

RHDC
 RALEIGH HISTORIC
 DEVELOPMENT COMMISSION

CERTIFICATE OF APPROPRIATENESS PLACARD

for Raleigh Historic Resources

105 BROOKS AVENUE

Address

Historic District

G. Milton Small & Associates

Office Building
 Historic Property

087-18-MW
 Certificate Number

05-23-2018
 Date of Issue

11-23-2018
 Expiration Date

Project Description:

- Install elevator lift
- Install accessible pathway

This card must be kept pasted in a location within public view until all phases of the described project are complete. The work must conform with the code of the City of Raleigh and laws of the state of North Carolina. When your project is complete, you are required to ask for a final zoning inspection in a historic district area. Telephone the RHDC office at 832-7238 and commission staff will coordinate the inspection with the Inspections Department. If you do not call for this final inspection, your Certificate of Appropriateness is null and void.

Signature, _____

Collette R K

Raleigh Historic Development Commission

Pending the resolution of appeals, commencement of work is at your own risk.

Raleigh Historic Development Commission – Certificate of Appropriateness (COA) Application



**DEVELOPMENT
SERVICES
DEPARTMENT**

Development Services
Customer Service Center
One Exchange Plaza
1 Exchange Plaza, Suite 400
Raleigh, North Carolina 27601
Phone 919-996-2495
eFax 919-996-1831



<input checked="" type="checkbox"/> Minor Work (staff review) – 1 copy <input type="checkbox"/> Major Work (COA Committee review) – 10 copies <input type="checkbox"/> Additions Greater than 25% of Building Square Footage <input type="checkbox"/> New Buildings <input type="checkbox"/> Demo of Contributing Historic Resource <input type="checkbox"/> All Other <input type="checkbox"/> Post Approval Re-review of Conditions of Approval	For Office Use Only Transaction # <u>555400</u> File # <u>087-18-MW</u> Fee <u>\$29</u> Amount Paid <u>\$29</u> Received Date <u>17 MAY 2018</u> Received By <u>SUI</u>
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Property Street Address **105 Brooks Ave, Raleigh NC 27607**

Historic District **N/A**

Historic Property/Landmark name (if applicable) **G. Milton Small and Associates Office Building**

Owner's Name **Small & Small, LLC. Owner Representative: Milton Small**

Lot size 0.26 acres	(width in feet) 69	(depth in feet) 156
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For applications that require review by the COA Committee (Major Work), provide addressed, stamped envelopes to owners of all properties within 100 feet (i.e. both sides, in front (across the street), and behind the property) not including the width of public streets or alleys ([Label Creator](#)).

Property Address	Property Address

I understand that all applications that require review by the commission's Certificate of Appropriateness Committee must be submitted by 4:00 p.m. on the application deadline; otherwise, consideration will be delayed until the following committee meeting. An incomplete application will not be accepted.

Type or print the following:

Applicant **Nicole Alvarez, Clearscapes**

Mailing Address **311 W Martin St, Suite 200**

City **Raleigh**

State **NC**

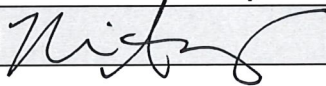
Zip Code **27601**

Date **5/17/18**

Daytime Phone **919-821-2775**

Email Address **nalvarez@clearscapes.com**

Applicant Signature



Will you be applying for rehabilitation tax credits for this project? Yes No

Did you consult with staff prior to filing the application? Yes No

Office Use Only

Type of Work 50, 83

Design Guidelines - Please cite the applicable sections of the design guidelines (www.rhdc.org).

Section/Page	Topic	Brief Description of Work (attach additional sheets as needed)
1.5/26-27	Walkways	New site paving connecting right-of-way to a new wheelchair lift. Reference attached written description, drawings, photos, and specifications for detailed more information.
2.11/60-61	Accessibility	

Minor Work Approval (office use only)

Upon being signed and dated below by the Planning Director or designee, this application becomes the Minor Work Certificate of Appropriateness. It is valid until 11/23/2018. Please post the enclosed placard form of the certificate as indicated at the bottom of the card. Issuance of a Minor Work Certificate shall not relieve the applicant, contractor, tenant, or property owner from obtaining any other permit required by City Code or any law. Minor Works are subject to an appeals period of 30 days from the date of approval.

Signature (City of Raleigh) Collette R K Date 05/23/2018

	TO BE COMPLETED BY APPLICANT		TO BE COMPLETED BY CITY STAFF		
	YES	N/A	YES	NO	N/A
Attach 8-1/2" x 11" or 11" x 17" sheets with written descriptions and drawings, photographs, and other graphic information necessary to completely describe the project. Use the checklist below to be sure your application is complete. <u>Minor Work (staff review) – 1 copy</u> <u>Major Work (COA Committee review) – 10 copies</u>			✓		
1. Written description. Describe clearly and in detail the nature of your project. Include exact dimensions for materials to be used (e.g. width of siding, window trim, etc.)	<input checked="" type="checkbox"/>		✓		
2. Description of materials (Provide samples, if appropriate)	<input checked="" type="checkbox"/>		✓		
3. Photographs of existing conditions are required. Minimum image size 4" x 6" as printed. Maximum 2 images per page.	<input checked="" type="checkbox"/>		✓		
4. Paint Schedule (if applicable)	<input type="checkbox"/>	<input checked="" type="checkbox"/>			X
5. Plot plan (if applicable). A plot plan showing relationship of buildings, additions, sidewalks, drives, trees, property lines, etc., must be provided if your project includes any addition, demolition, fences/walls, or other landscape work. Show accurate measurements. You may also use a copy of the survey you received when you bought your property. Revise the copy as needed to show existing conditions and your proposed work.	<input checked="" type="checkbox"/>	<input type="checkbox"/>	✓		
6. Drawings showing existing and proposed work <input checked="" type="checkbox"/> Plan drawings <input checked="" type="checkbox"/> Elevation drawings showing the façade(s) <input checked="" type="checkbox"/> Dimensions shown on drawings and/or graphic scale (required) <input checked="" type="checkbox"/> 11" x 17" or 8-1/2" x 11" reductions of full-size drawings. If reduced size is so small as to be illegible, make 11" x 17" or 8-1/2" x 11" snap shots of individual drawings from the big sheet.	<input checked="" type="checkbox"/>	<input type="checkbox"/>	✓		
7. Stamped envelopes addressed to all property owners within 100 feet of property not counting the width of public streets and alleys (required for Major Work). Use the <u>Label Creator</u> to determine the addresses.	<input type="checkbox"/>	<input checked="" type="checkbox"/>			X
8. Fee (See <u>Development Fee Schedule</u>)	<input checked="" type="checkbox"/>		✓		

Minor Work Application

G. Milton Small and Associates Office Building 105 Brooks Ave.

May 17, 2018

Description:

This application is to request approval for accessibility improves to the Landmark GMS Office Building.

Work includes extending a new concrete path to connect the entry to the public right-of-way. The existing pond with floating concrete walkway is not ADA-compliant. The new path will run parallel to the main pathway, within a zone that is currently gravel. At the location of the new lift, there will be a new concrete pad within extents of existing curbs. This concrete pad will match an existing concrete pad at the base of the stairs. A portion of non-original brick pavers will be removed at the location of the new concrete pad.

The work also includes the installation of a new wheelchair lift. The model selected has the least impact to the existing structure, only requiring a small portion of the upper landing be cut back to fit the lift. The structural brace to secure the mast to an existing beam will pierce through existing planters. The design of the lift was intended to be compatible with the existing building – an enclosed model with solid black metal panels and two clear glass vision panels at the doors. The upper level of the lift is capped at a standard 42" gate height to maintain the openness of the double-height entry foyer. The existing guardrails will be re-installed to either side of the gate.

Here are a few examples of approved COA's that included wheelchair lifts:

- COA 162-16-CA
- COA 095-17-MW
- COA 061-17-MW

Please see attached drawings, photos, and specifications for more details.

CONSULTANTS

PROJECT

GMS OFFICE

105 Brooks Ave.
Raleigh, NC 27607

PROJECT DATA

DATE: 05/17/2018
DRAWN: NNA
CHECKED: SDS
FILENAME:
PROJECT NO: 2018_0100
PRINTING: MINOR WORK COA

SHEET DATA

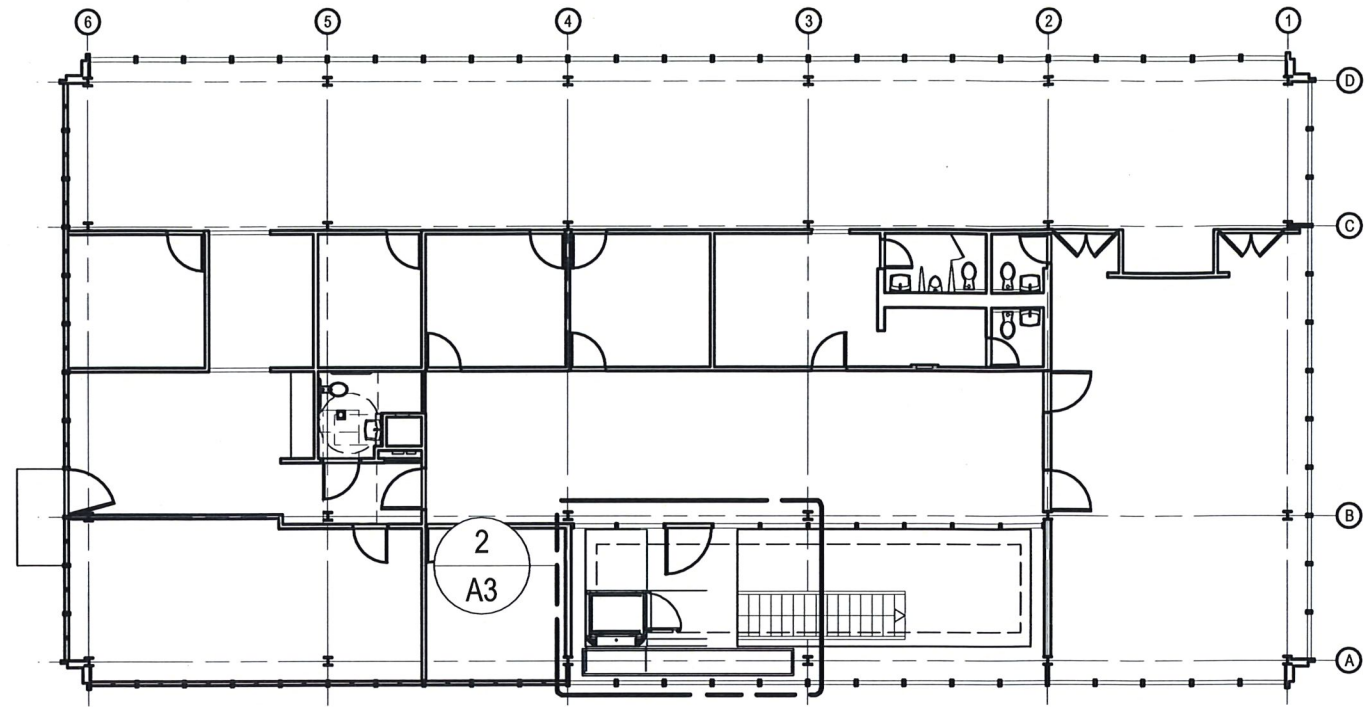
EXISTING PHOTO

SHEET NO.

A1



EXISTING PHOTO OF PROJECT SITE



2 MAIN / UPPER FLOOR PLAN
Scale: 1/16" = 1'-0"

CONSULTANTS

PROJECT

GMS OFFICE

105 Brooks Ave.
Raleigh, NC 27607

PROJECT DATA

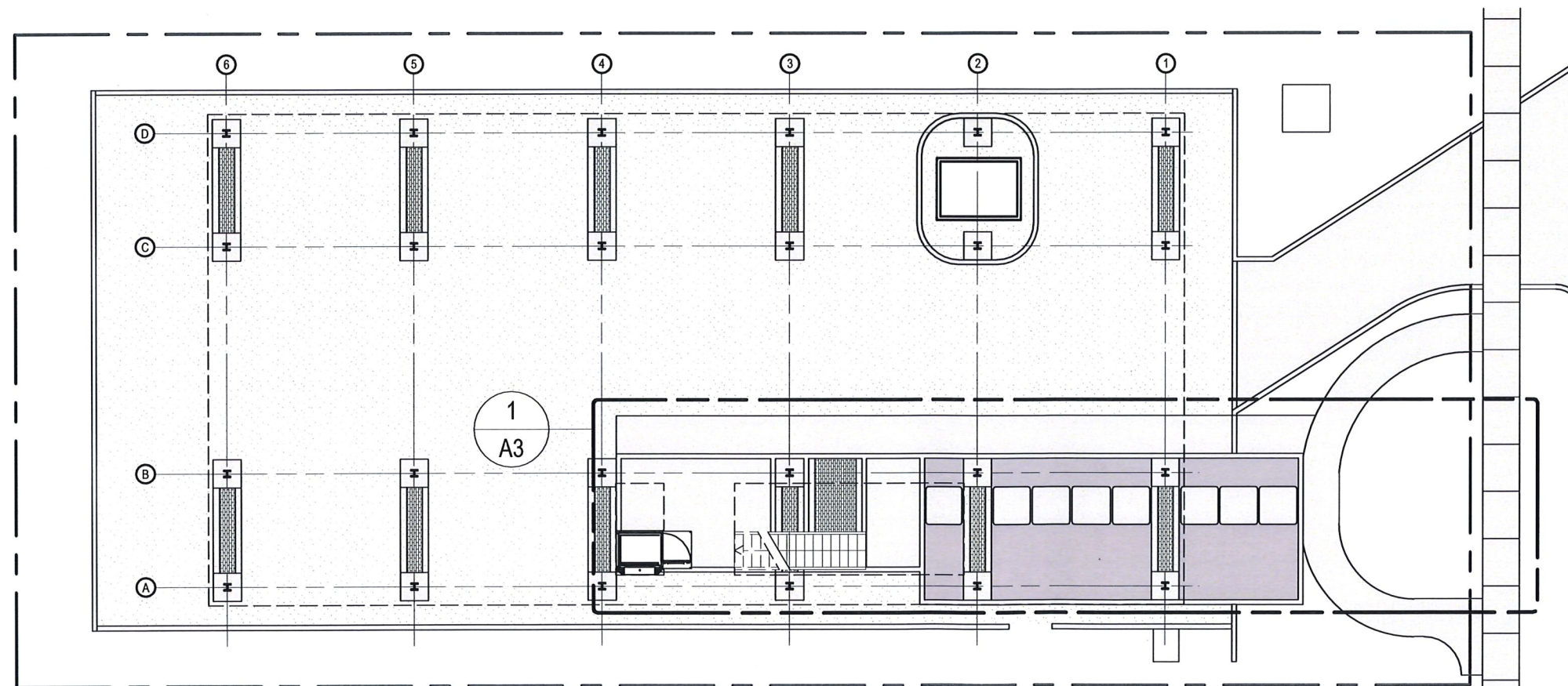
DATE: 05/17/2018
DRAWN: NNA
CHECKED: SDS
FILENAME:
PROJECT NO: 2018_0100
PRINTING: MINOR WORK COA

SHEET DATA

SITE PLAN

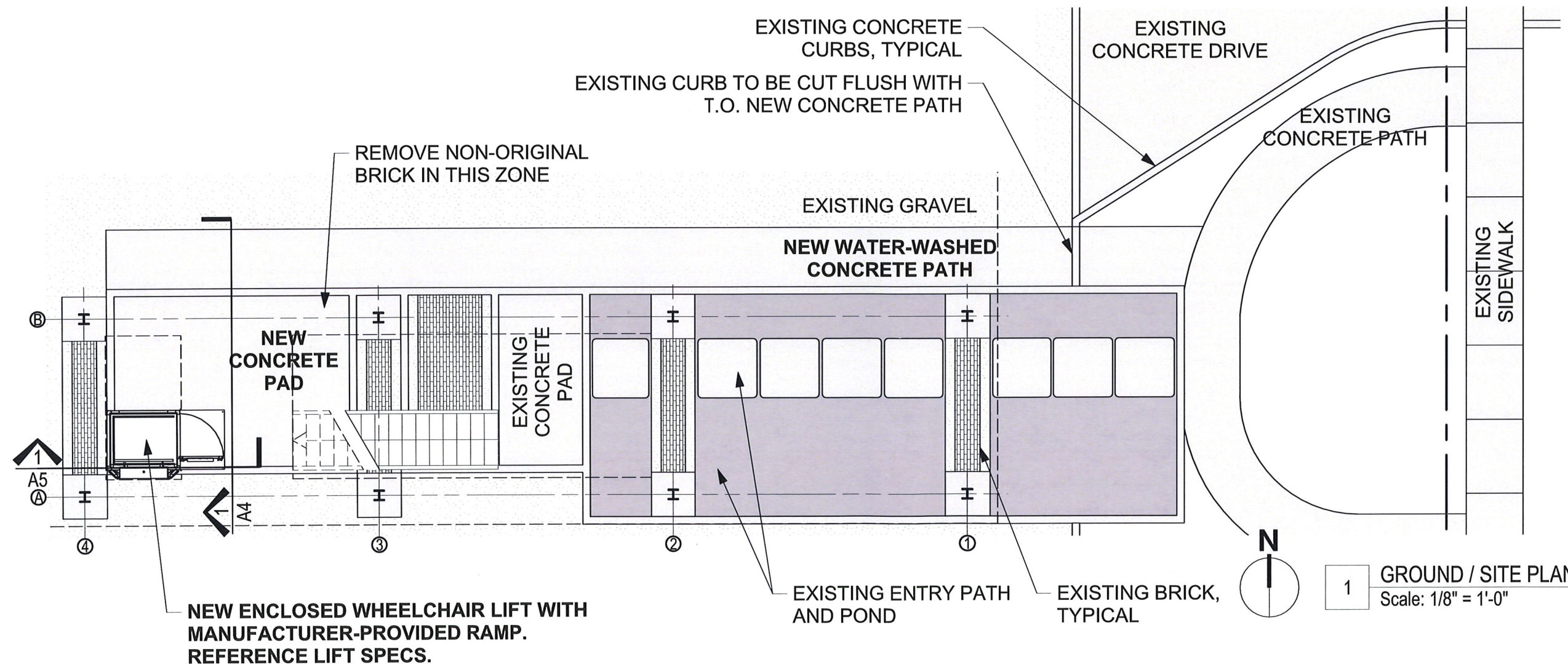
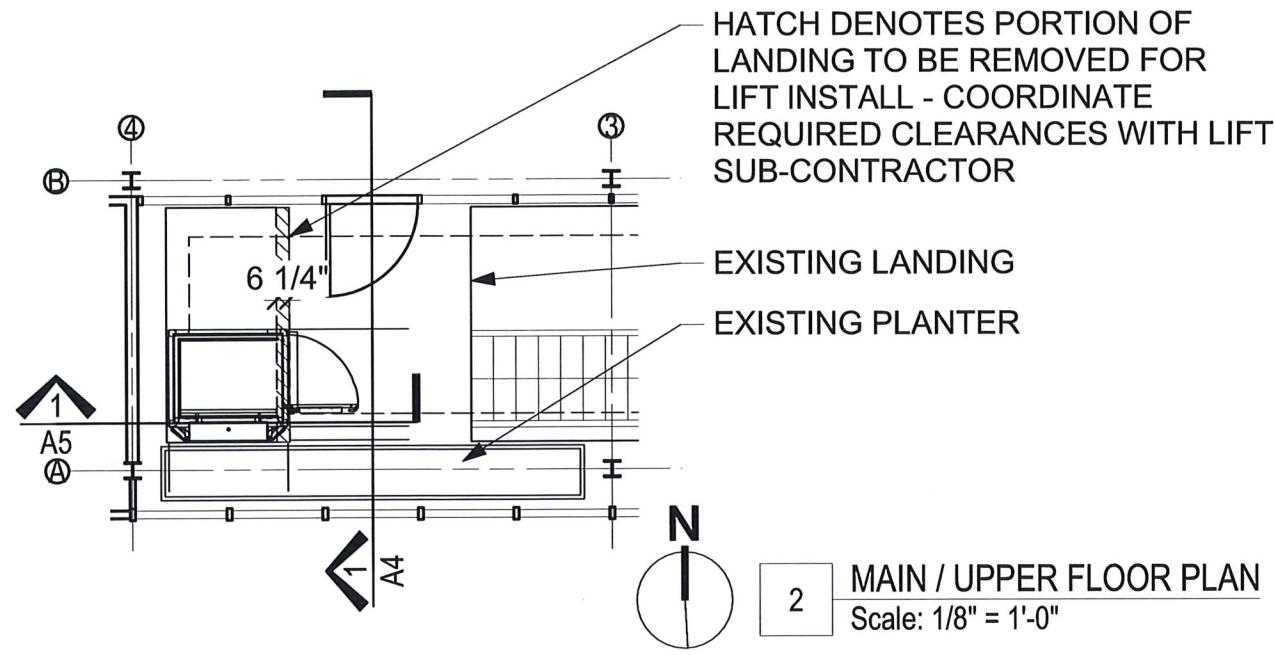
SHEET NO.

A2



1 GROUND / SITE PLAN
Scale: 1/16" = 1'-0"

BROOKS AVENUE



CONSULTANTS

PROJECT

GMS OFFICE

105 Brooks Ave.
Raleigh, NC 27607

PROJECT DATA

DATE: 05/17/2018
DRAWN: NNA
CHECKED: SDS
FILENAME:
PROJECT NO: 2018_0100
PRINTING: MINOR WORK COA

SHEET DATA

SITE PLAN

SHEET NO.

A3

CONSULTANTS

PROJECT

GMS OFFICE

105 Brooks Ave.
Raleigh, NC 27607

PROJECT DATA

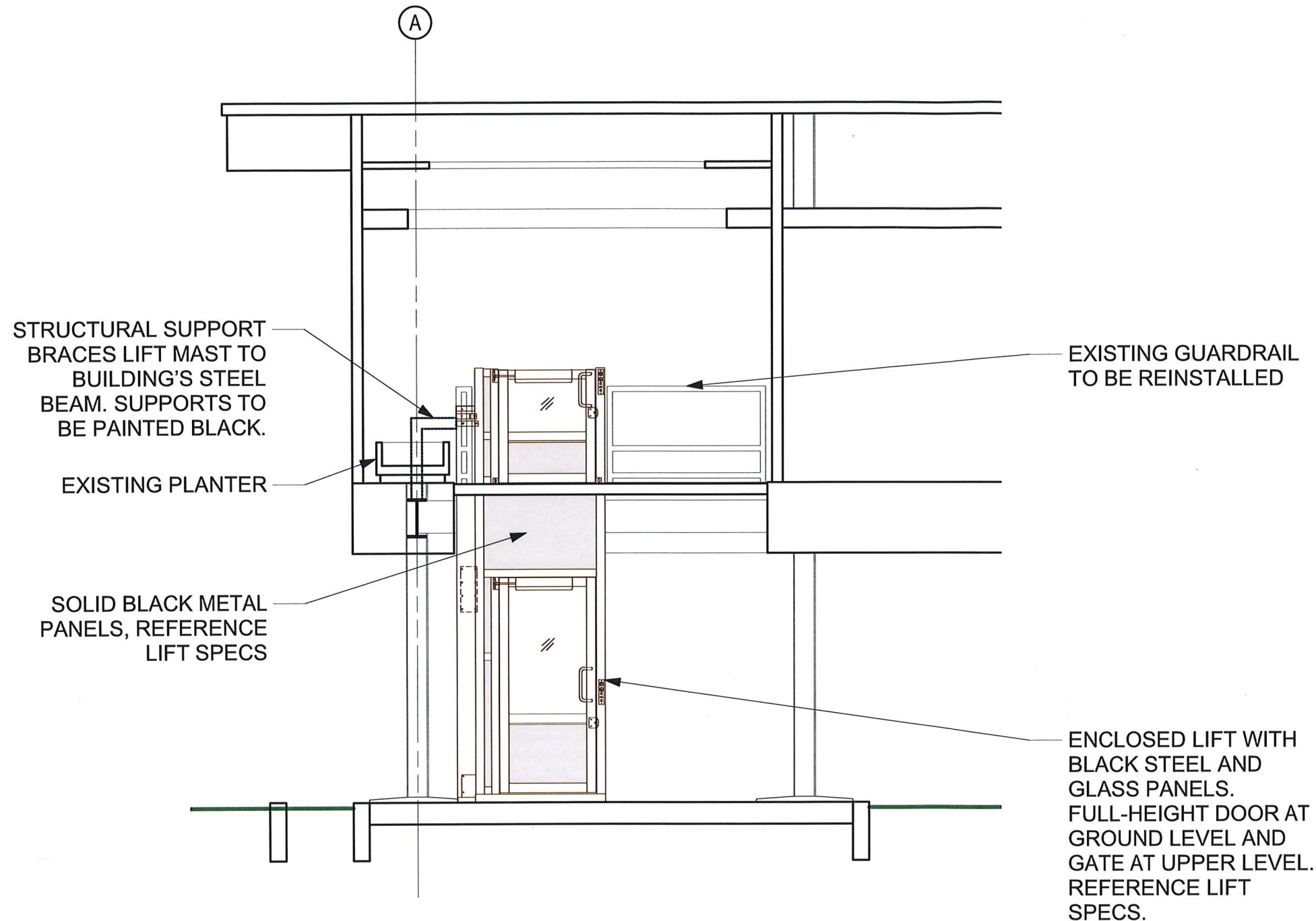
DATE: 05/17/2018
DRAWN: NNA
CHECKED: SDS
FILENAME:
PROJECT NO: 2018_0100
PRINTING: MINOR WORK COA

SHEET DATA

SECTIONS AND ELEVATIONS

SHEET NO.

A4



1 LIFT SECTION
Scale: 1/4" = 1'-0"

CONSULTANTS

PROJECT

GMS OFFICE

105 Brooks Ave.
Raleigh, NC 27607

PROJECT DATA

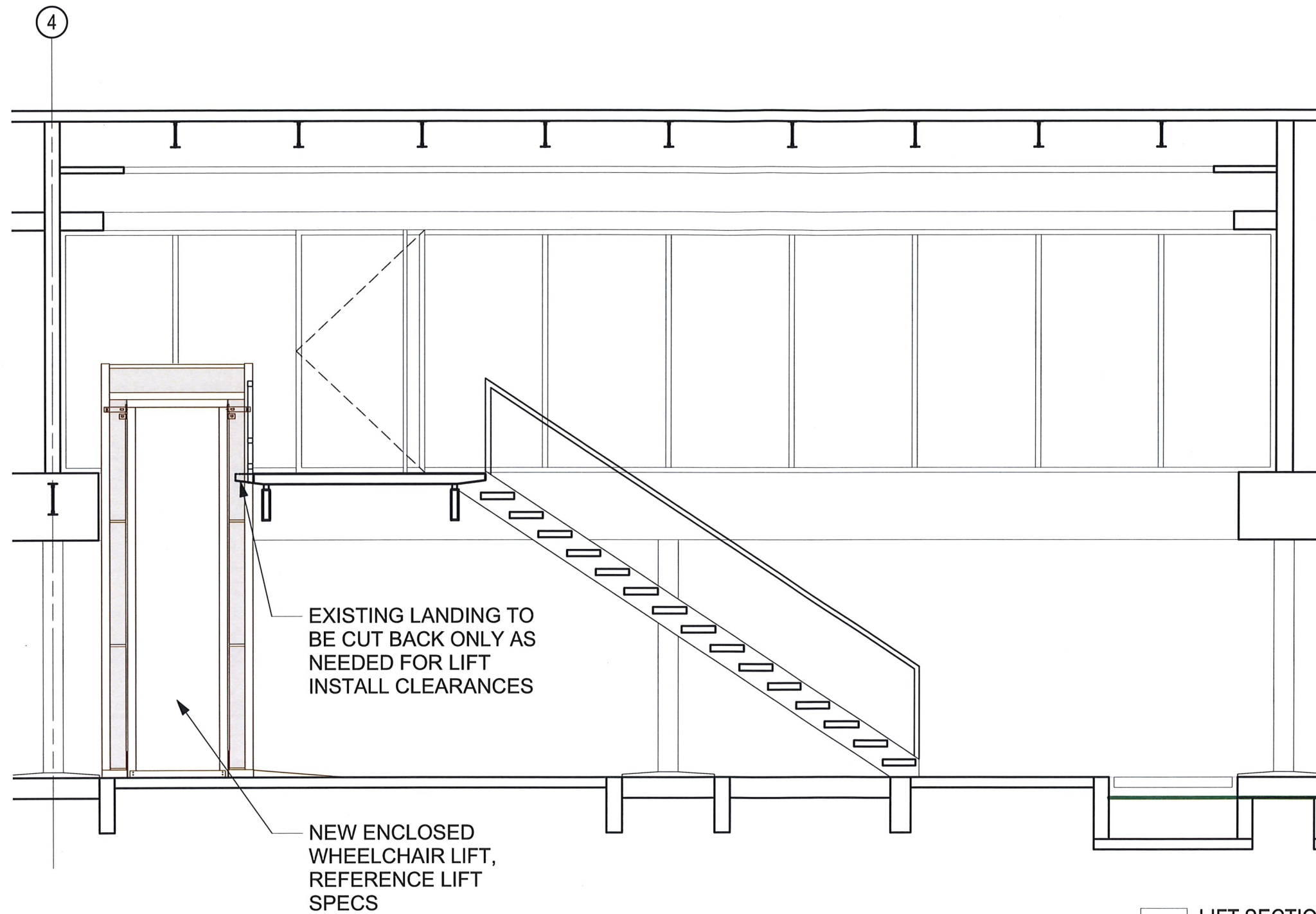
DATE: 05/17/2018
DRAWN: NNA
CHECKED: SDS
FILENAME:
PROJECT NO: 2018_0100
PRINTING: MINOR WORK COA

SHEET DATA

SECTIONS AND ELEVATIONS

SHEET NO.

A5



1 LIFT SECTION
Scale: 1/4" = 1'-0"



PORTION OF CURB TO BE PARTIALLY REMOVED. T.O. CURB TO BE FLUSH WITH T.O. NEW CONCRETE PATH.



CLEARSCAPES

ARCHITECTURE + ART

311-200 W. Martin Street
Raleigh, NC 27601

919.821.2775
919.821.0804 fax
artarc@clearscapes.com

CONSULTANTS

PROJECT

GMS OFFICE

105 Brooks Ave.
Raleigh, NC 27607

PROJECT DATA

DATE:	05/17/2018
DRAWN:	NNA
CHECKED:	SDS
FILENAME:	
PROJECT NO:	2018_0100
PRINTING:	MINOR WORK COA

SHEET DATA

PHOTOS

SHEET NO.

A6

CONSULTANTS

PROJECT

GMS OFFICE

105 Brooks Ave.
Raleigh, NC 27607

PROJECT DATA

DATE: 05/17/2018
DRAWN: NNA
CHECKED: SDS
FILENAME:
PROJECT NO: 2018_0100
PRINTING: MINOR WORK COA

SHEET DATA

PHOTOS

SHEET NO.

A7



NEW WATER-WASHED
CONCRETE PATH

NEW CONCRETE PAD
FLUSH WITH T.O.
EXISTING CURBS AND
WITHIN BOUNDARIES
OF EXISTING CURBS.
MATCH
COLOR/TEXTURE OF
EXISTING CONCRETE
PAD.

NON-ORIGINAL BRICK
TO BE REMOVED

WHEELCHAIR LIFT NOT
SHOWN FOR CLARITY



NEW ENCLOSED
WHEELCHAIR LIFT,
REFERENCE SPECS

NEW CONCRETE PAD
FLUSH WITH T.O.
EXISTING CURBS AND
WITHIN BOUNDARIES
OF EXISTING CURBS.
MATCH
COLOR/TEXTURE OF
EXISTING CONCRETE
PAD.

NON-ORIGINAL BRICK
TO BE REMOVED

EXISTING
CONCRETE PAD

NEW WATER-WASHED
CONCRETE PATH

CONSULTANTS

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105 Brooks Ave.
Raleigh, NC 27607

PROJECT DATA

DATE: 05/17/2018
DRAWN: NNA
CHECKED: SDS
FILENAME:
PROJECT NO: 2018_0100
PRINTING: MINOR WORK COA

SHEET DATA

PHOTOS

SHEET NO.

A8



NEW ENCLOSED
WHEELCHAIR LIFT,
REFERENCE SPECS

NEW WATER-WASHED
CONCRETE PATH

NEW CONCRETE PAD FLUSH WITH T.O. EXISTING
CURBS AND WITHIN BOUNDARIES OF EXISTING
CURBS. MATCH COLOR/TEXTURE OF EXISTING
CONCRETE PAD.



NEW ENCLOSED
WHEELCHAIR LIFT,
REFERENCE SPECS

PORTRION OF LANDING
TO BE REMOVED TO FIT
LIFT, REFERENCE
PLANS

EXISTING RAILINGS TO
BE REINSTALLED TO
EITHER SIDE OF LIFT

NEW ENCLOSED
WHEELCHAIR LIFT,
REFERENCE SPECS



NEW ENCLOSED
WHEELCHAIR LIFT,
REFERENCE SPECS

EXISTING RAILINGS TO
BE REINSTALLED TO
EITHER SIDE OF LIFT

PORTION OF LANDING
TO BE REMOVED TO FIT
LIFT, REFERENCE
PLANS

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PROJECT DATA

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FILENAME:
PROJECT NO: 2018_0100
PRINTING: MINOR WORK COA

SHEET DATA

PHOTOS

SHEET NO.

A9