



CERTIFICATE OF APPROPRIATENESS PLACARD

for Raleigh Historic Resources

514 S BLOODWORTH STREET

Address

PRINCE HALL

Historic District

Historic Property

130-18-MW

Certificate Number

08-22-2018

Date of Issue

08-22-2019

Expiration Date

Project Description:

- Renewal of expired COA 058-13-CA

This card must be kept pasted in a location within public view until all phases of the described project are complete. The work must conform with the code of the City of Raleigh and laws of the state of North Carolina. When your project is complete, you are required to ask for a final zoning inspection in a historic district area. Telephone the RHDC office at 832-7238 and commission staff will coordinate the inspection with the Inspections Department. If you do not call for this final inspection, your Certificate of Appropriateness is null and void.

Signature, _____

Colletti R K

Raleigh Historic Development Commission

Pending the resolution of appeals, commencement of work is at your own risk.

Raleigh Historic Development Commission – Certificate of Appropriateness (COA) Application



**DEVELOPMENT
SERVICES
DEPARTMENT**

Development Services
Customer Service Center
One Exchange Plaza
1 Exchange Plaza, Suite 400
Raleigh, North Carolina 27601
Phone 919-996-2495
eFax 919-996-1831



<input checked="" type="checkbox"/> Minor Work (staff review) – 1 copy <input type="checkbox"/> Major Work (COA Committee review) – 10 copies <input type="checkbox"/> Additions Greater than 25% of Building Square Footage <input type="checkbox"/> New Buildings <input type="checkbox"/> Demo of Contributing Historic Resource <input type="checkbox"/> All Other <input type="checkbox"/> Post Approval Re-review of Conditions of Approval	<p style="text-align: center;">For Office Use Only</p> Transaction # <u>562360</u> File # <u>130-18-MW</u> Fee <u>\$36</u> Amount Paid <u>\$30</u> Received Date <u>7/20/18</u> Received By <u>McClay</u>
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Property Street Address 514 South Bloodworth Street

Historic District Prince Hall

Historic Property/Landmark name (if applicable) _____

Owner's Name Bobby and Rosalind Sanders

Lot size <u>7,140 / .17</u> <small>sq ft</small>	(width in feet) <u>34</u>	(depth in feet) <u>210</u>
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For applications that require review by the COA Committee (Major Work), provide addressed, stamped envelopes to owners of all properties within 100 feet (i.e. both sides, in front (across the street), and behind the property) not including the width of public streets or alleys ([Label Creator](#)).

Property Address	Property Address

Minor Work Approval (office use only)

Upon being signed and dated below by the Planning Director or designee, this application becomes the Minor Work Certificate of Appropriateness. It is valid until 08/22/2019. Please post the enclosed placard form of the certificate as indicated at the bottom of the card. Issuance of a Minor Work Certificate shall not relieve the applicant, contractor, tenant, or property owner from obtaining any other permit required by City Code or any law. Minor Works are subject to an appeals period of 30 days from the date of approval.

Signature (City of Raleigh) Collette R K Date 08/22/2018

	TO BE COMPLETED BY APPLICANT		TO BE COMPLETED BY CITY STAFF		
	YES	N/A	YES	NO	N/A
Attach 8-1/2" x 11" or 11" x 17" sheets with written descriptions and drawings, photographs, and other graphic information necessary to completely describe the project. Use the checklist below to be sure your application is complete. Minor Work (staff review) – 1 copy Major Work (COA Committee review) – 10 copies	✓		✓		
1. Written description. Describe clearly and in detail the nature of your project. Include exact dimensions for materials to be used (e.g. width of siding, window trim, etc.)	<input checked="" type="checkbox"/>		✓		
2. Description of materials (Provide samples, if appropriate)	<input type="checkbox"/>	/	/		/
3. Photographs of existing conditions are required. Minimum image size 4" x 6" as printed. Maximum 2 images per page.	<input checked="" type="checkbox"/>		✓		
4. Paint Schedule (if applicable)	<input type="checkbox"/>	<input checked="" type="checkbox"/>			/
5. Plot plan (if applicable). A plot plan showing relationship of buildings, additions, sidewalks, drives, trees, property lines, etc., must be provided if your project includes any addition, demolition, fences/walls, or other landscape work. Show accurate measurements. You may also use a copy of the survey you received when you bought your property. Revise the copy as needed to show existing conditions and your proposed work.	<input checked="" type="checkbox"/>	<input type="checkbox"/>	✓		
6. Drawings showing existing and proposed work <ul style="list-style-type: none"> <input checked="" type="checkbox"/> Plan drawings <input checked="" type="checkbox"/> Elevation drawings showing the façade(s) <input checked="" type="checkbox"/> Dimensions shown on drawings and/or graphic scale (required) <input checked="" type="checkbox"/> 11" x 17" or 8-1/2" x 11" reductions of full-size drawings. If reduced size is so small as to be illegible, make 11" x 17" or 8-1/2" x 11" snap shots of individual drawings from the big sheet. 	<input checked="" type="checkbox"/>	<input type="checkbox"/>	✓		
7. Stamped envelopes addressed to all property owners within 100 feet of property not counting the width of public streets and alleys (required for Major Work). Use the Label Creator to determine the addresses.	<input type="checkbox"/>	<input checked="" type="checkbox"/>			/
8. Fee (See Development Fee Schedule)	<input type="checkbox"/>				

- 10* The house has the appearance of a narrow gable front building with shed roof additions; the proportions, roof slope, and details are traditional and found within the historic district.
- 11* Proposed materials noted to match existing including lap siding, windows, and trim; roofing is proposed to be asphalt shingles; specifications and details were not included; the committee typically requires wood.
- 12* Porch step details are not included; no stair railing is proposed.

Staff suggests that the committee approve the amended application, with the following conditions:

1. That the historic portion of the house remains roofed in metal.
2. That the transom window remain.
3. That windows being removed be salvaged and either be reused in the new addition, stored on site, or offered to a reputable reuse facility for donation or sale.
4. That the new windows and doors be wood.
5. That the following details and specifications be provided to and approved by staff prior to the issuance of permits for the relocation:
 - a. Documentation of the building and existing site conditions in its original setting and context using photographs, site plans, or other graphic or written statements;
 - b. Specifics of the move, including method, route and potential impacts on trees;
 - c. Site plan for proposed site features and plantings of the original site after the relocation.
6. That the following details and specifications be provided to and approved by staff prior to the issuance of permits for the addition/new construction:
 - a. Windows.
7. That the following details and specifications be provided to and approved by staff prior to construction/installation:
 - a. Roofing;
 - b. Screened porch;
 - c. Doors;
 - d. Gable vents;
 - e. Lighting;
 - f. Front porch steps and railing (if applicable);
 - g. HVAC unit, location, and screening;
 - h. Driveway;
 - i. Walkway (if proposed).

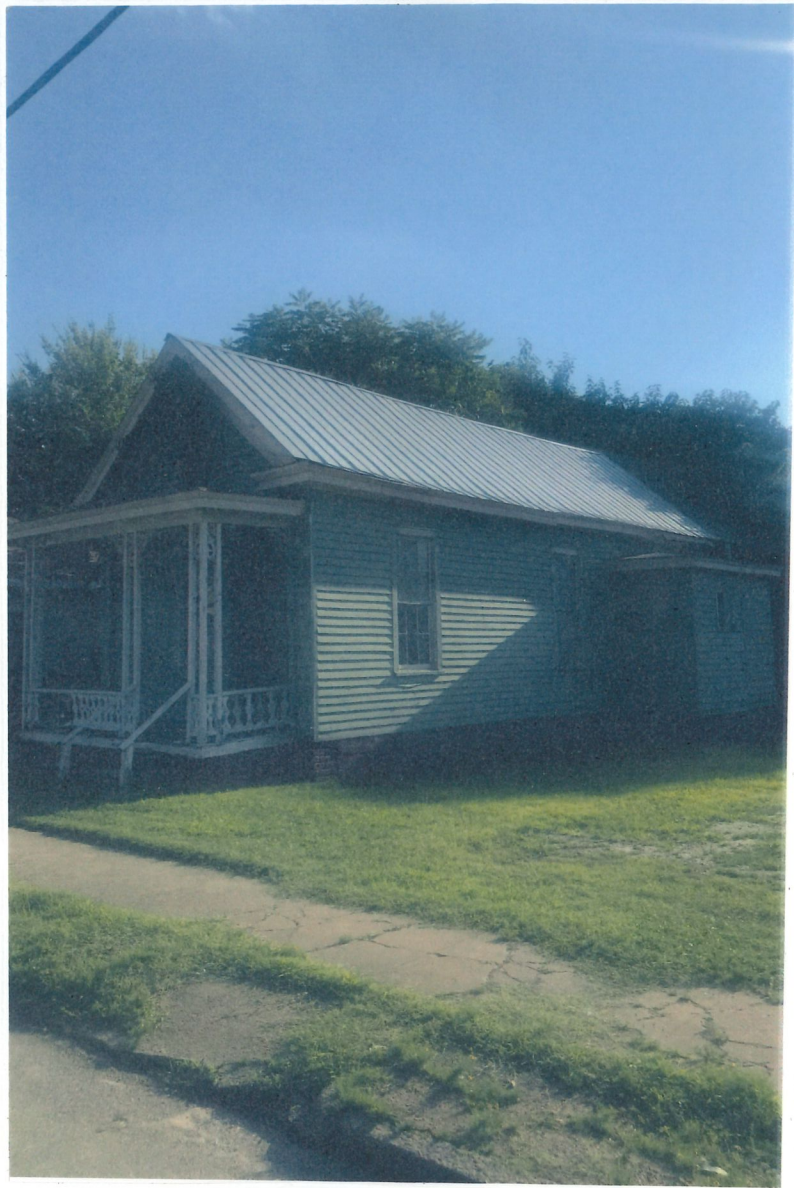
PUBLIC TESTIMONY

Support: Rosalind Blair [affirmed] and Bobby Sanders were present to speak in support of the application.

514/520 South Bloodworth Street Renovation Conditions

1. The historic portion of the house will remain roofed in metal.
2. The transom window will remain.
3. The windows being removed will be salvaged and given to Habitat for Humanity.
4. The new windows and doors will be wood.
5.
 - a. Documentation of Photo **A-1** (514 South Bloodworth) **A-2** (520 South Bloodworth)
 - b. 514 house will be moved by Holden House Moving Company. No impact on trees.
 - c. Site plan **A-3** will be submitted. Currently we have no plantings on the site of 514.
6. Window details **A-4**
7. We will provide - **a.** Roofing, **b.** Screened porch, **c.** Doors, **d.** Gable vents, **e.** Lighting, **f.** Front porch steps and railing, **g.** HVAC unit, location and screening, **h.** Driveway, **and** **i.** Walkway prior to construction/installation.

A-1

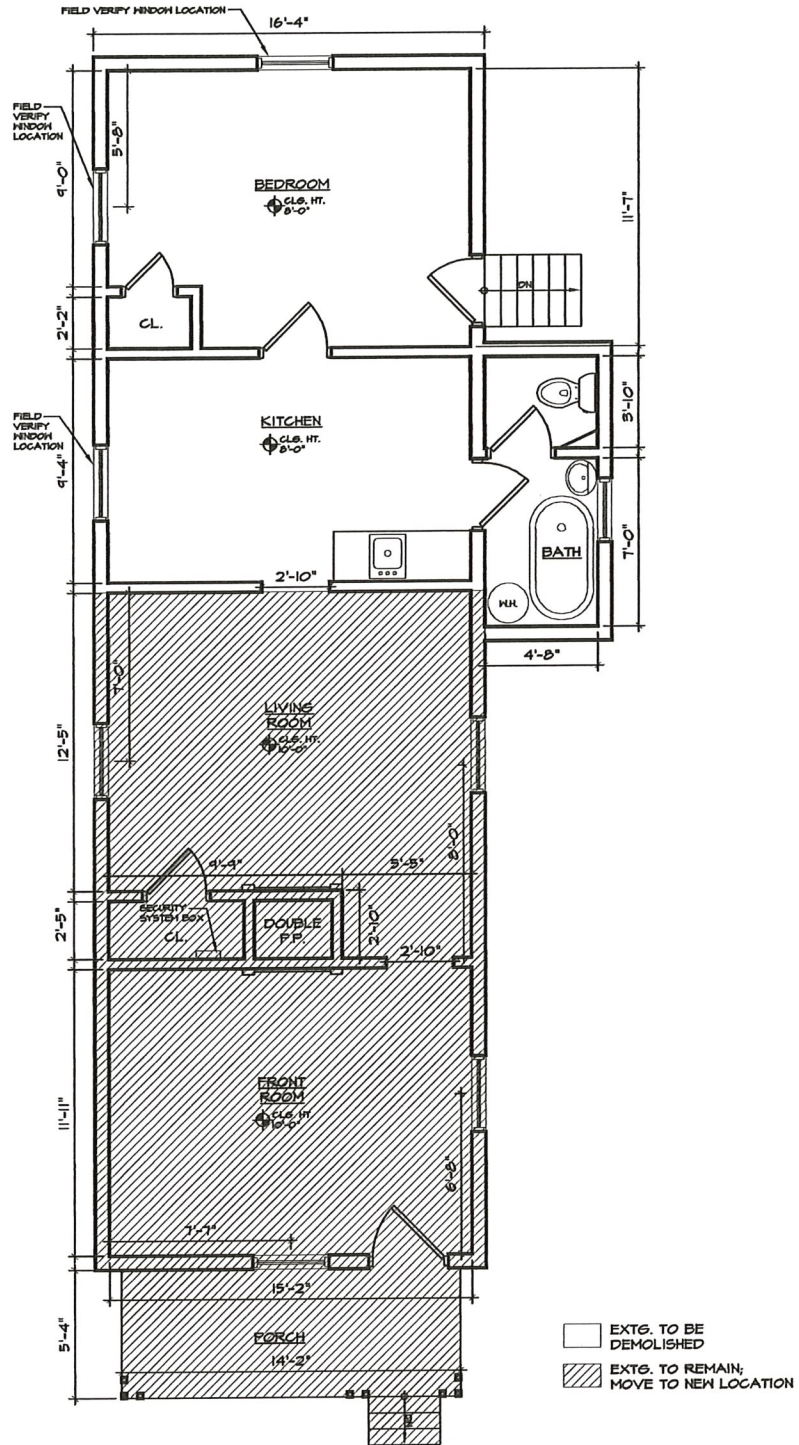


514 SOUTH BLOODWORTH

A-2



520 SOUTH BLOODWORTH



514 BLOODWORTH STREET		
EXISTING PLAN	SCALE: 1/8" = 1'-0"	05/03/13

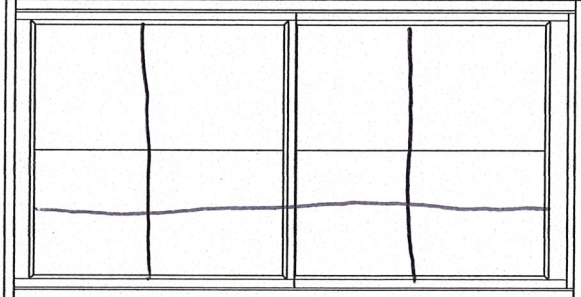
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Prep By	Quote No	Rev No	Line No	Quote Date	Date Printed
TAH	213	1	1	5/30/2014	5/30/2014

A-4



Unit Description	
• DBLH-1; 32x32; Primed Wood Exterior; LoE-272	0.00
1 White Screen(s) Boxed	0.00
BETTERVUE Mesh	N/C
1-1/8" SDL (Top) (2W1H) With Internal Grids	0.00
1-1/8" SDL (Bottom) (2W1H) With Internal Grids	0.00
4-9/16" Jamb	N/C
4-1/2" Wood Exterior Flat Casing	0.00
4" Extended Sill Horns	0.00
2" Applied Projected Sill Nosing	0.00
White Hardware	N/C
White Jambliners	N/C
White Jambliner Covers	0.00
With T Slot Weatherstrip In Jambliner	N/C
Sash 1	
U-Factor=0.33	
SHGC=0.24	
Visible Transmittance=0.4	
PG=H-LC35	
Single Unit Rating Only	
SILL HORNS EXTEND 1 1/2" PAST OUTSIDE CASING	N/C

No Printed Prices	\$0.00
Qty Required	1
No Printed Prices	\$0.00

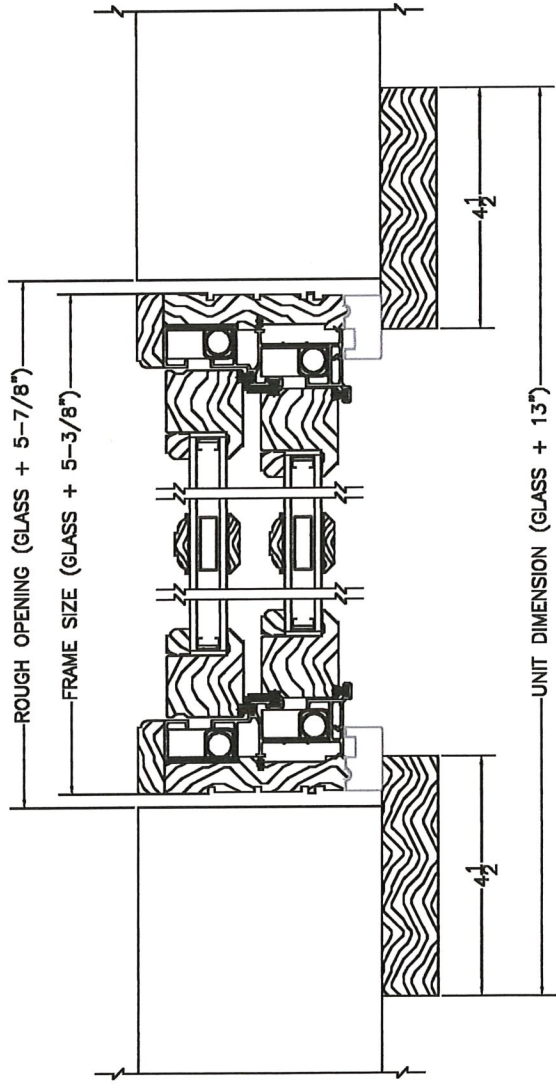
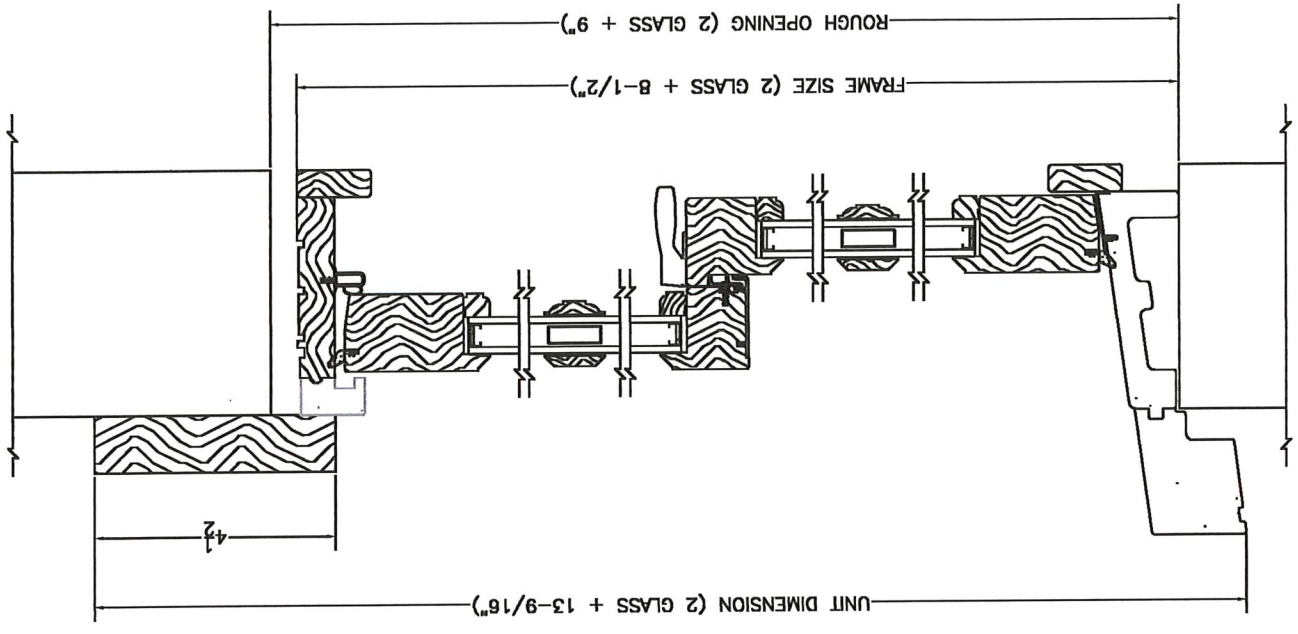
Note: Primed Units Shown Without Brickmould

Drawing Scale	Allowance Settings	Dimensions	
		Rough Opening	Unit Dimension
1/2 Inch Per Foot	Rough Opening = 1/2" Masonry Opening = 1/4"	3' 1-7/8" X 6' 1"	3' 9" X 6' 5-9/16"
		Masonry Opening: 3' 9-1/4" x 6' 5-13/16"	Total Box Size: 3' 1-3/8" x 6' 0-1/2"
		Sash Opening: N/A	

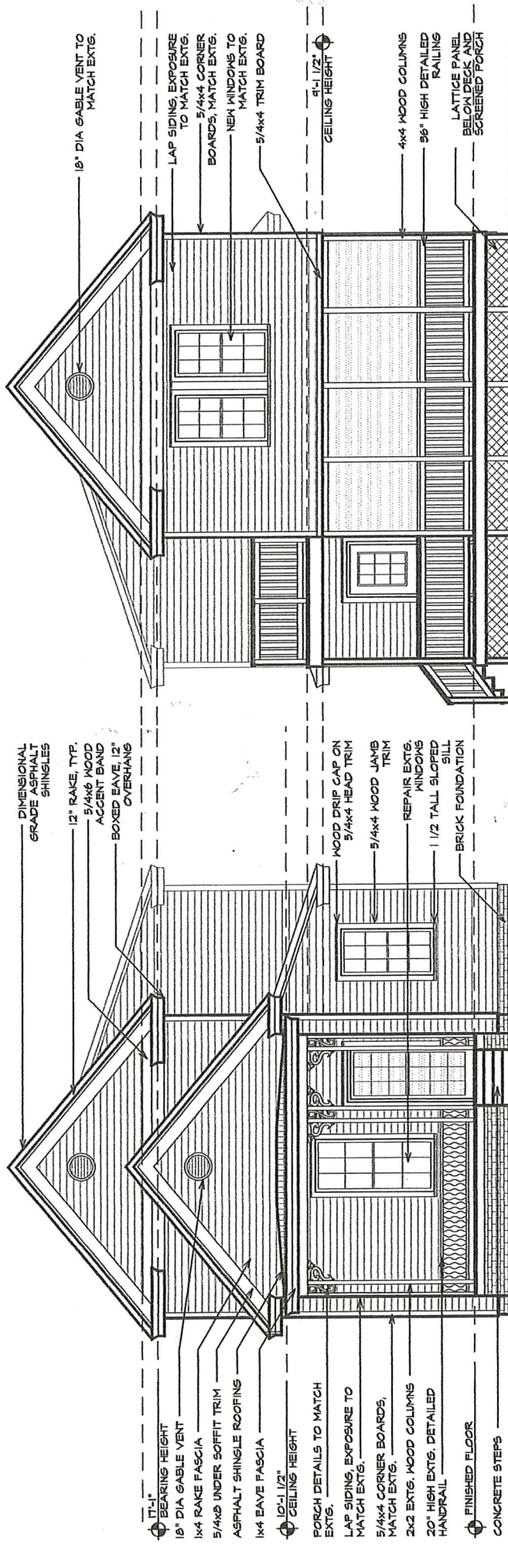


Version 8.0.4

A-4



Relocate House at 514 South Bloodworth Street to 520 South Bloodworth Street and construct rear addition.



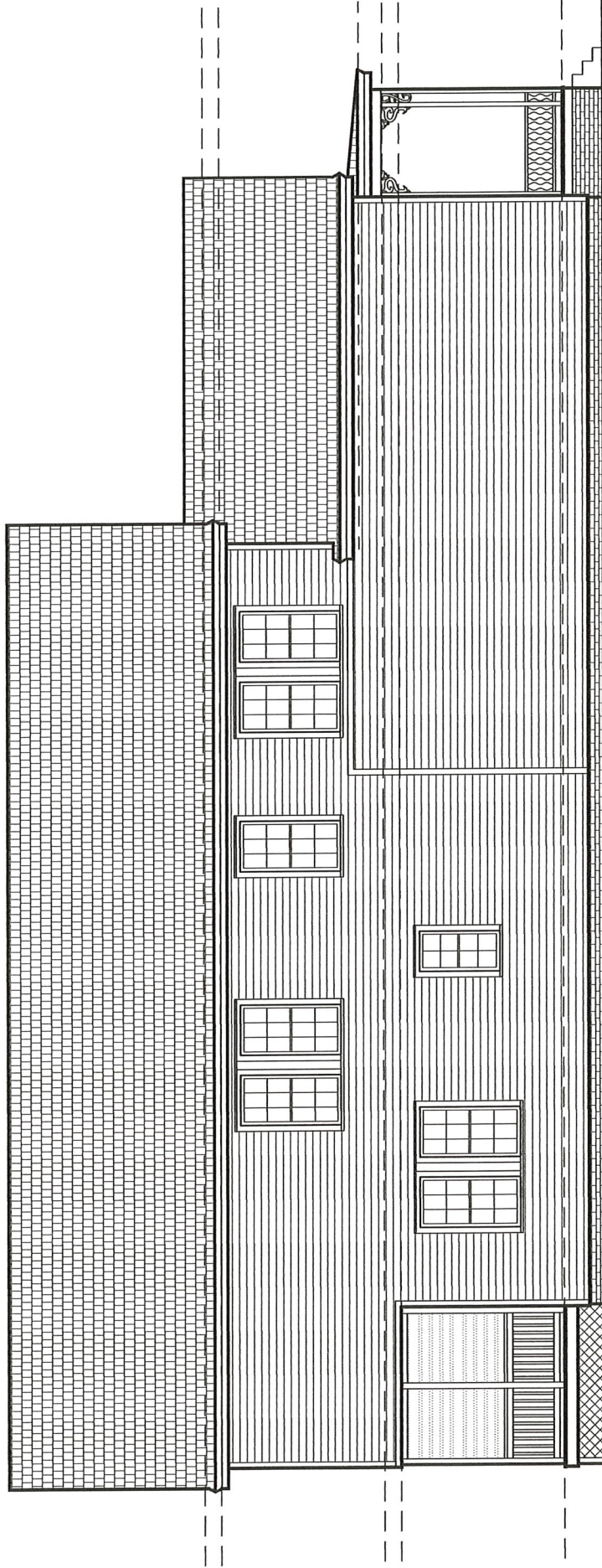
FRONT ELEVATION

REAR ELEVATION

514 BLOODWORTH STREET		
PROPOSED ELEVATION	SCALE: 1/8" = 1'-0"	05/03/13

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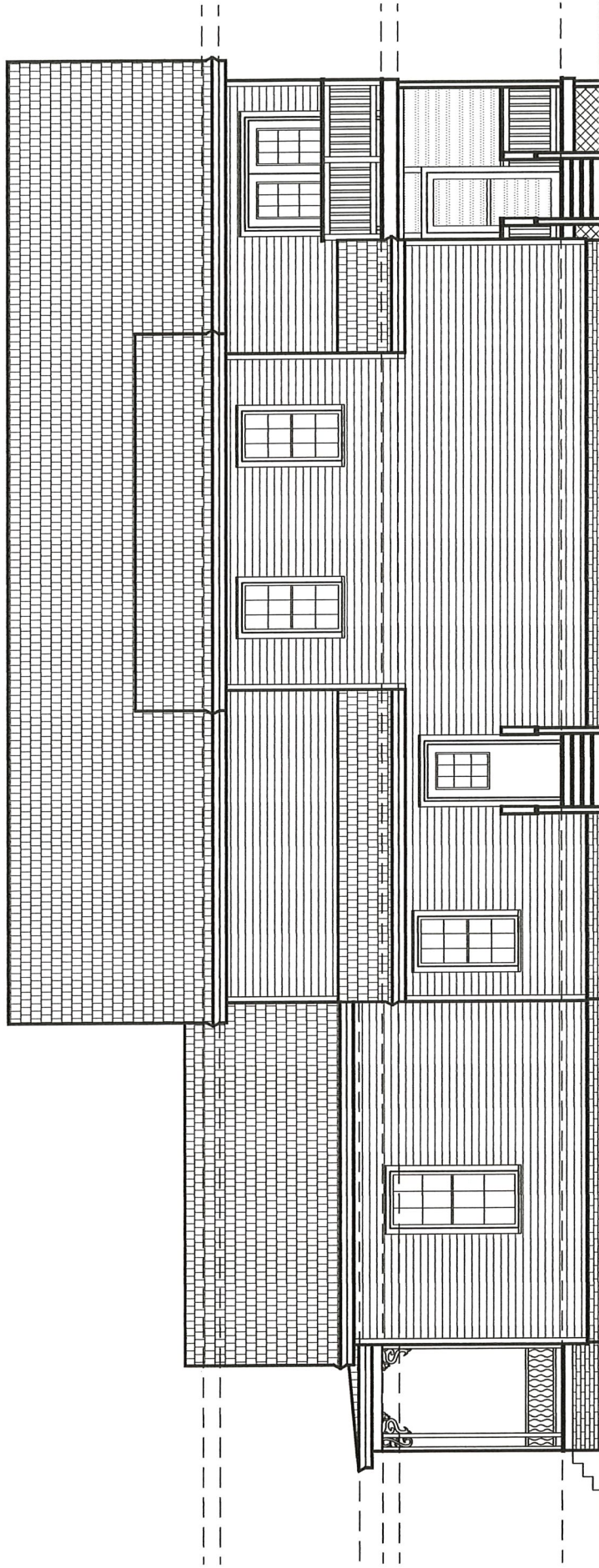


LEFT ELEVATION

514 BLOODWORTH STREET

PROPOSED ELEVATION SCALE: 1/8" = 1'-0"

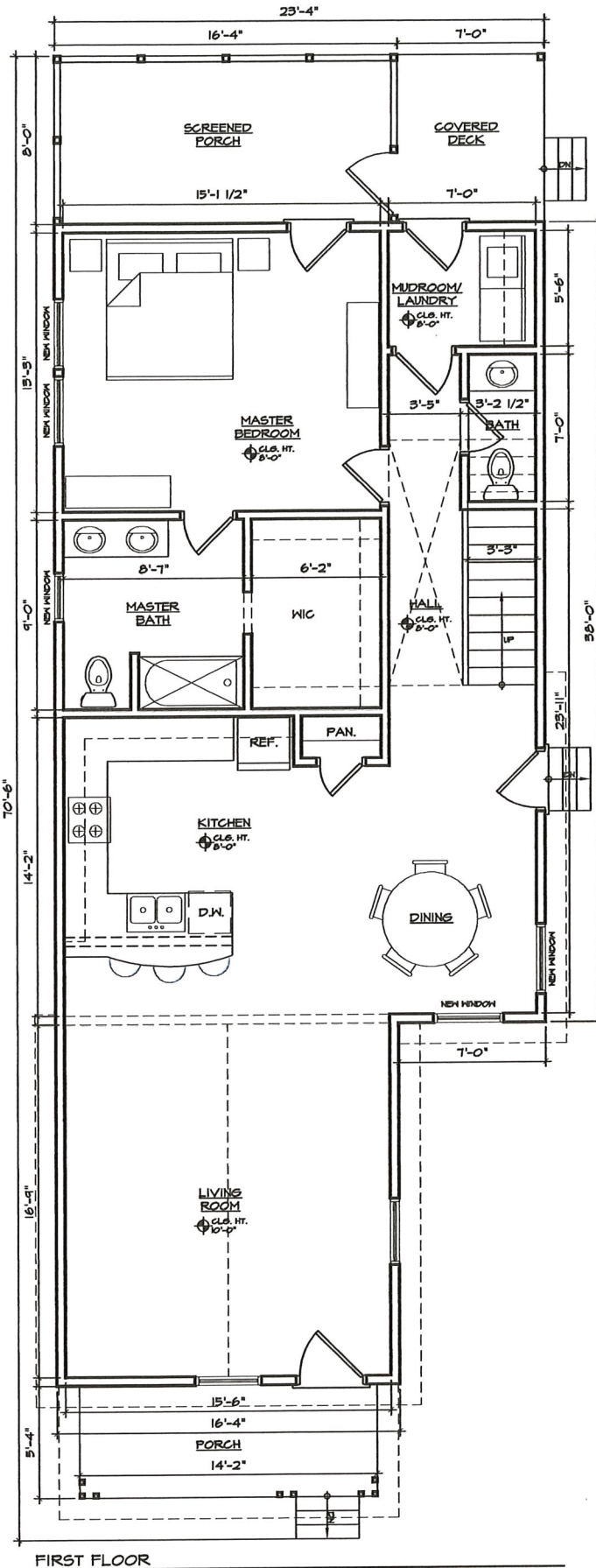
05/03/13



RIGHT ELEVATION

514 BLOODWORTH STREET

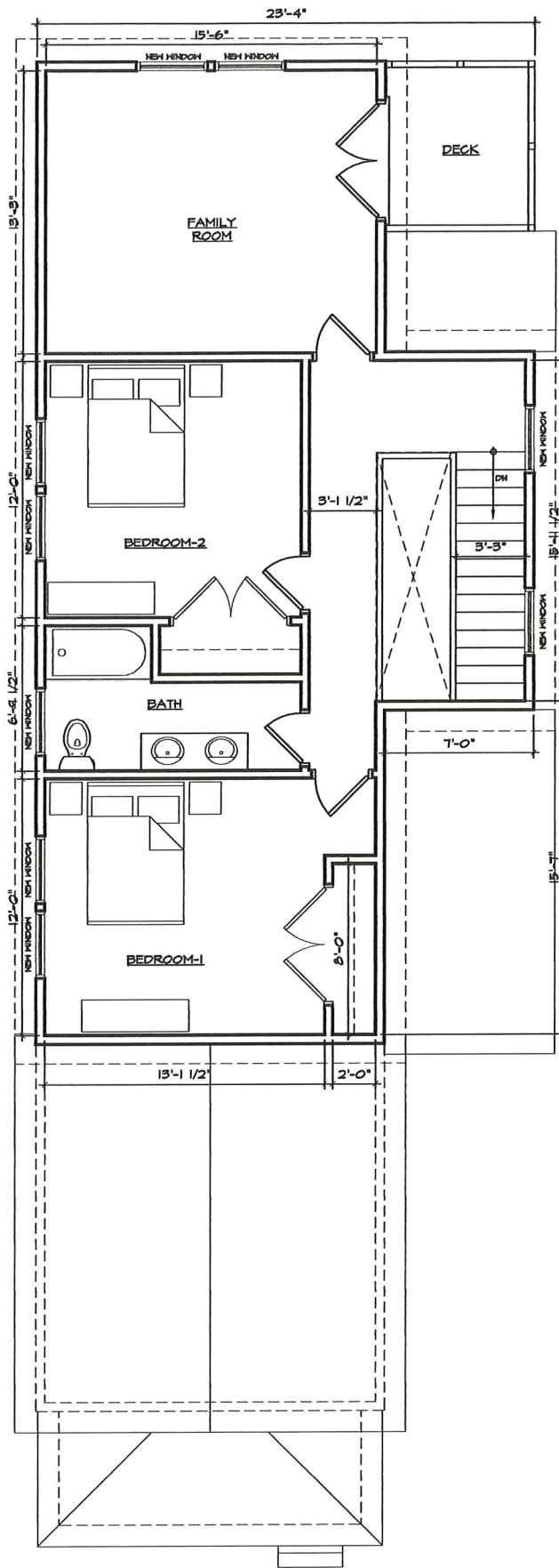
PROPOSED ELEVATION SCALE: 1/8" = 1'-0" 05/03/13



514 BLOODWORTH STREET		
PROPOSED PLAN	SCALE: 1/8" = 1'-0"	05/03/13

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SECOND FLOOR

514 BLOODWORTH STREET

PROPOSED PLAN

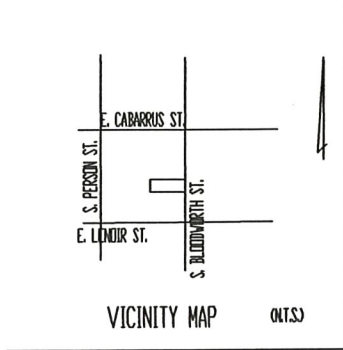
SCALE: 1/8" = 1'-0"

05/03/13

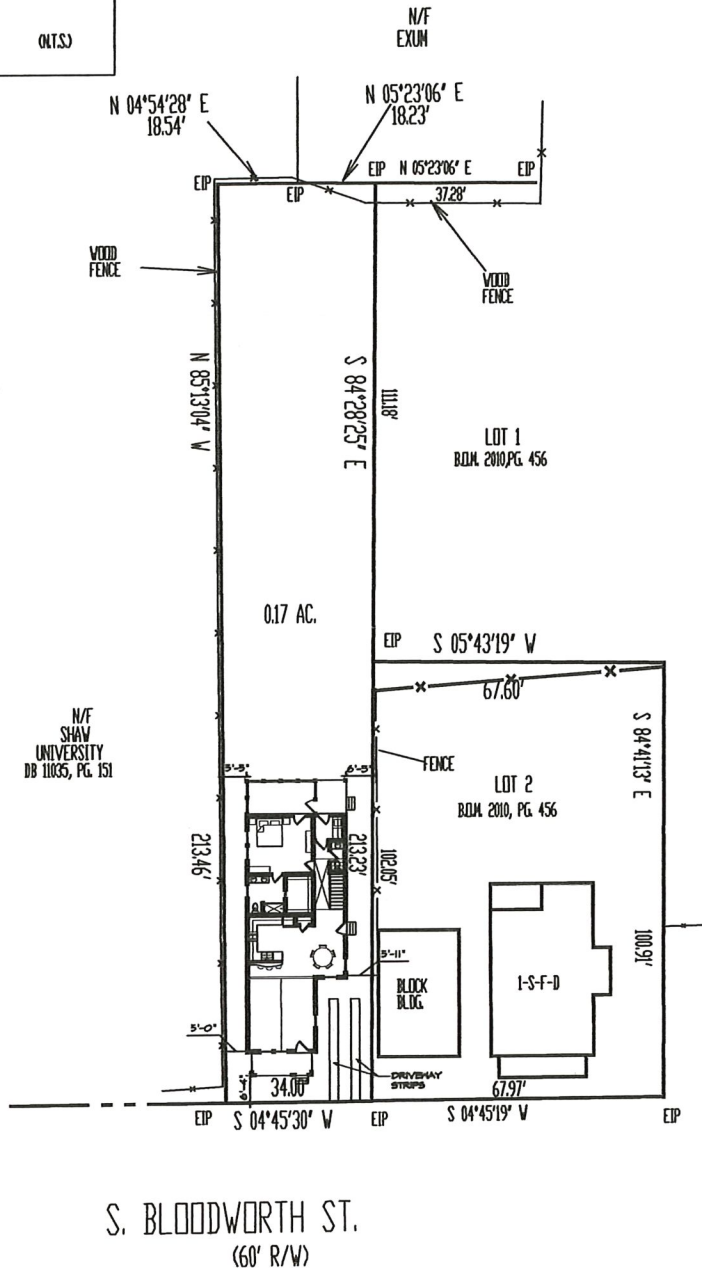
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A-3



LEGEND
 ——— Lines Surveyed
 - - - Lines not surveyed
 E.I.P. Existing Iron Pipe
 I.P.S. Iron Pipe Set
 P.P. Power Pole
 M.H. Manhole



MAP REFERENCE: DEED BOOK 10481, PG. 227, WAKE CO.

I, David W. Barrier, certify that this plat was drawn under my supervision from an actual survey made under my supervision; that the boundaries not surveyed are clearly indicated and any encroachments are shown.

PROPERTY OF

Bobby & Rosalind Sanders

520 S. BLOODWORTH ST. RALEIGH, N.C.

SCALE;	1"=40'	David W. Barrier Licensed Surveyor 421 S. Harrison Ave. Cary, N.C. 27511 (919) 469-2834
DATE;	3/21/13	
BOOK;		

Kinane, Collette

From: Rosalind Blair <RozandBobby@aol.com>
Sent: Tuesday, August 21, 2018 10:12 PM
To: Kinane, Collette
Cc: Rosalind Blair
Subject: Fwd: minor work COA - 514 S Bloodworth Street
Attachments: COA Extg. F + R Elevations_08.17.18.pdf; COA Extg. Side Elevations_08.17.18.pdf

Sent from my iPhone

Begin forwarded message:

From: Rebecca Morris <rebecca@tightlinesdesigns.com>
Date: August 17, 2018 at 4:03:20 PM EDT
To: Rosalind Blair <RozandBobby@aol.com>
Subject: Re: minor work COA - 514 S Bloodworth Street

Hi Ros,

Hopefully this is all you need. Apologies for the delay - I can't believe these were saved over! Although, it has been a few years :) Let me know if you have any questions, good luck with the move!

Rebecca Morris
Project Architect

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Raleigh, NC 27601
919 834 3600 office | 984 222 0717 direct

New website! - tightlinesdesigns.com

On Wed, Aug 15, 2018 at 3:34 PM, Rosalind Blair <RozandBobby@aol.com> wrote:

Sent from my iPhone

Begin forwarded message:

From: "Kinane, Collette" <Collette.Kinane@raleighnc.gov>
Date: August 10, 2018 at 1:14:07 PM EDT
To: "rozandbobby@aol.com" <rozandbobby@aol.com>
Subject: minor work COA - 514 S Bloodworth Street

Hi, Rosalind –

I had an opportunity to take a look at your file. There is a little bit more information that we need to satisfy condition #5.

For condition 5A (documentation of the existing house), it looks like you provided the drawings for the house when it will be moved and have an addition. We need to see drawings of the house exactly as it is today. This is something that the folks at Tightlines should be able to help you with, if they haven't already been created. I have attached an example of an excellent building documentation package that a previous application put together. You will need to have photographs of each side of the building (digital is fine – feel free to email them to me instead of printing them out) and the drawings.

For condition 5B, please have Holden House Moving Company provide you with a map of the move that shows the route and a statement that describes how they will be moving the house.

You can submit all of these things by email or drop them off – whichever works best for you.

Please let me know if you have any questions.

Thanks! Have a great weekend!

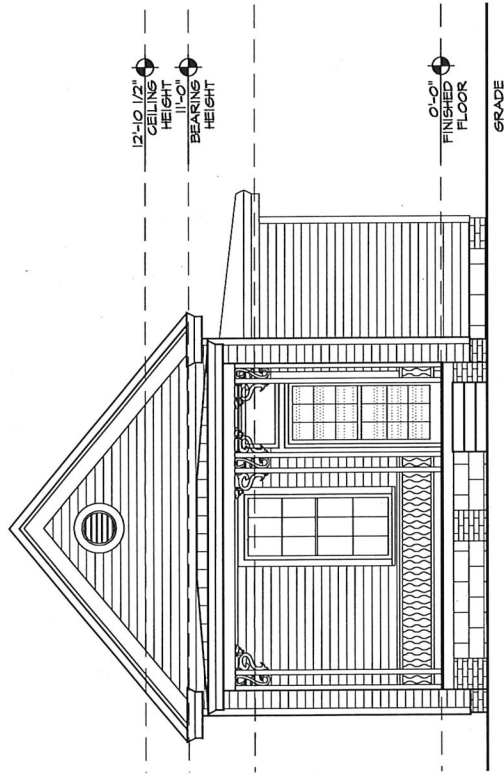
-Collette

Collette R. Kinane

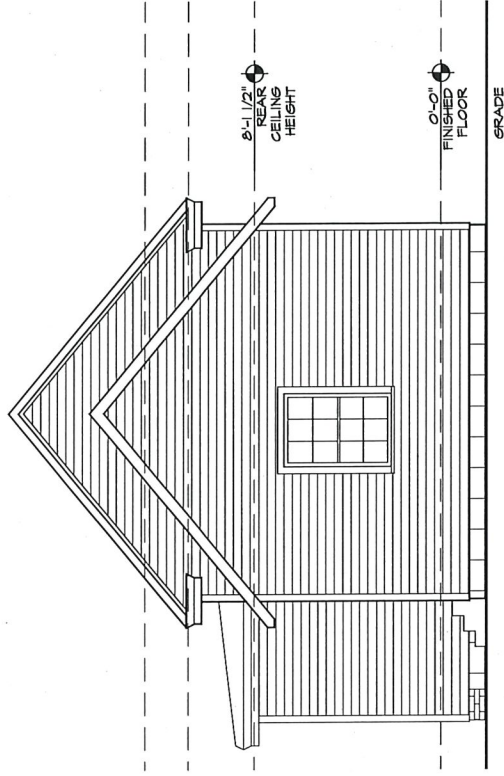
Preservation Planner II

■ Raleigh Urban Design Center

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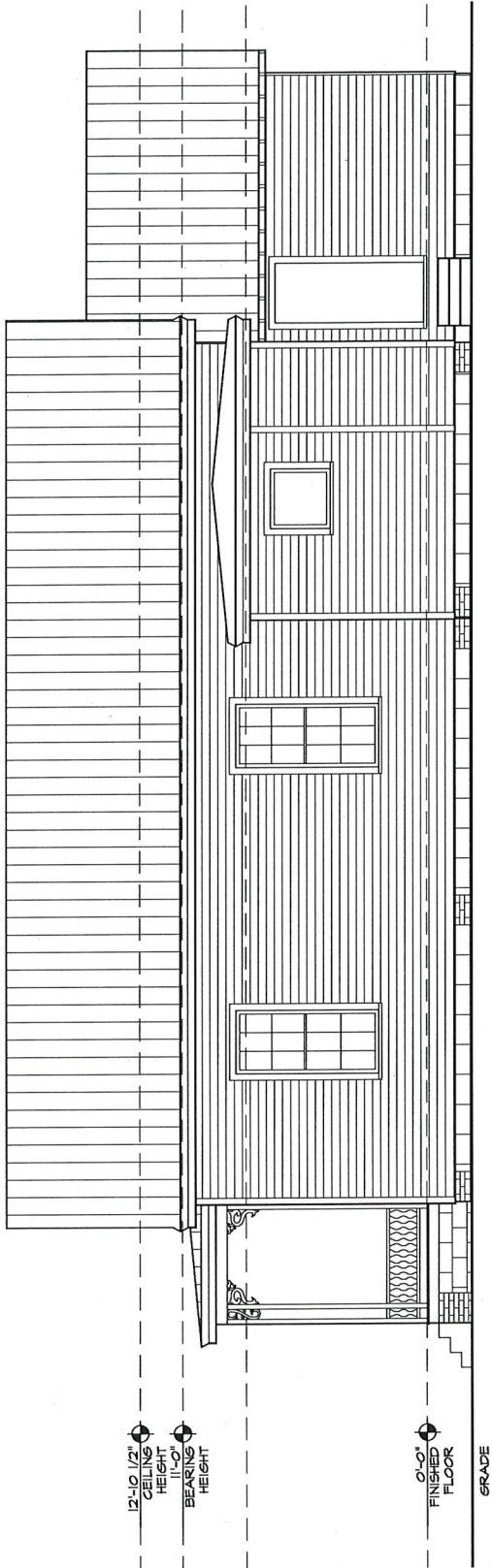


FRONT ELEVATION

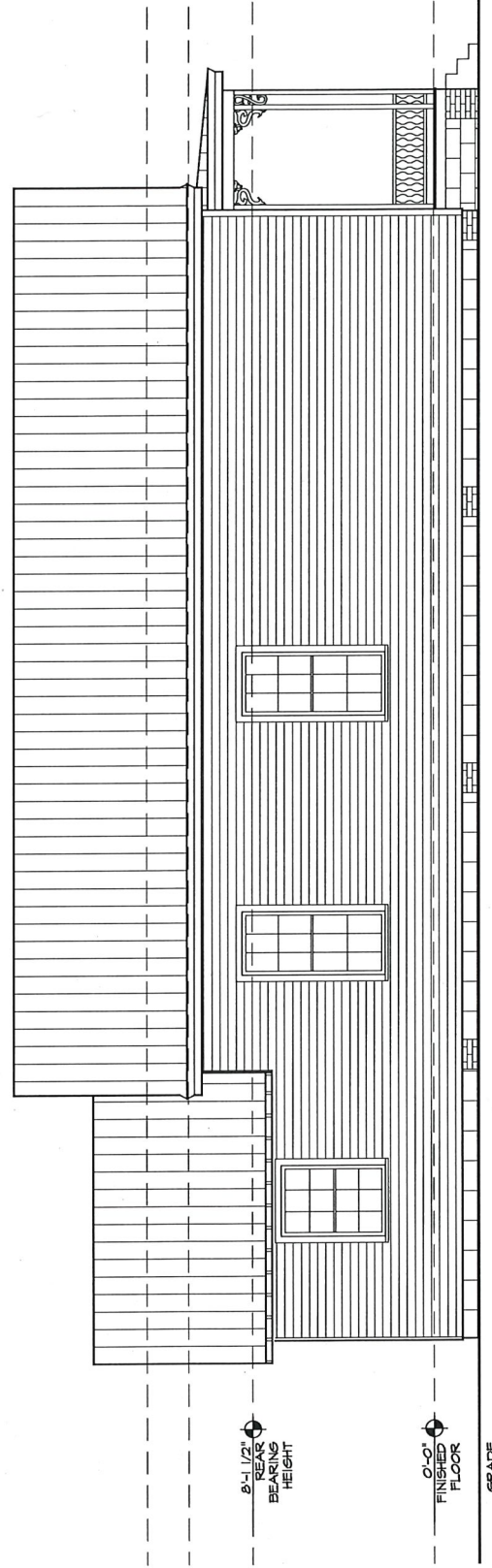


REAR ELEVATION

514 BLOODWORTH STREET		
EXISTING ELEVATIONS	SCALE: 1/8" = 1'-0"	08/17/18



RIGHT ELEVATION



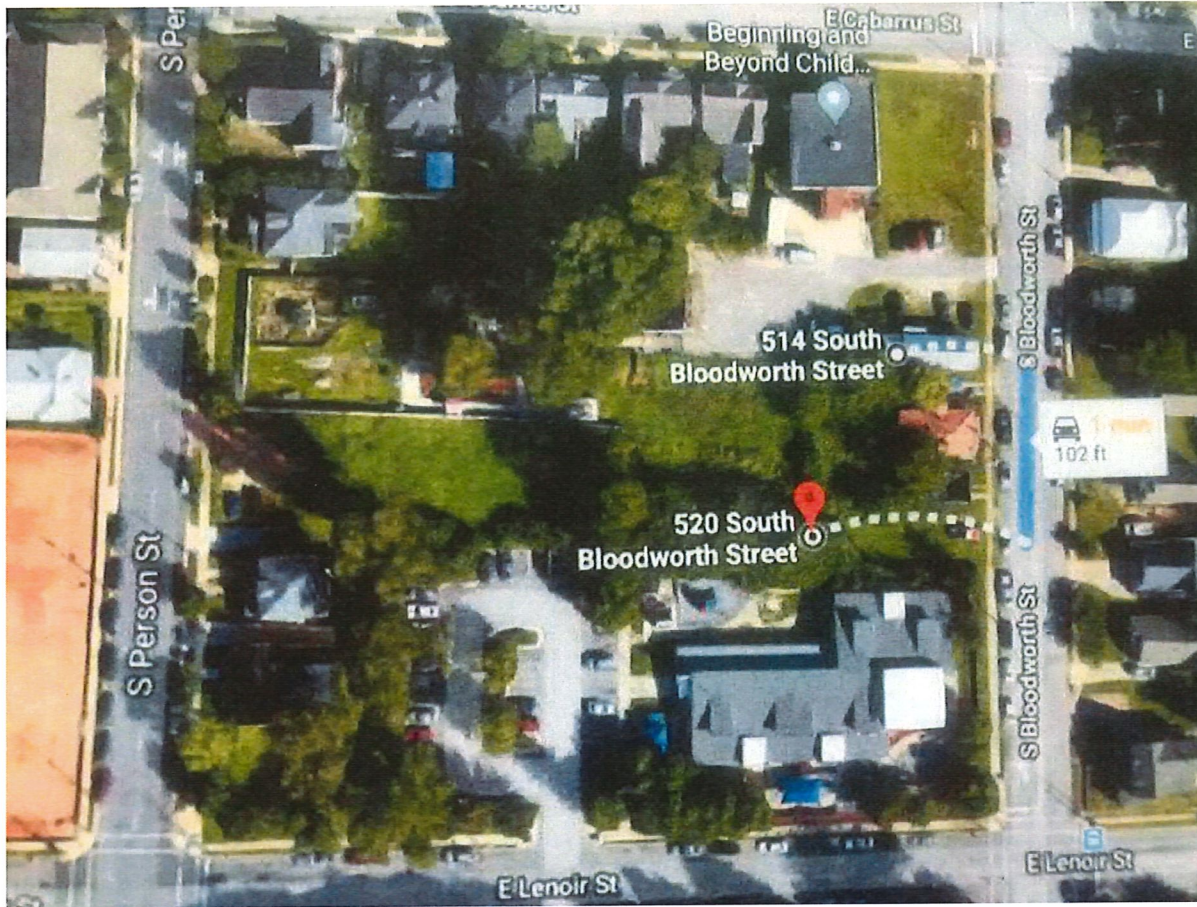
LEFT ELEVATION

514 BLOODWORTH STREET		
EXISTING ELEVATIONS	SCALE: 1/8" = 1'-0"	08/17/18

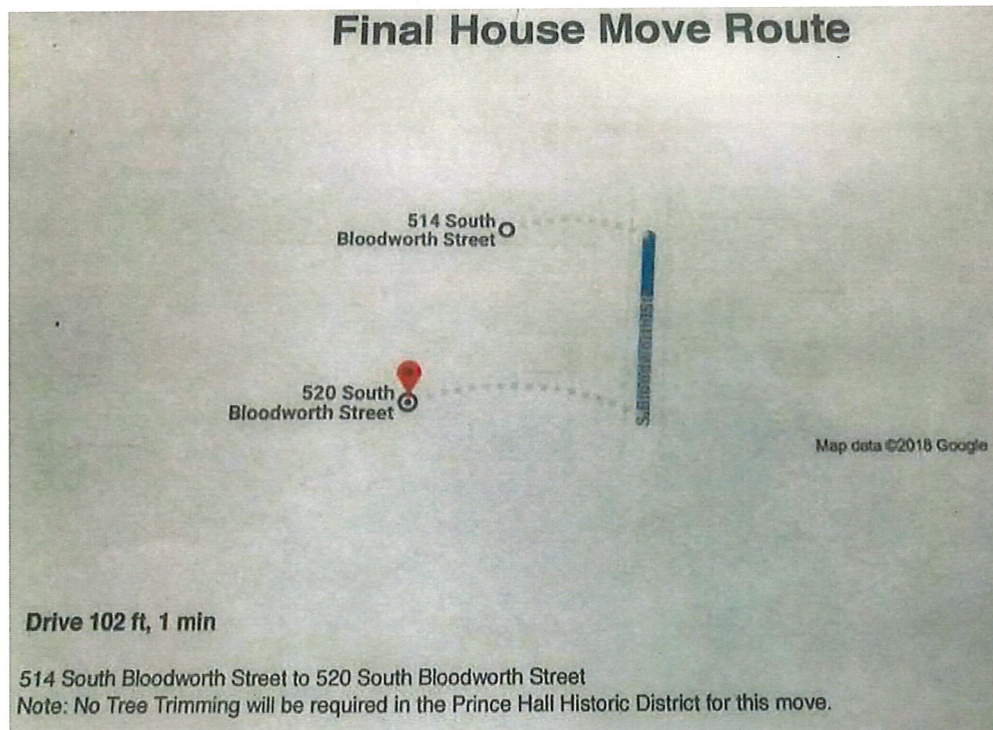
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514 S Bloodworth Street



Final House Move Route



Front (east façade)



Right (north) side



Rear (west) façade:



Left (south) façade:

