

# CERTIFICATE OF APPROPRIATENESS PLACARD

for Raleigh Historic Resources

**Project Description:**

Install metal roof over rear addition

804 W South St

Address

Boylan Heights

Historic District

Historic Property

COA-0204-2018

Certificate Number

1/4/2019

Date of Issue

7/3/2019

Expiration Date

*This card must be kept posted in a location within public view until all phases of the described project are complete. The work must conform with the code of the City of Raleigh and laws of the state of North Carolina. When your project is complete, you are required to ask for a final zoning inspection in a historic district area. Telephone the RHDC office at 832-7238 and commission staff will coordinate the inspection with the inspections Department. If you do not call for this final inspection, your Certificate of Appropriateness is null and void.*

Signature, \_\_\_\_\_

*Collette R. Kinne*

Raleigh Historic Development Commission

*Pending the resolution of appeals, commencement of work is at your own risk.*

# Raleigh Historic Development Commission – Certificate of Appropriateness (COA) Application



**DEVELOPMENT  
SERVICES  
DEPARTMENT**

Development Services  
Customer Service Center  
One Exchange Plaza  
1 Exchange Plaza, Suite 400  
Raleigh, North Carolina 27601  
Phone 919-996-2495  
eFax 919-996-1831



2518

- Minor Work (staff review) – 1 copy
- Major Work (COA Committee review) – 10 copies
  - Additions Greater than 25% of Building Square Footage
  - New Buildings
  - Demo of Contributing Historic Resource
  - All Other
- Post Approval Re-review of Conditions of Approval

**For Office Use Only**

Transaction # 580258

File # COA-0204-2018

Fee 2900

Amount Paid \$2900

Received Date 12/17/18

Received By 12/17/18

Property Street Address 804 W. South Street

Historic District Boylan Heights

Historic Property/Landmark name (if applicable) N/A

Owner's Name Robert and Christine Mayhew

Lot size 0.11 acre      (width in feet) 45'      (depth in feet) 113'

For applications that require review by the COA Committee (Major Work), provide addressed, stamped envelopes to owners of all properties within 100 feet (i.e. both sides, in front (across the street), and behind the property) not including the width of public streets or alleys ([Label Creator](#)). N/A

Property Address	Property Address

I understand that all applications that require review by the commission's Certificate of Appropriateness Committee must be submitted by 4:00 p.m. on the application deadline; otherwise, consideration will be delayed until the following committee meeting. An incomplete application will not be accepted.

Type or print the following:

Applicant David P. Bryson

Mailing Address P.O. Box 40722

City Raleigh

State North Carolina


Zip Code 27629

Date December 16, 2018

Daytime Phone (919)272-8115

Email Address dbrysondesign@yahoo.com

Applicant Signature



Will you be applying for rehabilitation tax credits for this project?  Yes  No

Did you consult with staff prior to filing the application?  Yes  No

Office Use Only

Type of Work \_\_\_\_\_

\_\_\_\_\_

\_\_\_\_\_

**Design Guidelines** - Please cite the applicable sections of the design guidelines ([www.rhdc.org](http://www.rhdc.org)).

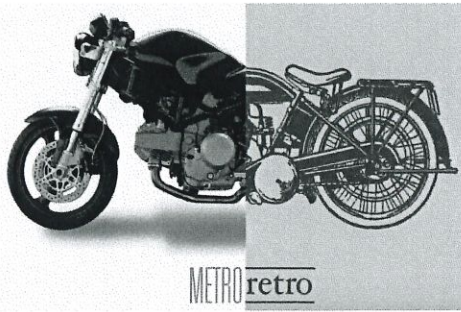
Section/Page	Topic	Brief Description of Work (attach additional sheets as needed)
2.3/42-43	Architectural Metals	<p>Installation of new standing seam metal roof on rear of house where a previous 1990's era addition was poorly designed and constructed.</p> <p>All new trim, soffits and fascia that will be installed to match existing will be painted to match the existing residence paint scheme.</p> <p>The existing asphalt shingle roof over the 1990's addition was conceived and installed in error. The roof pitch is too low for the installation of asphalt shingles, thus allowing consistent water infiltration during any moderately sizeable rain events. The resulting water infiltration has soaked insulation (rendering its R-value useless), soaked roof members (reducing their structural capabilities), damaged ceiling surfaces, and caused tile on the family room floor to release from its substrate. The existing roof in this area will be removed and all damaged or compromised materials shall be replaced. The new roof system shall be a standing seam metal roof. The color shall match the tone of the asphalt shingle system.</p>
2.4/44-45	Paint and Paint Color	
2.5/46-47	Roofs	

### Minor Work Approval (office use only)

Upon being signed and dated below by the Planning Director or designee, this application becomes the Minor Work Certificate of Appropriateness. It is valid until 07/03/2019. Please post the enclosed placard form of the certificate as indicated at the bottom of the card. Issuance of a Minor Work Certificate shall not relieve the applicant, contractor, tenant, or property owner from obtaining any other permit required by City Code or any law. Minor Works are subject to an appeals period of 30 days from the date of approval.

Signature (City of Raleigh) Collette R K Date 01/04/2019

TO BE COMPLETED BY APPLICANT	TO BE COMPLETED BY CITY STAFF				
	YES	N/A	YES	NO	N/A
Attach 8-1/2" x 11" or 11" x 17" sheets with written descriptions and drawings, photographs, and other graphic information necessary to completely describe the project. Use the checklist below to be sure your application is complete.  <b>Minor Work (staff review) – 1 copy</b>  <b>Major Work (COA Committee review) – 10 copies</b>					
1. <b>Written description.</b> Describe clearly and in detail the nature of your project. Include exact dimensions for materials to be used (e.g. width of siding, window trim, etc.)	<input checked="" type="checkbox"/>				
2. <b>Description of materials</b> (Provide samples, if appropriate)	<input checked="" type="checkbox"/>				
3. <b>Photographs</b> of existing conditions are required. Minimum image size 4" x 6" as printed. Maximum 2 images per page.	<input checked="" type="checkbox"/>				
4. <b>Paint Schedule</b> (if applicable)	<input type="checkbox"/>	<input checked="" type="checkbox"/>			
5. <b>Plot plan</b> (if applicable). A plot plan showing relationship of buildings, additions, sidewalks, drives, trees, property lines, etc., must be provided if your project includes any addition, demolition, fences/walls, or other landscape work. Show accurate measurements. You may also use a copy of the survey you received when you bought your property. Revise the copy as needed to show existing conditions and your proposed work.	<input checked="" type="checkbox"/>	<input type="checkbox"/>			
6. <b>Drawings</b> showing existing and proposed work <ul style="list-style-type: none"> <li><input type="checkbox"/> Plan drawings</li> <li><input type="checkbox"/> Elevation drawings showing the façade(s)</li> <li><input type="checkbox"/> Dimensions shown on drawings and/or graphic scale (required)</li> <li><input type="checkbox"/> 11" x 17" or 8-1/2" x 11" reductions of full-size drawings. If reduced size is so small as to be illegible, make 11" x 17" or 8-1/2" x 11" snap shots of individual drawings from the big sheet.</li> </ul>	<input checked="" type="checkbox"/>	<input type="checkbox"/>			
7. Stamped envelopes addressed to all property owners within 100 feet of property not counting the width of public streets and alleys (required for Major Work). Use the <a href="#">Label Creator</a> to determine the addresses.	<input type="checkbox"/>	<input checked="" type="checkbox"/>			
8. <b>Fee</b> ( <a href="#">See Development Fee Schedule</a> )	<input checked="" type="checkbox"/>				



## 1. Written Description

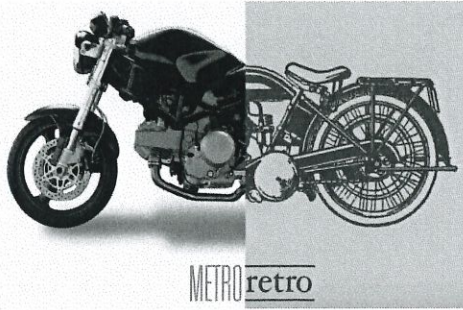
**DATE: 14 December 2018**

The Residence at 804 W. South Street in Boylan Heights is a typical era 1 ½ story bungalow and was constructed in 1925. Although the residence has remained almost untouched save minor upgrades and modifications throughout its history, the rear section of the home did experience a small addition of a family room located just off the kitchen a number of years before the Mayhews purchased it in 2005. The addition has a number of issues that the Owners wish to remedy. Of these issues, the most problematic one is the inability of the roofing system to perform its primary function of keeping water from entering the building envelope. This issue is clearly due to the fact that the roof slope is too low for standard (economy) asphalt roofing shingles to resist water infiltration. Exacerbating this design flaw are many installation and flashing details that are sub-par at best.

The project is to replace the existing asphalt roofing system over the addition with a new, standing seam metal roof system with all underlayment, fasteners, flashing and related details designed and installed to insure a proper roofing system. In addition to the new roof system, we will also be replacing all damaged and effected materials and systems including (but not limited to): compromised roof and ceiling support framing members, effected fiberglass batt insulation, gwb (ceiling and wall), tile floor, effected floor support systems, and the installation of a new, proper, LVL between the kitchen and the family room.

When the addition is reconstructed, all facia, soffit, trim, fenestration, flashing and gutter systems will be installed and painted to match the original structure.

During this rather extensive addition rebuild, the Mayhews will be updating their kitchen and family room (located in the area in question) to better suit their needs; creating a kitchen and accessory areas with greater functionality, better storage and vastly improved food preparation apparatuses.



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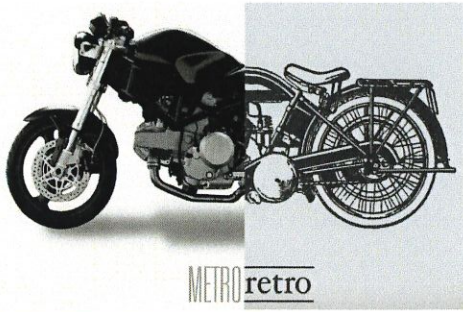
## 2. Description of Materials

**DATE: 14 December 2018**

The Residence at 804 W. South Street in Boylan Heights is comprised of brick exterior with accent areas at the porch (arched) beams and gable ends of a concrete parge with artistic insets of small irregular rock. All of the home's wood fascia and soffits are comprised of wood trim, beadboard soffits and lightly decorative, exposed roof overhang supports. In contrast, the existing addition at the rear of the residence (of which we are planning to rebuild) is currently sided with painted horizontal clapboard. It is the Owner's intent to replace all damaged clapboard and then repaint it to match the existing residence. Although the soffit and fascia of the addition seemingly attempted to match the existing residence, it was poorly attempted. The reconstructed addition shall have much greater emphasis on insuring the addition details match the existing structure in construction and paint.

The primary new material (though almost unseen) will be the new standing seam metal roofing system over the reworked addition. The color of the standing seam roofing will match the existing shingle roofing as close as possible (see section 3. Photographs).

The secondary materials will be the installation and painting of all required fascia, soffit and trim that will match the original existing residence in detail and finish (see section 3. Photographs).



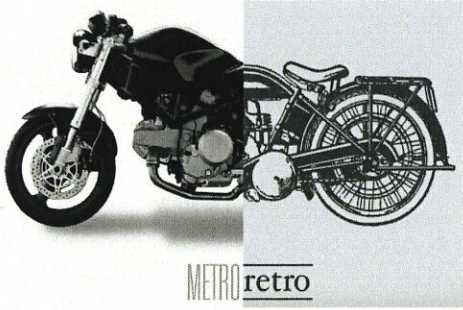
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### 3. Photographs

DATE: 14 December 2018

The Residence at 804 W. South Street in Boylan Heights; street view for context (no work this area):

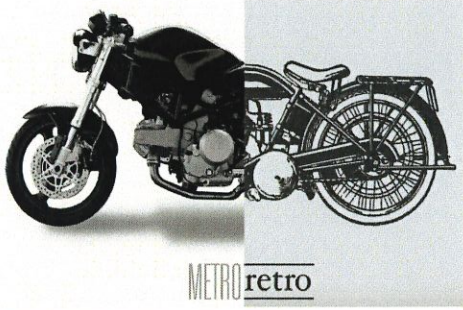




The Residence at 804 W. South Street in Boylan Heights; showing NE (rear) corner, existing addition (area of work) with clapboard siding and modern picture window:

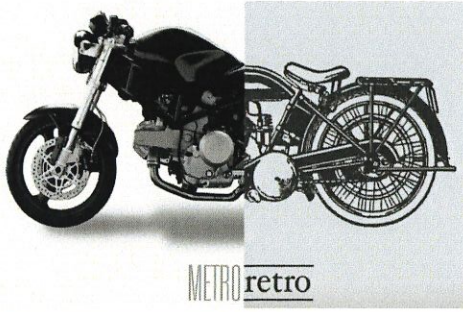






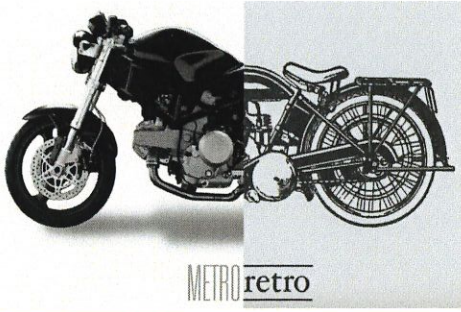
The Residence at 804 W. South Street in Boylan Heights; showing N (rear), existing addition (area of work) with clapboard siding, relocated original rear kitchen door and a pair of economical insulated glass double-hung windows:





The Residence at 804 W. South Street in Boylan Heights; showing N (rear), details of clapboard siding and trim:

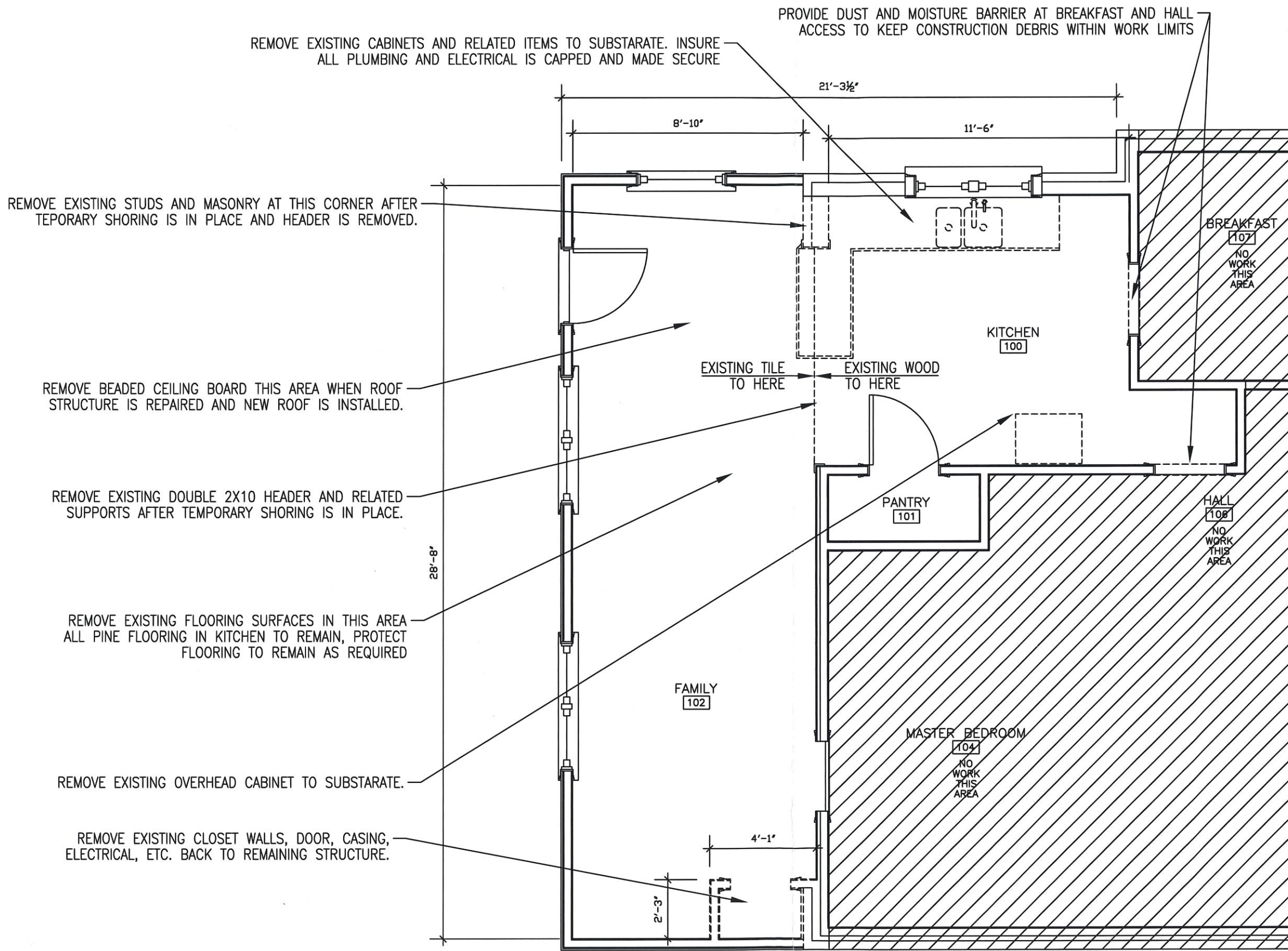




The Residence at 804 W. South Street in Boylan Heights; showing N (rear), details of clapboard siding and trim:







REMOVE EXISTING CABINETS AND RELATED ITEMS TO SUBSTRATE. INSURE ALL PLUMBING AND ELECTRICAL IS CAPPED AND MADE SECURE

PROVIDE DUST AND MOISTURE BARRIER AT BREAKFAST AND HALL ACCESS TO KEEP CONSTRUCTION DEBRIS WITHIN WORK LIMITS

REMOVE EXISTING STUDS AND MASONRY AT THIS CORNER AFTER TEMPORARY SHORING IS IN PLACE AND HEADER IS REMOVED.

REMOVE BEADED CEILING BOARD THIS AREA WHEN ROOF STRUCTURE IS REPAIRED AND NEW ROOF IS INSTALLED.

REMOVE EXISTING DOUBLE 2X10 HEADER AND RELATED SUPPORTS AFTER TEMPORARY SHORING IS IN PLACE.

REMOVE EXISTING FLOORING SURFACES IN THIS AREA ALL PINE FLOORING IN KITCHEN TO REMAIN, PROTECT FLOORING TO REMAIN AS REQUIRED

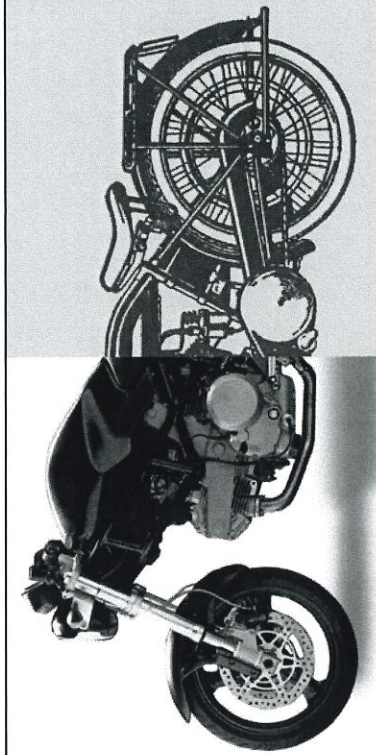
REMOVE EXISTING OVERHEAD CABINET TO SUBSTRATE.

REMOVE EXISTING CLOSET WALLS, DOOR, CASING, ELECTRICAL, ETC. BACK TO REMAINING STRUCTURE.

**1 DEMOLITION PLAN**

1/4" = 1'-0"

© 2018 THESE DRAWINGS AND SPECIFICATIONS AS INSTRUMENTS OF SERVICE ARE PROPERTY OF THE ARCHITECT



METRO retro

**BRYSON DESIGN, INC.**  
P.O. BOX 40722  
RALEIGH, NORTH CAROLINA  
27629  
(919)272.8115  
dbrysondesign@yahoo.com



**PROJECT:**  
MAYHEW KITCHEN  
RENOVATION  
804 WEST SOUTH STREET  
RALEIGH, NC 27603

**DATE:** 12/14/2018

**SHEET**  
**D-1**

## Kinane, Collette

---

**From:** David Bryson <dbrysondesign@yahoo.com>  
**Sent:** Wednesday, January 2, 2019 4:09 PM  
**To:** Kinane, Collette  
**Subject:** Re: minor work COA - 804 W South Street  
**Attachments:** Survey showing roofing work area.pdf

Collette,

Thanks for your reply and inquiry, sorry it took me so long to respond (it got lost in my email traffic).

Here are my responses to your questions in **bold italics**:

Will the exterior of the rear addition change in appearance in any way? ***No real change save it will match the existing structure better and be weather-tight.***

Is the reconstruction due to the roof structural system? ***The reconstruction is due to roof design and original installation failures and the subsequent damage to the residence.***

In addition to a little more information on that part, could you also provide a drawing that shows what part of the roof will be metal vs. remaining the same? ***See attached Survey that has the areas denoted.***

Thanks for your assistance. Please let me know if you have any further questions and/or requests.

Have a great evening!

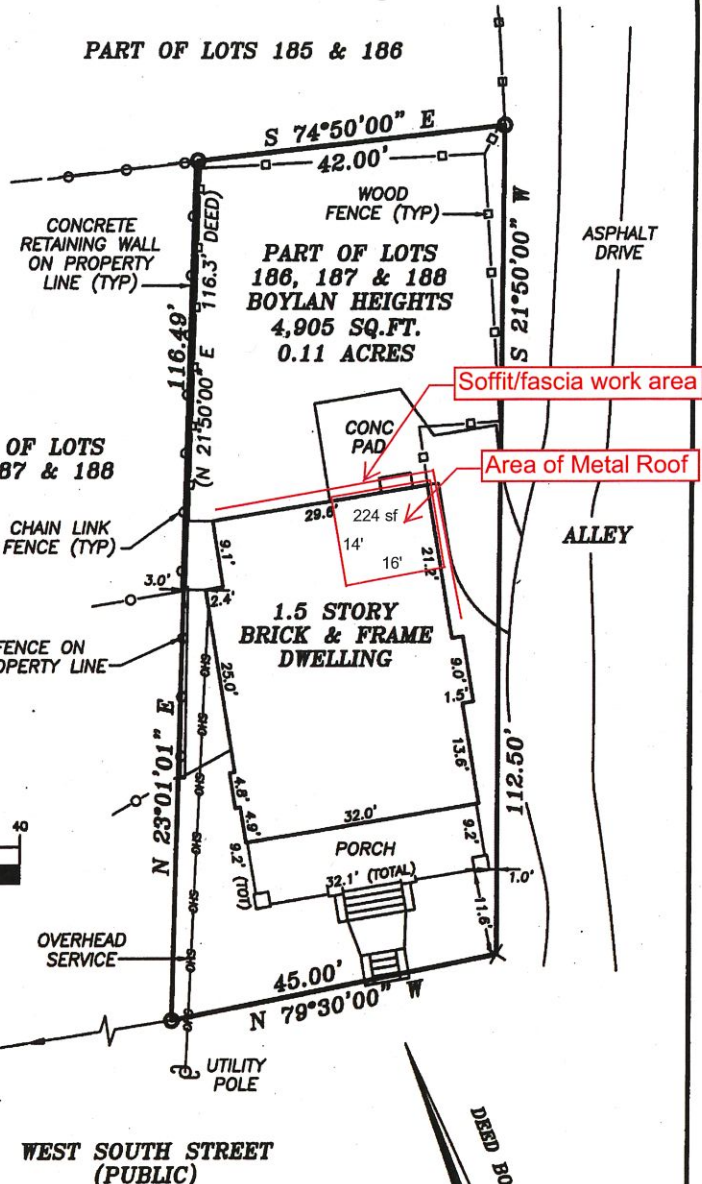
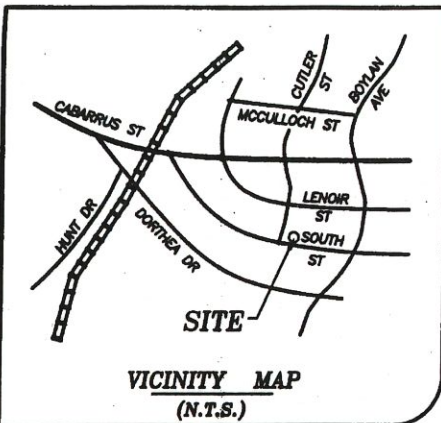
David

**David P. Bryson, AIA**  
**Bryson Design Inc.**  
**P.O. Box 40722**  
**Raleigh, NC 27629**  
**(919)272-8115**

On Friday, December 21, 2018, 1:42:56 PM EST, Kinane, Collette <Collette.Kinane@raleighnc.gov> wrote:

Hi, David –

I'm reviewing your minor work COA application for a metal roof at 804 W South Street. In the written description it states "When the addition is reconstructed, all fascia, soffit, trim, fenestration, flashing, and gutter systems will be installed and painted to match the original structure." Will the exterior of the rear addition change in appearance in any way? Is the reconstruction due to the roof structural system? In addition to a little more information on that part, could you also provide a drawing that shows what part of the roof will be metal vs. remaining the same? This could be as simple as making notes on the plot plan.



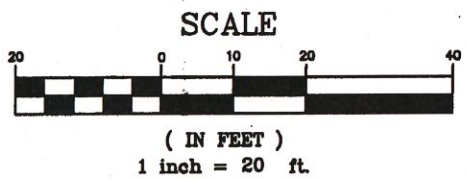
**LEGEND**

- EXISTING IRON PIPE
- NEW IRON PIPE
- × COMPUTED CORNER

**NOTE:**  
THIS PROPERTY DOES NOT LIE WITHIN 2000' OF A N.C.G.S. MONUMENT.

THIS SURVEY IS OF AN EXISTING PARCEL OR PARCELS OF LAND.

ALL CREEKS, EASEMENTS, BUFFERS, FLOOD LIMITS & SETBACKS TAKEN FROM BOM 1885, PG 114.



TIE 91' ± TO THE INTERSECTION OF THE NORTHERN R/W OF WEST SOUTH STREET AND THE EASTERN R/W OF CUTLER STREET PER DEED BOOK 9354, PG 445

**FLOOD CERTIFICATION**

THIS WILL CERTIFY THAT THE SUBJECT PROPERTY ( ) IS or ( X ) IS NOT located in a SPECIAL FLOOD HAZARD AREA as determined by the Department of Housing and Urban Development, or as shown on the FLOOD INSURANCE RATE MAP.

370243      0527      E  
COMMUNITY #      PANEL      SUFFIX

*Jeffrey H. Davis*  
PROFESSIONAL LAND SURVEYOR

I, Jeffrey H. Davis, PLS, certify this map was drawn under my supervision from an actual survey made under my supervision; and that the error of closure as calculated by latitudes and departures is 1/10,000+; that the boundaries not surveyed are shown as broken lines plotted from information found in Book ---; Page --- this map was prepared in accordance with G.S. 47-30 amended.

Witness my original signature, registration number and seal this 5<sup>th</sup> day of May 2005.

Signed *Jeffrey H. Davis*



REVISED TO SHOW CORRECT DEED REFERENCE (05-05-2005)

WAKE CO. REG.	PAGE 114	B.O.M. 1885	C.N. = 8801	<b>ROBERT MAYHEW</b>	
				<b>CHRISTINE MAYHEW</b>	
				PART OF LOTS 186, 187 & 188 BOYLAN HEIGHTS 804 WEST SOUTH STREET RALEIGH NORTH CAROLINA	
				DATE: 05-04-2005	DWG. NO. A-6477



**TURNING POINT**  
**SURVEYING** PLLC

4113 JOHN S. RABOTEAU WYND  
RALEIGH, NORTH CAROLINA 27612  
FAX 510-8742 PH 781-0234

## Kinane, Collette

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**From:** Kinane, Collette  
**Sent:** Friday, January 4, 2019 11:12 AM  
**To:** 'David Bryson'  
**Subject:** RE: minor work COA - 804 W South Street

Hi, David –

Thank you for this additional information. In reviewing the drawings once more, I did notice that it appears that a window is being added in the proposed laundry area. Please send a specification of the window to be installed (including a section). Additionally, the photographs you provided of the existing conditions are excellent. Please also provide elevations illustrating the proposed new roof slope of the addition and the wall with the new window.

Thanks,  
Collette

**Collette R. Kinane**  
Preservation Planner II

■ **Raleigh Urban Design Center**  
One Exchange Plaza, Suite 300 | Raleigh, NC 27601  
919-996-2649 | [raleighnc.gov](http://raleighnc.gov)

---

**From:** David Bryson <[dbrysondesign@yahoo.com](mailto:dbrysondesign@yahoo.com)>  
**Sent:** Wednesday, January 2, 2019 4:09 PM  
**To:** Kinane, Collette <[Collette.Kinane@raleighnc.gov](mailto:Collette.Kinane@raleighnc.gov)>  
**Subject:** Re: minor work COA - 804 W South Street

Collette,

Thanks for your reply and inquiry, sorry it took me so long to respond (it got lost in my email traffic).

Here are my responses to your questions in ***bold italics***:

Will the exterior of the rear addition change in appearance in any way? ***No real change save it will match the existing structure better and be weather-tight.***

Is the reconstruction due to the roof structural system? ***The reconstruction is due to roof design and original installation failures and the subsequent damage to the residence.***

In addition to a little more information on that part, could you also provide a drawing that shows what part of the roof will be metal vs. remaining the same? ***See attached Survey that has the areas denoted.***

Thanks for your assistance. Please let me know if you have any further questions and/or requests.

Have a great evening!

David



## Kinane, Collette

---

**From:** David Bryson <dbrysondesign@yahoo.com>  
**Sent:** Friday, January 4, 2019 12:00 PM  
**To:** Kinane, Collette  
**Subject:** Re: minor work COA - 804 W South Street  
**Attachments:** A-1 Floor Plan 01042018.pdf

Collette,

Thanks for your quick reply. I have contacted the Owner about the proposed window and he stated that they have decided to delete it (see attached A-1 dated today). As far as the roof slope for the new metal roof, it will be the existing slope. The reason for the metal roof is the simple fact that the existing roof slope is too low for a shingle roof, thus the water infiltration/water damage issue.

Let me know if you have any additional questions.

Have a great afternoon!

David

**David P. Bryson, AIA**  
**Bryson Design Inc.**  
**P.O. Box 40722**  
**Raleigh, NC 27629**  
**(919)272-8115**

On Friday, January 4, 2019, 11:11:59 AM EST, Kinane, Collette <Collette.Kinane@raleighnc.gov> wrote:

Hi, David –

Thank you for this additional information. In reviewing the drawings once more, I did notice that it appears that a window is being added in the proposed laundry area. Please send a specification of the window to be installed (including a section). Additionally, the photographs you provided of the existing conditions are excellent. Please also provide elevations illustrating the proposed new roof slope of the addition and the wall with the new window.

Thanks,

Collette

**Collette R. Kinane**

