

CERTIFICATE OF APPROPRIATENESS PLACARD

for Raleigh Historic Resources

602 E LANE STREET

Address

OAKWOOD

Historic District

Historic Property

138-18-MW

Certificate Number

09-04-2018

Date of Issue

03-04-2019

Expiration Date

Project Description:

- Construct bike shed;
- install brick walk

This card must be kept pasted in a location within public view until all phases of the described project are complete. The work must conform with the code of the City of Raleigh and laws of the state of North Carolina. When your project is complete, you are required to ask for a final zoning inspection in a historic district area. Telephone the RHDC office at 832-7238 and commission staff will coordinate the inspection with the Inspections Department. If you do not call for this final inspection, your Certificate of Appropriateness is null and void.

Signature, _____

A handwritten signature in black ink, appearing to read "Collette R. K.", is written over a horizontal line.

Raleigh Historic Development Commission

Pending the resolution of appeals, commencement of work is at your own risk.

Raleigh Historic Development Commission – Certificate of Appropriateness (COA) Application



**DEVELOPMENT
SERVICES
DEPARTMENT**

Development Services
Customer Service Center
One Exchange Plaza
1 Exchange Plaza, Suite 400
Raleigh, North Carolina 27601
Phone 919-996-2495
eFax 919-996-1831



<input checked="" type="checkbox"/> Minor Work (staff review) – 1 copy <input type="checkbox"/> Major Work (COA Committee review) – 10 copies <input type="checkbox"/> Additions Greater than 25% of Building Square Footage <input type="checkbox"/> New Buildings <input type="checkbox"/> Demo of Contributing Historic Resource <input type="checkbox"/> All Other <input type="checkbox"/> Post Approval Re-review of Conditions of Approval	<p style="text-align: center;">For Office Use Only</p> Transaction # <u>567378</u> File # _____ Fee <u>30⁰⁰</u> Amount Paid <u>30⁰⁰ ck #1486</u> Received Date <u>8/24/18</u> Received By <u>Pam Bert</u>
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Property Street Address 602 E. Lane Street Raleigh, NC 27601

Historic District Oakwood

Historic Property/Landmark name (if applicable) _____

Owner's Name Laura & Leon Malahias

Lot size 5,040 sqft. (width in feet) 48' (depth in feet) 105'

For applications that require review by the COA Committee (Major Work), provide addressed, stamped envelopes to owners of all properties within 100 feet (i.e. both sides, in front (across the street), and behind the property) not including the width of public streets or alleys ([Label Creator](#)).

Property Address	Property Address

I understand that all applications that require review by the commission's Certificate of Appropriateness Committee must be submitted by 4:00 p.m. on the application deadline; otherwise, consideration will be delayed until the following committee meeting. An incomplete application will not be accepted.

Type or print the following:

Applicant **Laura & Leon Malahias**

Mailing Address **602 E. Lane Street**

City **Raleigh**

State **NC**

Zip Code **27601**

Date **8/21/2018**

Daytime Phone **919-889-8389**

Email Address **laurajost@gmail.com**

Applicant Signature

Laura Malahias

Will you be applying for rehabilitation tax credits for this project? Yes No

Did you consult with staff prior to filing the application? Yes No

Office Use Only

Type of Work **82, 10**

Design Guidelines - Please cite the applicable sections of the design guidelines (www.rhdc.org).

Section/Page	Topic	Brief Description of Work (attach additional sheets as needed)
1.6	Garages & Accessory Structures	Build a 6x12 bike shed adjacent to parking pad in back yard. Finishes will match house in terms of siding, paint color, etc. (HardiePlank siding painted white, shingle roof).
1.1	Public Rights of-way	add section of brick pavers in right-of-way to line up with gate on Elm Street

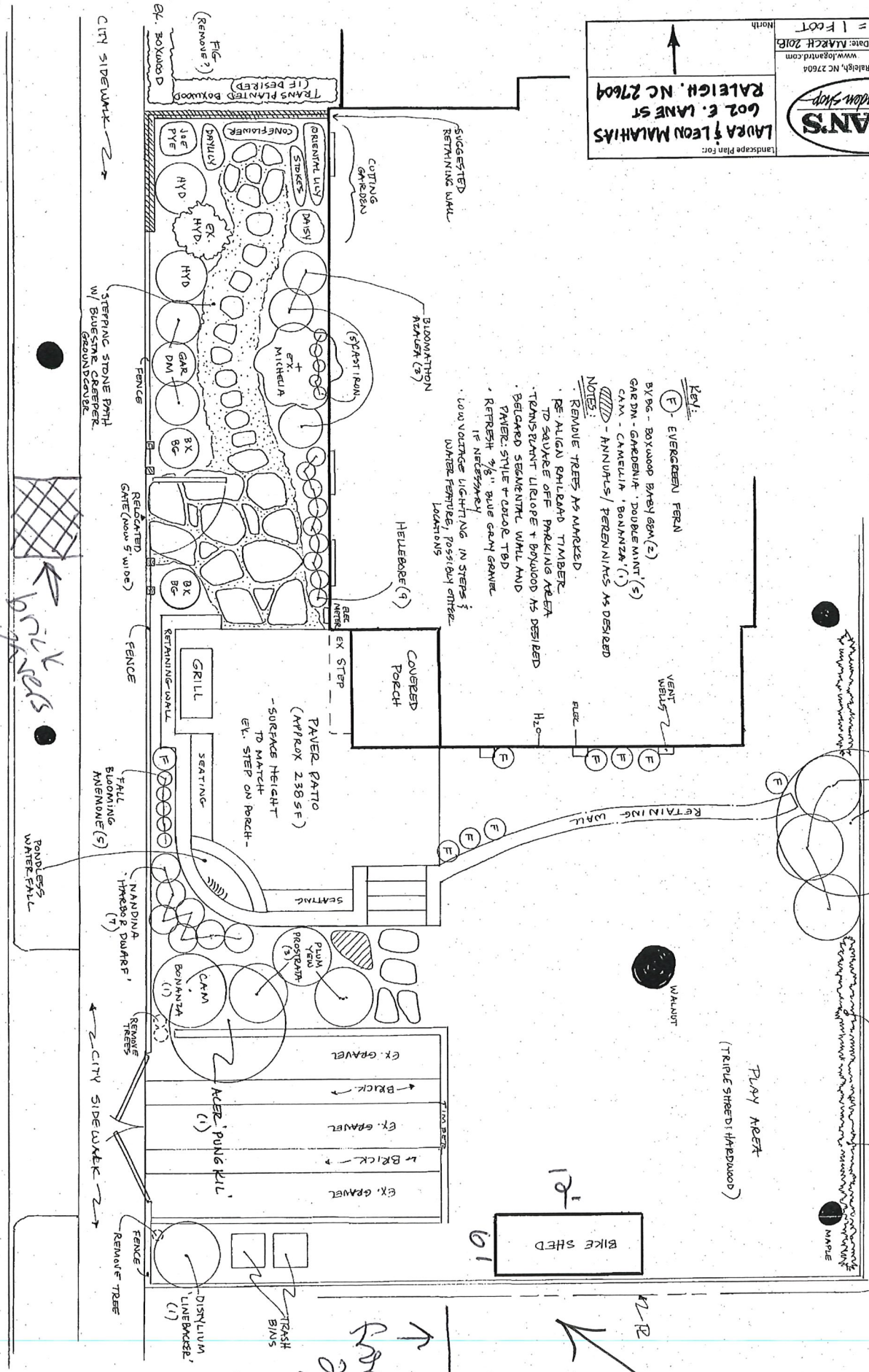
Minor Work Approval (office use only)

Upon being signed and dated below by the Planning Director or designee, this application becomes the Minor Work Certificate of Appropriateness. It is valid until 03/04/2019. Please post the enclosed placard form of the certificate as indicated at the bottom of the card. Issuance of a Minor Work Certificate shall not relieve the applicant, contractor, tenant, or property owner from obtaining any other permit required by City Code or any law. Minor Works are subject to an appeals period of 30 days from the date of approval.

Signature (City of Raleigh) Collette R K Date 09/04/2018

TO BE COMPLETED BY APPLICANT	TO BE COMPLETED BY CITY STAFF				
	YES	N/A	YES	NO	N/A
Attach 8-1/2" x 11" or 11" x 17" sheets with written descriptions and drawings, photographs, and other graphic information necessary to completely describe the project. Use the checklist below to be sure your application is complete. <u>Minor Work</u> (staff review) – 1 copy <u>Major Work</u> (COA Committee review) – 10 copies					
1. Written description. Describe clearly and in detail the nature of your project. Include exact dimensions for materials to be used (e.g. width of siding, window trim, etc.)	<input checked="" type="checkbox"/>				
2. Description of materials (Provide samples, if appropriate)	<input checked="" type="checkbox"/>				
3. Photographs of existing conditions are required. Minimum image size 4" x 6" as printed. Maximum 2 images per page.	<input checked="" type="checkbox"/>				
4. Paint Schedule (if applicable)	<input type="checkbox"/>	<input type="checkbox"/>			
5. Plot plan (if applicable). A plot plan showing relationship of buildings, additions, sidewalks, drives, trees, property lines, etc., must be provided if your project includes any addition, demolition, fences/walls, or other landscape work. Show accurate measurements. You may also use a copy of the survey you received when you bought your property. Revise the copy as needed to show existing conditions and your proposed work.	<input checked="" type="checkbox"/>	<input type="checkbox"/>			
6. Drawings showing existing and proposed work <ul style="list-style-type: none"> <input checked="" type="checkbox"/> Plan drawings <input checked="" type="checkbox"/> Elevation drawings showing the façade(s) <input checked="" type="checkbox"/> Dimensions shown on drawings and/or graphic scale (required) <input checked="" type="checkbox"/> 11" x 17" or 8-1/2" x 11" reductions of full-size drawings. If reduced size is so small as to be illegible, make 11" x 17" or 8-1/2" x 11" snap shots of individual drawings from the big sheet. 	<input checked="" type="checkbox"/>	<input type="checkbox"/>			
7. Stamped envelopes addressed to all property owners within 100 feet of property not counting the width of public streets and alleys (required for Major Work). Use the Label Creator to determine the addresses.	<input type="checkbox"/>	<input checked="" type="checkbox"/>			
8. Fee (See Development Fee Schedule)	<input checked="" type="checkbox"/>				

LOGAN'S
 LAURA & LEON MALATHIAS
 Landscape Plan for:
 602 E. LANE ST
 RALEIGH, NC 27604
 707 Semat Drive, Raleigh, NC 27604
 919-828-5337
 www.logans.com
 Designer: (919) 828-5337
 Date: MARCH 2013
 Scale: 1/4" INCH = 1 FOOT
 North



KEY:
 (E) EVERGREEN FERN
 BY BG - BOXYWOOD BUSH (2)
 GAR DM - GARDBEDS 'DOUBLE MINT' (S)
 CAM - CAMELLIA 'BONANZA' (1)
 NOTES:
 REMOVE TREES AS MARKED
 RE-ALIGN RAILROAD TIMBER
 TO REMOVE OFF PARKING AREA
 TRANSPLANT LIRELOPE + BOXYWOOD AS DESIRED
 BELGARD SEGMENTAL WALL AND
 PAVER STYLE + COLOR TBD
 REFRESH 3/8" BLUE GRAY GRANITE
 IF NECESSARY
 LOW VOLTAGE LIGHTING IN STEPS +
 WATER FEATURES, POSSIBLY OTHER
 LOCATIONS

DISH LUM
 'LINEBACER' (3)
 GRINKGO
 'AUTUMN GOLD' (1)
 REMOVE PRIVET
 + THICK-BARKED TREE
 FROM THIS AREA
 TRANSPLANT LIRELOPE
 TO HIDE TOP OF BLOCK
 WALL (IF DESIRED)

ELM STREET

CITY SIDEWALK

STEPPING STONE PATH
W/ BUSHY STAIR
GRABRAIL

RELOCATED
GATE (GATE 5 WIDE)

FENCE

FALL
BLOOMING
AZALEA(S)

MANDARIN
'THUNDER DWARF'

REMOVE
TREES

FENCE

EX. BOXYWOOD
(REMOVE?)
TRANSPLANT
(IF DESIRED)

CONIFER
SPRINKLER
HYD
HYD
EX. HYD
HYD
GAR DM
GAR DM
BX BG
BX BG

BIODIVERTION
MATERIAL (S)

SPRINKLER
MATERIAL (S)

RELOCATED
GATE (GATE 5 WIDE)

FENCE

FALL
BLOOMING
AZALEA(S)

MANDARIN
'THUNDER DWARF'

REMOVE
TREES

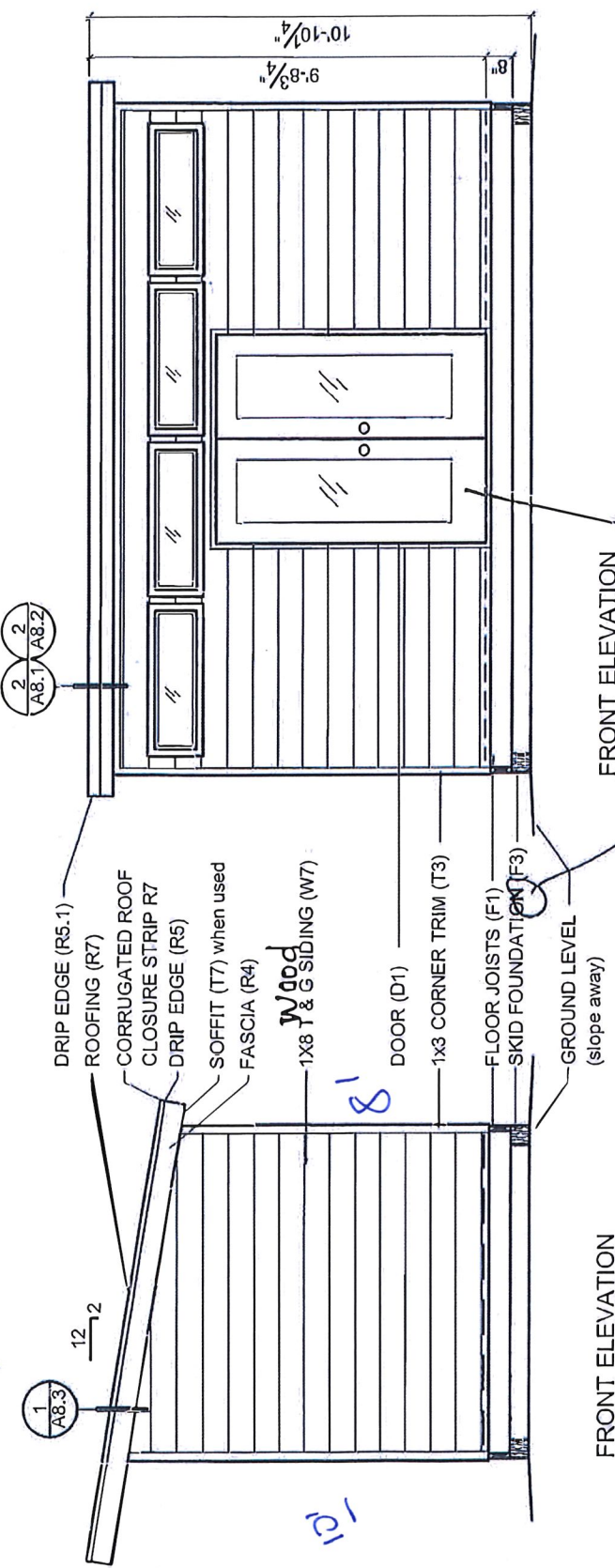
FENCE

REMOVE
TREES

FENCE

REMOVE
TREES

STOP
 FOR
 TRASH
 BINS
 W/IM
 ST.



SIDING AND ROOFING MATERIALS

CODE	DESCRIPTION	LENGTH	QTY.
W7	1x8 Tongue and Groove Siding	350 s.f.	
T3	1x3 Trim	2 1/2" x 10'	14
R5	Metal Drip Edge	1 1/2" x 1 3/4" x 10'	5
R5.1	Metal Drip Edge	4" x 4" x 10'-0"	2
R6	Grace Ice and Water Shield	160 + sf.	
R7	36" wide PBR Corrugated metal roofing	9'-4 1/2"	6
R7*	Optional Asphalt Shingle	200sf.	2 squares
R11	Corrugated roofing closure strip	40lf.	
W8	Vapor Barrier (house wrap)	350 s.f.	
W11	4026 Awning or fixed windows	4'-6" x 2'-6"	1
W12	3410 Fixed Window	3'-4" x 1'-0"	4
D1	Double Doors, full glass	5068	1

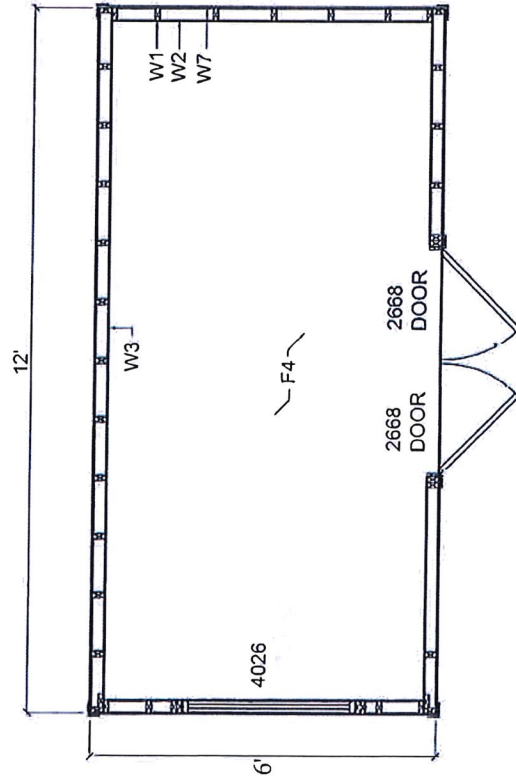
Ramp or stair materials are not shown

barn doors

concrete slab foundation

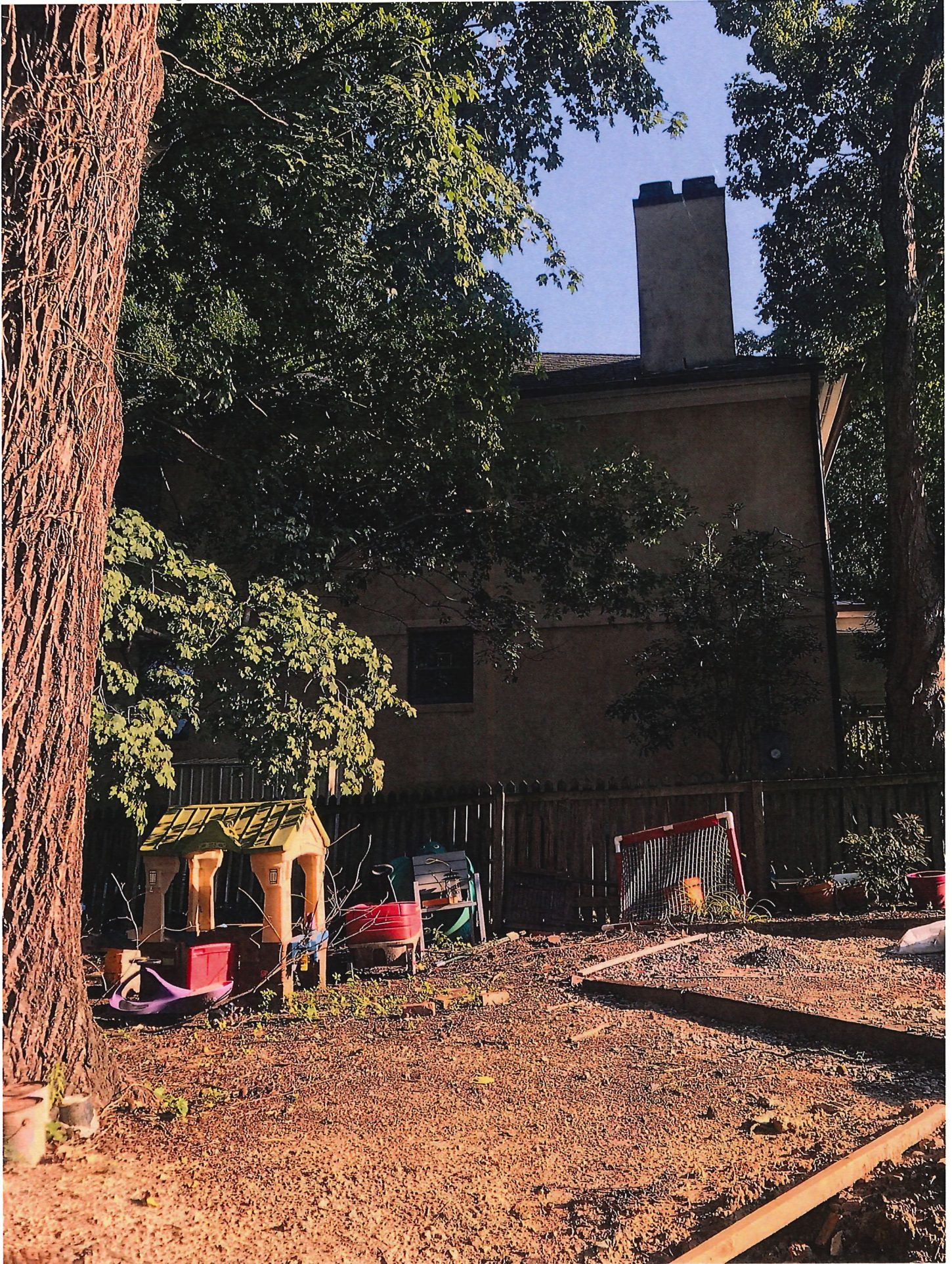
FRONT ELEVATION

FRONT ELEVATION



FLOOR PLAN

1/4" = 1'-0" See wall framing plans for stud layout and material take off. And window locations.



8/17/2018

facing east from elm street side

