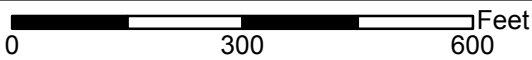
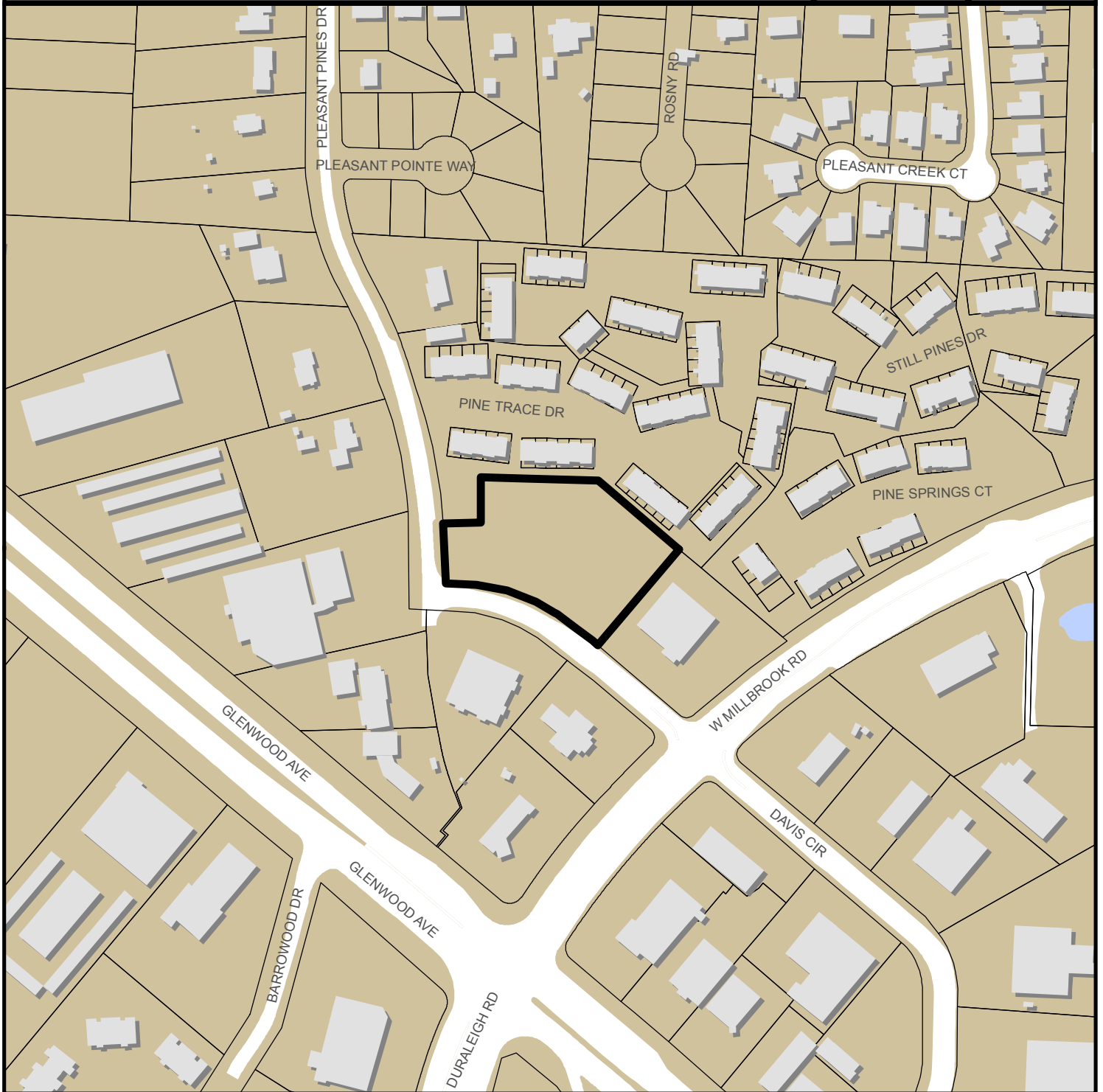


**PLEASANT PINES TOWNHOMES
SR-2-18**



Zoning: **CX-3-PL**
CAC: **Northwest**
Drainage Basin: **Turkey Creek**
Acreage: **1.72**
Sq. Ft.: **16,000**

Planner: **Mike Walters**
Phone: **(919) 996-2636**

Applicant: **Josh Crumpler**
Phone: **(919) 413-1704**





Administrative Approval Action

AA # 3828 / SR-2-18, Pleasant Pines Townhomes
Transaction# 540589

City of Raleigh
Development Services Department
One Exchange Plaza
Raleigh, NC 27602
(919) 996-2495
DS.help@raleighnc.gov
www.raleighnc.gov

LOCATION: This site is located on the northeast corner of the intersection of Davis Circle and Pleasant Pines Road at 6300 Pleasant Pines Drive.

REQUEST: Development of a 1.72 acre tract zoned CX-3-PL into a 25 unit townhome style condominium development totaling 16,000 square feet of building area consisting of five buildings with between 3 and 8 units each.

DESIGN ADJUSTMENT(S)/ ALTERNATES, ETC: One Design Adjustment has been approved by the Public Works Director for this project, noted below.

1. Due to the location and existing adjacent conditions, a Design Adjustment has been approved waiving the block perimeter and cross access requirements (8.3).

FINDINGS: City Administration finds that this request, with the below conditions of approval being met, conforms to the Unified Development Ordinance. This approval is based on a preliminary plan submitted by Crumpler Consulting Services PLLC.

CONDITIONS OF APPROVAL and NEXT STEPS:

Note: *This document must be applied to the second sheet of all future submittals with the exception of final plats.*

PRIOR TO THE ISSUANCE OF ANY SITE PERMITS OR APPROVAL OF CONCURRENT REVIEW PROCESS, WHICHEVER IS APPLICABLE:

ENGINEERING

1. Required NCDOT encroachment and/or driveway permits must be approved and copies provided to Development Services – Development Engineering prior to concurrent review approval.
2. Next Step: A right-of-way obstruction permit must be obtained from Right-of-way Services prior to the commencement of any construction activities within the right-of-way.

STORMWATER

3. A stormwater control plan with a stormwater operations and maintenance manual and budget shall be approved by the Stormwater Engineer in compliance with Part 10A Chapter 9 of the Unified Development Ordinance.
4. A Stormwater Design Exception must be approved by the Engineering Services Director for retaining walls within Private Drainage Easements and any walls that don't meet minimum setback requirements.
5. A nitrogen offset payment must be made to a qualifying mitigation bank.



Administrative Approval Action

AA # 3828 / SR-2-18, Pleasant Pines Townhomes
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6. In accordance with Part 10A Section 9.4.4 of the Unified Development Ordinance, a surety equal to of the cost of clearing, grubbing and reseeding a site, shall be paid to the City.

PRIOR TO ISSUANCE OF BUILDING PERMITS:

GENERAL

1. A Final Plat shall be recorded with the Wake County Register of Deeds office for all Right of Way and/or Easement Dedications.
2. Provide fire flow analysis.

ENGINEERING

3. The required right of way for proposed and/or existing streets shall be dedicated to the City of Raleigh and be shown on a plat approved for recordation.
4. A 5' general utility easement and associated deed of easement shall be approved by the City and the location of the easement shall be shown on the map approved for recordation. The deed of easement shall be recorded at Wake County Register of Deeds within one (1) day of recordation of the recorded plat. A recorded copy of these documents must be provided to the Development Services Department.
5. Required NCDOT encroachment and/or driveway permits must be approved and copies provided to Development Services – Development Engineering.
6. Next Step: A right-of-way obstruction permit shall be obtained from Right-of-way Services for any construction activity within the right-of-way.

PUBLIC UTILITIES

7. A Final Plat must be recorded at the Wake County Register of Deeds office for all necessary Right-of-Way, Utility / Stormwater Easement Dedications.

STORMWATER

19. The developer shall pay to the City a stormwater facility replacement fund payment equal to twenty-four percent (24%) of the estimated cost of constructing all stormwater control facilities shown on the development plans.
20. All stormwater control measures and means of transporting stormwater runoff to and from any nitrogen and stormwater runoff control measures shall be shown on all plats for recording as private drainage easements.
21. In accordance with Part 10A Section 9.2.2, a surety equal to 125% of the cost of the construction of a stormwater device shall be paid to the Engineering Services Department.



Administrative Approval Action

AA # 3828 / SR-2-18, Pleasant Pines Townhomes
Transaction# 540589

City of Raleigh
Development Services Department
One Exchange Plaza
Raleigh, NC 27602
(919) 996-2495
DS.help@raleighnc.gov
www.raleighnc.gov

URBAN FORESTRY

22. A tree impact permit must be obtained for the approved streetscape tree installation in the right of way and a fee-in-lieu for 7 trees shall be paid to the City of Raleigh.

Prior to issuance of building occupancy permit:

1. All Water, Sanitary Sewer and Reuse facilities shall be installed, inspected, tested and accepted by the City of Raleigh Public Utilities Department for operations and maintenance.
2. Next Step: Required public right-of-way infrastructure improvements shall be, at a minimum, sufficiently completed to provide the necessary, safe emergency and vehicular access.
3. Next Step: All street lights and street signs required as part of the development approval are installed.
4. Next Step: Copies of certified inspection reports for alleys and internal access ways are submitted to the City of Raleigh Development Services – Development Engineering program.
5. Next Step: As-built drawings and associated forms for all Stormwater devices are accepted by the Engineering Services Department
6. Next Step: Final inspection of all required tree plantings in the right-of-way by Urban Forestry Staff.

EXPIRATION DATES: The expiration provisions of UDO Section 10.2.8 E, including the ability to request extensions in the expiration date, apply to this site plan. If significant construction has not taken place on a project after administrative site review approval, that approval may expire and be declared void, requiring re-approval before permits may be issued. To avoid allowing this plan approval to expire the following must take place by the following dates:

3-Year Expiration Date: 7-18-2021

Obtain a valid building permit for the total area of the project, or a phase of the project.

4-Year Completion Date:

Within four years after issuance of the first building permit for the site plan, the construction of the entire site plan must be completed unless an applicant has been granted vested rights. Failure to complete construction within this specified time frame shall automatically void the approved site plan for which no building permits have been issued.

I hereby certify this administrative decision.

Signed: (Planning Dir./Designee)

Date: 7/18/2018

Staff Coordinator: Michael Walters

Design Adjustment Staff Response



**DEVELOPMENT
SERVICES
DEPARTMENT**

Per Section 10.2.18.C of the Unified Development Ordinance, the Development Services Director, or designee, shall consult with the heads of other City Departments regarding the review of the request. The Development Services Director, or designee, shall approve, approve with conditions or deny the request, but must do so within 60 days of the receipt of a completed application. Additional time may be necessary if a municipal or state entity is incorporated in the review process or if a detailed engineering study is submitted in conjunction with the request.

PROJECT	Project Name	Pleasant Pines Townhomes	
	Development Case Number	SR-2-2018	
	Transaction Number	540589	
	Design Adjustment Number	DA - 47 - 2018	
STAFF RESPONSE	Staff recommendation based upon the findings in the applicable code(s):		
	<input checked="" type="checkbox"/> UDO Art. 8.3 Blocks, Lots, Access	<input type="checkbox"/> UDO Art. 8.5 Existing Streets	
	<input type="checkbox"/> UDO Art. 8.4 New Streets	<input type="checkbox"/> Raleigh Street Design Manual	
	Staff SUPPORTS <input checked="" type="checkbox"/> DOES NOT SUPPORT <input type="checkbox"/> the design adjustment request.		
	DEPARTMENTS		
	<input type="checkbox"/> Dev. Services Planner	<input type="checkbox"/> City Planning	
	<input checked="" type="checkbox"/> Development Engineering	<input type="checkbox"/> Transportation	
	<input type="checkbox"/> Engineering Services	<input type="checkbox"/> Parks & Recreation and Cult. Res.	
	<input type="checkbox"/> Public Utilities		
	CONDITIONS:		
Development Services Director or Designee Action: <input checked="" type="checkbox"/> APPROVE <input type="checkbox"/> APPROVE WITH CONDITIONS <input type="checkbox"/> DENY			

Authorized Signature

KEVIN W. WETZEL, PE, MPA
ENGINEERING PERMITS INFRASTRUCTURE MANAGER

7/18/2018
Date

*The Development Services Director may authorize a designee to sign in his/her stead. Please print name and title next to signature. Appeal of the decision from the Development Services Director, or his or her designee, shall be made in writing within 30 days to the Board of Adjustment (see Section 10.2.18.C3b).

Staff Response

Article 8.3 Blocks Lots, Access



DEVELOPMENT
SERVICES
DEPARTMENT

The Development Services Director may in accordance with *Sec. 10.2.18*. approve a design adjustment, subject to all of the following findings.

- A. The requested design adjustment meets the intent of this Article;
YES NO
- B. The requested design adjustment conforms with the Comprehensive Plan and adopted City plans;
YES NO
- C. The requested design adjustment does not increase congestion or compromise Safety;
YES NO
- D. The requested design adjustment does not create any lots without direct street Frontage;
YES NO
- E. The requested design adjustment is deemed reasonable due to one or more of the following:
1. Topographic changes are too steep;
 2. The presence of existing buildings, stream and other natural features;
 3. Site layout of developed properties;
 4. Adjoining uses or their vehicles are incompatible;
 5. Strict compliance would pose a safety hazard; or
 6. Does not conflict with an approved or built roadway construction project
 7. adjacent to or in the vicinity of the site.
- YES NO

STAFF FINDINGS

Staff supports the design adjustment application for relief regarding block perimeter and cross access requirements.

This property is a corner lot with the remaining two sides surrounded by existing development and an individually owned town home development with HOA property surrounding the individual lots.

Cross access cannot be offered to the north due to the same restraints as it pertains to block perimeter. Cross access cannot be offered to the east due to grade constraints as depicted by the cross section provided in this Design Adjustment Staff Response packet.

Design Adjustment Application




DEVELOPMENT SERVICES DEPARTMENT

The purpose of this request is to seek a Design Adjustment from the Development Services Director, or designee, for a specific project only and, if granted, may be approved with special conditions and provisions. This application and all further action shall be consistent with Section 10.2.18 in the Unified Development Ordinance (UDO). The consideration and decision of this request shall be based solely on the conformance of the findings, as outlined in Sec. 8.3.6, Sec. 8.4.1.E and Sec. 8.5.1.G of the UDO or the Raleigh Street Design Manual.

PROJECT	Project Name Pleasant Pines Townhomes			
	Case Number SR-2-18			
	Transaction Number 540589			
	OWNER	Name Concept 8 Holdings, LLC		
		Address 307 S. Salem Street, Suite 200		City Apex
		State North Carolina	Zip Code 27502	Phone (919) 883-4941
	CONTACT	Name Josh Crumpler		Firm Crumpler Consulting Services, PLLC
		Address 2308 Ridge Road		City Raleigh
		State North Carolina	Zip Code 27612	Phone 919-413-1704
	REQUEST	I am seeking a Design Adjustment from the requirements set forth in the following:		
<input checked="" type="checkbox"/> UDO Art. 8.3 Blocks, Lots, Access		- See page 2 for findings		
<input type="checkbox"/> UDO Art. 8.4 New Streets		- See page 3 for findings		
<input type="checkbox"/> UDO Art. 8.5 Existing Streets		- See page 4 for findings		
<input type="checkbox"/> Raleigh Street Design Manual		- See page 5 for findings		
Provide details about the request; (please attach a memorandum if additional space is needed):				
A design adjustment is being requested to seek relief of the requirement for block perimeter (UDO 8.3.2.A.2.B) and for cross access (UDO 8.3.5.D). The existing development adjacent to the site will not permit to meet the intent and requirement for the block perimeter (UDO 8.3.2.A.2.B). The existing development and the topography changes being too steep prevent the site from meeting the requirement for cross access as shown on the attached exhibit (UDO 8.3.5.D).				

It is the responsibility of the applicant to provide all pertinent information needed for the consideration of this request. Applicant must be the Property Owner.

By signing this document, I hereby acknowledge the information on this application is, to my knowledge, accurate.


5/25/18
Date

Owner/Owner's Representative Signature

CHECKLIST	
Signed Design Adjustment Application	<input checked="" type="checkbox"/> Included
Page(s) addressing required findings	<input checked="" type="checkbox"/> Included
Plan(s) and support documentation	<input checked="" type="checkbox"/> Included
Notary page (page 6) filled out; Must be signed by property owner	<input checked="" type="checkbox"/> Included
First Class stamped and addressed envelopes with completed notification letter	<input checked="" type="checkbox"/> Included

Submit all documentation, with the exception of the required addressed envelopes and letters to designadjustments@raleighnc.gov.

Deliver the addressed envelopes and letters to:
 Development Services, Development Engineering
 One Exchange Plaza, Suite 500
 Raleigh NC, 27601

For Office Use Only	RECEIVED DATE:	DA -	-
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Article 8.3, Blocks, Lots, Access

Administrative Design Adjustment Findings



DEVELOPMENT
SERVICES
DEPARTMENT

The Development Services Director may in accordance with *Sec. 10.2.18*, approve a design adjustment, subject to all of the following findings. Describe how each item is met:

- A. The requested design adjustment meets the intent of this Article;
The existing development adjacent to the site will not permit to meet the intent and requirement for the block perimeter (UDO 8.3.2.A.2.B). The existing development and the topography changes being too steep prevent the site from meeting the requirement for cross access as shown on the attached exhibit (UDO 8.3.5.D).
- B. The requested design adjustment conforms with the Comprehensive Plan and adopted City plans;
The requested design adjustment conforms with the Comprehensive Plan and adopted City plans as the proposed use of the site meets the future land use plan and is designed to meet the adopted City plans.
- C. The requested design adjustment does not increase congestion or compromise Safety;
The requested design adjustment does not increase congestion or compromise safety as patterns are not being altered.
- D. The requested design adjustment does not create any lots without direct street Frontage;
All lots that are adjacent to the site have frontage along the public right of way.
- E. The requested design adjustment is deemed reasonable due to one or more of the following:
1. Topographic changes are too steep;
 2. The presence of existing buildings, stream and other natural features;
 3. Site layout of developed properties;
 4. Adjoining uses or their vehicles are incompatible;
 5. Strict compliance would pose a safety hazard; or
 6. Does not conflict with an approved or built roadway construction project
 7. adjacent to or in the vicinity of the site.
- Topographic changes are too steep and site layout of developed properties.

Individual Acknowledgement



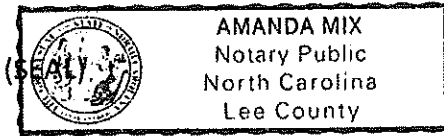
DEVELOPMENT
SERVICES
DEPARTMENT

STATE OF NORTH CAROLINA
COUNTY OF LEE

INDIVIDUAL

I, AMANDA MIX, a Notary Public do hereby certify that
SHAWN DONOVAN personally appeared before me this day and
acknowledged the due execution of the forgoing instrument.

This the 25 day of MAY, 2018.



Notary Public Amanda Mix

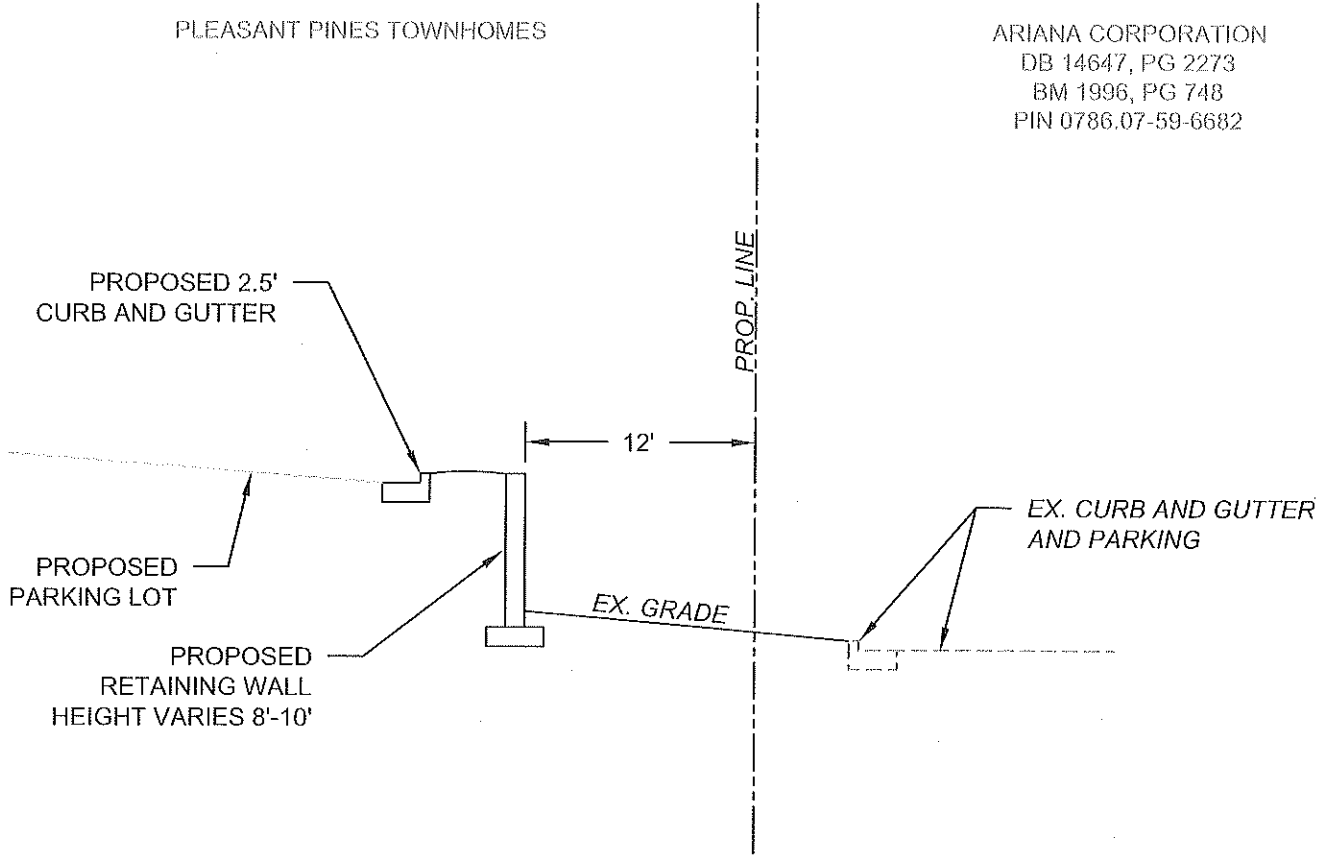
My Commission Expires: 2/1/20

CONCEPTUAL PLANS

NOT FOR CONSTRUCTION

PLEASANT PINES TOWNHOMES

ARIANA CORPORATION
DB 14647, PG 2273
BM 1996, PG 748
PIN 0786.07-59-6682



WALL EXHIBIT
6300 PLEASANT PINES DRIVE
RALEIGH, NORTH CAROLINA

CRUMPLER
Consulting Services, PLLC

2308 Ridge Road
Raleigh, North Carolina 27612
Ph. 919-413-1704
P-1533

PROJECT NO.: 17018

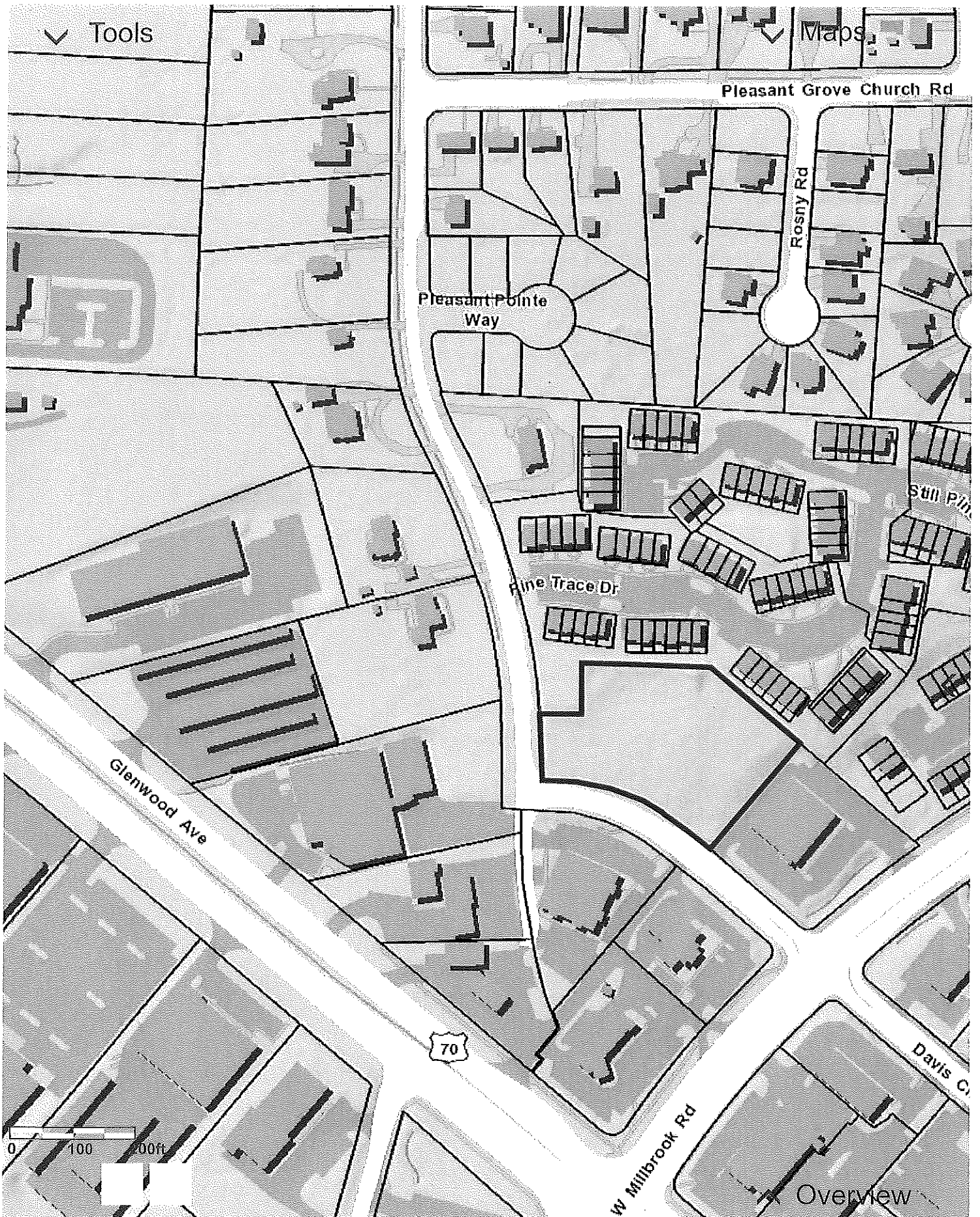
DRAWN BY: JAC

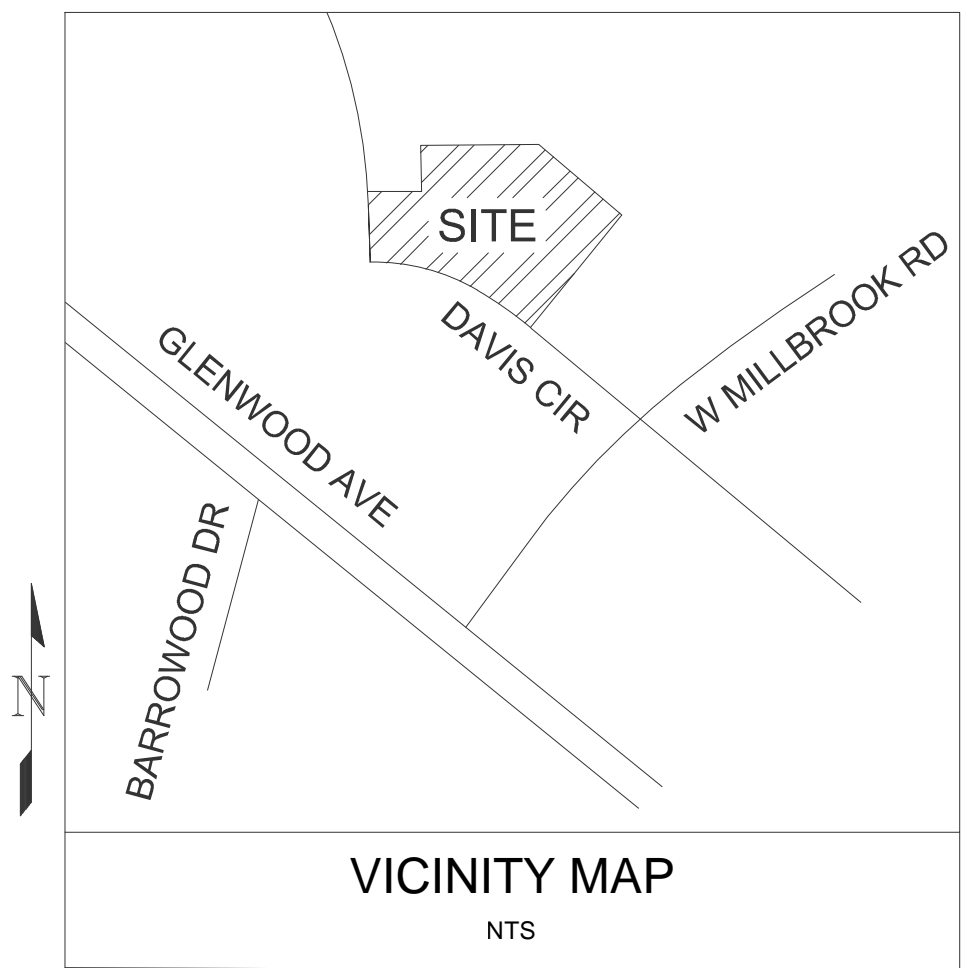
CHECKED BY: JAC

DATE: 04/20/18

SCALE: 1 : 10

EX-1





SITE PLANS FOR PLEASANT PINES TOWNHOMES 6300 PLEASANT PINES DRIVE RALEIGH, NORTH CAROLINA 27613

CRUMPLER
Consulting Services, PLLC
2308 Ridge Road
Raleigh, North Carolina 27612
Ph. 919-413-1704
P-1533

Administrative Site Review Application
(for UDO Districts only)

Development Services Customer Service Center | Exchange Floor, Suite 400 | Raleigh, NC 27601 | 919-996-2905 (toll-free 919-996-1331)
Litchford Satellite Office | 1320 - 130 Litchford Road | Raleigh, NC 27601 | 919-996-4200

When submitting plans, please check the appropriate building type and include the Plan Checklist document.

BUILDING TYPE	FOR OFFICE USE ONLY
<input type="checkbox"/> Detached <input type="checkbox"/> Attached <input type="checkbox"/> Apartment <input checked="" type="checkbox"/> Townhouse	<input type="checkbox"/> General <input type="checkbox"/> Mixed Use <input type="checkbox"/> Open Lot Transaction Number Assigned Project Coordinator Assigned Team Leader

Has your project previously been through the Due Diligence or Sketch Plan Review process? If yes, provide the transaction #

GENERAL INFORMATION

Development Name: PLEASANT PINES TOWNHOMES
 Zoning District: CX-3-PL Overlay District (if applicable): Inside City Limits? Yes No
 Proposed Use: Proposed Townhome Style Condo Units
 Property Address(es): 6300 PLEASANT PINES DRIVE Major Street Locator:
 Wake County Property Identification Number(s) for each parcel to which these guidelines will apply:
 P.I.N. 0786.07-59-4717 P.I.N. P.I.N.

What is your project type?
 Apartment Elderly Facilities Hospitals Hotels/Motels Office
 Assisted Residential Non-Residential Condo School Shopping Center Banks Industrial Building
 Trailer Telecommunication Tower Religious Institution Residential Condo Retail Storage Court
 Other: if other, please describe

WORK SCOPE Per City Code Section 10.2.2.8 D.1, summarize the project work scope. For additions, changes of use, or occupancy (per Chapter 6 of the UDO), indicate impacts on parking requirements.
Proposed townhome style condo units

DESIGN ADJUSTMENT OR ADMIN ALTERNATE Per City Code Chapter 8, summarize if your project requires either a design adjustment, or Section 10 - Alternate Administrative.

CLIENT/DEVELOPER/OWNER
 Company: CONCEPT 8 HOLDINGS, LLC Name: SHAWN DONOVAN
 Address: 307 S. SALEM STREET, SUITE 200, APEX, NC
 Phone: 919-601-5078 Email: SHAWN@CONCEPTEIGHT.COM Fax:

CONSULTANT (Contact Person for Plans)
 Company: Crumpler Consulting Services, PLLC Name: Josh Crumpler
 Address: 2308 Ridge Road, Raleigh, NC 27612
 Phone: 919-413-1704 Email: josh@crumplerconsulting.com Fax:

PAGE 1 OF 3 WWW.RALEIGHNC.GOV REVISION 05.13.16

CITY OF RALEIGH FILE: SR-2-18
CITY OF RALEIGH TRANSACTION #: 540589

NOTES

- TOPOGRAPHIC AND BOUNDARY SURVEY PROVIDED BY CHANCE SURVEYING CO., PA, DATED 10/13/17.
- THE RECORDED PARCEL IS LOCATED IN BM 1996, PG 748 WITH A DEED LOCATED IN DB 15207, PG 999, AND A PIN OF 0786.07-59-4717.
- PROPERTY IS LOCATED IN ZONES X (AREA DETERMINED TO BE OUTSIDE THE 0.2% ANNUAL CHANCE AND FUTURE 1% ANNUAL CHANCE FLOODPLAIN) BASED ON THE FEMA MAP NUMBER 3720078600J DATED MAY 2, 2006.
- NO ONSITE STREAMS OR WETLANDS HAVE BEEN IDENTIFIED WITHIN THE PROJECT OR PARCEL AS SHOWN.
- THIS DRAWING IS NOT FOR RECORDATION.
- SOLID WASTE WILL BE WITH AN ONSITE DUMPSTER WITH AN ENCLOSURE. SOLID WASTE COLLECTION AREA MUST ADHERE TO SCREENING REQUIREMENTS OF UDO SEC. 7.2.5.C AND BE LOCATED TO THE SIDE OR REAR OF BUILDINGS AND MUST BE SCREENED FROM VIEW FROM ADJACENT PROPERTY OR PUBLIC STREET RIGHT-OF-WAY.

SITE EXEMPTION NOTES:

-THE SITE WILL BE CONFORMING TO THE EXEMPTION OF TREE CONSERVATION REQUIREMENTS THROUGH THE CITY OF RALEIGH'S UNIFIED DEVELOPMENT CODE SECTION 9.1.2 FOR PARCELS LESS THAN 2 ACRES IN SIZE.

SHEET

- C-1
- C-2
- C-3
- C-4
- C-5
- C-6
- C-7
- D-1
- D-2
- D-3

DESCRIPTION

- COVER
- EXISTING CONDITIONS (SURVEY)
- SITE PLAN
- UTILITY PLAN
- GRADING PLAN
- LANDSCAPING PLAN
- OUTDOOR AMENITY PLAN
- DETAILS
- DETAILS
- DETAILS

ALL CONSTRUCTION TO BE IN ACCORDANCE WITH ALL CITY OF RALEIGH STANDARDS AND SPECIFICATIONS.



NORTH CAROLINA
ONE-CALL CENTER
1-800-632-4949

PREPARED FOR:
CONCEPT 8 HOLDINGS, LLC
307 S. SALEM STREET, SUITE 300
APEX, NORTH CAROLINA 27502

PREPARED BY:
CRUMPLER
Consulting Services, PLLC

Project Contact: Joshua Crumpler, PE
2308 Ridge Road
Raleigh, North Carolina 27612
Ph. 919-413-1704
P-1533

DEVELOPMENT TYPE & SITE DATA TABLE (Applicable to all developments)

Zoning Information	Building Information
Zoning District(s) CX-3-PL	Proposed building use(s) Condos
If more than one district, provide the acreage of each:	Existing Building(s) vs. ft. gross 0,00
Overlay District	Proposed Building(s) vs. ft. gross 16,000
Total Site Acres Inside City Limits <input checked="" type="checkbox"/> Yes <input type="checkbox"/> No 1.72	Total sq. ft. gross (existing & proposed) 16,000
Off street parking: Required 53 Provided 53	Proposed height of building(s) 25.25
COA (Certificate of Appropriateness) case #	# of stories 3
BOA (Board of Adjustment) case # A-	Ceiling height of 1 st floor 10.5
CUD (Conditional Use District) case # Z-	
Stormwater Information	
Existing Impervious Surface 0.0 acres/square feet	Flood Hazard Area <input type="checkbox"/> Yes <input checked="" type="checkbox"/> No
Proposed Impervious Surface 1.18/51,463 acres/square feet	If Yes, please provide: Annual Soils Flood Study
Neuse River Buffer <input type="checkbox"/> Yes <input checked="" type="checkbox"/> No Wetlands <input type="checkbox"/> Yes <input checked="" type="checkbox"/> No	FEMA Map Panel #
FOR RESIDENTIAL DEVELOPMENTS	
1. Total # of Apartment, Condominium or Residential Units 25	5. Bedroom Units: 1br 2br 25 3br 4br or more
2. Total # of Congregate Care Or Life Care Dwelling Units	6. Infill Development 2.2.7
3. Total Number of Hotel Units	7. Open Space (only) or Amenity 7,495sf
4. Overall Total # of Dwelling Units (1-6 Above) 25	8. Is your project a cottage court? <input type="checkbox"/> Yes <input checked="" type="checkbox"/> No
SIGNATURE BLOCK (Applicable to all developments)	
In filing this plan as the property owner(s), I/we do hereby agree and firmly bind ourselves, my/our heirs, executors, administrators, successors and assigns jointly and severally to construct all improvements and make all dedications as shown on this proposed development plan as approved by the City.	
I hereby designate <u>Joshua Crumpler</u> to serve as my agent regarding this application, to receive and respond to administrative comments, to resubmit plans on my behalf and to represent me in any public meeting regarding this application.	
I/we have read, understand and affirm that this project is conforming to all application requirements applicable with the proposed development use.	
Signed <u>Joshua Crumpler</u> Managing Partner Date <u>12/27/17</u>	
Printed Name _____	Date _____
Signed _____	Date _____
Printed Name _____	

PAGE 2 OF 3 WWW.RALEIGHNC.GOV REVISION 05.13.16

ISSUED FOR PERMITTING

DATE	DESCRIPTION	REV.
02/23/18	CITY OF RALEIGH COMMENTS	1
04/20/18	CITY OF RALEIGH COMMENTS	2
06/19/18	CITY OF RALEIGH COMMENTS	3

COVER SHEET
PLEASANT PINES TOWNHOMES
6300 PLEASANT PINES DRIVE
RALEIGH, NORTH CAROLINA

PROJECT NO.: 17018
DRAWN BY: JAC
CHECKED BY: JAC
DATE: 10/27/17
SCALE: NOT TO SCALE

C-1
1 of 10

PLOTTED: 19 Jun 2018, 11:48am, jcrumpler
CAD FILE: D:\CS3\Projects\2017\17018 - Pleasant Pines Townhomes\Basel LAYOUT - Cover

LINE	BEARING	DISTANCE
L1	N 50°17'03" W	11.82'
L2	N 54°06'36" W	25.45'

N/F
 CRABTREE PINES HOMEOWNERS ASSOCIATION, INC
 DB 3992, PG 116
 BM 1987, PG 1438
 PIN 0786.07-59-6779
 ZONED RX-3

ADA NOTES

- PROPOSED ADA PARKING AND STALL STRIPING SHALL HAVE SLOPES NO STEEPER THAN 1:48 (2%).
- PROPOSED ACCESSIBLE ROUTE TO RIGHT-OF-WAY AND PROPOSED SIDEWALKS SHALL HAVE A RUNNING SLOPE NO STEEPER THAN 1:20 (5%) AND CROSS SLOPES NO STEEPER THAN 1:48 (2%).
- RAMPS SHALL COMPLY WITH THE REQUIREMENTS OF 2012 NCSBC SECTION 1010.
- HANDRAILS SHALL COMPLY WITH THE REQUIREMENTS OF 2012 NCSBC SECTION 1012.

LEGEND

- EXISTING PROPERTY LINE
- EXISTING ABUTTING PROPERTY LINE
- EXISTING RIGHT-OF-WAY
- OHW --- OHW --- OHW EXISTING OVERHEAD POWER LINE
- EXISTING ABUTTING PROPERTY LINE
- EXISTING BUILDING SETBACK LINE
- EXISTING PARKING SETBACK LINE
- EXISTING EDGE OF PAVEMENT
- SS --- SS --- SS EXISTING SANITARY SEWER
- PROPOSED EDGE OF PAVEMENT
- PROPOSED CONCRETE SIDEWALK
- PROPOSED OUTDOOR AMENITY AREA

CRUMPLER
 Consulting Services, PLLC
 2308 Ridge Road
 Raleigh, North Carolina 27612
 Ph. 919-313-1704
 F-1553

ISSUED FOR PERMITTING

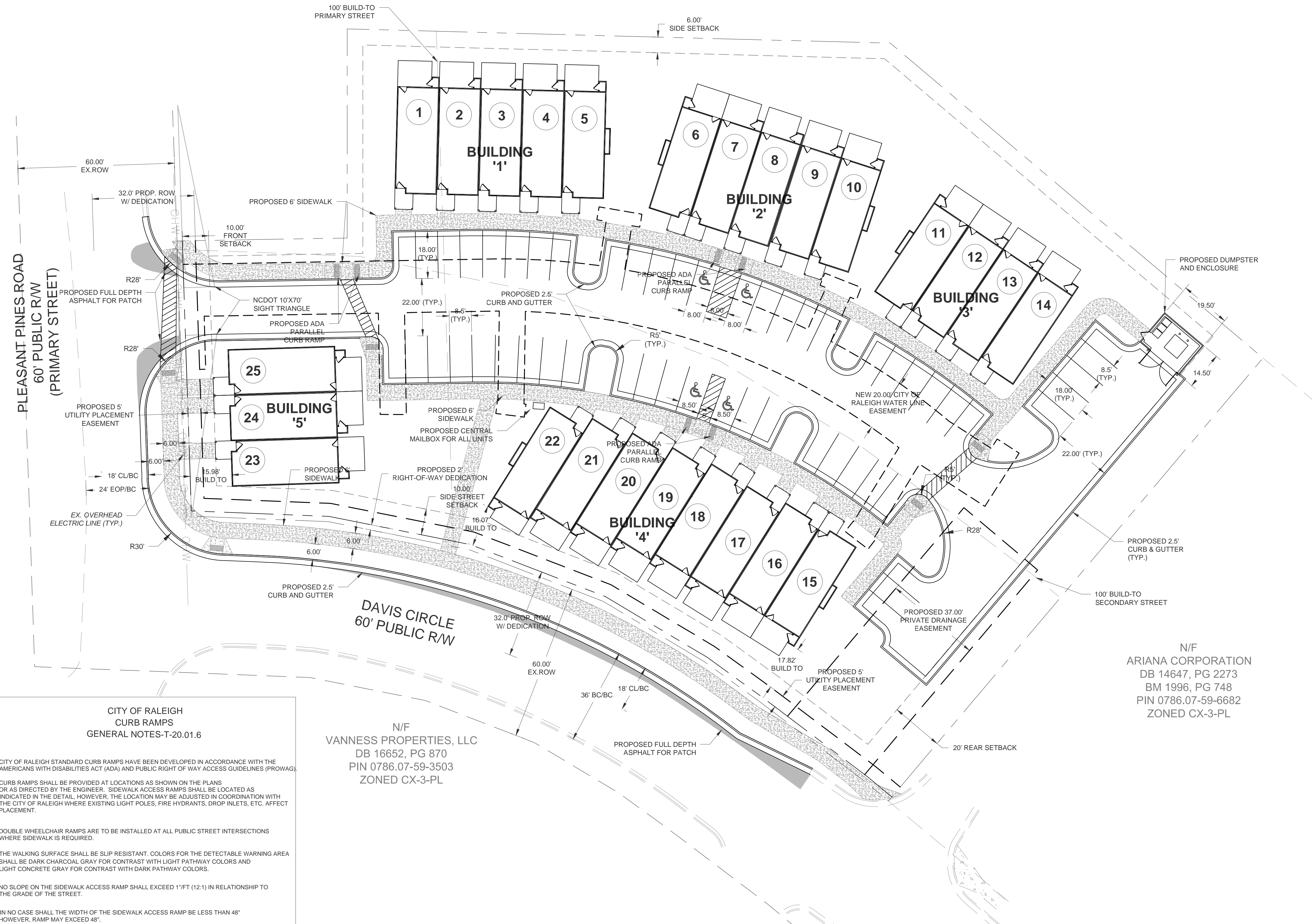
DATE	DESCRIPTION
02/23/18	CITY OF RALEIGH COMMENTS
04/20/18	CITY OF RALEIGH COMMENTS
06/19/18	CITY OF RALEIGH COMMENTS

REV.	DESCRIPTION
1	CITY OF RALEIGH COMMENTS
2	CITY OF RALEIGH COMMENTS
3	CITY OF RALEIGH COMMENTS

SITE PLAN
 PLEASANT PINES TOWNHOMES
 6300 PLEASANT PINES DRIVE
 RALEIGH, NORTH CAROLINA

PROJECT NO.:	17018
DRAWN BY:	JAC
CHECKED BY:	JAC
DATE:	10/27/17
SCALE:	1" = 20'

C-3



SUMMARY INFORMATION

DEVELOPMENT NAME: PLEASANT PINES TOWNHOMES
SITE ADDRESS: 6300 PLEASANT PINES DRIVE
 RALEIGH, NORTH CAROLINA 27613
PIN NUMBER: 0786.07-59-4717
TOTAL ACREAGE: 1.72 ACRES (74,904.00 SF)
JURISDICTION: CITY OF RALEIGH
CURRENT ZONING DISTRICT: CX-3-PL

EXISTING USE: VACANT
PROPOSED USE: TOWNHOMES/CONDOS
PROPOSED UNITS: 25 (2 BEDROOM) UNITS
PROPOSED DENSITY: 13.37

REQUIRED BUILD-TO (PRIMARY): 0' MIN./100' MAX.
PROVIDED BUILD-TO (PRIMARY): 16'
REQUIRED BUILD-TO (SECONDARY): 0' MIN./100' MAX.
PROVIDED BUILD-TO (SECONDARY): 16' TO 22'

REQUIRED BUILD-TO WIDTH (PRIMARY): 50.0%
PROVIDED BUILD-TO WIDTH (PRIMARY): 50.7%
REQUIRED BUILD-TO WIDTH (SECONDARY): 25.0%
PROVIDED BUILD-TO WIDTH (SECONDARY): 43.0%

BUILDING SETBACKS:
 FRONT: 10'
 SIDE STREET: 10'
 SIDE: 0' OR 6'
 REAR: 20'

PARKING SETBACKS:
 FRONT: 20'
 SIDE STREET: 10'
 SIDE: 0' OR 3'
 REAR: 3'

REQUIRED OUTDOOR AMENITY AREA: 7,490 SF
PROVIDED OUTDOOR AMENITY AREA: 7,495 SF

PRE DEVELOPMENT IMPERVIOUS AREA (AC): 0.00 AC
POST DEVELOPMENT IMPERVIOUS AREA (AC): 1.18 AC

BLOCK PERIMETER REQUIRED (MAX): 3,000LF
BLOCK PERIMETER PROVIDED (MAX): 7,200LF*
 DESIGN ADJUSTMENT SUBMITTED FOR UDO 8.3.2.B.6

PARKING CALCULATIONS:
 1 SPACE PER BEDROOM + 1 PER 10 UNITS FOR VISITORS

EXISTING PARKING:
 N/A

PROPOSED PARKING:
 53 PARKING SPACES (3 ADA ACCESSIBLE, 2 VAN ACCESSIBLE)

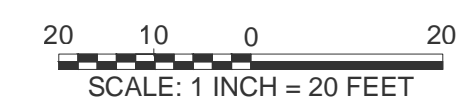
BIKE PARKING REQUIRED: 4 SHORT TERM
BIKE PARKING PROVIDED: 4 SHORT TERM

OWNER/DEVELOPER:
 CONCEPT 8 HOLDINGS, LLC
 307 S. SALEM, SUITE #200
 APEX, NORTH CAROLINA 27502

ENGINEER:
 CRUMPLER CONSULTING SERVICES, PLLC
 CONTACT: JOSH CRUMPLER, PE
 2308 RIDGE ROAD
 RALEIGH, NORTH CAROLINA 27612
 (919) 413-1704

NOTES

- TOPOGRAPHIC AND BOUNDARY SURVEY PROVIDED BY CHANCE SURVEYING CO., PA, DATED 10/13/17.
- PROPERTY IS LOCATED IN ZONES X (AREA DETERMINED TO BE OUTSIDE THE 0.2% ANNUAL CHANCE AND FUTURE 1% ANNUAL CHANCE FLOODPLAIN) BASED ON THE FEMA MAP NUMBER 372007860J DATED MAY 2, 2006.
- NO ONSITE STREAMS OR WETLANDS HAVE BEEN IDENTIFIED WITHIN THE PROJECT OR PARCEL AS SHOWN.
- THIS DRAWING IS NOT FOR RECORDATION.
- SOLID WASTE COLLECTION AREA MUST ADHERE TO SCREENING REQUIREMENTS OF UDO SEC. 7.2.5.C AND BE LOCATED TO THE SIDE OR REAR OF BUILDINGS AND MUST BE SCREENED FROM VIEW FROM ADJACENT PROPERTY OR PUBLIC STREET RIGHT-OF-WAY.



PLOTTED: 19 Jun 2018, 11:48am, jcrumpler

- CITY OF RALEIGH CURB RAMPS GENERAL NOTES-T-20.01.6**
- CITY OF RALEIGH STANDARD CURB RAMPS HAVE BEEN DEVELOPED IN ACCORDANCE WITH THE AMERICANS WITH DISABILITIES ACT (ADA) AND PUBLIC RIGHT OF WAY ACCESS GUIDELINES (PROWAG).
 - CURB RAMPS SHALL BE PROVIDED AT LOCATIONS AS SHOWN ON THE PLANS OR AS DIRECTED BY THE ENGINEER. SIDEWALK ACCESS RAMPS SHALL BE LOCATED AS INDICATED IN THE DETAIL, HOWEVER, THE LOCATION MAY BE ADJUSTED IN COORDINATION WITH THE CITY OF RALEIGH WHERE EXISTING LIGHT POLES, FIRE HYDRANTS, DROP INLETS, ETC. AFFECT PLACEMENT.
 - DOUBLE WHEELCHAIR RAMPS ARE TO BE INSTALLED AT ALL PUBLIC STREET INTERSECTIONS WHERE SIDEWALK IS REQUIRED.
 - THE WALKING SURFACE SHALL BE SLIP RESISTANT. COLORS FOR THE DETECTABLE WARNING AREA SHALL BE DARK CHARCOAL GRAY FOR CONTRAST WITH LIGHT PATHWAY COLORS AND LIGHT CONCRETE GRAY FOR CONTRAST WITH DARK PATHWAY COLORS.
 - NO SLOPE ON THE SIDEWALK ACCESS RAMP SHALL EXCEED 1" FT (12:1) IN RELATIONSHIP TO THE GRADE OF THE STREET.
 - IN NO CASE SHALL THE WIDTH OF THE SIDEWALK ACCESS RAMP BE LESS THAN 48" HOWEVER, RAMP MAY EXCEED 48".
 - USE CLASS A (3000 PSI) CONCRETE WITH A SIDEWALK FINISH IN ORDER TO OBTAIN A ROUGH NONSKID SURFACE.
 - A 1/2" EXPANSION JOINT WILL BE REQUIRED WHERE THE CONCRETE SIDEWALK ACCESS RAMP JOINS THE CURB AND ALSO WHERE NEW CONCRETE ABUTS EXISTING CONCRETE.
 - CURB RAMPS SHOULD BE PLACED PARALLEL TO THE DIRECTION OF TRAVEL.

N/F
 VANNESS PROPERTIES, LLC
 DB 16652, PG 870
 PIN 0786.07-59-3503
 ZONED CX-3-PL

N/F
 ARIANA CORPORATION
 DB 14647, PG 2273
 BM 1996, PG 748
 PIN 0786.07-59-6682
 ZONED CX-3-PL

LINE	BEARING	DISTANCE
L1	N 50°17'03" W	11.82'
L2	N 54°06'36" W	25.45'

N/F
CRABTREE PINES HOMEOWNERS ASSOCIATION, INC
DB 3992, PG 116
BM 1987, PG 1438
PIN 0786.07-59-6779
ZONED RX-3

ADA NOTES

- PROPOSED ADA PARKING AND STALL STRIPING SHALL HAVE SLOPES NO STEEPER THAN 1:48 (2%).
- PROPOSED ACCESSIBLE ROUTE TO RIGHT-OF-WAY AND PROPOSED SIDEWALKS SHALL HAVE A RUNNING SLOPE NO STEEPER THAN 1:20 (5%) AND CROSS SLOPES NO STEEPER THAN 1:48 (2%).
- RAMPS SHALL COMPLY WITH THE REQUIREMENTS OF 2012 NCSBC SECTION 1010.
- HANDRAILS SHALL COMPLY WITH THE REQUIREMENTS OF 2012 NCSBC SECTION 1012.

LEGEND

- EXISTING PROPERTY LINE
- EXISTING ABUTTING PROPERTY LINE
- EXISTING RIGHT-OF-WAY
- OHW --- OHW --- OHW --- EXISTING OVERHEAD POWER LINE
- EXISTING ABUTTING PROPERTY LINE
- EXISTING BUILDING SETBACK LINE
- EXISTING PARKING SETBACK LINE
- EXISTING EDGE OF PAVEMENT
- EXISTING SANITARY SEWER
- W --- PROPOSED WATERLINE
- SS --- SS --- SS --- PROPOSED SANITARY SEWER
- PROPOSED EDGE OF PAVEMENT
- PROPOSED CONCRETE SIDEWALK

CITY OF RALEIGH UTILITY NOTES

- ALL MATERIALS & CONSTRUCTION METHODS SHALL BE IN ACCORDANCE WITH CITY OF RALEIGH DESIGN STANDARDS, DETAILS & SPECIFICATIONS (REFERENCE: CORPUD HANDBOOK, CURRENT EDITION)
- UTILITY SEPARATION REQUIREMENTS:
 - A DISTANCE OF 100' SHALL BE MAINTAINED BETWEEN SANITARY SEWER & ANY PRIVATE OR PUBLIC WATER SUPPLY SOURCE SUCH AS AN IMPOUNDED RESERVOIR USED AS A SOURCE OF DRINKING WATER. IF ADEQUATE LATERAL SEPARATION CANNOT BE ACHIEVED, FERROUS SANITARY SEWER PIPE SHALL BE SPECIFIED & INSTALLED TO WATERLINE SPECIFICATIONS. HOWEVER, THE MINIMUM SEPARATION SHALL NOT BE LESS THAN 25' FROM A PRIVATE WELL OR 50' FROM A PUBLIC WELL.
 - WHEN INSTALLING WATER & OR SEWER MAINS, THE HORIZONTAL SEPARATION BETWEEN UTILITIES SHALL BE 10'. IF THIS SEPARATION CANNOT BE MAINTAINED DUE TO EXISTING CONDITIONS, THE VARIATION ALLOWED IS THE WATER MAIN IN A SEPARATE TRENCH WITH THE ELEVATION OF THE WATER MAIN AT LEAST 18" ABOVE THE TOP OF THE SEWER & MUST BE APPROVED BY THE PUBLIC UTILITIES DIRECTOR. ALL DISTANCES ARE MEASURED FROM OUTSIDE DIAMETER TO OUTSIDE DIAMETER.
 - WHERE IT IS IMPOSSIBLE TO OBTAIN PROPER SEPARATION, OR ANYTIME A SANITARY SEWER PASSES OVER A WATERMAIN, DIP MATERIALS OR STEEL ENCASUREMENT EXTENDED 10' ON EACH SIDE OF CROSSING MUST BE SPECIFIED & INSTALLED TO WATERLINE SPECIFICATIONS.
 - 5.0' MINIMUM HORIZONTAL SEPARATION IS REQUIRED BETWEEN ALL SANITARY SEWER & STORM SEWER FACILITIES, UNLESS DIP MATERIAL IS SPECIFIED FOR SANITARY SEWER.
 - MAINTAIN 18" MIN. VERTICAL SEPARATION AT ALL WATERMAIN & RCP STORM DRAIN CROSSINGS; MAINTAIN 24" MIN. VERTICAL SEPARATION AT ALL SANITARY SEWER & RCP STORM DRAIN CROSSINGS. WHERE ADEQUATE SEPARATIONS CANNOT BE ACHIEVED, SPECIFY DIP MATERIALS & A CONCRETE CRADLE.
 - ALL OTHER UNDERGROUND UTILITIES SHALL CROSS WATER & SEWER FACILITIES WITH 18" MIN. VERTICAL SEPARATION REQUIRED.
- ANY NECESSARY FIELD REVISIONS ARE SUBJECT TO REVIEW & APPROVAL OF AN AMENDED PLAN &/OR PROFILE BY THE CITY OF RALEIGH PUBLIC UTILITIES DEPARTMENT PRIOR TO CONSTRUCTION.
- CONTRACTOR SHALL MAINTAIN CONTINUOUS WATER & SEWER SERVICE TO EXISTING RESIDENCES & BUSINESSES THROUGHOUT CONSTRUCTION OF PROJECT. ANY NECESSARY SERVICE INTERRUPTIONS SHALL BE PRECEDED BY A 24 HOUR ADVANCE NOTICE TO THE CITY OF RALEIGH PUBLIC UTILITIES DEPARTMENT.
- 3.0' MINIMUM COVER IS REQUIRED ON ALL WATER MAINS & SEWER FORCEMAINS. 4.0' MINIMUM COVER IS REQUIRED ON ALL REUSE MAINS.
- ABANDON AND REMOVE EXISTING WATER AND SEWER SERVICES NOT BEING USED IN REDEVELOPMENT OF SITE AS DIRECTED BY THE CITY OF RALEIGH PUBLIC UTILITIES DEPARTMENT. THIS INCLUDES ABANDONING TAP AT MAIN & REMOVAL OF SERVICE FROM ROW OR EASEMENT PER CORPUD HANDBOOK PROCEDURE.
- INSTALL 2" COPPER WATER SERVICES WITH METERS LOCATED AT ROW OR WITHIN A 2'X2' WATERLINE EASEMENT IMMEDIATELY ADJACENT. NOTE: IT IS THE APPLICANT'S RESPONSIBILITY TO PROPERLY SIZE THE WATER SERVICE FOR EACH CONNECTION TO PROVIDE ADEQUATE FLOW & PRESSURE.
- INSTALL 4" PVC SEWER SERVICES @ 1.0% MINIMUM GRADE WITH CLEANOUTS. SEWER SERVICE LINES TO PASS BELOW WATER MAIN WITH A MINIMUM 18" VERTICAL CLEARANCE.
- PRESSURE REDUCING VALVES ARE REQUIRED ON ALL WATER SERVICES EXCEEDING 80 PSI. BACKWATER VALVES ARE REQUIRED ON ALL SANITARY SEWER SERVICES HAVING BUILDING DRAINS LOWER THAN 1.0' ABOVE THE NEXT UPSTREAM MANHOLE.
- ALL ENVIRONMENTAL PERMITS APPLICABLE TO THE PROJECT MUST BE OBTAINED FROM NCDWQ, USACE &/OR FEMA FOR ANY RIPARIAN BUFFER, WETLAND &/OR FLOODPLAIN IMPACTS (RESPECTIVELY) PRIOR TO CONSTRUCTION.
- NC DOT / RAILROAD ENCROACHMENT AGREEMENTS ARE REQUIRED FOR ANY UTILITY WORK (INCLUDING MAIN EXTENSIONS & SERVICE TAPS) WITHIN STATE OR RAILROAD ROW PRIOR TO CONSTRUCTION.
- GREASE INTERCEPTOR / OIL WATER SEPARATOR SIZING CALCULATIONS & INSTALLATION SPECIFICATIONS SHALL BE APPROVED BY THE CORPUD FOG PROGRAM COORDINATOR PRIOR TO ISSUANCE OF A BUILDING PERMIT. CONTACT TIM BEASLEY AT (919) 996-2334 OR timothy.beasley@raleighnc.gov FOR MORE INFORMATION.
- CROSS-CONNECTION CONTROL PROTECTION DEVICES ARE REQUIRED BASED ON DEGREE OF HEALTH HAZARD INVOLVED AS LISTED IN APPENDIX-B OF THE RULES GOVERNING PUBLIC WATER SYSTEMS IN NORTH CAROLINA. THESE GUIDELINES ARE THE MINIMUM REQUIREMENTS. THE DEVICES SHALL MEET AMERICAN SOCIETY OF SANITARY ENGINEERING (ASSE) STANDARDS OR BE ON THE UNIVERSITY OF SOUTHERN CALIFORNIA APPROVAL LIST. THE DEVICES SHALL BE INSTALLED AND TESTED (BOTH INITIAL AND PERIODIC TESTING THEREAFTER) IN ACCORDANCE WITH THE MANUFACTURER'S RECOMMENDATIONS OR THE LOCAL CROSS-CONNECTION CONTROL PROGRAM, WHICHEVER IS MORE STRINGENT. CONTACT JOANIE HARTLEY AT (919) 996-5923 OR joanie.hartley@raleighnc.gov FOR MORE INFORMATION

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2308 Ridge Road
Raleigh, North Carolina 27612
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F: 919-313-1553

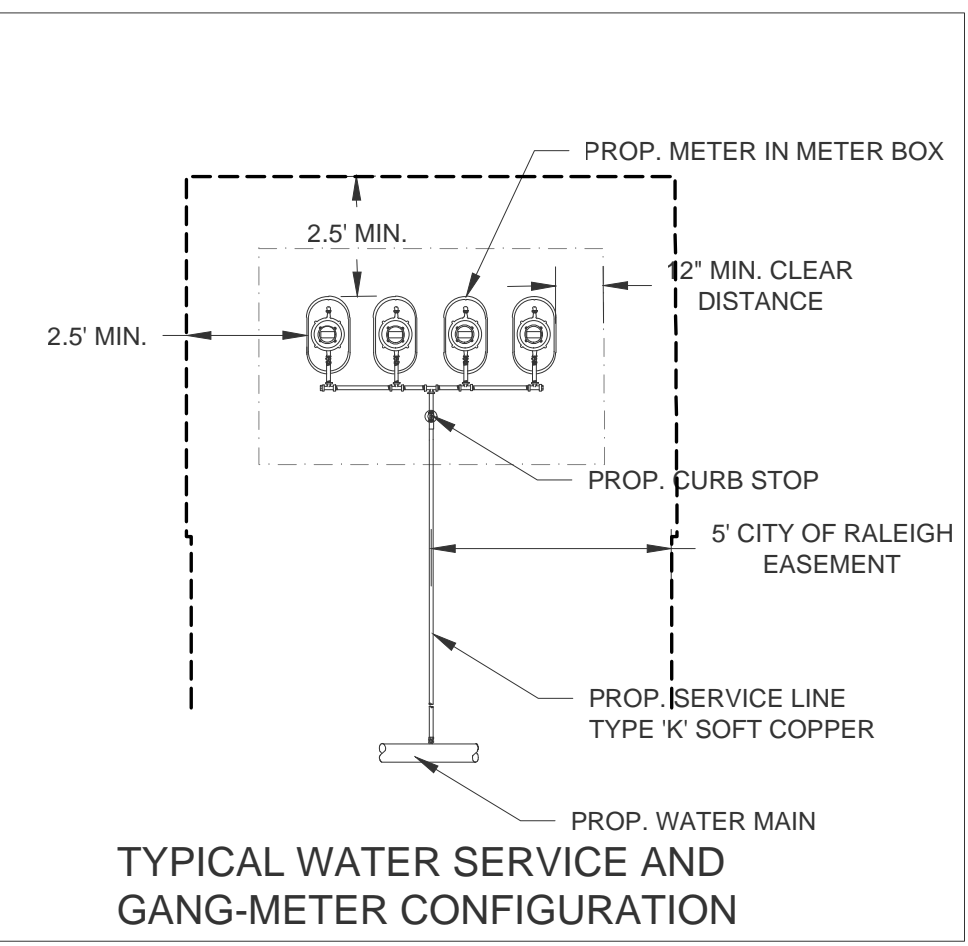
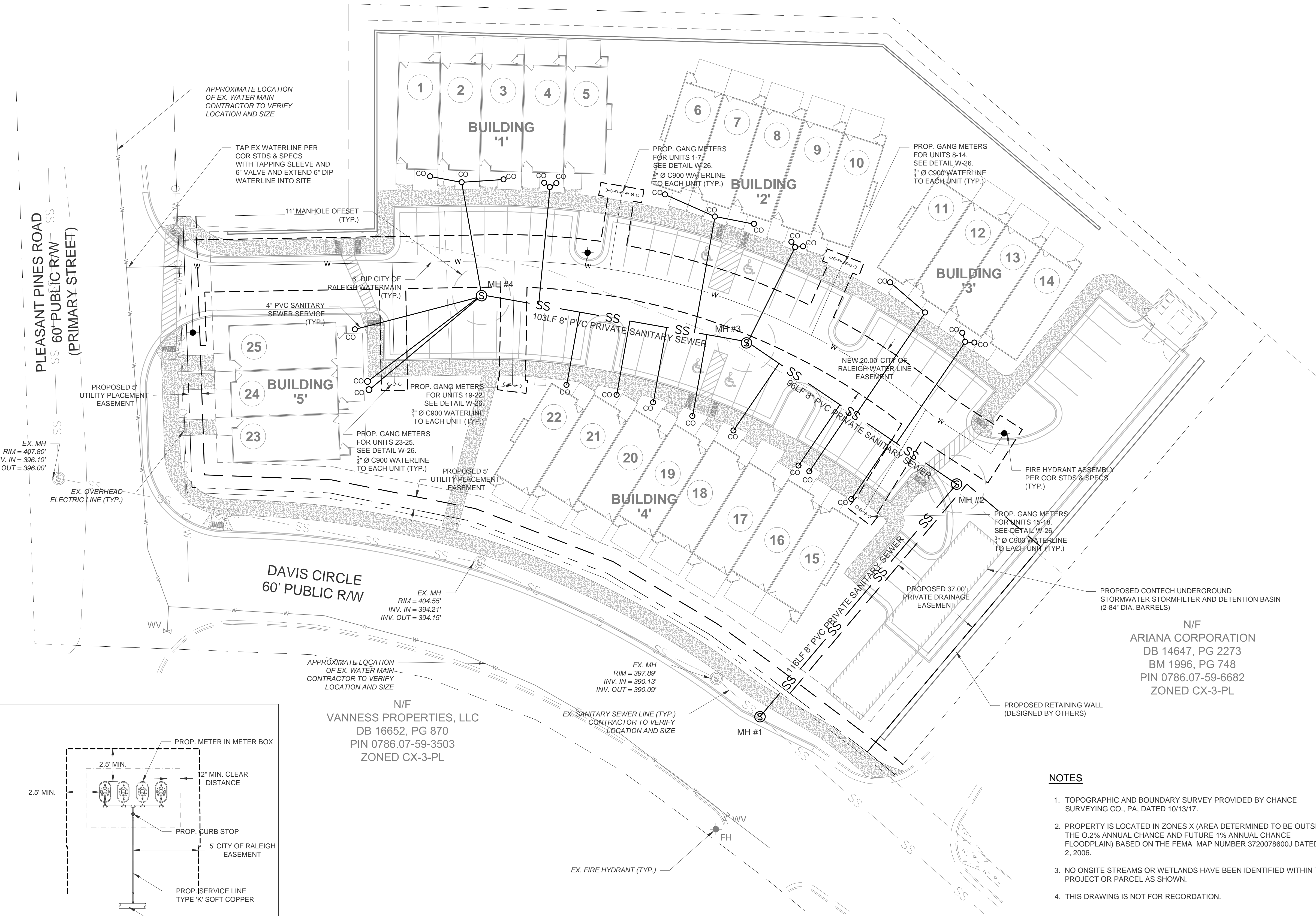
ISSUED FOR PERMITTING

REV.	DESCRIPTION	DATE
1	CITY OF RALEIGH COMMENTS	02/23/18
2	CITY OF RALEIGH COMMENTS	04/20/18
3	CITY OF RALEIGH COMMENTS	06/19/18

UTILITY PLAN
PLEASANT PINES TOWNHOMES
6300 PLEASANT PINES DRIVE
RALEIGH, NORTH CAROLINA

PROJECT NO.:	17018
DRAWN BY:	JAC
CHECKED BY:	JAC
DATE:	10/27/17
SCALE:	1" = 20'

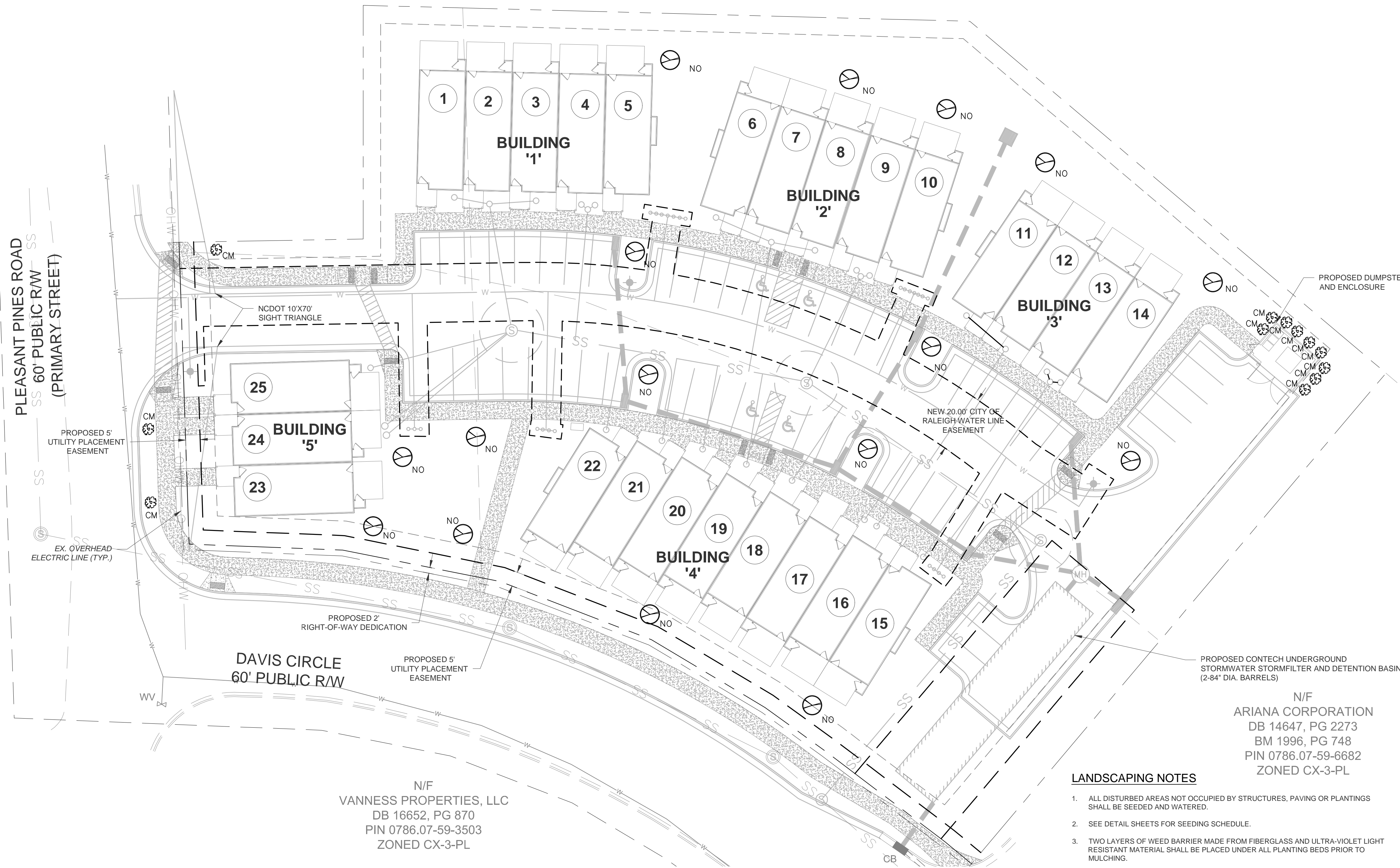
C-4



NOTES

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PLOTTED: 19 Jun 2018, 11:48am, jrumpler
 CAD FILE: D:\CS3\Projects\2017\17018 Pleasant Pines Townhomes\Basel LAYOUT Utility Plan



LEGEND	
	EXISTING PROPERTY LINE
	EXISTING ABUTTING PROPERTY LINE
	EXISTING RIGHT-OF-WAY
	EXISTING OVERHEAD POWER LINE
	EXISTING ABUTTING PROPERTY LINE
	EXISTING BUILDING SETBACK LINE
	EXISTING PARKING SETBACK LINE
	EXISTING EDGE OF PAVEMENT
	EXISTING SANITARY SEWER
	PROPOSED EDGE OF PAVEMENT
	PROPOSED CONCRETE SIDEWALK
	PROPOSED OUTDOOR AMENITY AREA

PLANTING REQUIREMENTS

1.1 GENERAL PRODUCT REQUIREMENTS

A. PROVIDE A STRUCTURAL PLANTING SOIL USING THE TWO COMPONENTS LISTED BELOW THAT MEET ASTM STANDARDS AS FOLLOWS:

- 3/4" EXPANDED SLATE 80%
- SANDY CLAY LOAM 20%
- PERCENTAGES OF SAND AND CLAY MAY VARY TO MEET TEST REQUIREMENTS.

B. COMPACTION: WHEN CALCULATING THE VOLUME NECESSARY FOR THE PROJECT, ADD APPROXIMATELY 18% TO THE CALCULATED VOLUME TO ALLOW FOR COMPACTION WHICH OCCURS DURING INSTALLATION DUE TO DRIVING SMALL EQUIPMENT OVER THE PRODUCT, IN ADDITION TO THE NATURAL SETTLING PROCESS.

1.2 STRUCTURAL SOIL COMPONENTS:

A. SIZE 3/4" ROTARY KILN EXPANDED SLATE

- ONLY NON-HAZARDOUS FUELS SUCH AS COAL OR NATURAL GAS MAY BE USED TO PROCESS THE SLATE.
- UNIT DRY WEIGHT LOOSE: 48 LB./C.F. TO 55 LB./C.F. (ASTM C29)(SATURATED SURFACE LOOSE: 55 LB./C.F. TO 60 LB./C.F.)
- SPECIFIC GRAVITY: 1.45 TO 1.60, DRY BULK (ASTM C127)
- GRADATION: 3/4" #4 SIZE

SIZE	% PASSING
1"	100
3/4"	90-100
3/8"	10-50
#4	0-10

5. TEST FOR DEGRADATION LOSS USING LOS ANGELES ABRASION TESTING IN ACCORDANCE WITH ASTM C-131 MODIFIED METHOD FM 1-T096. NO MORE THAN 28% OF THE WEIGHT OF THE AGGREGATE MUST BE LOST TO DEGRADATION.

B. SANDY CLAY LOAM

SANDY CLAY LOAM IS FOR MIXING WITH STRUCTURAL SOIL ONLY AND NOT TO BE CONFUSED WITH "PLANTING SOIL"

TEXTURE:

- 40 - 65% SAND
- 15 - 25% SILT
- 20 - 35% CLAY
- 2 - 5% ORGANIC MATTER

3.0 PREPARATION:

A. GENERAL:

- STRUCTURAL SOIL IS SHOWN IN A PUBLIC RIGHT-OF-WAY OR EASEMENT. OBTAIN APPROVALS FROM PROPER AUTHORITIES BEFORE AND AFTER PLACING STRUCTURAL SOIL.
- ACHIEVE 90% OF MAXIMUM DRY DENSITY FOR THE SUBGRADE. (ASTM D698)

B. PREPARING SUBGRADE:

- THE SUBGRADE SHALL BE PREPARED ACCORDING TO THE FOLLOWING PROCEDURE: REMOVE ALL ORGANIC MATTER, DEBRIS, LOOSE MATERIAL AND LARGE ROCKS.
- DIG OUT SOFT AND MUCKY SPOTS AND REPLACE WITH SUITABLE MATERIAL.
- LOOSEN HARD SPOTS; UNIFORMLY COMPACT SUBGRADE TO 95% OF ITS MAXIMUM DRY DENSITY.

C. PERFORATED UNDERDRAIN SYSTEM (IF USED):

- INSTALL UNDER DRAIN SYSTEM, WITH SOCK OR SOIL SEPARATOR FABRIC, ACCORDING TO DRAWINGS AND CONNECTED TO STORM DRAIN.

3.3 INSTALLATION OF STRUCTURAL SOIL MIX:

A. GENERAL:

- INSTALL THE SOIL DRAINS ENSURING THE STRUCTURAL SOIL IS PROPERLY COMPACTED UNDER AND AROUND EACH PIPE.
- CONSIDER USING ROOT BARRIERS IF IT IS DESIRED TO AVOID ROOT PENETRATION INTO ADJACENT UTILITIES.

B. PLACING AND COMPACTING STRUCTURAL SOIL:

- PLACE STRUCTURAL SOIL MIX IN HORIZONTAL LIFTS NOT EXCEEDING 12 INCHES DEPTH. COMPACT USING A VIBRATORY PLATE COMPACTING MACHINE. PERFORM A MINIMUM OF TWO PASSES, OF NOT LESS THAN 10 SECONDS PER PASS, BEFORE MOVING THE VIBRATORY PLATE TO THE NEXT ADJACENT LOCATION. ADDITIONAL PASSES MAY BE REQUIRED SHOULD THE FIELD ENGINEER DETERMINE ADDITIONAL COMPACTION IS NECESSARY TO INSURE STABILITY OF THE LAYER. CONTINUE PLACING AND COMPACTING 12 INCH LIFTS UNTIL THE SPECIFIED DEPTH IS REACHED.
- FOR LARGE SPACES, A VIBRATORY STEEL ROLLER WEIGHING NO MORE THAN 12 TONS STATIC WEIGHT CAN BE USED. HORIZONTAL LIFTS SHOULD NOT EXCEED 12 INCHES COMPACTED. THE MINIMUM NUMBER OF PASSES IS TWO AND MAXIMUM NUMBER IS FOUR. ADDITIONAL PASSES MAY BE REQUIRED SHOULD THE FIELD ENGINEER DETERMINE ADDITIONAL COMPACTION IS NECESSARY TO INSURE STABILITY OF THE LAYER.

3.5 TREE PIT PREPARATION:

A. TREE PIT EXCAVATION:

- EXCAVATE THE TREE PIT USING THE FOLLOWING PROCEDURE:
 - EXCAVATE THE STRUCTURAL SOIL MIX TO A DEPTH EQUAL TO THE HEIGHT OF THE ROOT BALL OF THE TREE TO BE PLANTED. REMOVE THE STRUCTURAL SOIL TO WITHIN NO MORE THAN ONE FOOT OF THE EDGE OF THE PAVED AREA.
 - PLACE THE TREE IN THE PIT AND BACKFILL AS DESCRIBED BELOW AS SOON AS POSSIBLE.
 - NO TREE PIT SHALL REMAIN EXCAVATED FOR MORE THAN 2 HOURS UNLESS FORMS ARE USED.
- TREE PIT BACKFILL PLANTING MIX:
 - REMOVE ANY WOODEN FORMS. IMMEDIATELY PLACE THE TREE IN THE PIT AS DETAILED AND REPLACE THE EXCAVATED STRUCTURAL SOIL WITH EITHER OF THE FOLLOWING:
 - PLANTING SOIL FOR TREES AS SPECIFIED
 - HAND TAMP THE PLANTING MIX IN 12 INCH LIFTS UNTIL THE PIT IS FILLED TO THE SPECIFIED GRADE.
 - DO NOT USE EXCAVATED SOIL AS ENGINEERED FILL TO SUPPORT PAVING OR STRUCTURES. EXCESS EXCAVATED STRUCTURAL SOIL MIX MAY BE USED FOR OTHER PLANTING BACKFILL OPERATIONS.

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LANDSCAPING NOTES

- ALL DISTURBED AREAS NOT OCCUPIED BY STRUCTURES, PAVING OR PLANTINGS SHALL BE SEEDED AND WATERED.
- SEE DETAIL SHEETS FOR SEEDING SCHEDULE.
- TWO LAYERS OF WEED BARRIER MADE FROM FIBERGLASS AND ULTRA-VIOLET LIGHT RESISTANT MATERIAL SHALL BE PLACED UNDER ALL PLANTING BEDS PRIOR TO MULCHING.
- ALL TREE PLANTINGS SHALL BE MULCHED WITH 3" CLEAN, BARK MULCH.
- A MINIMUM OF FOUR INDIVIDUAL SOIL SAMPLES SHALL BE TAKEN THROUGHOUT THE SITE FOR OVERALL SOIL ANALYSIS.
- MINIMUM TOPSOIL DEPTH SHALL BE 4" IN LAWN AREAS AND 12" IN LANDSCAPED AREAS. CONTRACTOR TO UTILIZE ALL ONSITE TOPSOIL. CONTRACTOR SHALL SUPPLY ADDITIONAL TOPSOIL AT NO ADDITIONAL COST TO OWNER IF EXISTING TOPSOIL IS NOT SUFFICIENT TO MEET THE NEEDS OF THIS PROJECT.
- ALL PLANTING AREAS TO RECEIVE 1 CY OF SOIL CONDITIONER FOR EACH 75 SF OF PLANT BED AREA. ACCEPTABLE SOIL CONDITIONERS SHALL BE PULVERIZED PINE BARK, PEAT MOSS OR SHREDDED/COMPOSTED LEAVES.
- CONTRACTOR TO FIELD VERIFY LOCATION OF EXISTING UTILITIES BEFORE BEGINNING OF GRADING AND LANDSCAPE INSTALLATION.
- CONTRACTOR TO VERIFY QUANTITIES OF PLANTINGS AS SHOWN. PLANTINGS INDICATED ON PLANS SHALL PREVAIL OVER QUANTITIES INDICATED IN PLANT LIST IF DISCREPANCIES ARISE.
- ALL PLANTS ARE TO BE THOROUGHLY "WATERED IN" THE SAME DAY AS PLANTED.
- THE PLANT HOLE WIDTH SHALL BE A MINIMUM TWO TIMES THE DIAMETER OF THE ROOT BALL.
- REMOVE BURLAP FROM TOP OF ROOT BALL BEFORE BACKFILLING AROUND BALL IS COMPLETED.
- ALL TREES, WHEN PLANTED, SHALL HAVE THE SAME RELATIONSHIP TO FINISHED GRADE AS TO THE GRADING PLAN.
- LANDSCAPING SHOWN MEETS REQUIREMENTS.
- ALL ADDITIONAL LANDSCAPING SHALL BE PER OWNER.
- ALL LANDSCAPING SHALL BE GUARANTEED FOR ONE (1) YEAR AFTER FINAL ACCEPTANCE. ANY PLANTINGS NEEDING REPLACEMENT WILL BE GUARANTEED FROM THE TIME OF REPLACEMENT IF AFTER FINAL ACCEPTANCE.
- UTILITY SERVICE AREAS LOCATED OUTSIDE OF THE PUBLIC RIGHT-OF-WAY THAT EXCEED 42 INCHES IN HEIGHT AND 42 INCHES IN ANY OTHER DIMENSION MUST BE SCREENED FROM THE PUBLIC RIGHT-OF-WAY AS REQUIRED BY UDO SEC. 7.2.5.E.
- MECHANICAL EQUIPMENT MUST ADHERE TO THE SCREENING REQUIREMENTS OF UDO SEC. 7.2.5.D.1 THROUGH 7.2.5.D.4.

TREE CONSERVATION AND LANDSCAPING NOTES:

-THE SITE WILL BE CONFORMING TO THE EXEMPTION OF TREE CONSERVATION REQUIREMENTS THROUGH THE CITY OF RALEIGH'S UNIFIED DEVELOPMENT CODE SECTION 9.1.2 FOR PARCELS LESS THAN 2 ACRES IN SIZE.

-TREE IMPACT PERMIT IS REQUIRED PRIOR TO ISSUANCE OF BUILDING PERMIT TO PLANT TREES IN THE PUBLIC RIGHT OF WAY IF REQUIRED.

LANDSCAPING REQUIREMENTS

PLEASANT PINES ROAD
 REQUIREMENT: 1 UNDERSTORY TREE PER 20LF=104LF/20LF=5 TREES
 PROVIDED: 3 TREES DUE TO OVERHEAD POWER LINE AND INTERSECTION

DAVIS CIRCLE
 REQUIREMENT: 1 SHADE TREES PER 40LF=297LF/40LF=7 TREES
 PROVIDED: 0 (FEE IN LIEU DUE TO EXISTING SANITARY SEWER LINE CONFLICT)

PARKING LOT LANDSCAPING
 REQUIREMENT: 1 SHADE TREE PER ISLAND AND 1 PER 2,000 SF OF PARKING AREA
 PROVIDED: 6 SHADE TREES FOR 6 ISLANDS
 20,311SF OF PARKING/2,000SF=10 SHADE TREES

DUMPSTER SCREENING
 PROVIDED: 9 UNDERSTORY TREES

KEY	QUA.	BOTANICAL NAME	COMMON NAME	HEIGHT	SPREAD	ROOT	CALIPER
		SHADE TREES					
NO	16	QUERCUS NUTTALLII	NUTTALL OAK	10'		B&B	3"
		UNDERSTORY TREES					
CM	11	LAGERSTROEMIA SPP., L HYBRIDS	SINGLE STEM CREPE MYRTLE "COMANCHE"	6'		B&B	2"

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ISSUED FOR PERMITTING

LANDSCAPING PLAN

PLEASANT PINES TOWNHOMES

6300 PLEASANT PINES DRIVE
RALEIGH, NORTH CAROLINA

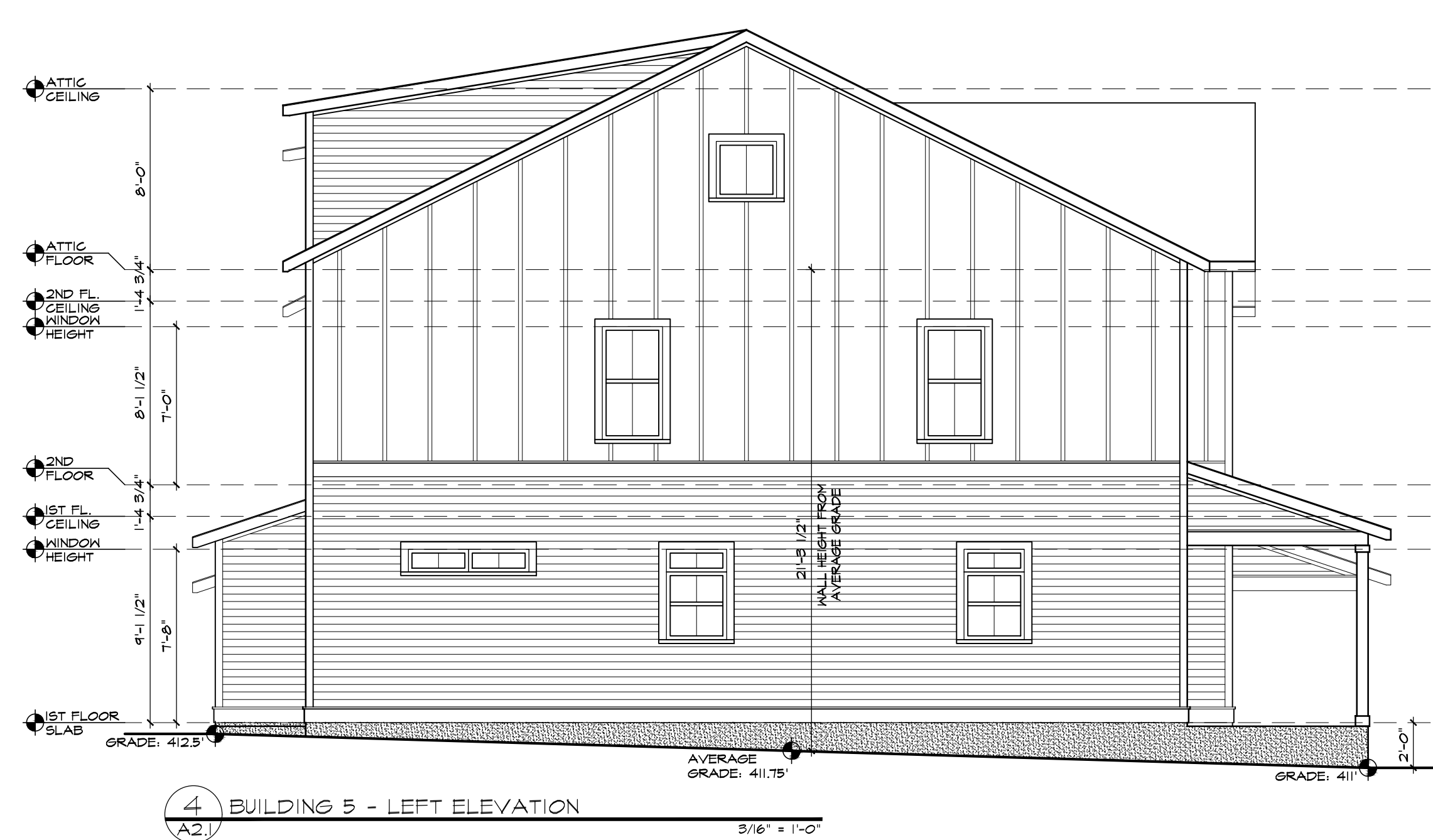
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1	CITY OF RALEIGH COMMENTS	02/23/18
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PROJECT NO.: 17018
 DRAWN BY: JAC
 CHECKED BY: JAC
 DATE: 10/27/17
 SCALE: 1" = 20'

C-6

6 of 10

**Pleasant Pines
Townhomes**



date	04.09.18
drafter	C.L.B.
checked by	D.S.M.
proj. no.	T-17087.1
revisions	date



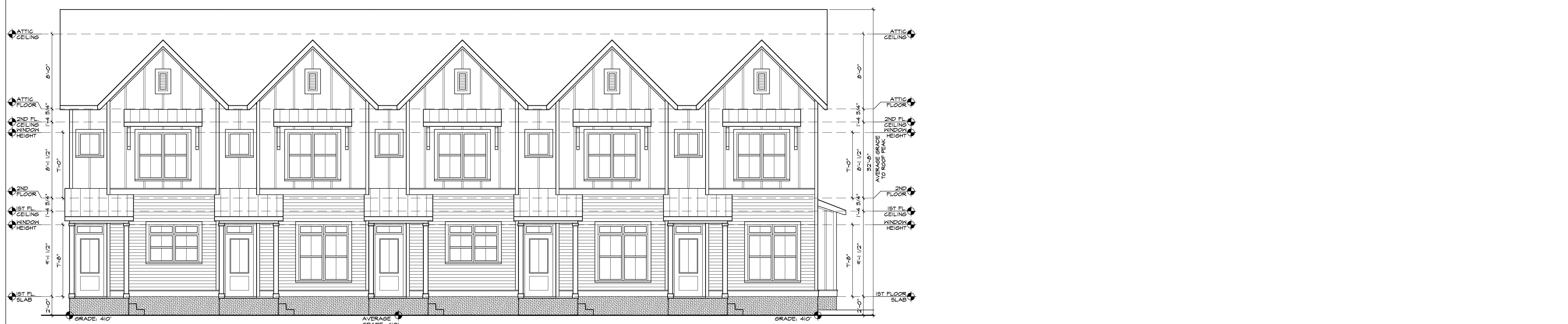
4 BUILDING 4 - FRONT ELEVATION
 A2.1 3/16" = 1'-0"



2 BUILDING 2 - FRONT ELEVATION
 A2.1 3/16" = 1'-0"



3 BUILDING 3 - FRONT ELEVATION
 A2.1 3/16" = 1'-0"



1 BUILDING 1 - FRONT ELEVATION
 A2.1 3/16" = 1'-0"

Pleasant Pines Road
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 Townhomes**

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Conceptual Front
 Elevations

A2.1