADMINISTRATIVE SITE REVIEW COMMENTS	03.23.18
2	ADMINISTRATIVE SITE REVIEW COMMENTS	06.22.18
3	ADMINISTRATIVE SITE REVIEW COMMENTS	07.18.18

PROJECT DATA
DATE: 9/22/2017
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PROJECT NO: 2014-0170
PRINTING: SITE PLAN SUBMITTAL

SHEET DATA
SITE/SITE CORRIDOR

SHEET NO
V102



--- PARCEL LINE TO BE REMOVED
- - - EXISTING PARCEL LINES
- - - EXISTING SIDEWALK ACCESS THAT CONNECTS WITH SURROUNDING RIGHT-OF-WAY
NOTE: JOHN CHAVIS MEMORIAL PARK PHASE 1 IMPROVEMENTS WILL CONSIST OF PARCELS 1, 2, AND 5
--- TP --- TP --- EXISTING AND PROPOSED TCA

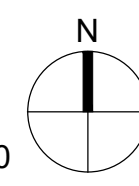
LEGEND

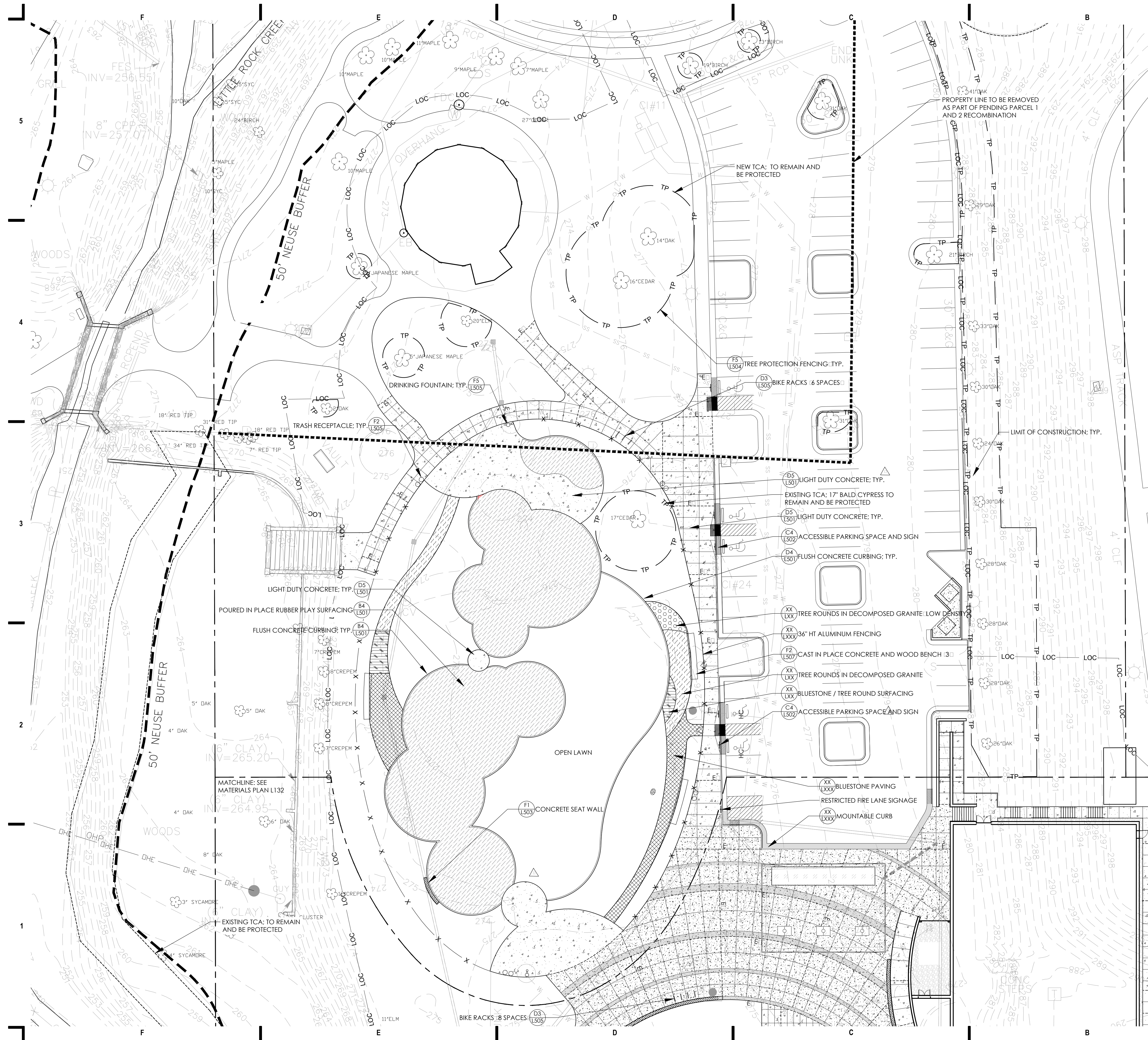
⊗	WATER MANHOLE	BRK	BRICK
⊕	FIRE HYDRANT	CONC	CONCRETE
⊗	WATER VALVE	CP	CONCRETE PAD
⊗	WATER METER	PM	POWER METER
⊗ FDC	FIRE DEPARTMENT CONNECTION	HP	POWER HAND HOLE
⊗ ICV	IRRIGATION CONTROL VALVE	⊕	POWER MANHOLE
⊗ BFP	BACK FLOW PREVENTER	⊙	POWER POLE
⊗ PIV	POST INDICATOR VALVE	⊙	LIGHT POLE
⊗ SDMH	STORM DRAINAGE MANHOLE	⊙	TRAFFIC SIGNAL BOX
RCP	REINFORCED CONCRETE PIPE	⊙	TRANSFORMER
CB	CATCH BASIN	⊙	TELEPHONE MANHOLE
DI	DROP INLET	⊙	TELEPHONE PEDISTAL
CI	CURB INLET	⊙	TELEPHONE HANDHOLE
RCBC	REINFORCED CONCRETE BOX CULVERT	⊙	TELEVISION PEDISTAL
CMP	CORRUGATED METAL PIPE	⊙	GAS VALVE
WD	WOOD	⊙ SSMH	SANITARY SEWER MANHOLE
MTL	METAL	⊙	SANITARY SEWER CLEANOUT
CONC S/W	CONCRETE SIDE WALK	COL	COLUMN
DIP	DUCTILE IRON PIPE	R/W	RIGHT OF WAY
PVC	POLYVINYL CHLORIDE PIPE	OEIP	EXISTING IRON PIPE
⊙ BOL	BOLLARD	OEIR	EXISTING IRON REBAR
C&G	CURB AND GUTTER	FFE	FINISHED FLOOR ELEVATION
ASP	ASPHALT	⊙ S	SIGN
OHP	OVERHEAD POWER LINE	L/A	LANDSCAPE AREA
EB	ELECTRIC BOX	TCA	TREE CONSERVATION AREA
		CLF	CHAIN LINK FENCE
		BEN	BENCH
		TR	TREE
		WE	WORKOUT EQUIPMENT

SUE LEGEND

---	UNDERGROUND WATERLINE
---	UNDERGROUND WATERLINE
---	UNDERGROUND ELECTRIC LINE
---	UNDERGROUND TELEPHONE LINE
---	UNDERGROUND FIBEROPTIC LINE
---	UNDERGROUND UNKNOWN LINE
DR	DROP
EOI	UNDERGROUND UNKNOWN LINE
DATUR	DRAWN ACCORDING TO RECORD

SCALE: 1"=40'-0"
0 40 80 160





MATERIALS LEGEND		
	LIGHT DUTY CONCRETE; NATURAL COLOR	(D5 L501)
	HEAVY DUTY CONCRETE; NATURAL COLOR	(F5 L501)
	LIGHT DUTY INTEGRAL COLORED CONCRETE;	(F1 L501)
	HEAVY DUTY INTEGRAL COLORED CONCRETE;	(F1 L501)
	HEAVY DUTY ASPHALT PAVING	(C5 L501)
	LIGHT DUTY ASPHALT PAVING	(B5 L501)
	BLUESTONE PAVING; SAND SWEEP JOINTS; ADA COMPLIANT	(XX L50X)
	BLUESTONE TREE ROUND STEPPING PADS INTERSPERSED IN DECOMPOSED GRANITE	(XX L50X)
	TREE ROUND STEPPING PADS IN DECOMPOSED GRANITE; HIGH DENSITY	(XX L501)
	TREE ROUND STEPPING PADS IN DECOMPOSED GRANITE; LOW DENSITY	(XX L50X)
	C.I.P. CONCRETE WALL WITH INTEGRAL COLOR	(D1 L503) (F2 L503)
	ORNAMENTAL FENCING @ PLAYGROUND	(XX L50X)
	SAWCUT CONTROL JOINT	(D2 L501)
	EXPANSION JOINT	(D2 L501)
	TREE PROTECTION FENCING	(F5 L504)
	LIMIT OF CONSTRUCTION	
	BROWN AND TAN ROUNDED RIVER ROCK: 4"-6"	(B3 L501)
	BICYCLE RACKS PER UDO 7.1.8.B PARTS 1 & 2	(D3 L505)
	TRASH RECEPTACLE	(F2 L505)
	PROPOSED LIGHT FIXTURE; REFER TO MEP PLANS	

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SITE PLAN SUBMITTAL
09.22.2017

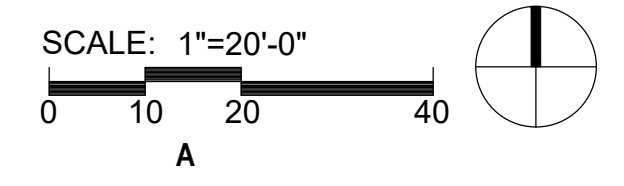
John Chavio
Material Partner
505 Martin Luther King Jr Blvd
Raleigh, NC 27601

REVISIONS		
No.	Description	Date
1	ADMINISTRATIVE SITE REVIEW	03.23.18
2	ADMINISTRATIVE SITE REVIEW	06.22.18
3	ADMINISTRATIVE SITE REVIEW	07.18.18

PROJECT DATA
DATE: 9/22/2017
DRAWN: RW, LC
CHECKED: ED
PROJECT NO: 2014-0170
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MATERIALS PLAN

SHEET NO.
L131



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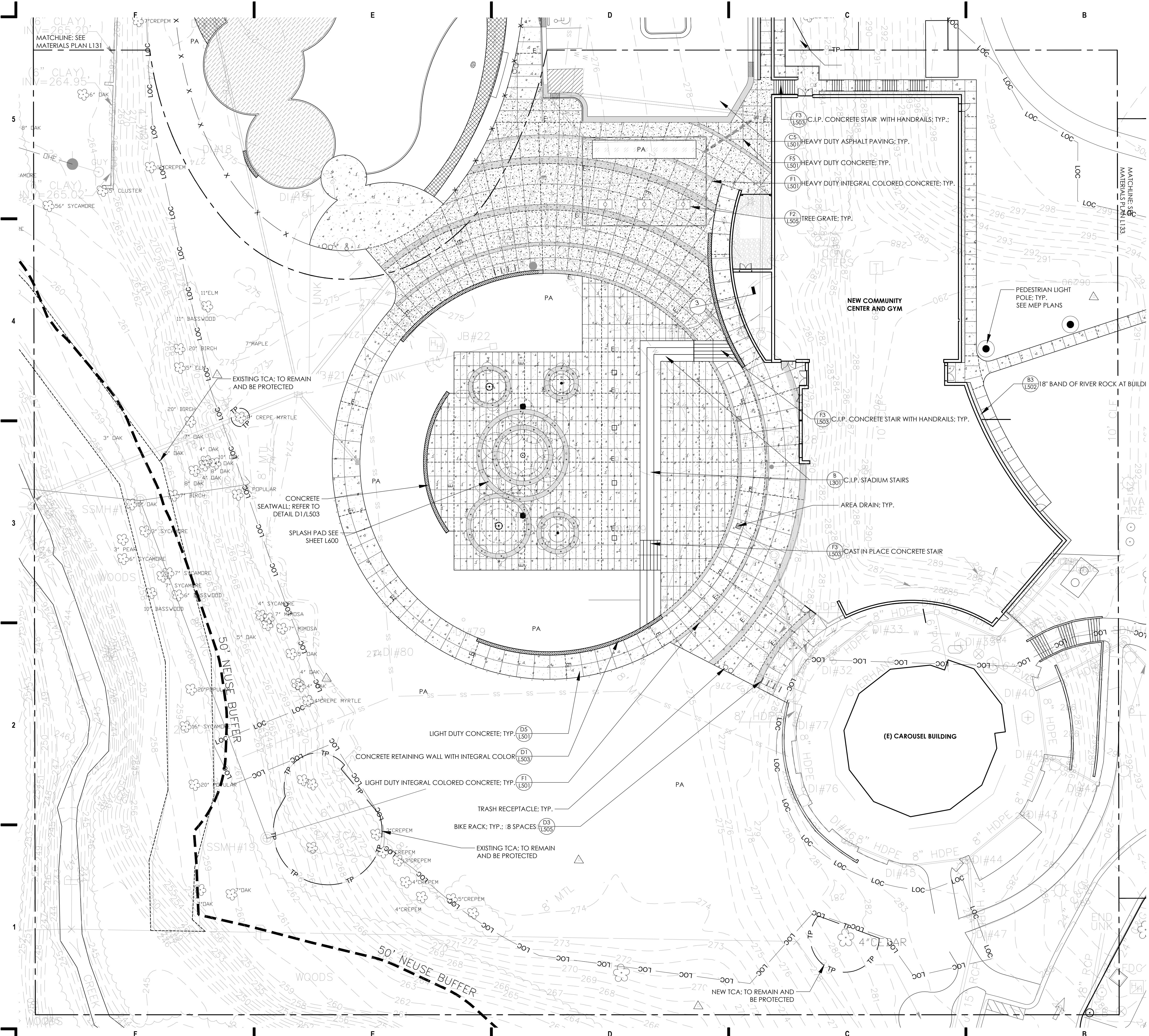
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MATERIALS LEGEND		
[Pattern]	LIGHT DUTY CONCRETE; NATURAL COLOR ROCKSALT □ LIGHT SANDBLAST FINISH	(DS) (L501)
[Pattern]	HEAVY DUTY CONCRETE; NATURAL COLOR ROCKSALT □ LIGHT SANDBLAST FINISH	(FS) (L501)
[Pattern]	LIGHT DUTY INTEGRAL COLORED CONCRETE; CHARCOAL; ROCKSALT □ MEDIUM SANDBLAST FINISH; COLOR □2	(F1) (L501)
[Pattern]	HEAVY DUTY INTEGRAL COLORED CONCRETE; CHARCOAL; ROCKSALT □ MEDIUM SANDBLAST FINISH; COLOR □2	(F1) (L501)
[Pattern]	HEAVY DUTY ASPHALT PAVING	(CS) (L501)
[Pattern]	LIGHT DUTY ASPHALT PAVING	(BS) (L501)
[Pattern]	BLUESTONE PAVING; SAND SWEEP COINTS; ADA COMPLIANT	(XX) (L501)
[Pattern]	BLUESTONE □ TREE ROUND STEPPING PADS INTERSPERSED IN DECOMPOSED GRANITE	
[Pattern]	TREE ROUND STEPPING PADS IN DECOMPOSED GRANITE; HIGH DENSITY	
[Pattern]	TREE ROUND STEPPING PADS IN DECOMPOSED GRANITE; LOW DENSITY	
[Pattern]	C.I.P. CONCRETE WALL WITH INTEGRAL COLOR □1	(D1) (F2) (L503) (L503)
[Pattern]	ORNAMENTAL FENCING @ PLAYGROUND	
[Pattern]	SAWCUT CONTROL COINT	
[Pattern]	EXPANSION COINT	(D2) (L501)
[Pattern]	TREE PROTECTION FENCING	(F5) (L504)
[Pattern]	LIMIT OF CONSTRUCTION	
[Pattern]	BROWN AND TAN ROUNDED RIVER ROCK; 4"-6"	(B3) (L501)
[Pattern]	BICYCLE RACKS PER UDO 7.1.8.B (PARTS 1 □2)	(D3) (L505)
[Pattern]	TRASH RECEPTACLE	(F2) (L505)
[Pattern]	PROPOSED LIGHT FIXTURE; REFER TO MEP PLANS	

NOT FOR CONSTRUCTION

SITE PLAN S: BMITL
09/22/2017

PROJECT

Jñ hn Chavi
Meñ rial Parñ
505 Martin Luther King Jr Blvd
Raleigh, NC 27601

REVISIONS

No.	Description	Date
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3	ADMINISTRATIVE SITE REVIEW	07.18.18

PROJECT DATA

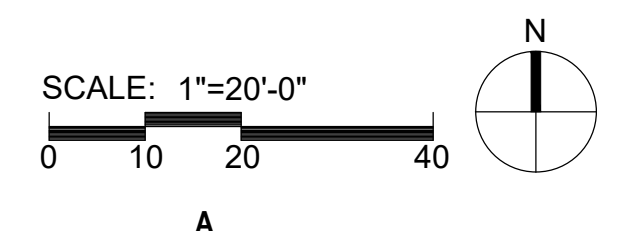
DATE: 9/22/2017
DRAWN: RW, LC
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PROJECT NO: 2014-0170
PRINTING: SITE PLAN SUBMITTAL

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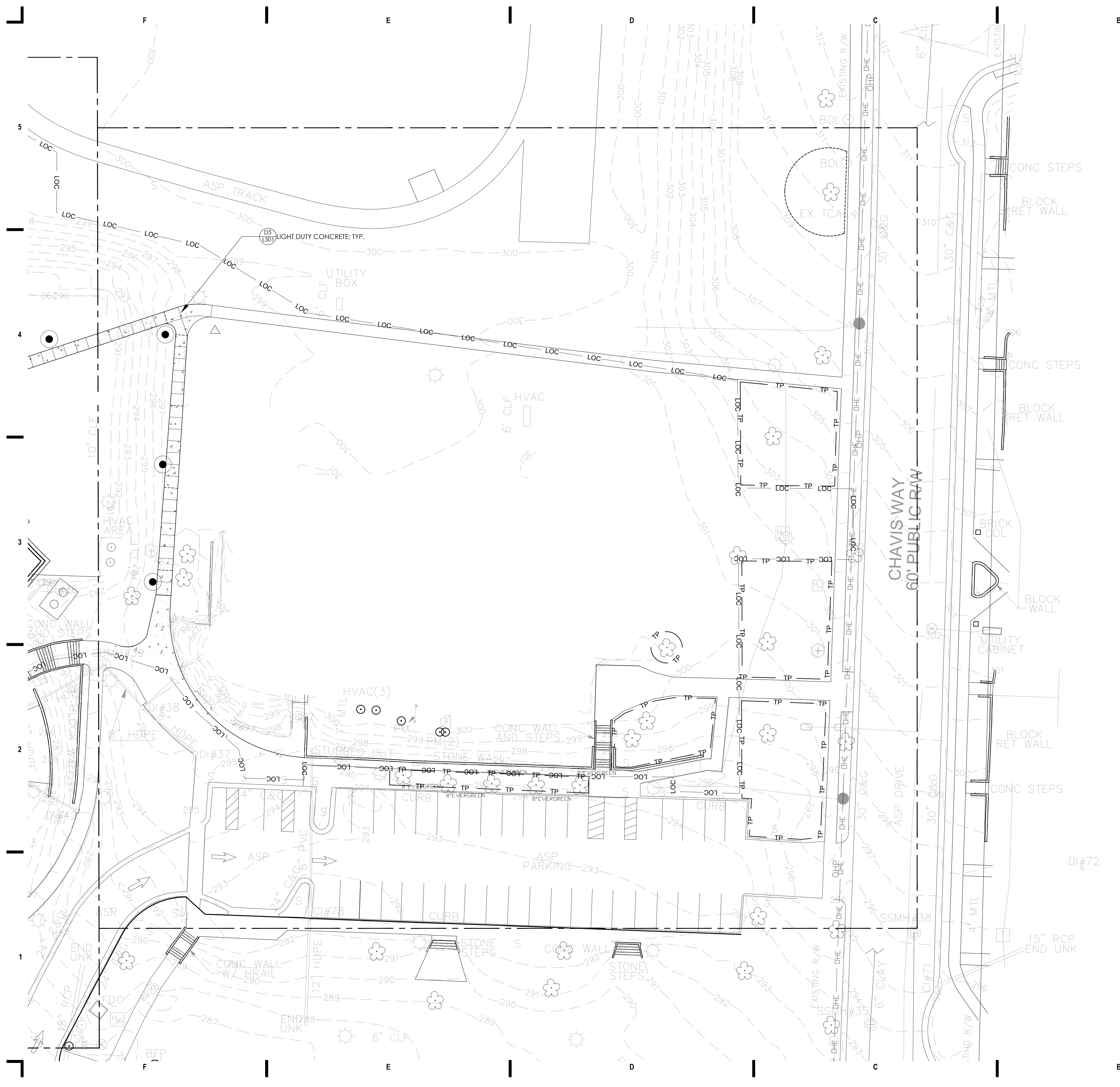
MATERIALS PLAN

SHEET NO.

L132



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MATERIALS LEGEND		
	LIGHT DUTY CONCRETE: NATURAL COLOR ROCKSALT LIGHT SANDBLAST FINISH	DS (L501)
	HEAVY DUTY CONCRETE: NATURAL COLOR ROCKSALT LIGHT SANDBLAST FINISH	FS (L501)
	LIGHT DUTY INTEGRAL COLORED CONCRETE: CHARCOAL: ROCKSALT MEDIUM CONCRETE: SANDBLAST FINISH: COLOR 2	FI (L501)
	HEAVY DUTY INTEGRAL COLORED CONCRETE: CHARCOAL: ROCKSALT MEDIUM CONCRETE: SANDBLAST FINISH: COLOR 2	FI (L501)
	HEAVY DUTY ASPHALT PAVING	CS (L501)
	LIGHT DUTY ASPHALT PAVING	BS (L501)
	BLUESTONE PAVING: SAND SWEEP JOINTS: ADA COMPLIANT	XX (L501)
	BLUESTONE TREE ROUND STEPPING PADS INTERSPERSED IN DECOMPOSED GRANITE	
	TREE ROUND STEPPING PADS IN DECOMPOSED GRANITE: HIGH DENSITY	
	TREE ROUND STEPPING PADS IN DECOMPOSED GRANITE: LOW DENSITY	
	C.I.P. CONCRETE WALL WITH INTEGRAL COLOR 1	D1 (L503) F2 (L503)
	ORNAMENTAL FENCING @ PLAYGROUND	
	SAWCUT CONTROL JOINT	D2 (L501)
	EXPANSION JOINT	D2 (L501)
	TREE PROTECTION FENCING	F5 (L504)
	LIMIT OF CONSTRUCTION	
	BROWN AND TAN ROUNDED RIVER ROCK: 4'-6"	B3 (L501)
	BICYCLE RACKS PER UDO 7.1.8.8 PARTS 1 & 2	D3 (L505)
	TRASH RECEPTACLE	F2 (L505)
	PROPOSED LIGHT FIXTURE: REFER TO MEP PLANS	

NOT FOR CONSTRUCTION

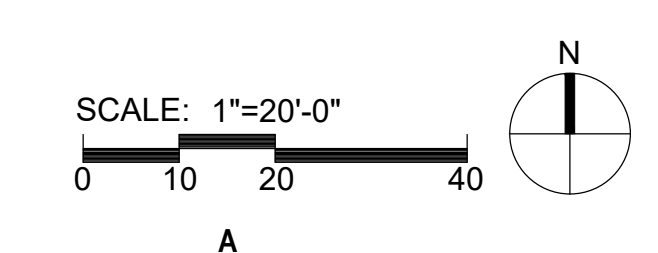
SITE PLAN S: BMITTAL
09.22.2017
PROJECT
John Chavis Memorial Park
505 Martin Luther King Jr Blvd
Raleigh, NC 27601

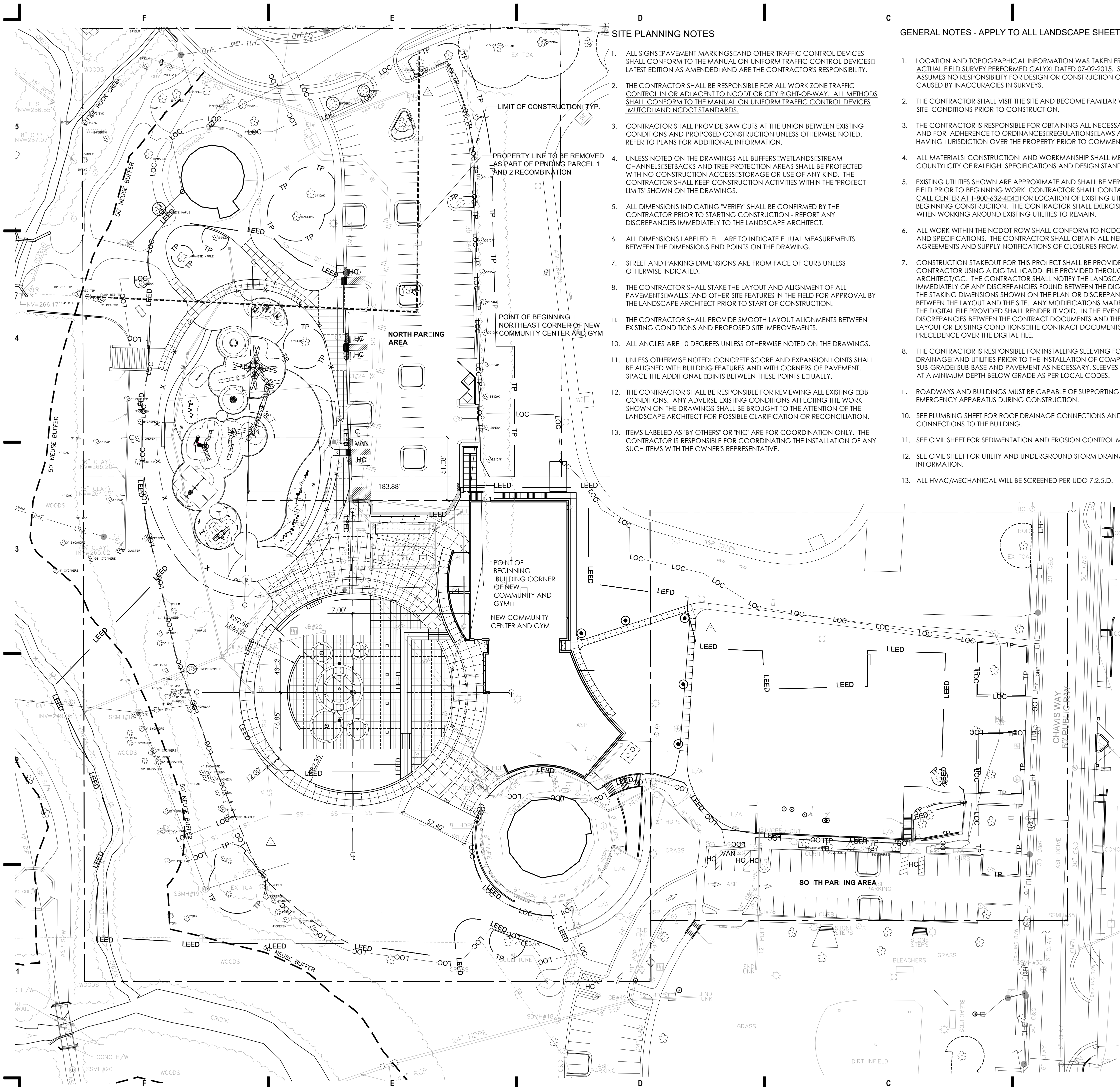
REVISIONS		
No.	Description	Date
1	ADMINISTRATIVE SITE REVIEW COMMENTS 1	03.23.18
2	ADMINISTRATIVE SITE REVIEW COMMENTS 2	06.22.18
3	ADMINISTRATIVE SITE REVIEW COMMENTS 3	07.18.18

PROJECT DATA
DATE: 9/22/2017
DRAWN: RW, LC
CHECKED: ED
PROJECT NO: 2014-0170
PRINTING: SITE PLAN SUBMITTAL

MATERIALS PLAN

L133





SITE PLANNING NOTES

- ALL SIGNS, PAVEMENT MARKINGS, AND OTHER TRAFFIC CONTROL DEVICES SHALL CONFORM TO THE MANUAL ON UNIFORM TRAFFIC CONTROL DEVICES LATEST EDITION AS AMENDED AND ARE THE CONTRACTOR'S RESPONSIBILITY.
- THE CONTRACTOR SHALL BE RESPONSIBLE FOR ALL WORK ZONE TRAFFIC CONTROL IN OR ADJACENT TO NCDOT OR CITY RIGHT-OF-WAY. ALL METHODS SHALL CONFORM TO THE MANUAL ON UNIFORM TRAFFIC CONTROL DEVICES (MUTCD) AND NCDOT STANDARDS.
- CONTRACTOR SHALL PROVIDE SAW CUTS AT THE UNION BETWEEN EXISTING CONDITIONS AND PROPOSED CONSTRUCTION UNLESS OTHERWISE NOTED. REFER TO PLANS FOR ADDITIONAL INFORMATION.
- UNLESS NOTED ON THE DRAWINGS, ALL BUFFERS, WETLANDS, STREAM CHANNELS, SETBACKS AND TREE PROTECTION AREAS SHALL BE PROTECTED WITH NO CONSTRUCTION ACCESS, STORAGE OR USE OF ANY KIND. THE CONTRACTOR SHALL KEEP CONSTRUCTION ACTIVITIES WITHIN THE 'PROJECT LIMITS' SHOWN ON THE DRAWINGS.
- ALL DIMENSIONS INDICATING 'VERIFY' SHALL BE CONFIRMED BY THE CONTRACTOR PRIOR TO STARTING CONSTRUCTION - REPORT ANY DISCREPANCIES IMMEDIATELY TO THE LANDSCAPE ARCHITECT.
- ALL DIMENSIONS LABELED 'E=1' ARE TO INDICATE EQUAL MEASUREMENTS BETWEEN THE DIMENSIONS END POINTS ON THE DRAWING.
- STREET AND PARKING DIMENSIONS ARE FROM FACE OF CURB UNLESS OTHERWISE INDICATED.
- THE CONTRACTOR SHALL STAKE THE LAYOUT AND ALIGNMENT OF ALL PAVEMENTS, WALLS, AND OTHER SITE FEATURES IN THE FIELD FOR APPROVAL BY THE LANDSCAPE ARCHITECT PRIOR TO START OF CONSTRUCTION.
- THE CONTRACTOR SHALL PROVIDE SMOOTH LAYOUT ALIGNMENTS BETWEEN EXISTING CONDITIONS AND PROPOSED SITE IMPROVEMENTS.
- ALL ANGLES ARE 90 DEGREES UNLESS OTHERWISE NOTED ON THE DRAWINGS.
- UNLESS OTHERWISE NOTED, CONCRETE SCORE AND EXPANSION JOINTS SHALL BE ALIGNED WITH BUILDING FEATURES AND WITH CORNERS OF PAVEMENT. SPACE THE ADDITIONAL JOINTS BETWEEN THESE POINTS EQUALLY.
- THE CONTRACTOR SHALL BE RESPONSIBLE FOR REVIEWING ALL EXISTING JOB CONDITIONS. ANY ADVERSE EXISTING CONDITIONS AFFECTING THE WORK SHOWN ON THE DRAWINGS SHALL BE BROUGHT TO THE ATTENTION OF THE LANDSCAPE ARCHITECT FOR POSSIBLE CLARIFICATION OR RECONCILIATION.
- ITEMS LABELED AS 'BY OTHERS' OR 'NIC' ARE FOR COORDINATION ONLY. THE CONTRACTOR IS RESPONSIBLE FOR COORDINATING THE INSTALLATION OF ANY SUCH ITEMS WITH THE OWNER'S REPRESENTATIVE.

GENERAL NOTES - APPLY TO ALL LANDSCAPE SHEETS

- LOCATION AND TOPOGRAPHICAL INFORMATION WAS TAKEN FROM AN ACTUAL FIELD SURVEY PERFORMED CALYX DATED 07-02-2015. SURFACE 678 ASSUMES NO RESPONSIBILITY FOR DESIGN OR CONSTRUCTION CHANGES CAUSED BY INACCURACIES IN SURVEYS.
- THE CONTRACTOR SHALL VISIT THE SITE AND BECOME FAMILIAR WITH EXISTING SITE CONDITIONS PRIOR TO CONSTRUCTION.
- THE CONTRACTOR IS RESPONSIBLE FOR OBTAINING ALL NECESSARY PERMITS AND FOR ADHERENCE TO ORDINANCES, REGULATIONS, LAWS AND CODES HAVING JURISDICTION OVER THE PROPERTY PRIOR TO COMMENCING WORK.
- ALL MATERIALS, CONSTRUCTION, AND WORKMANSHIP SHALL MEET THE WAKE COUNTY, CITY OF RALEIGH SPECIFICATIONS AND DESIGN STANDARDS.
- EXISTING UTILITIES SHOWN ARE APPROXIMATE AND SHALL BE VERIFIED IN THE FIELD PRIOR TO BEGINNING WORK. CONTRACTOR SHALL CONTACT N.C. ONE CALL CENTER AT 1-800-632-4141 FOR LOCATION OF EXISTING UTILITIES PRIOR TO BEGINNING CONSTRUCTION. THE CONTRACTOR SHALL EXERCISE CAUTION WHEN WORKING AROUND EXISTING UTILITIES TO REMAIN.
- ALL WORK WITHIN THE NCDOT ROW SHALL CONFORM TO NCDOT STANDARDS AND SPECIFICATIONS. THE CONTRACTOR SHALL OBTAIN ALL NEEDED PERMITS, AGREEMENTS AND SUPPLY NOTIFICATIONS OF CLOSURES FROM THE NCDOT.
- CONSTRUCTION STAKEOUT FOR THIS PROJECT SHALL BE PROVIDED BY THE CONTRACTOR USING A DIGITAL CADD FILE PROVIDED THROUGH THE ARCHITECT/GC. THE CONTRACTOR SHALL NOTIFY THE LANDSCAPE ARCHITECT IMMEDIATELY OF ANY DISCREPANCIES FOUND BETWEEN THE DIGITAL FILE AND THE STAKING DIMENSIONS SHOWN ON THE PLAN OR DISCREPANCIES FOUND BETWEEN THE LAYOUT AND THE SITE. ANY MODIFICATIONS MADE BY OTHERS TO THE DIGITAL FILE PROVIDED SHALL RENDER IT VOID. IN THE EVENT OF DISCREPANCIES BETWEEN THE CONTRACT DOCUMENTS AND THE DESIGN LAYOUT OR EXISTING CONDITIONS, THE CONTRACT DOCUMENTS TAKE PRECEDENCE OVER THE DIGITAL FILE.
- THE CONTRACTOR IS RESPONSIBLE FOR INSTALLING SLEEVING FOR ELECTRIC DRAINAGE AND UTILITIES PRIOR TO THE INSTALLATION OF COMPACTED SUB-GRADE, SUB-BASE AND PAVEMENT AS NECESSARY. SLEEVES TO BE INSTALLED AT A MINIMUM DEPTH BELOW GRADE AS PER LOCAL CODES.
- ROADWAYS AND BUILDINGS MUST BE CAPABLE OF SUPPORTING FIRE AND EMERGENCY APPARATUS DURING CONSTRUCTION.
- SEE PLUMBING SHEET FOR ROOF DRAINAGE CONNECTIONS AND OTHER UTILITY CONNECTIONS TO THE BUILDING.
- SEE CIVIL SHEET FOR SEDIMENTATION AND EROSION CONTROL MEASURES.
- SEE CIVIL SHEET FOR UTILITY AND UNDERGROUND STORM DRAINAGE INFORMATION.
- ALL HVAC/MECHANICAL WILL BE SCREENED PER UDO 7.2.5.D.

PARKING SUMMARY

REQUIRED VEHICULAR PARKING (EXISTING)

CAROUSAL HOUSE	02,471
EXISTING COMMUNITY CENTER	11,500
EXISTING POOLHOUSE	03,200
TOTAL GSF (1:400GSF REQUIRED FOR CIVIC):	25,171

663 SPACES REQUIRED (NONE REQUIRED FOR PARKS PER 7.1.2)

REQUIRED VEHICULAR PARKING (PROPOSED)

CAROUSAL HOUSE	02,471
COMMUNITY CENTER	41,601
TOTAL GSF (1:400GSF REQUIRED FOR CIVIC):	44,072

110 SPACES REQUIRED (NONE REQUIRED FOR PARKS PER 7.1.2)

PROVIDED VEHICULAR PARKING

EXISTING NORTH PARKING	080
EXISTING SOUTH PARKING	086

166 SPACES PROVIDED

ADA PARKING SUMMARY NEW CENTER COMMUNITY AND GYM

TOTAL OCCUPANTS: 1,316
 TOTAL GROSS FLOOR AREA: 34,302 SF
 TOTAL PARKING REQUIRED (1 SPACE PER 300 SF GROSS FL AREA): 114 SPACES

	REQUIRED	PROVIDED
ADA CAR PARKING SPACES	6 SPACES	11 SPACES
ADA VAN PARKING SPACES	1 SPACES	2 SPACES
TOTAL ADA PARKING SPACES	7 SPACES	11 SPACES

REQUIRED SHORT TERM BICYCLE PARKING (EXISTING)

CAROUSAL HOUSE	02,471
EXISTING COMMUNITY CENTER	11,500
EXISTING POOLHOUSE	03,200
TOTAL GSF (1:5000GSF REQUIRED FOR CIVIC):	25,171

6 BICYCLE SPACES REQUIRED

OPEN SPACE	25 ACRES (0.2 SPACES PER ACRES)
------------	---------------------------------

5 BICYCLE SPACES REQUIRED BICYCLE PARKING PER UDO 7.1.8.B (PART 1)

TOTAL SHORT TERM BICYCLE SPACES REQUIRED: 11

REQUIRED SHORT TERM BICYCLE PARKING (PROPOSED)

CAROUSAL HOUSE	02,471
COMMUNITY CENTER	41,423
TOTAL GSF (1:5000GSF REQUIRED FOR CIVIC):	43,423

11 BICYCLE SPACES REQUIRED

OPEN SPACE	25 ACRES (0.2 SPACES PER ACRES)
------------	---------------------------------

5 BICYCLE SPACES REQUIRED

TOTAL SHORT TERM BICYCLE SPACES REQUIRED: 14

PROVIDED SHORT TERM BICYCLE PARKING

NORTH PLAYGROUND ENTRANCE	6
SOUTH PLAYGROUND ENTRANCE	8
CAROUSEL	8

TOTAL SHORT TERM BICYCLE SPACES PROVIDED: 22

NOT FOR CONSTRUCTION

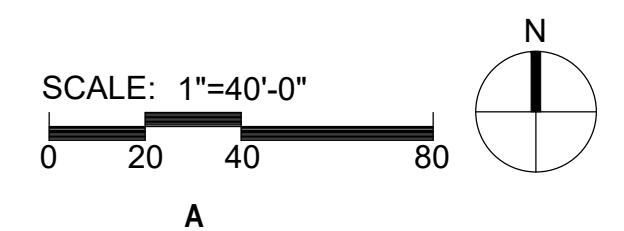
REVISIONS

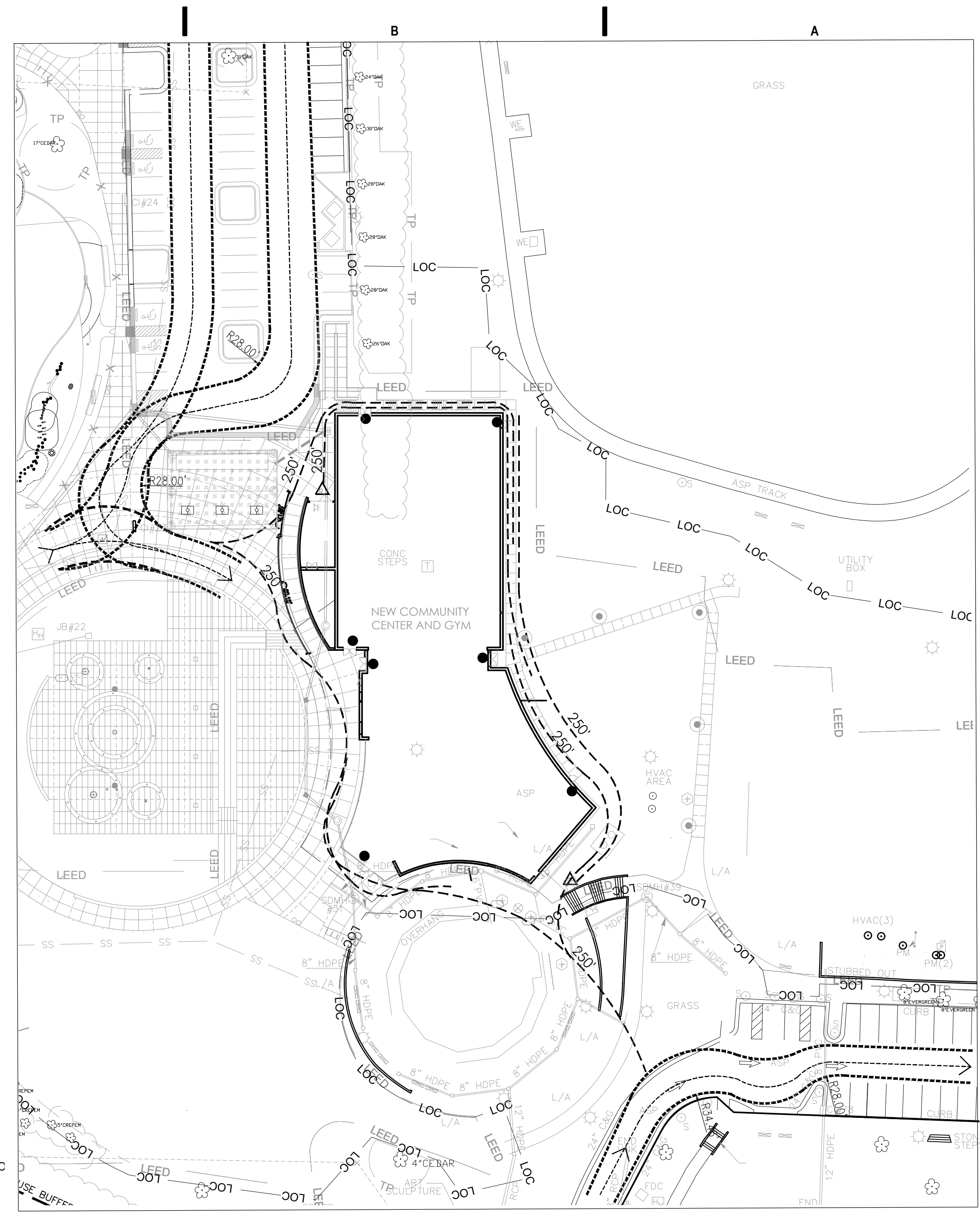
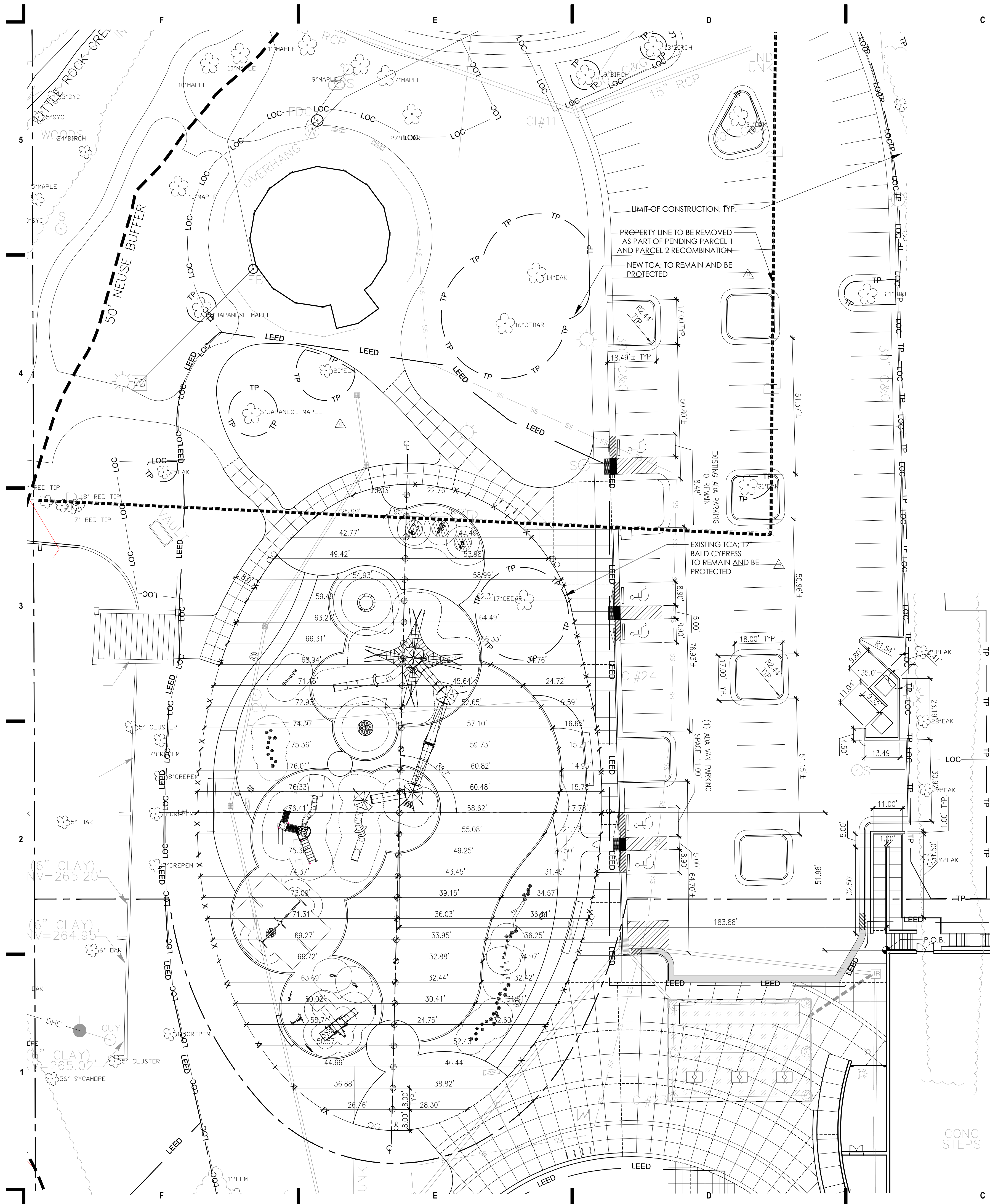
No.	Description	Date
1	ADMINISTRATIVE SITE REVIEW COMMENTS 1	03.23.18
2	ADMINISTRATIVE SITE REVIEW COMMENTS 2	06.22.18
3	ADMINISTRATIVE SITE REVIEW COMMENTS 3	07.18.18

PROJECT DATA

DATE: 9/22/2017
 DRAWN: RW, LC
 CHECKED: ED
 PROJECT NO: 2014-0170
 PRINTING: SITE PLAN SUBMITTAL

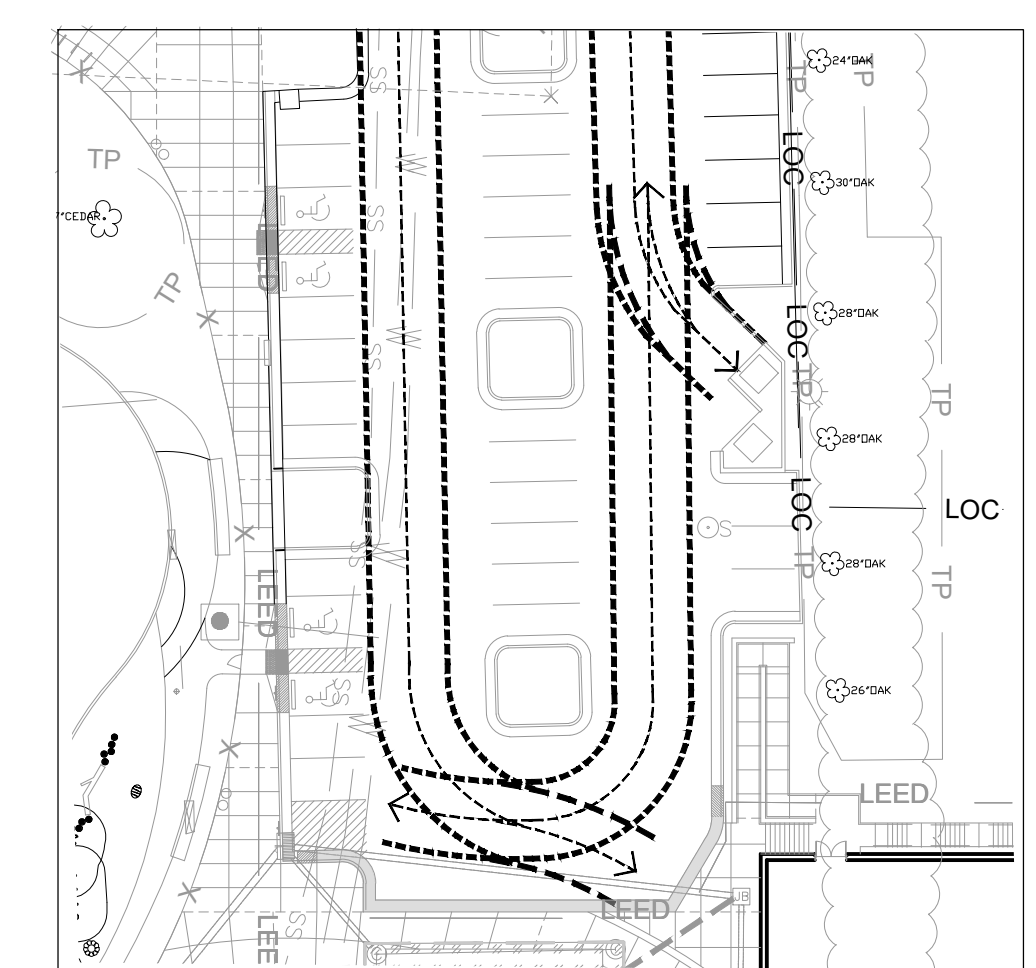
OVERALL LAYOUT PLAN





A3 FIRE TRUCK ACCESS
1"=40'

- FIRE TRUCK LEGEND**
- PULL FORWARD
 - BACKUP
 - BUILDING ENTRANCE
 - PROPOSED FIRE HYDRANT
 - 250' HOSE LENGTH PER NFPA13

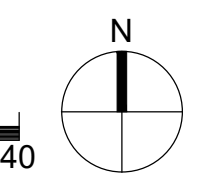


C4 GARBAGE TRUCK ACCESS
1"=40'

- GARBAGE TRUCK LEGEND**
- PULL FORWARD
 - BACKUP

0 20 40 80

SCALE: 1"=20'-0"
0 10 20 40



NOT FOR CONSTRUCTION

SITE PLAN S' BITTAL
09/22/2017

Jhn Chavil
Meorial Park
505 Martin Luther King Jr Blvd
Raleigh, NC 27601

REVISIONS

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3	ADMINISTRATIVE SITE REVIEW COMMENTS 3	07.18.18

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CHECKED: ED
PROJECT NO: 2014-0170
PRINTING: SITE PLAN SUBMITTAL

SHEET DATA

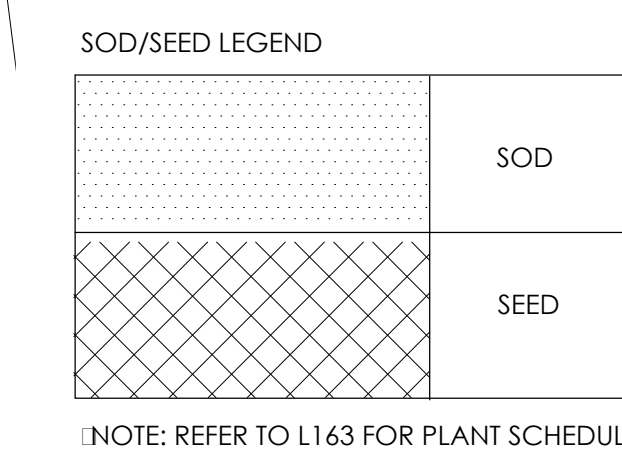
LAYOUT PLAN

SHEET NO.
L141



PLANTING NOTES

- EXISTING UTILITIES SHOWN ARE APPROXIMATE AND SHALL BE VERIFIED IN THE FIELD PRIOR TO BEGINNING WORK. CONTRACTOR SHALL CONTACT NC ONE CALL CENTER AT 1-800-632-4141 FOR LOCATION OF EXISTING UTILITIES PRIOR TO BEGINNING CONSTRUCTION. THE CONTRACTOR SHALL EXERCISE CAUTION WHEN WORKING AROUND EXISTING UTILITIES TO REMAIN.
- PLANT LIST IS PROVIDED FOR CONVENIENCE ONLY. IN THE CASE OF DISCREPANCIES BETWEEN THE PLAN AND PLANT LIST QUANTITIES, THE PLAN SHALL TAKE PRECEDENCE.
- AFTER THE SITE IS STABILIZED AND FREE OF SEDIMENTATION, THE CONTRACTOR SHALL REMOVE ALL TEMPORARY EROSION CONTROL DEVICES, SILT RIP RAP AND TEMPORARY STONE STAGING AREAS FOR REPLACEMENT WITH PLANTING SOIL. PROVIDE PLANTING ACCORDING TO THE LANDSCAPE PLAN.
- TEMPORARY EROSION CONTROL SEED MUST BE FULLY REMOVED PRIOR TO PREPARATION OF PERMANENT SEED, SOD OR LANDSCAPE BEDS.
- UNLESS OTHERWISE NOTED IN THE PLANT LIST, THE CONTRACTOR SHALL OBTAIN AND INSTALL ONLY PLANT MATERIAL THAT IS GROWN ON ITS OWN ROOT - GRAFTED OR BUDDED PLANT MATERIAL WILL BE REJECTED.
- ALL TREES SHALL BE OBTAINED FROM THE NURSERY WITH EXPOSED ROOT CROWNS. B-B MATERIAL DELIVERED TO SITE WITH BURIED OR RECENTLY BURIED ROOT CROWNS WILL BE REJECTED.
- FURNISHED PLANT MATERIAL SHALL MEET THE MINIMUM HEIGHT OR MINIMUM SPREAD DIMENSIONS SHOWN IN THE PLANT LIST HEADINGS. THE CONTRACTOR SHALL UTILIZE THE MOST STRINGENT DIMENSION SHOWN ON THE PLANT LIST.
- DO NOT PLANT IN STORM WATER CONVEYANCE SWALES OR PROVIDE FINE GRADING THAT DISRUPTS FLOW OR CHANGES LONGITUDINAL SLOPES.
- PLANT THE OUTER EDGES OF EACH PLANTING GROUP FOLLOWING THE BED OUTLINE ACCORDING TO THE PLAN. ONCE A SATISFACTORY MATCHED OUTER SHAPE IS OBTAINED, FILL THE CENTER OF EACH AREA WITH PLANTS ACCORDING TO THE PLAN AND SPACING NOTES.
- THE PLANTING LAYOUT WITHIN PLANTING BEDS SHOULD BE SHIFTED TO MINIMIZE CONFLICTS WITH EXISTING TREE ROOTS.
- THE CONTRACTOR SHALL SEED SOD ALL DISTURBED AREAS INCLUDING CONSTRUCTION ACCESS OUTSIDE PROJECT LIMITS.
- FOR PLANTING SCHEDULE REFER TO SHEET L164



NOTE: ALL TREES SHALL BE INSTALLED IN ACCORDANCE WITH PRCR-03 CITY OF RALEIGH DETAIL.

CLEARSCAPES
ARCHITECTURE + ART
http://www.clearscapes.com/
311-200 W. Martin Street
Raleigh, North Carolina 27601
(919) 821-2775
(919) 821-0804 Fax
artarc@clearscapes.com

CONSULTANTS
Landscapes
Surface 678, PA
http://surface678.com/
215 Morris Street, Suite 150
Durham, North Carolina 27701
(919) 419-1199
(919) 419-1669 Fax
Structural
Lysaght and Associates
http://www.lysaghtassociates.com/
120 Saint Mary's Street
Raleigh, North Carolina 27605
919.833.0495
919.833.7630 Fax
MEP Engineer
Sigma Engineering Solutions
http://www.sigmas.com/
2100 Gateway Centre Blvd #100
Morrisville, North Carolina 27560
(919) 840-9300
(919) 840-9600 Fax
Civil Engineer
Calyx Engineers + Consultants
http://www.calyxenengineers.com/
6750 Tryon Road
Cary, North Carolina 27518
(919) 836-4800
(919) 851-1918 Fax

SITE PLAN S: BMITTAL
09.22.2017

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Meerial Par
505 Martin Luther King Jr Blvd
Raleigh, NC 27601

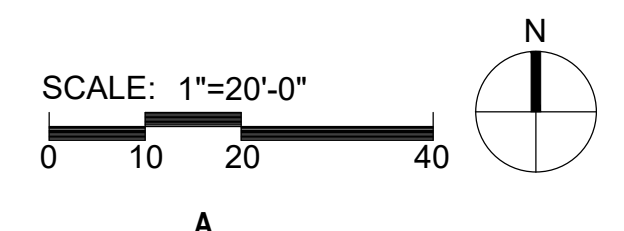
REVISIONS

No.	Description	Date
1	ADMINISTRATIVE SITE REVIEW COMMENTS 1	03.23.18
2	ADMINISTRATIVE SITE REVIEW COMMENTS 2	06.22.18
3	ADMINISTRATIVE SITE REVIEW COMMENTS 3	07.18.18

PROJECT DATA
DATE: 9/22/2017
DRAWN: RW, LC
CHECKED: ED
PROJECT NO: 2014-0170
PRINTING: SITE PLAN SUBMITTAL

PLANTING PLAN

SHEET NO.
L161

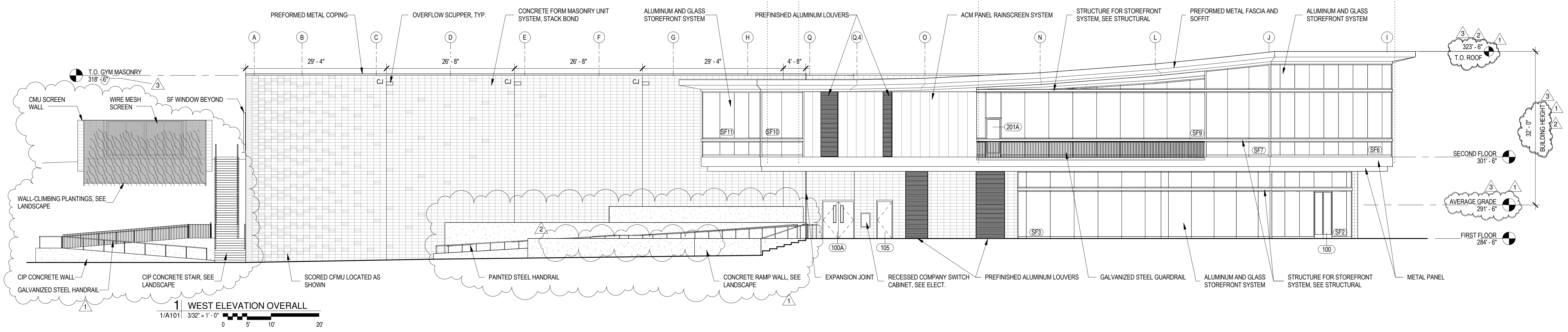
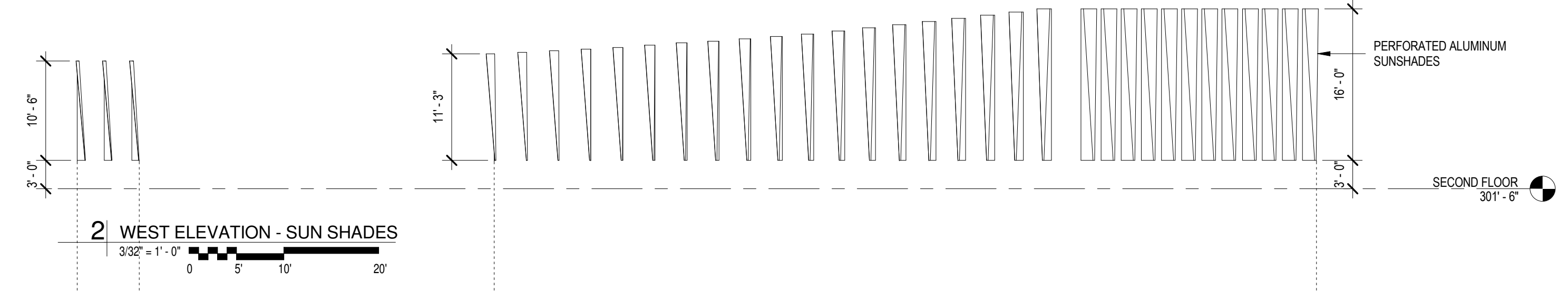
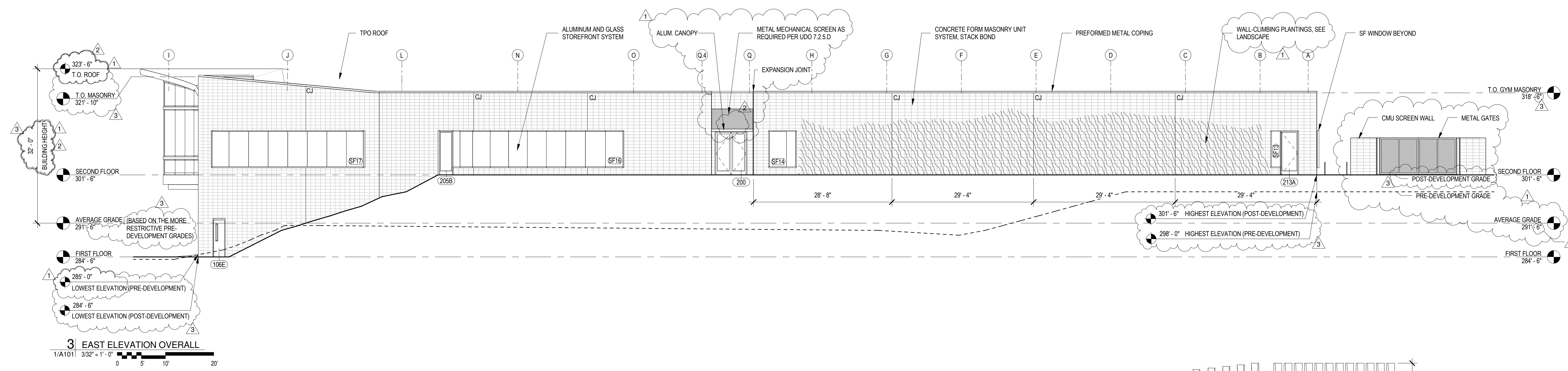


GENERAL NOTES

- SEE G001 FOR ADDITIONAL NOTES, SYMBOLS AND ABBREVIATIONS.
- FINAL LOCATIONS OF EXTERIOR WALL LIGHTS AND PARAPET WALL SCUPPERS TO BE APPROVED BY ARCHITECT.

PER CITY OF RALEIGH UNIFIED DEVELOPMENT ORDINANCE SECTION 3.2.7 CIVIC BUILDING, THERE IS NO TRANSPARENCY REGULATION FOR THIS BUILDING.

PER CITY OF RALEIGH UNIFIED DEVELOPMENT ORDINANCE SECTION 1.5.7 HEIGHT, AVERAGE GRADE IS DETERMINED BY CALCULATING THE AVERAGE OF THE HIGHEST AND LOWEST ELEVATION ALONG PRE-DEVELOPMENT GRADE ALONG THE FRONT OF THE BUILDING PARALLEL TO THE PRIMARY STREET SETBACK, WHICH IS THE EAST ELEVATION OF THE COMMUNITY CENTER BUILDING 3/A201.



NOT FOR CONSTRUCTION

ADMINISTRATIVE SITE REVIEW
09.22.2017

John Chavis Memorial Park
505 Martin Luther King Jr Blvd
Raleigh, NC 27601

REVISIONS

No.	Description	Date
1	Administrative Site Review Comments 1	03.23.18
2	Administrative Site Review Comments 2	06.22.18
3	Administrative Site Review Comments 3	07.18.18

PROJECT DATA
DATE: 09.22.2017
DRAWN: EM/CB
CHECKED: FB
PROJECT NO: 2014-0170
PRINTING: ADMINISTRATIVE SITE REVIEW

BUILDING ELEVATIONS

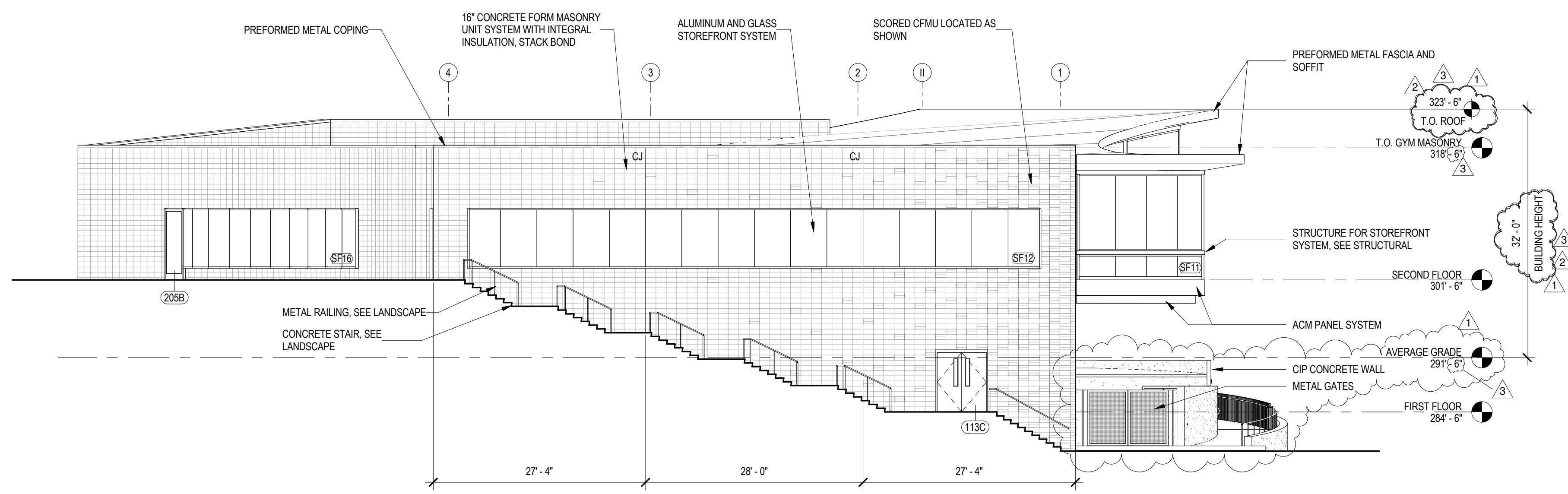
SHEET NO.
A201

GENERAL NOTES

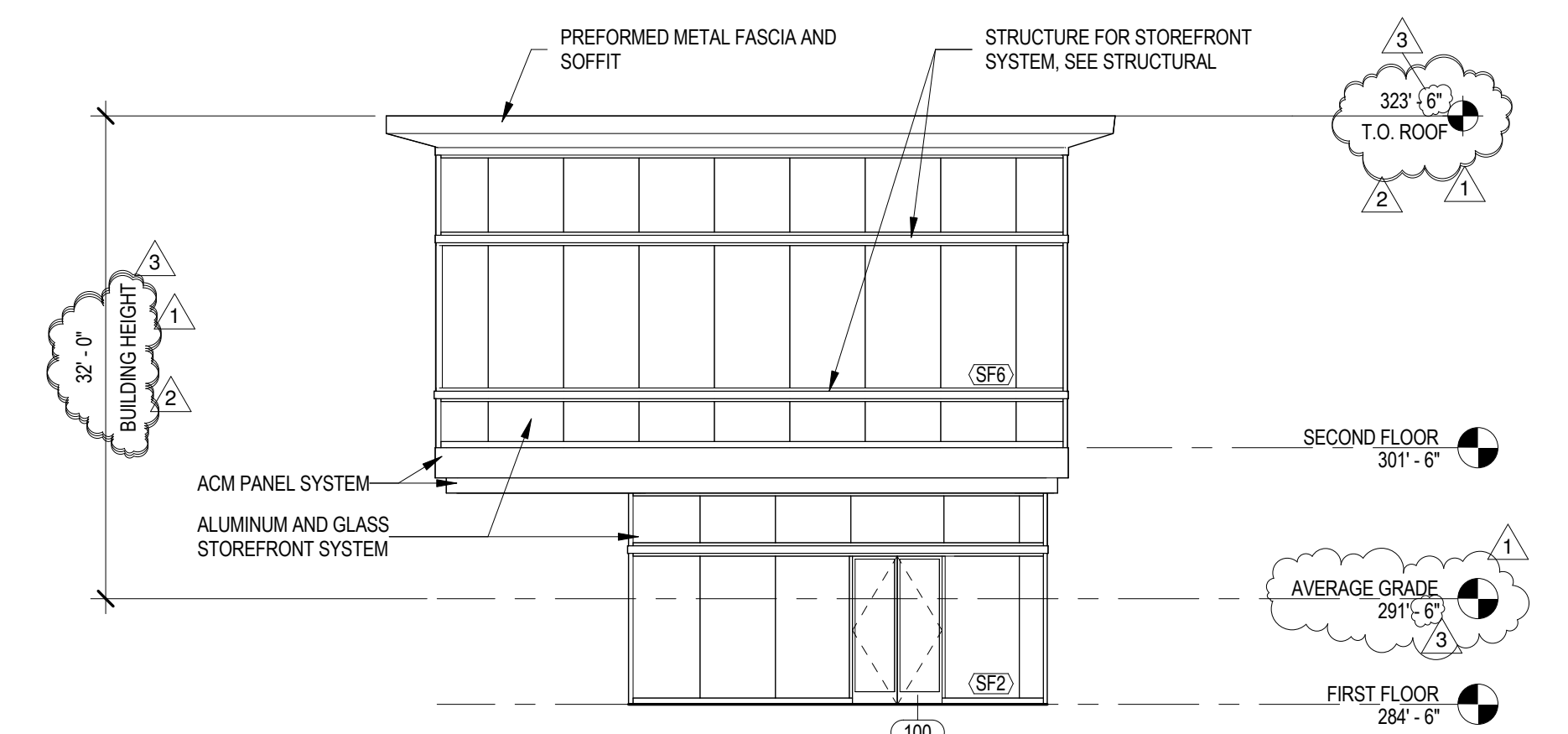
- SEE G001 FOR ADDITIONAL NOTES, SYMBOLS AND ABBREVIATIONS.
- FINAL LOCATIONS OF EXTERIOR WALL LIGHTS AND PARAPET WALL SCUPPERS TO BE APPROVED BY ARCHITECT.

PER CITY OF RALEIGH UNIFIED DEVELOPMENT ORDINANCE SECTION 3.2.7 CIVIC BUILDING, THERE IS NO TRANSPARENCY REGULATION FOR THIS BUILDING.

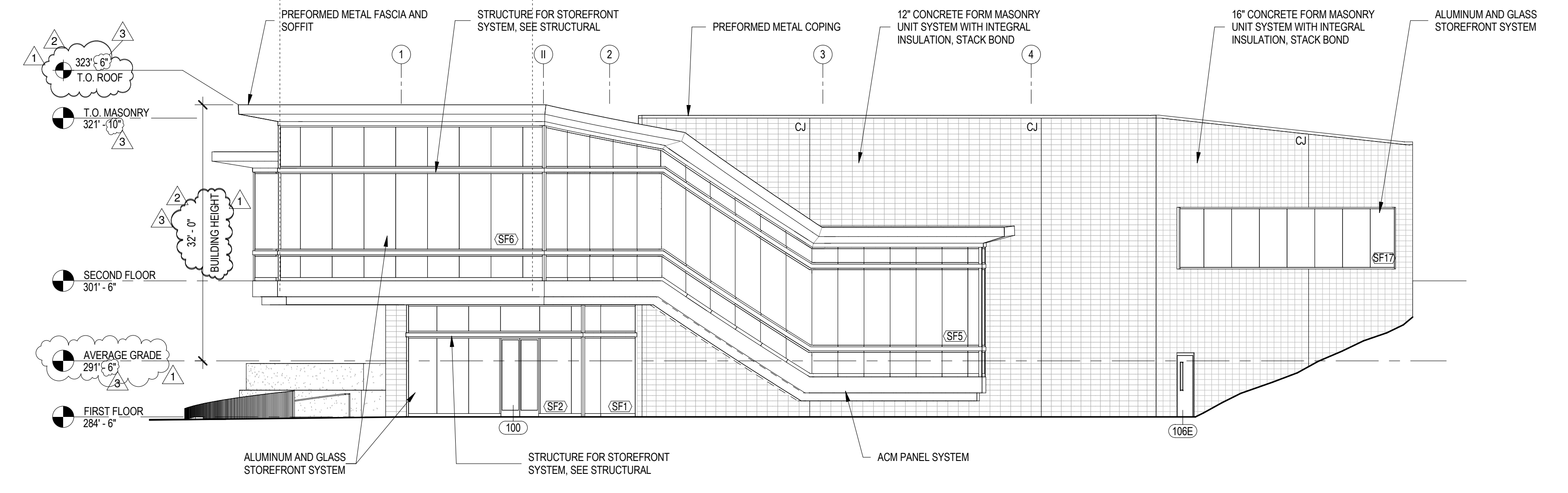
PER CITY OF RALEIGH UNIFIED DEVELOPMENT ORDINANCE SECTION 1.5.7 HEIGHT, AVERAGE GRADE IS DETERMINED BY CALCULATING THE AVERAGE OF THE HIGHEST AND LOWEST ELEVATION ALONG PRE-DEVELOPMENT GRADE ALONG THE FRONT OF THE BUILDING PARALLEL TO THE PRIMARY STREET SETBACK, WHICH IS THE EAST ELEVATION OF THE COMMUNITY CENTER BUILDING 3/A201.



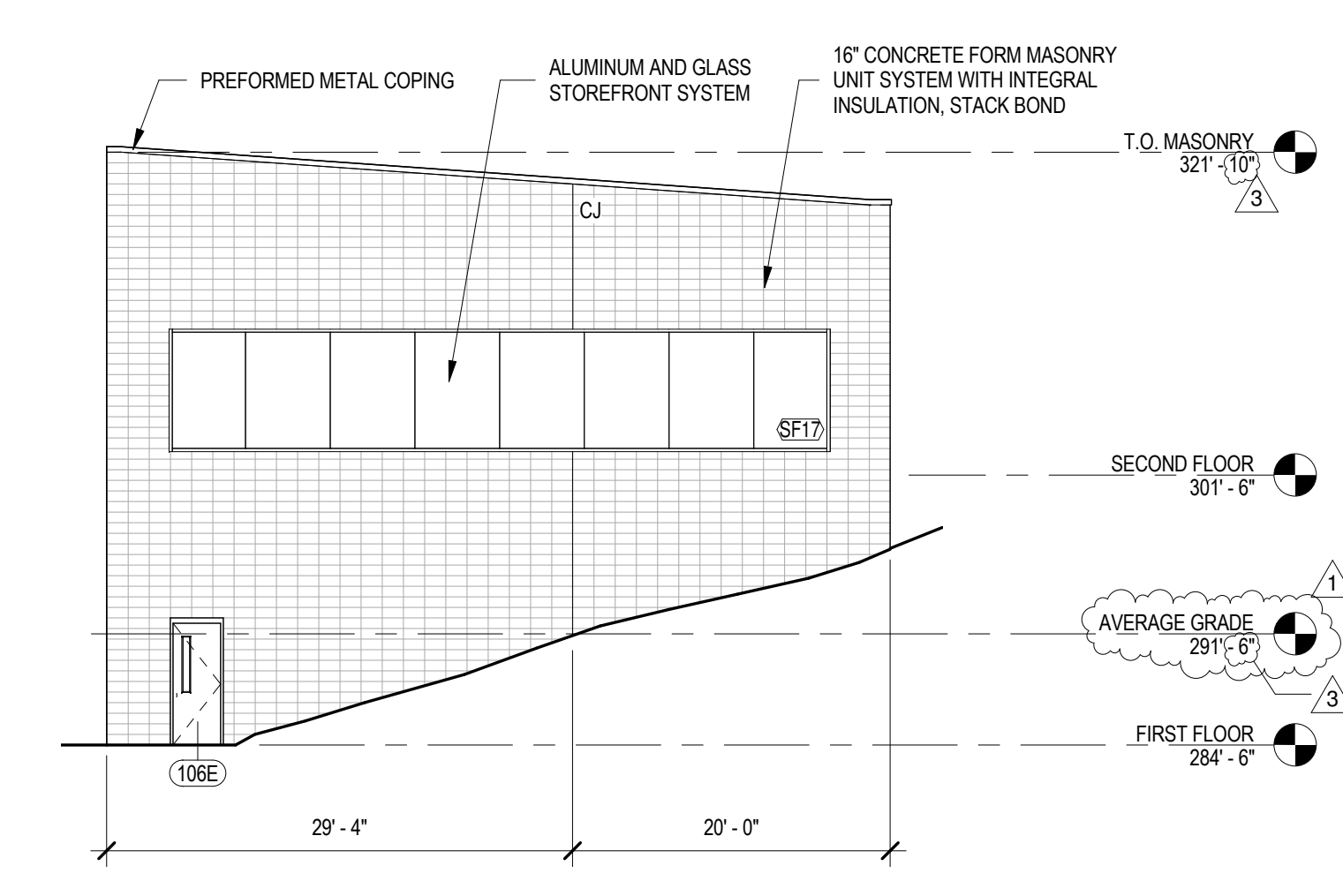
5 NORTH ELEVATION OVERALL
1/A1011 3/32" = 1'-0"
0 5 10 20'



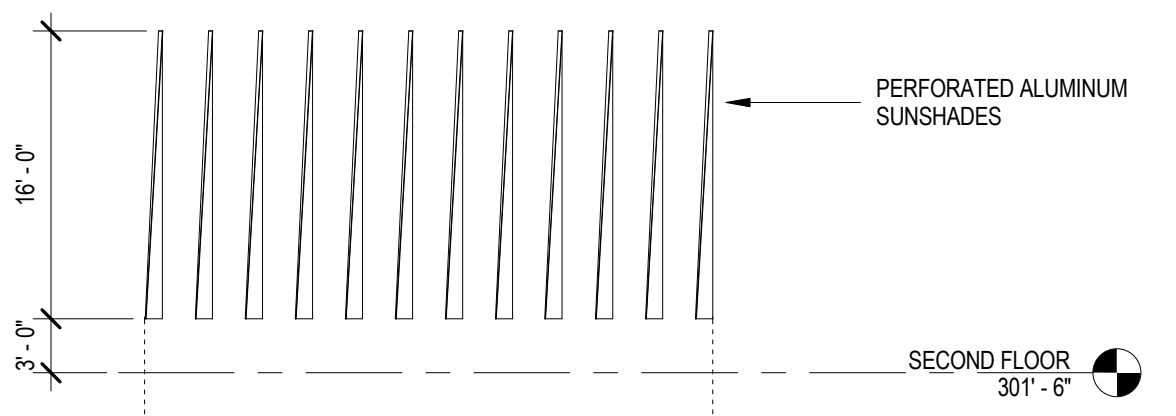
2 SOUTHWEST ELEVATION
1/A1011 3/32" = 1'-0"
0 5 10 20'



3 SOUTH ELEVATION OVERALL
1/A1011 3/32" = 1'-0"
0 5 10 20'



1 SOUTHEAST ELEVATION
1/A1011 3/32" = 1'-0"
0 5 10 20'



4 SOUTH ELEVATION - SUN SHADES
3/32" = 1'-0"
0 5 10 20'

NOT FOR CONSTRUCTION

ADMINISTRATIVE SITE REVIEW
09.22.2017

John Chavis Memorial Park
505 Martin Luther King Jr Blvd
Raleigh, NC 27601

No.	Description	Date
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DATE: 09.22.2017
DRAWN: EM/GB
CHECKED: FB
PROJECT NO: 2014-0170
PRINTING: ADMINISTRATIVE SITE REVIEW

BUILDING ELEVATIONS

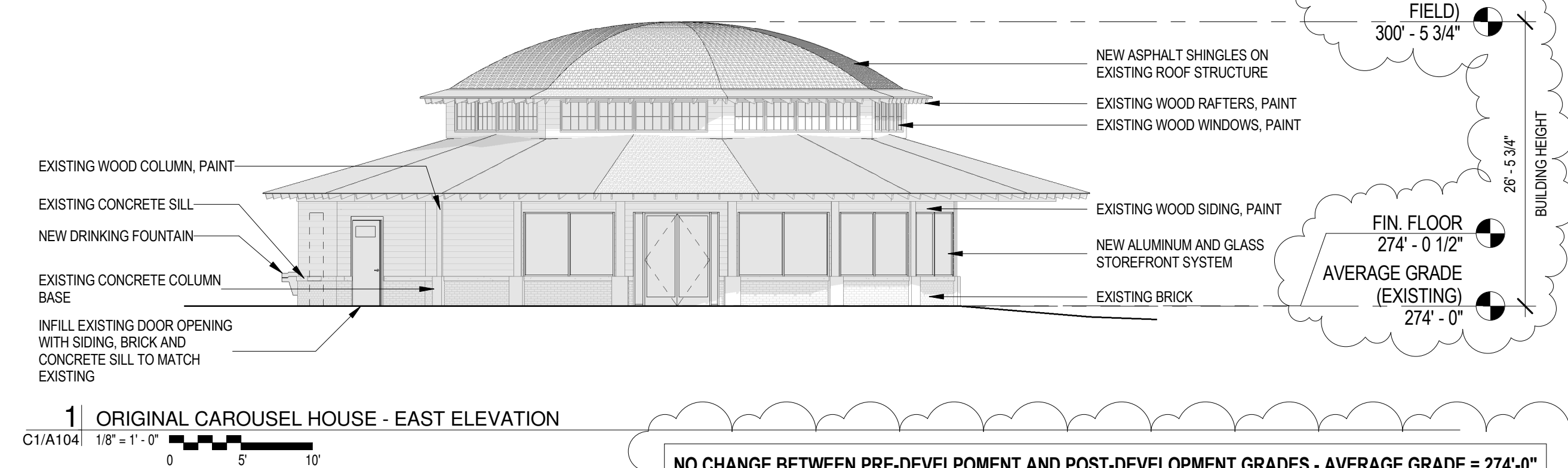
A202

GENERAL NOTES

- SEE G001 FOR ADDITIONAL NOTES, SYMBOLS AND ABBREVIATIONS.
- FINAL LOCATIONS OF EXTERIOR WALL LIGHTS AND PARAPET WALL SCUPPERS TO BE APPROVED BY ARCHITECT.

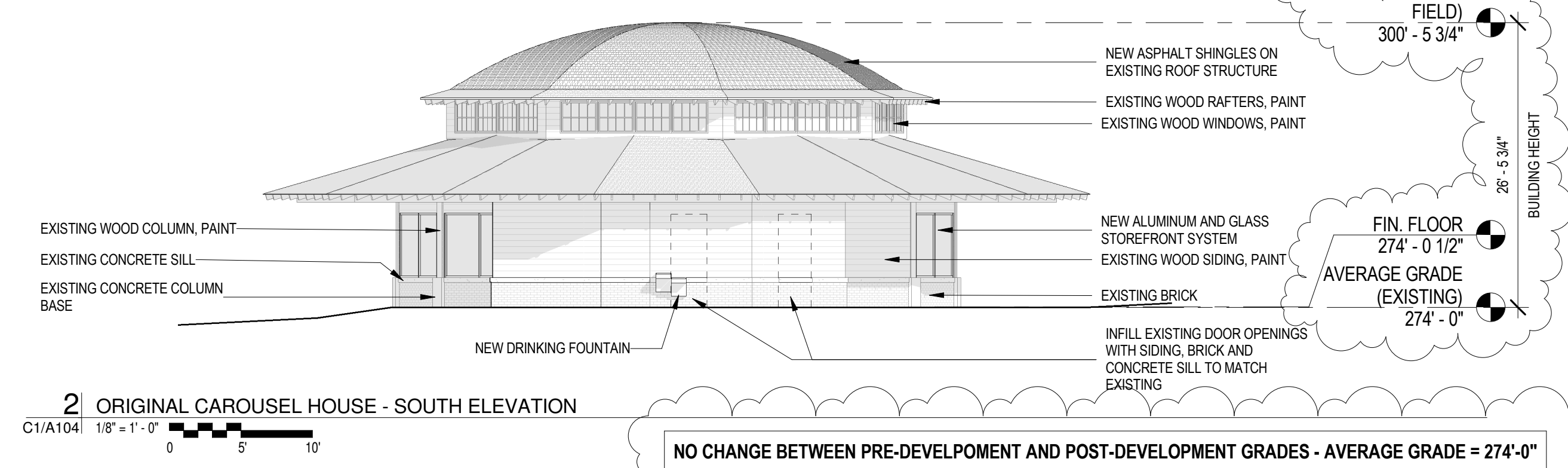
PER CITY OF RALEIGH UNIFIED DEVELOPMENT ORDINANCE SECTION 3.2.7 CIVIC BUILDING, THERE IS NO TRANSPARENCY REGULATION FOR THIS BUILDING.

PER CITY OF RALEIGH UNIFIED DEVELOPMENT ORDINANCE SECTION 1.5.7 HEIGHT, AVERAGE GRADE IS DETERMINED BY CALCULATING THE AVERAGE OF THE HIGHEST AND LOWEST ELEVATION ALONG PRE-DEVELOPMENT GRADE ALONG THE FRONT OF THE BUILDING PARALLEL TO THE PRIMARY STREET SETBACK, WHICH IS THE EAST ELEVATION OF THE ORIGINAL CAROUSEL HOUSE 1/A203.



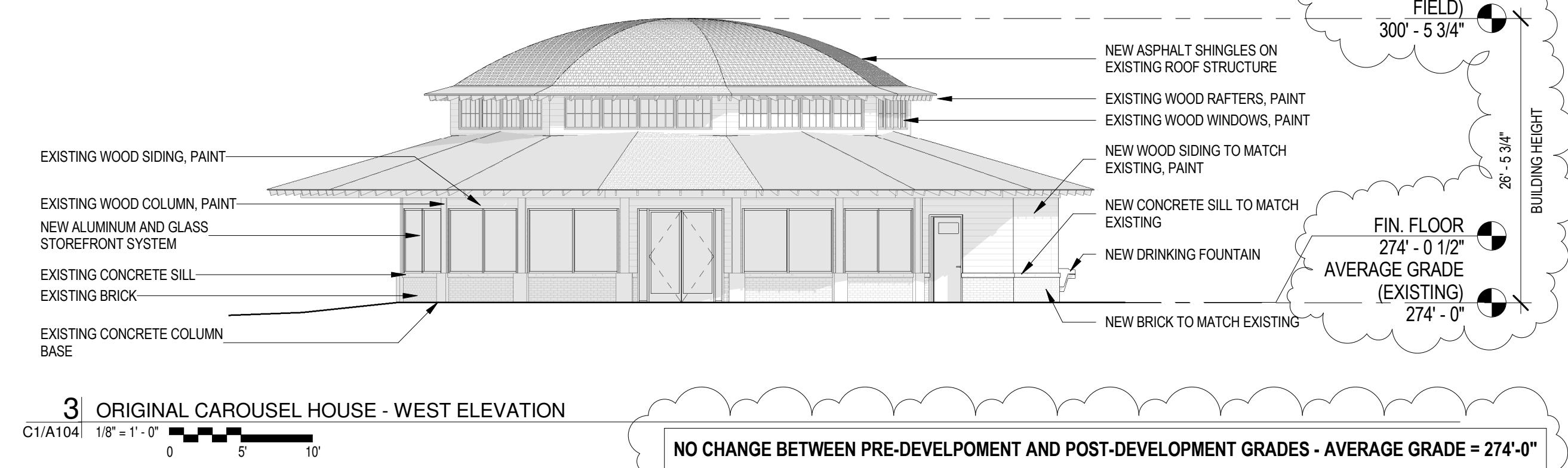
1 ORIGINAL CAROUSEL HOUSE - EAST ELEVATION
C1/A104 | 1/8" = 1'-0" | 0 5 10'

NO CHANGE BETWEEN PRE-DEVELOPMENT AND POST-DEVELOPMENT GRADES - AVERAGE GRADE = 274'-0"



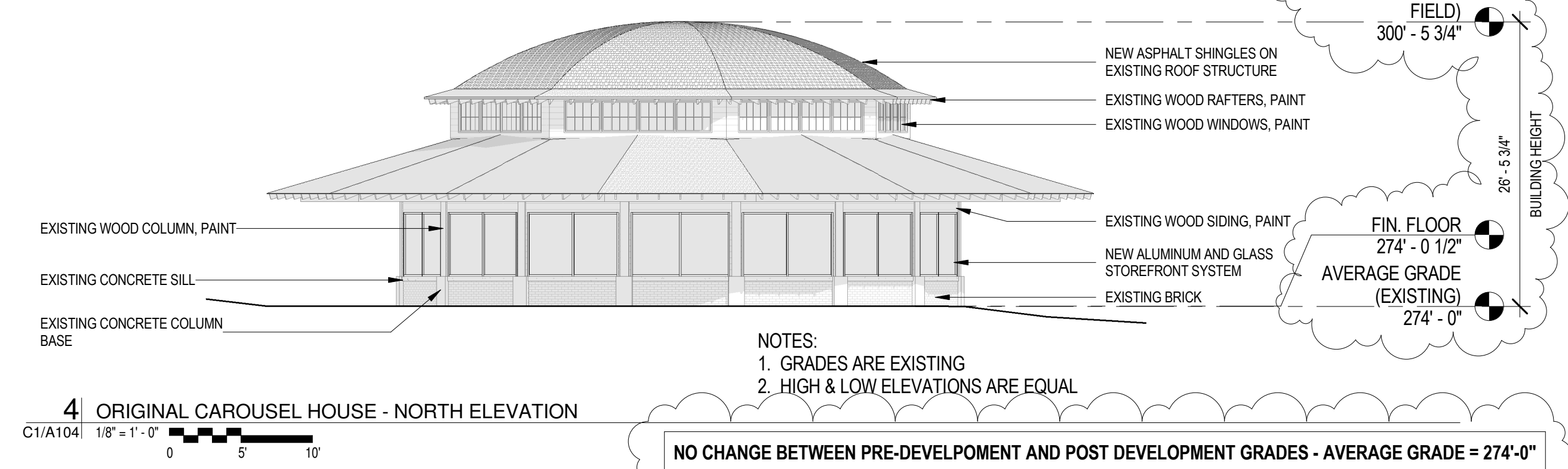
2 ORIGINAL CAROUSEL HOUSE - SOUTH ELEVATION
C1/A104 | 1/8" = 1'-0" | 0 5 10'

NO CHANGE BETWEEN PRE-DEVELOPMENT AND POST-DEVELOPMENT GRADES - AVERAGE GRADE = 274'-0"



3 ORIGINAL CAROUSEL HOUSE - WEST ELEVATION
C1/A104 | 1/8" = 1'-0" | 0 5 10'

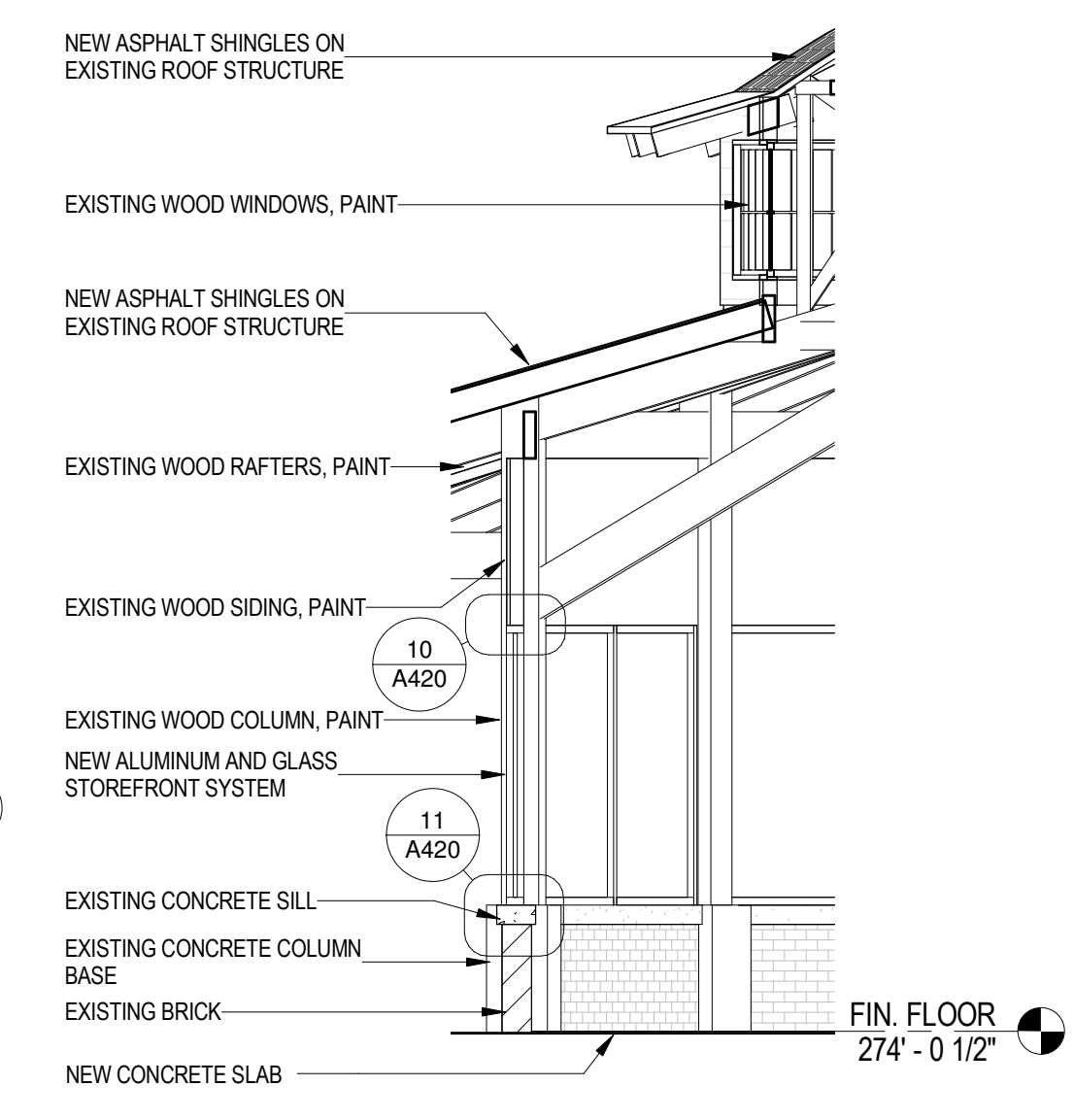
NO CHANGE BETWEEN PRE-DEVELOPMENT AND POST-DEVELOPMENT GRADES - AVERAGE GRADE = 274'-0"



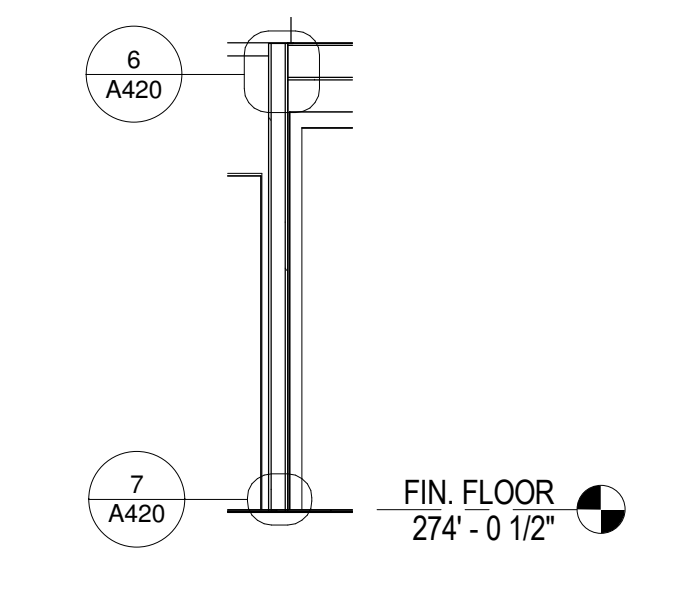
4 ORIGINAL CAROUSEL HOUSE - NORTH ELEVATION
C1/A104 | 1/8" = 1'-0" | 0 5 10'

NO CHANGE BETWEEN PRE-DEVELOPMENT AND POST DEVELOPMENT GRADES - AVERAGE GRADE = 274'-0"

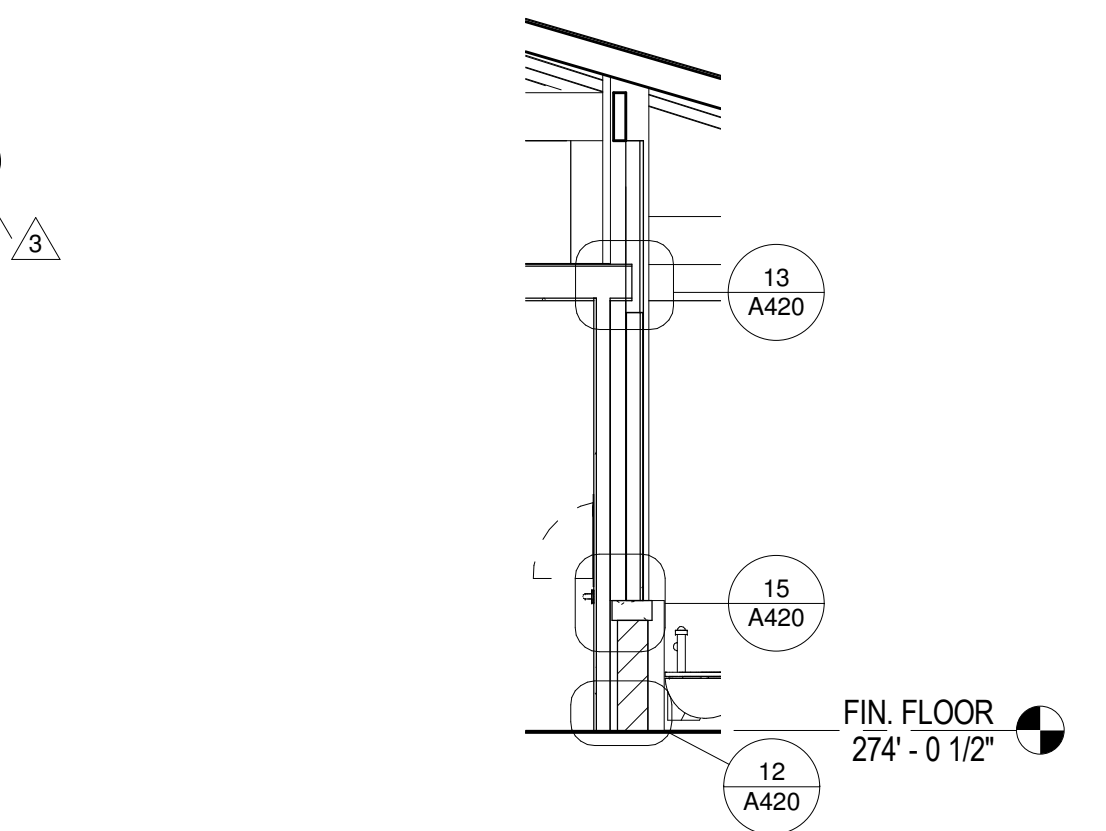
- NOTES:
1. GRADES ARE EXISTING
2. HIGH & LOW ELEVATIONS ARE EQUAL



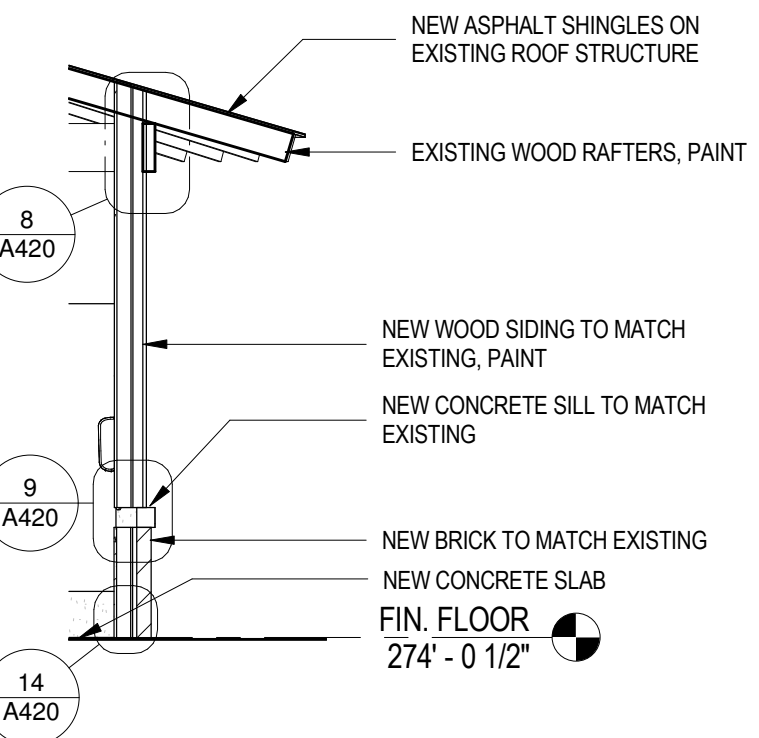
6 SECTION AT STOREFRONT
5/A203 | 1/4" = 1'-0" | 0 1' 5'



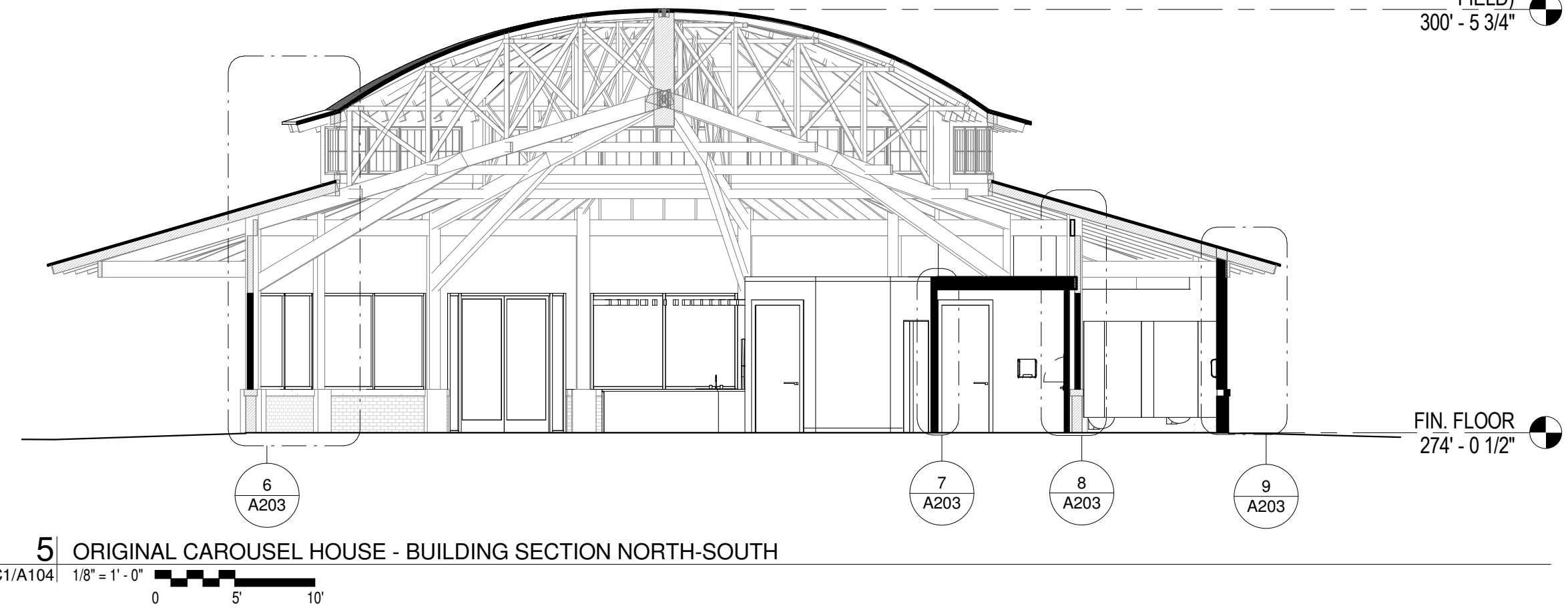
7 SECTION AT NEW INTERIOR WALL
5/A203 | 1/4" = 1'-0" | 0 1' 5'



8 SECTION AT EXISTING EXTERIOR WALL
5/A203 | 1/8" = 1'-0" | 0 5' 10'



9 SECTION AT NEW EXTERIOR WALL
5/A203 | 1/8" = 1'-0" | 0 5' 10'



5 ORIGINAL CAROUSEL HOUSE - BUILDING SECTION NORTH-SOUTH
C1/A104 | 1/8" = 1'-0" | 0 5' 10'

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CONSULTANTS

Landscapes
http://surface678.com/
215 Morris Street, Suite 150
Durham, North Carolina 27701
(919) 419-1199
(919) 419-1669 Fax

Structural

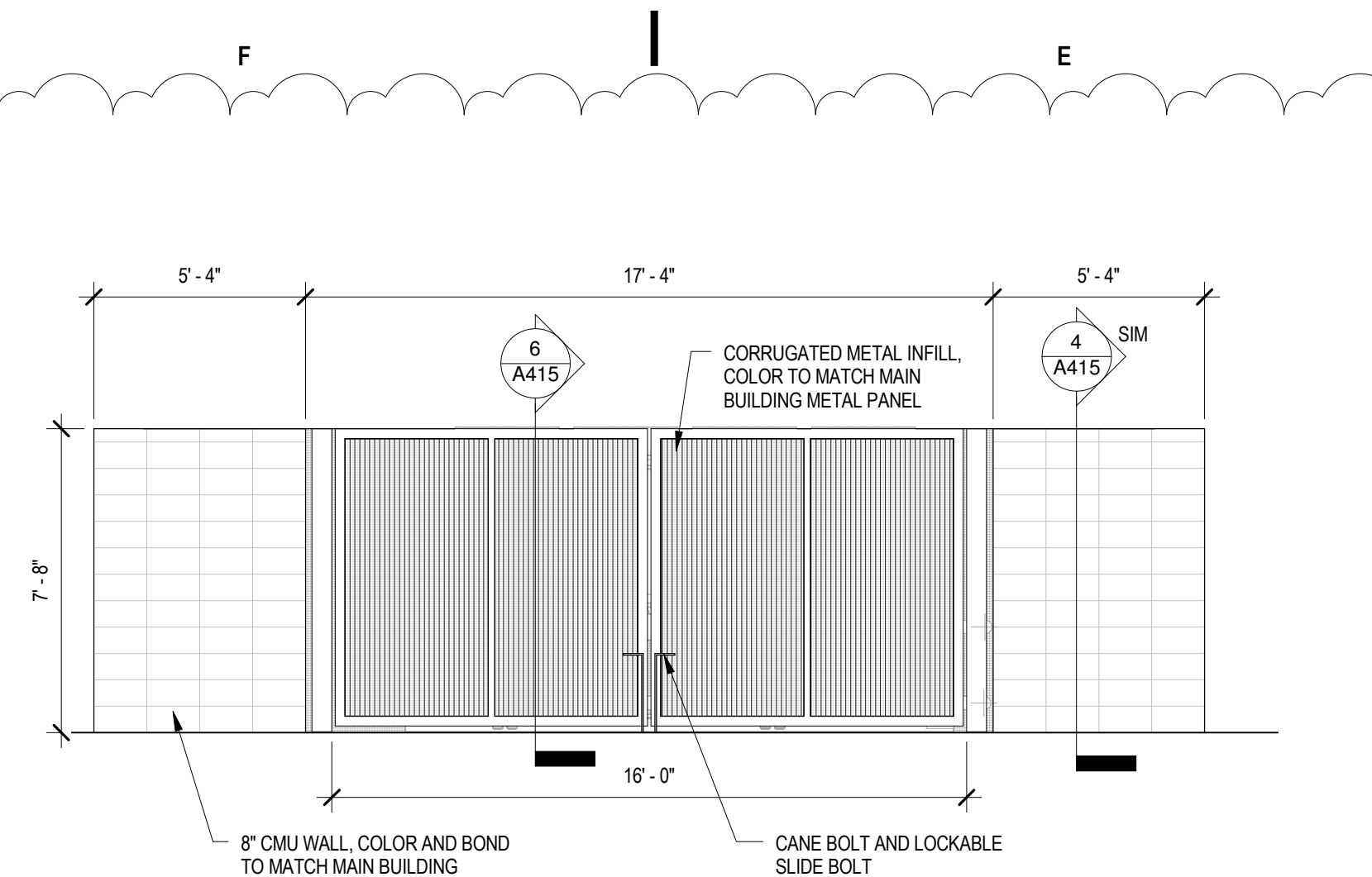
Lysaght and Associates
http://www.lysaghtassociates.com/
120 Saint Mary's Street
Raleigh, North Carolina 27605
919.833.0495
919.833.7630 Fax

MEP Engineer

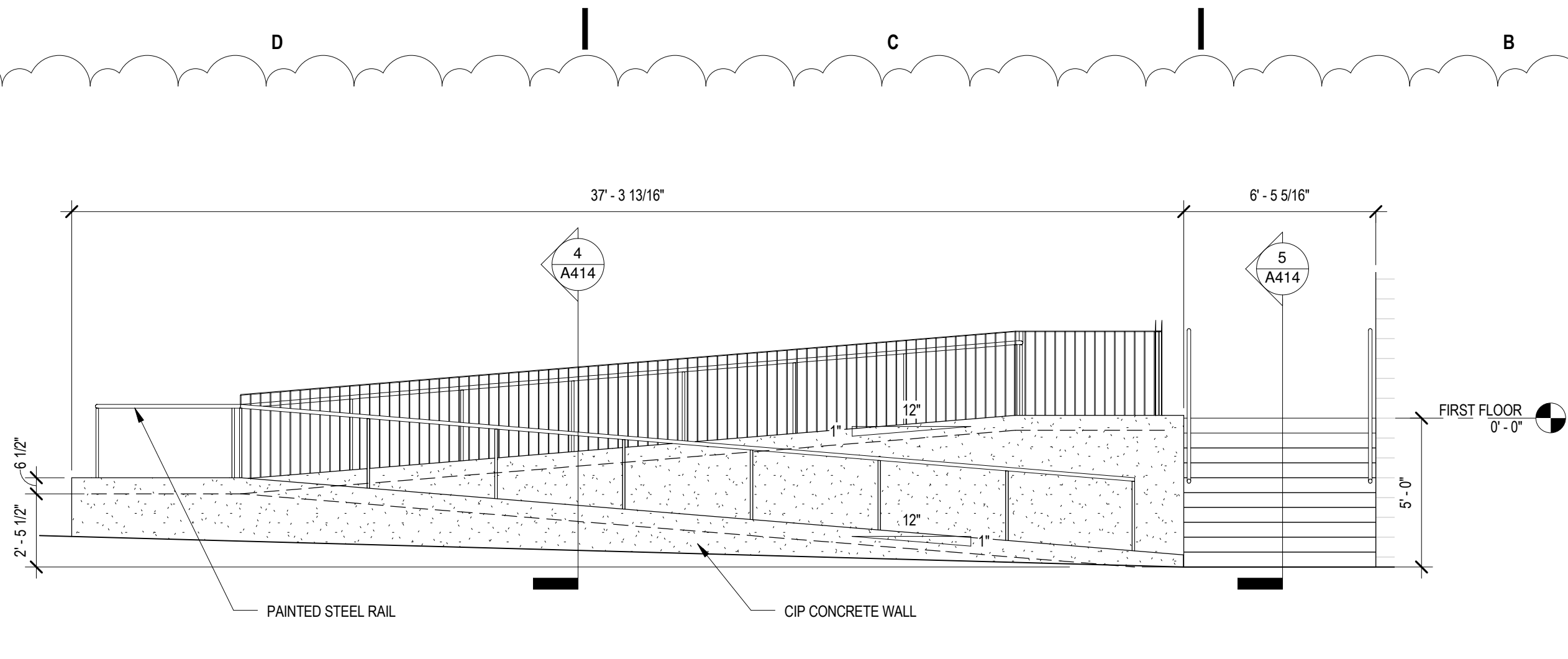
Sigma Engineered Solutions
http://www.sigmas.com/
2100 Gateway Centre Blvd #100
Morrisville, North Carolina 27560
(919) 840-9300
(919) 840-9600 Fax

Civil Engineer

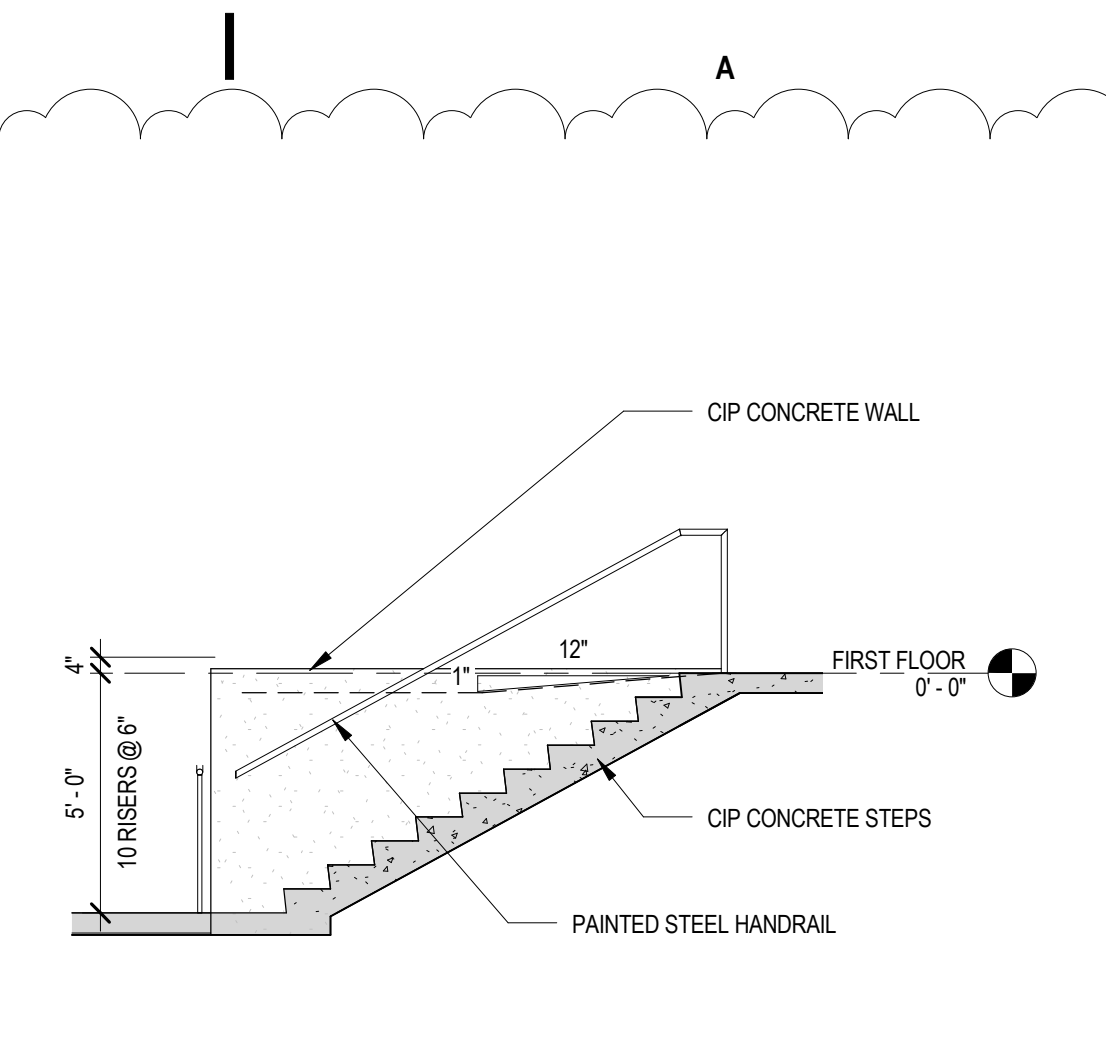
Calyx Engineers + Consultants
http://www.calyxengineers.com/
6750 Tryon Road
Cary, North Carolina 27518
(919) 836-4800
(919) 851-1918 Fax



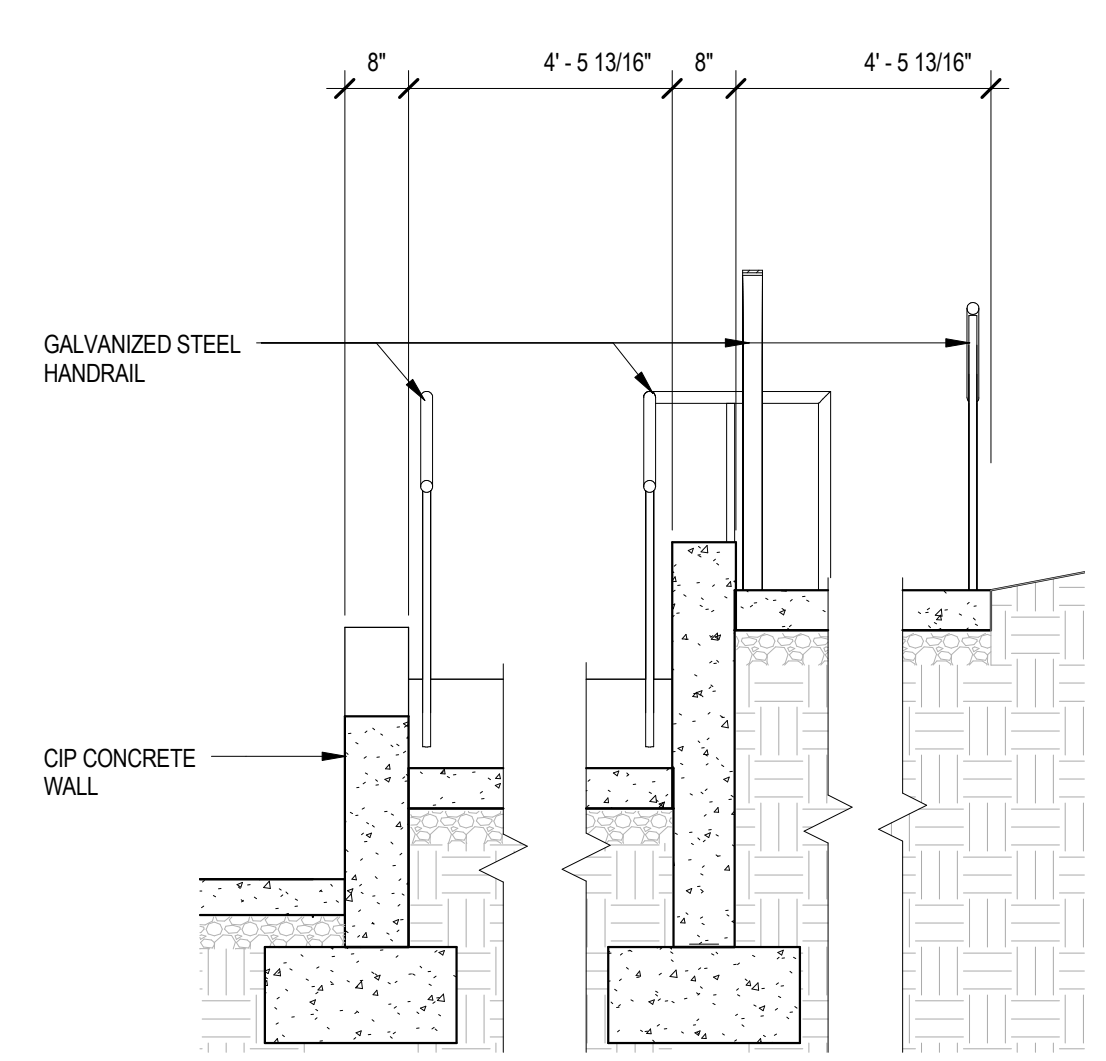
7 ELEVATION - CHILLER ENCLOSURE
1/A102A 1/4" = 1'-0"
0 1 5



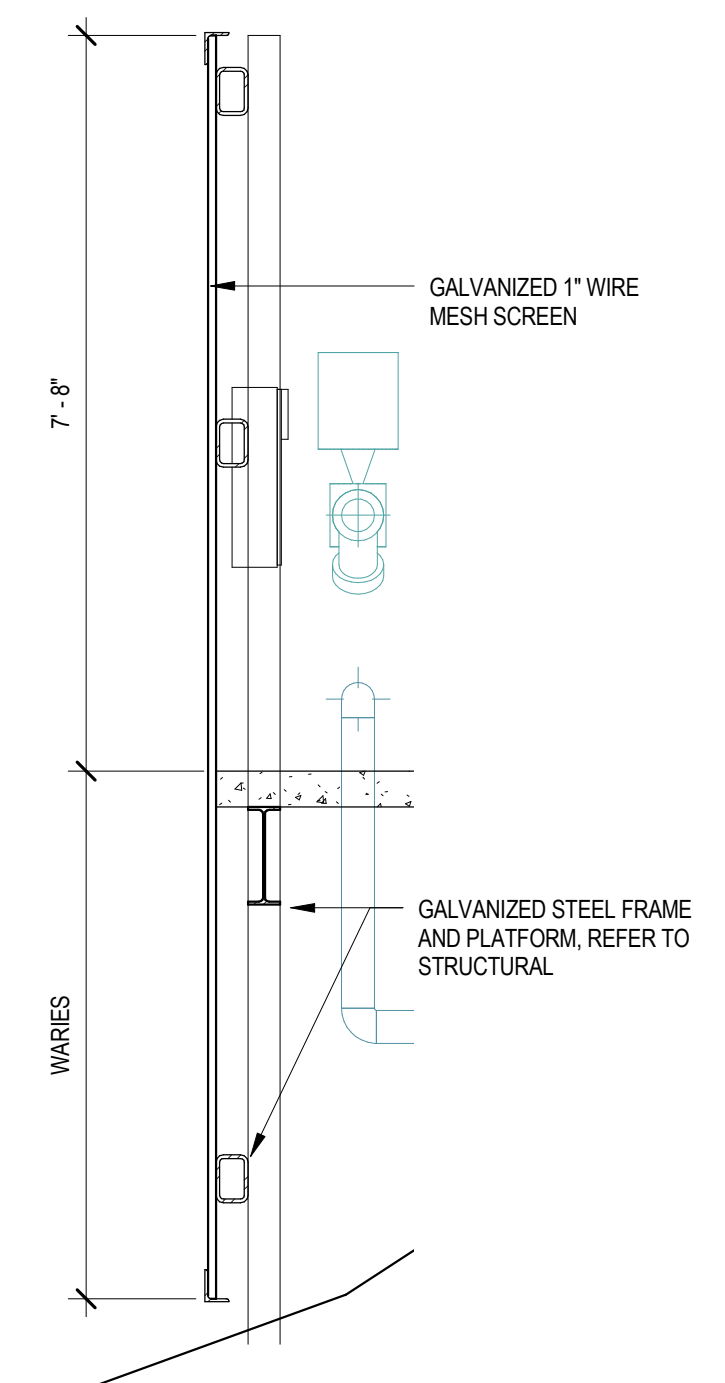
6 ELEVATION - NORTH RAMP
1/A101A 1/4" = 1'-0"
0 1 5



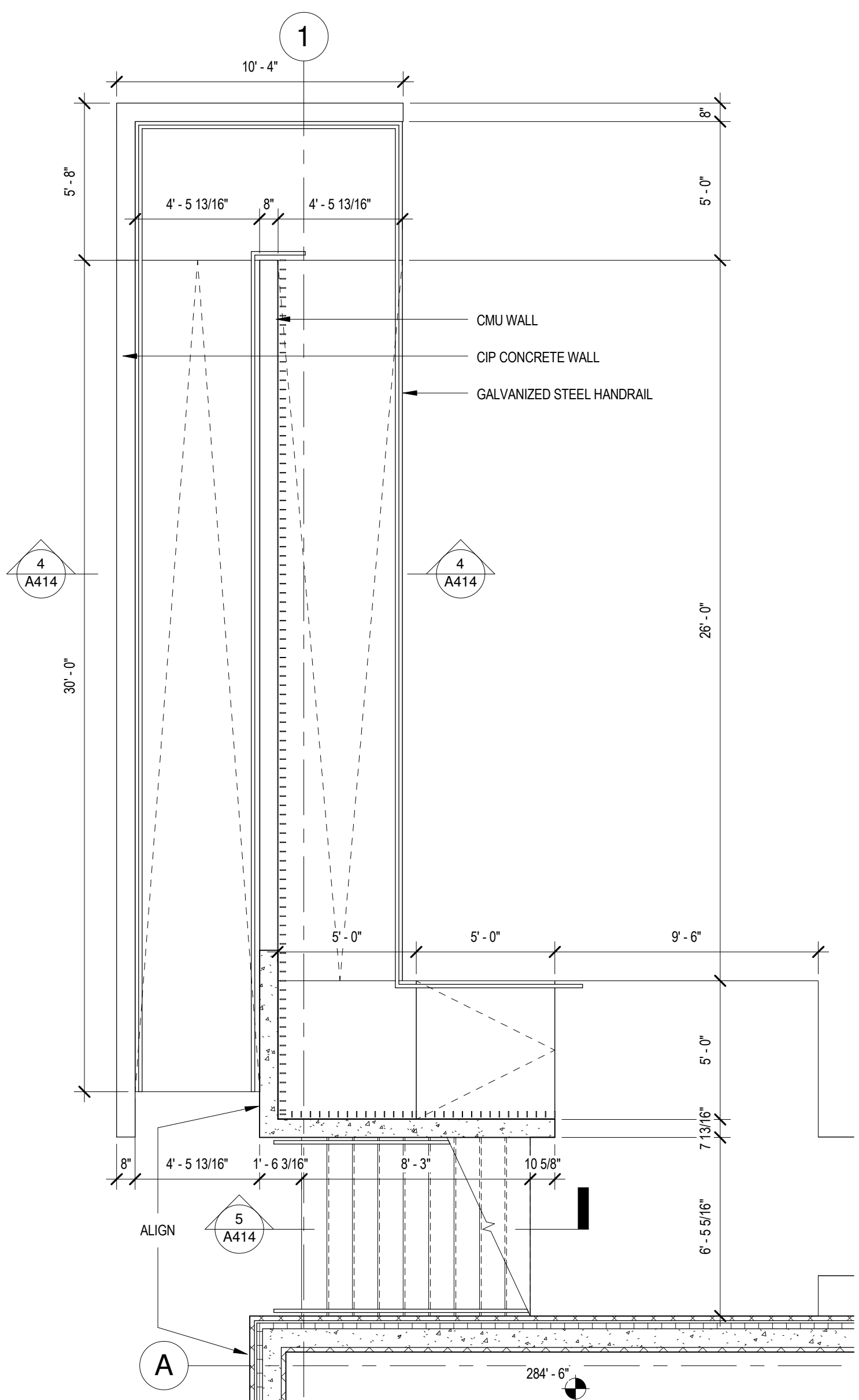
5 SECTION - NORTH STAIR
2/A414 1/4" = 1'-0"
0 1 5



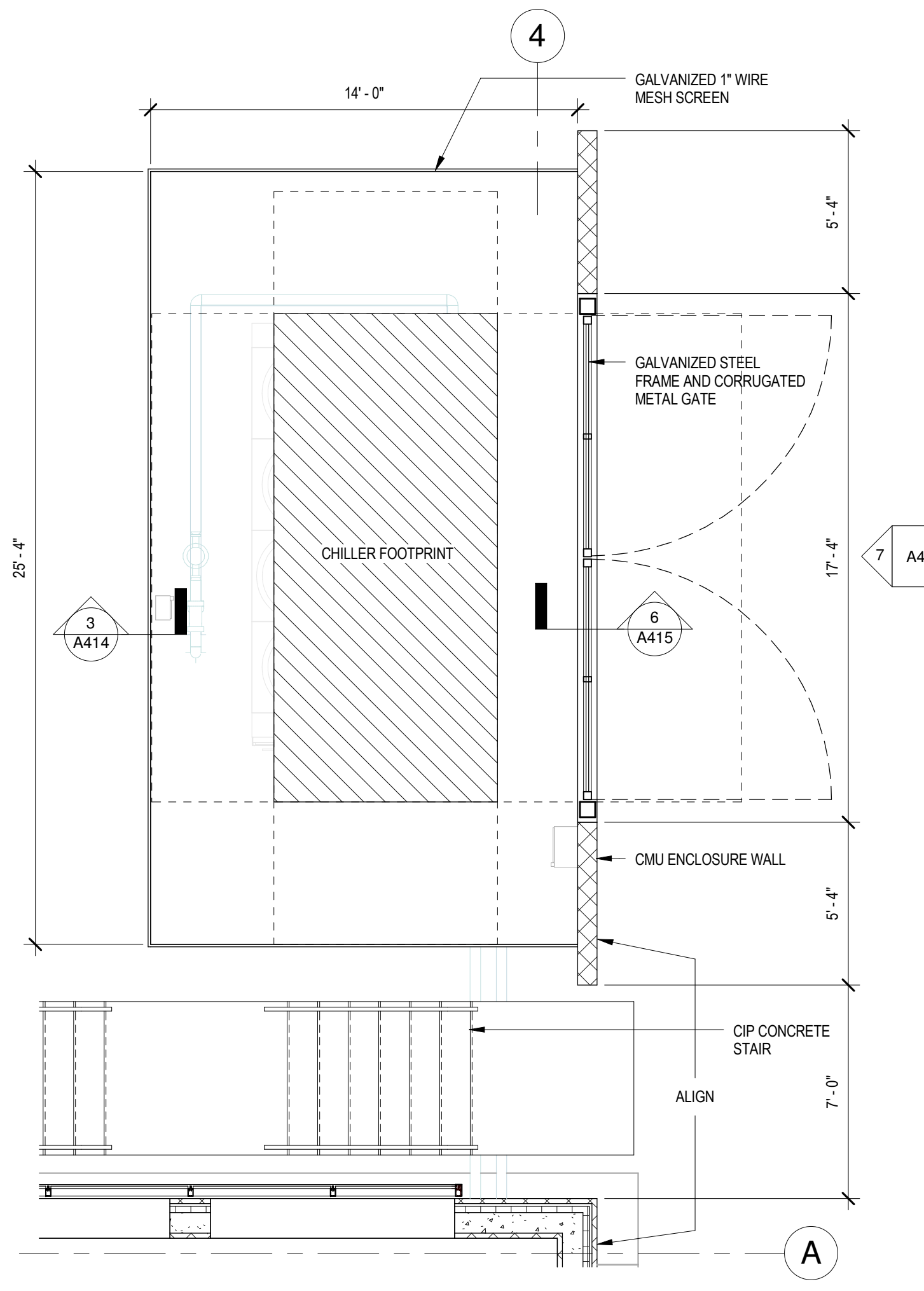
4 SECTION - NORTH RAMP
2/A414 1/2" = 1'-0"
0 6 1 2 3



3 SECTION - ENCLOSURE FENCE
1/A414 1/2" = 1'-0"
0 6 1 2 3



2 ENLARGED PLAN - NORTH RAMP
1/A100 1/4" = 1'-0"
0 1 5



1 ENLARGED PLAN - CHILLER ENCLOSURE
1/A100 1/4" = 1'-0"
0 1 5

NOT FOR CONSTRUCTION

ADMINISTRATIVE SITE REVIEW
09.22.2017

PROJECT

John Chavis Memorial Park
505 Martin Luther King Jr Blvd
Raleigh, NC 27601

REVISIONS

No.	Description	Date
1	Administrative Site Review Comments 1	03.23.18

PROJECT DATA

DATE: 09.22.2017
DRAWN: CB
CHECKED: FB
PROJECT NO: 2014-0170
PRINTING: ADMINISTRATIVE SITE REVIEW

SHEET DATA

ENCLOSURE PLANS AND DETAILS

SHEET NO.

A414

