

CERTIFICATE OF APPROPRIATENESS PLACARD

for Raleigh Historic Resources

549 N BLOUNT STREET

Address

BLOUNT STREET

Historic District

Historic Property

089-18-MW

Certificate Number

06-11-2018

Date of Issue

12-11-2018

Expiration Date

Project Description:

- Pave parking lot, match aggregate finish

This card must be kept pasted in a location within public view until all phases of the described project are complete. The work must conform with the code of the City of Raleigh and laws of the state of North Carolina. When your project is complete, you are required to ask for a final zoning inspection in a historic district area. Telephone the RHDC office at 832-7238 and commission staff will coordinate the inspection with the Inspections Department. If you do not call for this final inspection, your Certificate of Appropriateness is null and void.

Signature, Collette R K

Raleigh Historic Development Commission

Pending the resolution of appeals, commencement of work is at your own risk.

Raleigh Historic Development Commission – Certificate of Appropriateness (COA) Application



**DEVELOPMENT
SERVICES
DEPARTMENT**

Development Services
Customer Service Center
One Exchange Plaza
1 Exchange Plaza, Suite 400
Raleigh, North Carolina 27601
Phone 919-996-2495
eFax 919-996-1831



<input checked="" type="checkbox"/> Minor Work (staff review) – 1 copy <input type="checkbox"/> Major Work (COA Committee review) – 10 copies <input type="checkbox"/> Additions Greater than 25% of Building Square Footage <input type="checkbox"/> New Buildings <input type="checkbox"/> Demo of Contributing Historic Resource <input type="checkbox"/> All Other <input type="checkbox"/> Post Approval Re-review of Conditions of Approval	<p style="text-align: center;">For Office Use Only</p> Transaction # <u>554740</u> File # <u>089-18-MW</u> Fee <u>\$29.00</u> Amount Paid <u>\$29.00</u> Received Date <u>11 MAY 2018</u> Received By <u>SUWT</u>
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Property Street Address 549 N. Blount St., Raleigh, NC 27604

Historic District Blount Street

Historic Property/Landmark name (if applicable) Dr. Thomas M. Jordan House

Owner's Name Holy Trinity Church of Raleigh Inc.

Lot size .54

(width in feet) Odd shape

(depth in feet) Odd shape

For applications that require review by the COA Committee (Major Work), provide addressed, stamped envelopes to owners of all properties within 100 feet (i.e. both sides, in front (across the street), and behind the property) not including the width of public streets or alleys ([Label Creator](#)).

Property Address	Property Address

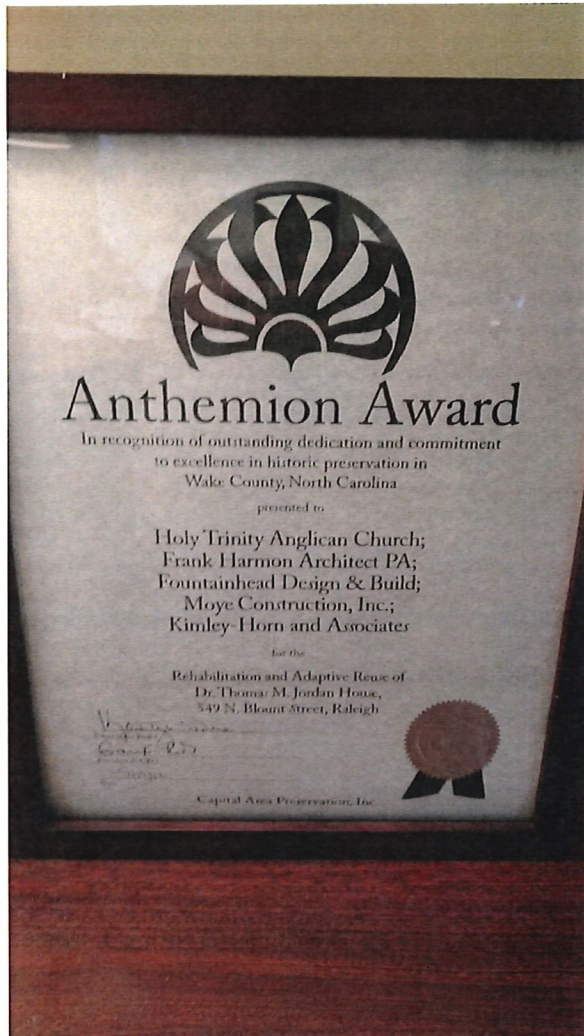
Minor Work Approval (office use only)

Upon being signed and dated below by the Planning Director or designee, this application becomes the Minor Work Certificate of Appropriateness. It is valid until 12/11/2018. Please post the enclosed placard form of the certificate as indicated at the bottom of the card. Issuance of a Minor Work Certificate shall not relieve the applicant, contractor, tenant, or property owner from obtaining any other permit required by City Code or any law. Minor Works are subject to an appeals period of 30 days from the date of approval.

Signature (City of Raleigh) Collette R [Signature] Date 02/11/2018

	TO BE COMPLETED BY APPLICANT		TO BE COMPLETED BY CITY STAFF		
	YES	N/A	YES	NO	N/A
Attach 8-1/2" x 11" or 11" x 17" sheets with written descriptions and drawings, photographs, and other graphic information necessary to completely describe the project. Use the checklist below to be sure your application is complete. <u>Minor Work (staff review) – 1 copy</u> <u>Major Work (COA Committee review) – 10 copies</u>	<input checked="" type="checkbox"/>		<input checked="" type="checkbox"/>		
1. Written description. Describe clearly and in detail the nature of your project. Include exact dimensions for materials to be used (e.g. width of siding, window trim, etc.)	<input checked="" type="checkbox"/>		<input checked="" type="checkbox"/>		
2. Description of materials (Provide samples, if appropriate)	<input checked="" type="checkbox"/>		<input checked="" type="checkbox"/>		
3. Photographs of existing conditions are required. Minimum image size 4" x 6" as printed. Maximum 2 images per page.	<input checked="" type="checkbox"/>		<input checked="" type="checkbox"/>		
4. Paint Schedule (if applicable)	<input type="checkbox"/>	<input checked="" type="checkbox"/>			X
5. Plot plan (if applicable). A plot plan showing relationship of buildings, additions, sidewalks, drives, trees, property lines, etc., must be provided if your project includes any addition, demolition, fences/walls, or other landscape work. Show accurate measurements. You may also use a copy of the survey you received when you bought your property. Revise the copy as needed to show existing conditions and your proposed work.	<input type="checkbox"/>	<input checked="" type="checkbox"/>			X
6. Drawings showing existing and proposed work <ul style="list-style-type: none"> <input type="checkbox"/> Plan drawings <input type="checkbox"/> Elevation drawings showing the façade(s) <input type="checkbox"/> Dimensions shown on drawings and/or graphic scale (required) <input type="checkbox"/> 11" x 17" or 8-1/2" x 11" reductions of full-size drawings. If reduced size is so small as to be illegible, make 11" x 17" or 8-1/2" x 11" snap shots of individual drawings from the big sheet. 	<input type="checkbox"/>	<input checked="" type="checkbox"/>			X
7. Stamped envelopes addressed to all property owners within 100 feet of property not counting the width of public streets and alleys (required for Major Work). Use the <u>Label Creator</u> to determine the addresses.	<input type="checkbox"/>	<input checked="" type="checkbox"/>			X
8. Fee (See Development Fee Schedule)	<input checked="" type="checkbox"/>		<input checked="" type="checkbox"/>		

Background: Holy Trinity Church purchased in the Dr. Thomas M. Jordan House in 2011 and set about rehabilitating it. We took our responsibility very seriously and took pains to blend the newly-relocated structure, starting with a partially paved legacy State government lot, into the neighborhood. The finished project was recognized with an Anthemion Award from Capital Area Preservation and an article in the November 2012 issue of *Walter*.



Project Description: The goal of this application is to gain the staff's approval to pave two areas on this property.

Area #1: The parking area behind the structure was surfaced in what is commonly known in the Triangle as Chapel Hill Grit, along with two asphalt spaces designated as handicapped parking.



As we began to use the newly-constructed church building across the alley, the lot shown in the picture above became preferred over our lot to the west of the church for most of our congregants with mobility challenges (whether they are officially handicapped or merely elderly.) This is primarily due to its proximity to the church and because we provide them with access through a back door to the church. However, due to the natural slope of the lot, we have had a constant battle with erosion of the Chapel Hill grit, which has resulted in ruts forming and the gravel substrate becoming exposed in areas.



This has made navigating this lot very difficult for those who have challenges with walking. We have a congregant who has needed two surgeries for a broken hip resulting from a fall due, at least partially, to the unpaved surface.

Given that the lot is sufficiently obscured from view (and getting more so as the shrubs grow!), and since the Chapel Hill grit is bordered by an at-grade concrete curb, we believe simply paving the area currently surfaced in the grit with asphalt will provide a nice finish and will maintain an overall appearance that is appropriate for the Blount Street Historic District.







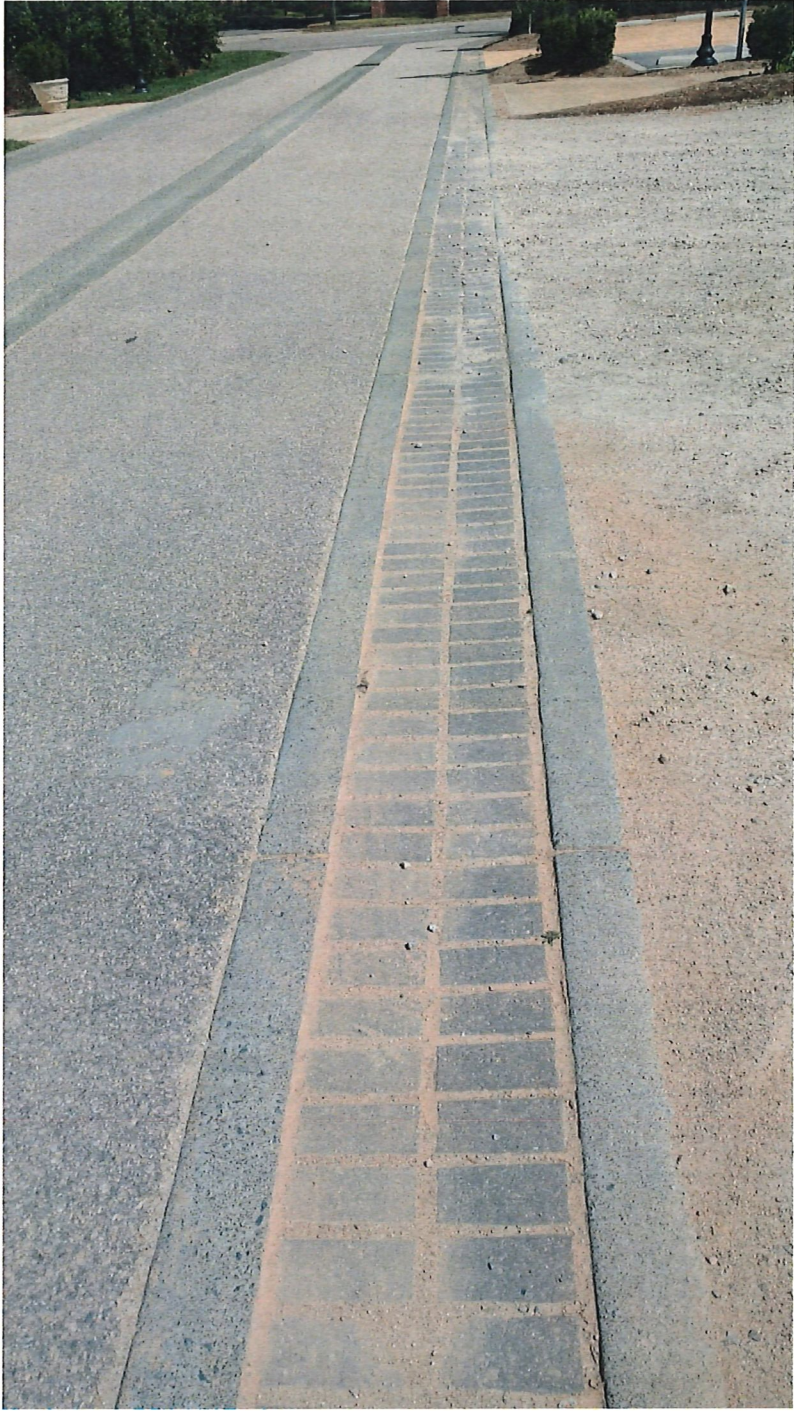
View from the north side of Peace Street.

Area #2: This area is bounded to the west by the alley and to the east by a legacy asphalt parking lot that is partially owned by the church, but mostly owned by an adjoining property owner. This area was paved with asphalt as well but it was effectively destroyed by the construction of the alley. We have the same erosion issues and walking hazards here.





The picture immediately above was taken from the lot at 545 N. Blount St. looking west. Most of the pavement shown here is on 545 N. Blount (not Holy Trinity property), but the far end of this existing pavement is owned by Holy Trinity. We believe it is appropriate to trim this legacy pavement at the far end to give it a clean new edge and then to pave with asphalt the area between this legacy pavement and the alley (essentially replacing pavement that was there before construction). Since the alley has a cement and paver edge that will be a nice finishing edge, we believe the additional paving will be appropriate for the historic district.





Tools

