



CERTIFICATE OF APPROPRIATENESS PLACARD

for Raleigh Historic Resources

207 E HARGETT STREET

Address

MOORE SQUARE

Historic District

Historic Property

049-18-MW

Certificate Number

04-16-2018

Date of Issue

04-16-2018

Expiration Date

Project Description:

- Removal of non-contributing brick wall;
- Construction of new ADA accessible ramp;
- Construction of new steps and guardrails;
- Landscaping

This card must be kept pasted in a location within public view until all phases of the described project are complete. The work must conform with the code of the City of Raleigh and laws of the state of North Carolina. When your project is complete, you are required to ask for a final zoning inspection in a historic district area. Telephone the RHDC office at 832-7238 and commission staff will coordinate the inspection with the Inspections Department. If you do not call for this final inspection, your Certificate of Appropriateness is null and void.

Signature, _____

Collette R K

Raleigh Historic Development Commission

Pending the resolution of appeals, commencement of work is at your own risk.

Raleigh Historic Development Commission – Certificate of Appropriateness (COA) Application



**DEVELOPMENT
SERVICES
DEPARTMENT**

Development Services
Customer Service Center
One Exchange Plaza
1 Exchange Plaza, Suite 400
Raleigh, North Carolina 27601
Phone 919-996-2495
eFax 919-996-1831



| | |
|--|--|
| <input checked="" type="checkbox"/> Minor Work (staff review) – 1 copy <input type="checkbox"/> Major Work (COA Committee review) – 10 copies <input type="checkbox"/> Additions Greater than 25% of Building Square Footage <input type="checkbox"/> New Buildings <input type="checkbox"/> Demo of Contributing Historic Resource <input type="checkbox"/> All Other <input type="checkbox"/> Post Approval Re-review of Conditions of Approval | For Office Use Only Transaction # <u>549927</u> File # <u>049-18-MW</u> Fee <u>29.00</u> Amount Paid <u>29.00</u> Received Date <u>4/3/18</u> Received By <u>SH</u> |
|--|--|

Property Street Address: 207 East Hargett Street

Historic District Moore Square Historic District

Historic Property/Landmark name (if applicable) N/A

Owner's Name Wake County (Marbles Kids Museum)

Lot size 1.09 Acres

(width in feet) See attached

(depth in feet) See attached

For applications that require review by the COA Committee (Major Work), provide addressed, stamped envelopes to owners of all properties within 100 feet (i.e. both sides, in front (across the street), and behind the property) not including the width of public streets or alleys ([Label Creator](#)). N/A

| Property Address | Property Address |
|------------------|------------------|
| | |
| | |
| | |
| | |
| | |
| | |
| | |
| | |
| | |
| | |

I understand that all applications that require review by the commission's Certificate of Appropriateness Committee must be submitted by 4:00 p.m. on the application deadline; otherwise, consideration will be delayed until the following committee meeting. An incomplete application will not be accepted.

Type or print the following:

Applicant Clearscapes / Andrew Rook

Mailing Address 311-200 W. Martin Street

City Raleigh

State NC

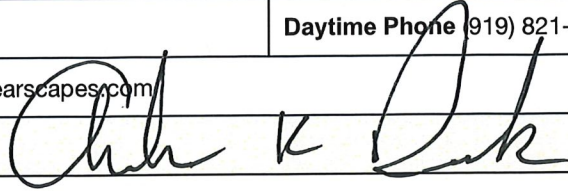
Zip Code 27601

Date March 12, 2018

Daytime Phone (919) 821-2775

Email Address arook@clearscapes.com

Applicant Signature



Will you be applying for rehabilitation tax credits for this project? Yes No

Did you consult with staff prior to filing the application? Yes No

Office Use Only

Type of Work 59, 87, 35

Design Guidelines - Please cite the applicable sections of the design guidelines (www.rhdc.org).

| Section/Page | Topic | Brief Description of Work (attach additional sheets as needed) |
|---------------------|----------------------------|--|
| Section 1.3, pg. 23 | Site Features & Plantings | <p><i>The Marbles Play Annex Courtyard project consists of site upgrades to an existing courtyard located in the middle of the Marbles Kids Museum and IMAX theater complex. The purpose of the project was to increase the visual and physical connection between the museum, the museum courtyard and the IMAX theater outdoor space. Grade differences between the main courtyard and the Play Annex Courtyard will be mitigated with a stepped landscape. All work is internal to the city block and will not be visible from the public right-of-way.</i></p> <p><i>Work consists of the following:</i></p> <ul style="list-style-type: none"> Demolition of existing non-contributing brick site wall along east side of courtyard Partial demolition of non-contributing north site wall Construction of new ADA accessible concrete ramp that leads into courtyard Construction of new guardrail located where portion of brick wall is being demolished (adjacent to IMAX courtyard) Construction of new concrete seat walls Construction of new terraced landscape |
| Applicable Items | 1.3.1, 1.3.2, 1.3.6, 1.3.9 | |
| | | |
| | | |
| | | |
| | | |
| | | |
| | | |
| | | |
| | | |

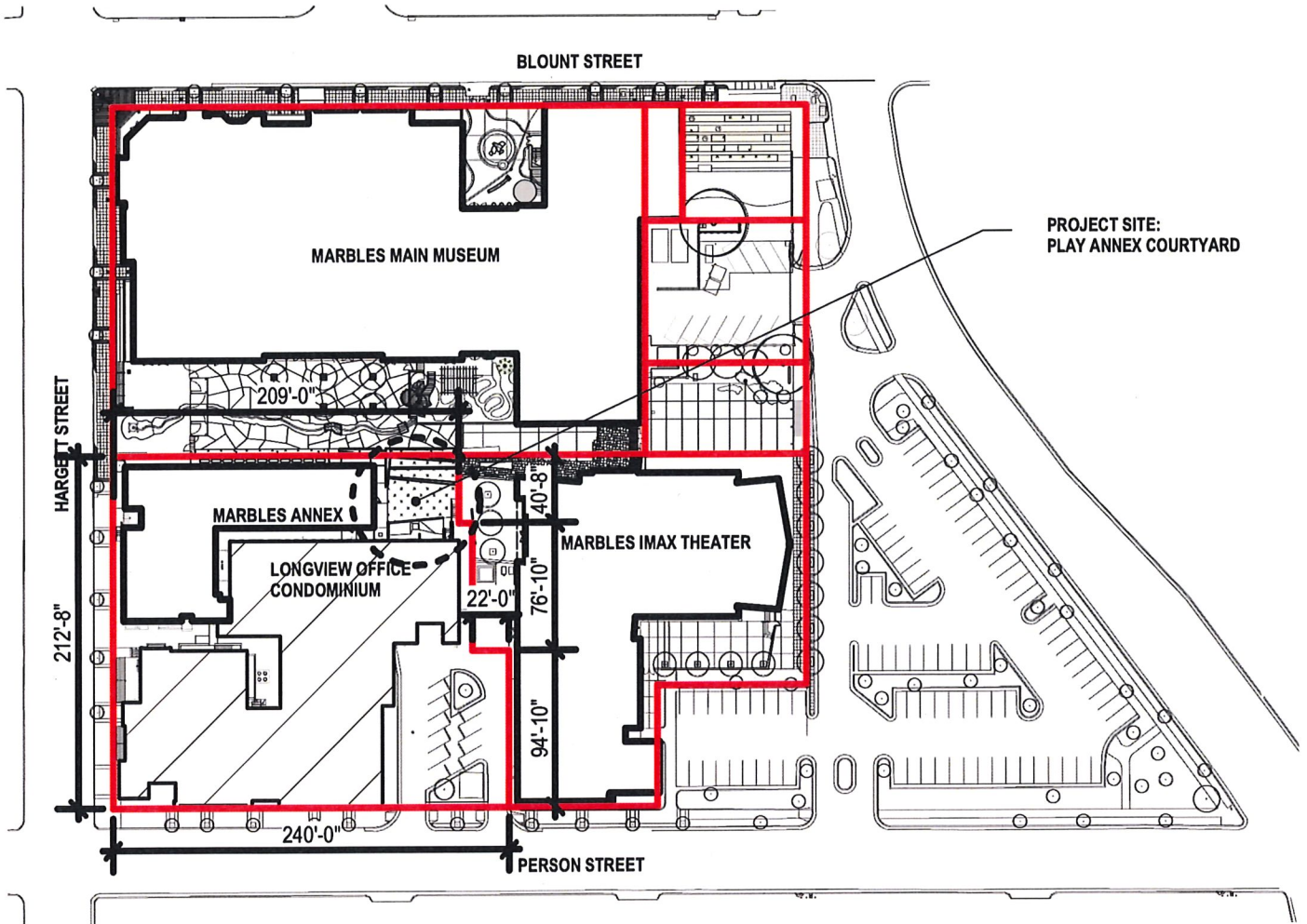
Minor Work Approval (office use only)

Upon being signed and dated below by the Planning Director or designee, this application becomes the Minor Work Certificate of Appropriateness. It is valid until 10/14/2018. Please post the enclosed placard form of the certificate as indicated at the bottom of the card. Issuance of a Minor Work Certificate shall not relieve the applicant, contractor, tenant, or property owner from obtaining any other permit required by City Code or any law. Minor Works are subject to an appeals period of 30 days from the date of approval.

Signature (City of Raleigh) Collette R K Date 04/14/2018

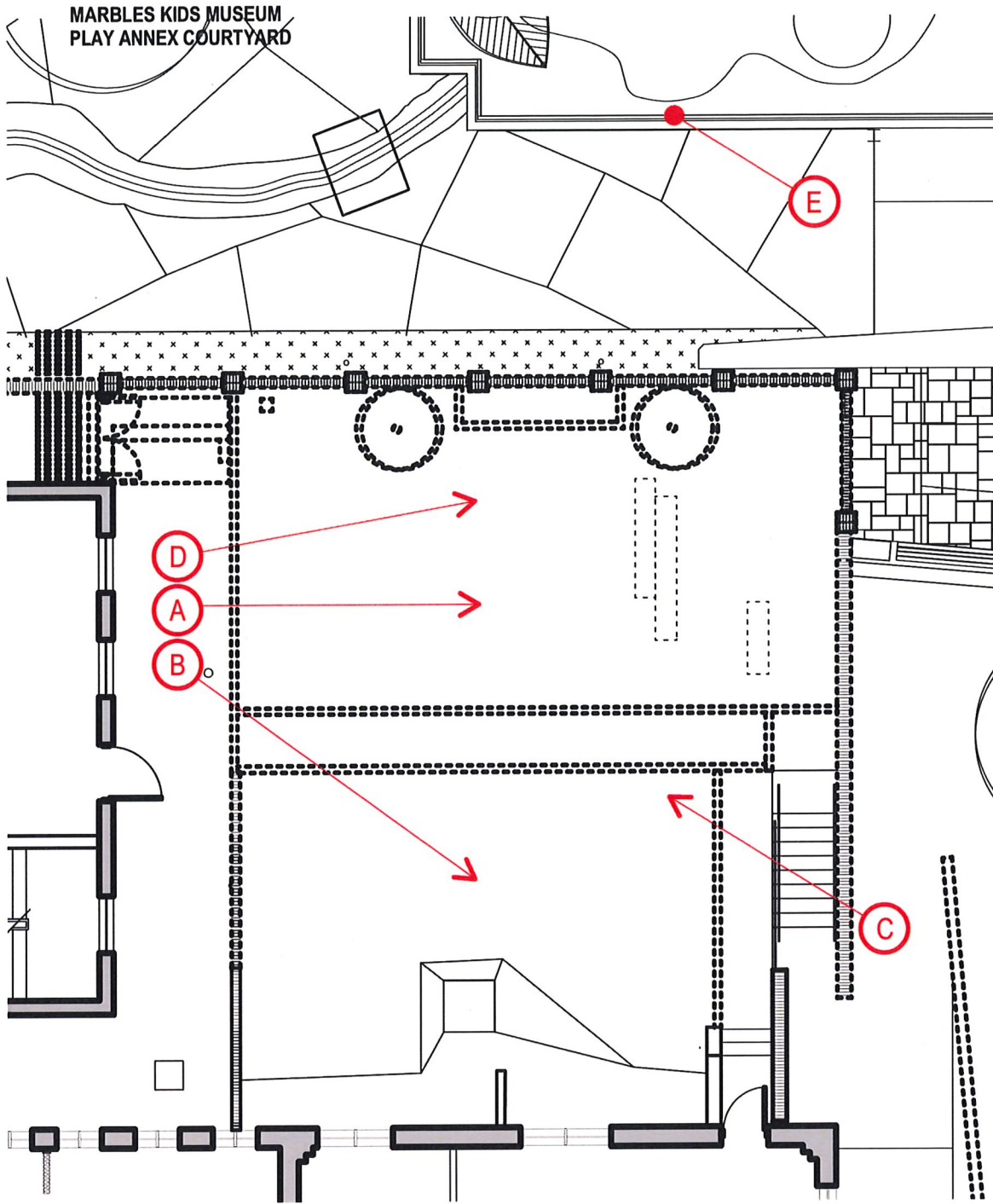
| | TO BE COMPLETED BY APPLICANT | | TO BE COMPLETED BY CITY STAFF | | |
|---|------------------------------|--------------------------|-------------------------------|----|-----|
| | YES | N/A | YES | NO | N/A |
| <p>Attach 8-1/2" x 11" or 11" x 17" sheets with written descriptions and drawings, photographs, and other graphic information necessary to completely describe the project. Use the checklist below to be sure your application is complete.</p> <p>Minor Work (staff review) – 1 copy</p> <p>Major Work (COA Committee review) – 10 copies N/A</p> | | | | | |
| 1. Written description. Describe clearly and in detail the nature of your project. Include exact dimensions for materials to be used (e.g. width of siding, window trim, etc.) | <input type="checkbox"/> | | | | |
| 2. Description of materials (Provide samples, if appropriate) | <input type="checkbox"/> | | | | |
| 3. Photographs of existing conditions are required. Minimum image size 4" x 6" as printed. Maximum 2 images per page. | <input type="checkbox"/> | | | | |
| 4. Paint Schedule (if applicable) | <input type="checkbox"/> | <input type="checkbox"/> | | | |
| 5. Plot plan (if applicable). A plot plan showing relationship of buildings, additions, sidewalks, drives, trees, property lines, etc., must be provided if your project includes any addition, demolition, fences/walls, or other landscape work. Show accurate measurements. You may also use a copy of the survey you received when you bought your property. Revise the copy as needed to show existing conditions and your proposed work. | <input type="checkbox"/> | <input type="checkbox"/> | | | |
| 6. Drawings showing existing and proposed work <ul style="list-style-type: none"> <input type="checkbox"/> Plan drawings <input type="checkbox"/> Elevation drawings showing the façade(s) <input type="checkbox"/> Dimensions shown on drawings and/or graphic scale (required) <input type="checkbox"/> 11" x 17" or 8-1/2" x 11" reductions of full-size drawings. If reduced size is so small as to be illegible, make 11" x 17" or 8-1/2" x 11" snap shots of individual drawings from the big sheet. | <input type="checkbox"/> | <input type="checkbox"/> | | | |
| 7. Stamped envelopes addressed to all property owners within 100 feet of property not counting the width of public streets and alleys (required for Major Work). Use the Label Creator to determine the addresses. | <input type="checkbox"/> | <input type="checkbox"/> | | | |
| 8. Fee (See Development Fee Schedule) | <input type="checkbox"/> | | | | |

**MARBLES KIDS MUSEUM
PLAY ANNEX COURTYARD**



01 LOT DIMINSIONS
Scale: 1"= 100 ft





01 PHOTO KEY PLAN - EXISTING CONDITIONS
Scale: 3/32" = 1'-0"

**MARBLES KIDS MUSEUM
PLAY ANNEX COURTYARD**



**PORTION OF WALL TO BE
DEMOLISHED AND REPLACED WITH
PAINTED STEEL GUARDRAIL**

A

**MARBLES KIDS MUSEUM
PLAY ANNEX COURTYARD**



BRICK SIDEWALK TO BE DEMOLISHED

B

MARBLES KIDS MUSEUM
PLAY ANNEX COURTYARD



- GATE TO BE DEMOLISHED
- BRICK WALL TO BE DEMOLISHED
- BRICK SIDEWALK TO BE DEMOLISHED



MARBLES KIDS MUSEUM
PLAY ANNEX COURTYARD



TREES AND PLANTER TO BE REMOVED

D

**MARBLES KIDS MUSEUM
PLAY ANNEX COURTYARD**



**NEW GUARDRAIL TO MATCH DETAILING AND COLOR OF EXISTING RAIL
(NEW RAIL WILL BE 42" IN HEIGHT PER BUILDING CODE.)**

E

MARBLES KIDS MUSEUM SITE IMPROVEMENTS / PLAY ANNEX COURTYARD: PERMIT SET 03.02.2018

MARBLES CAMPUS MAIN ADDRESS: 201 EAST HARGETT STREET, RALEIGH, NC 27601

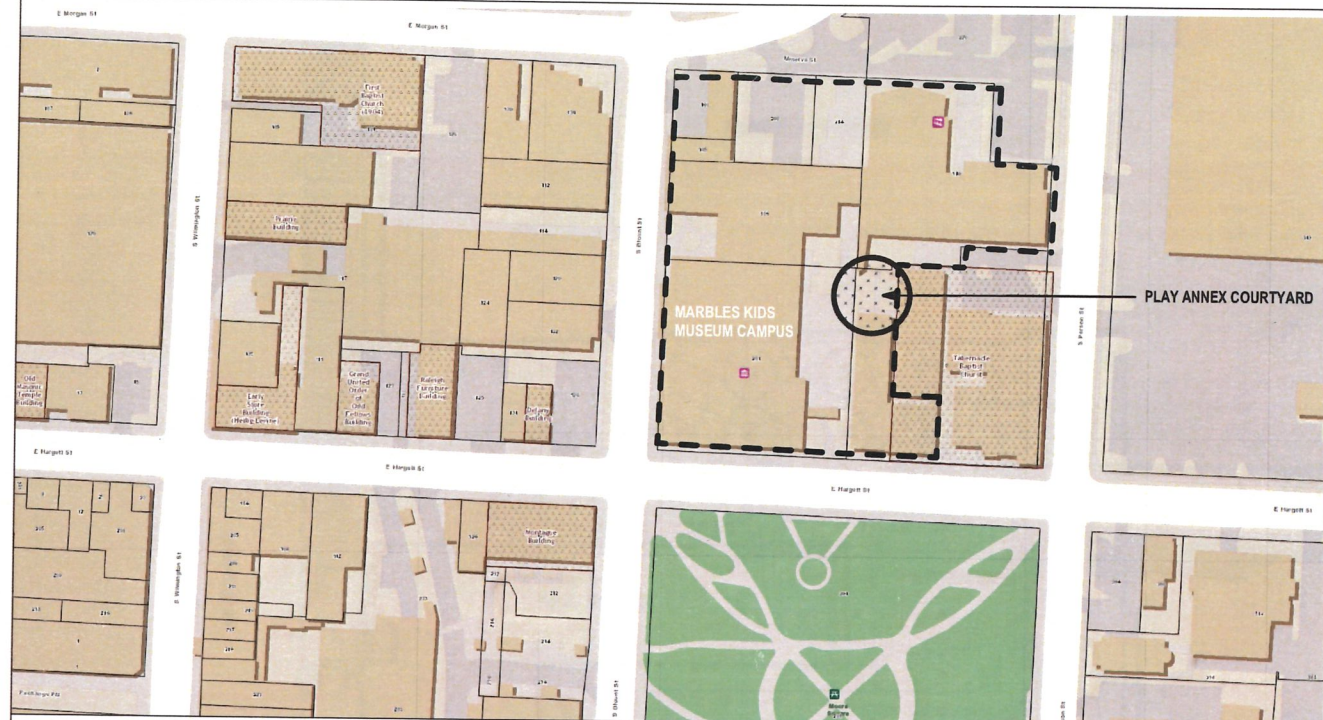


CLEARSCAPES
ARCHITECTURE - ART
311-200 W. Martin Street | Raleigh, NC 27601
919.821.2775 | www.clearscapes.com

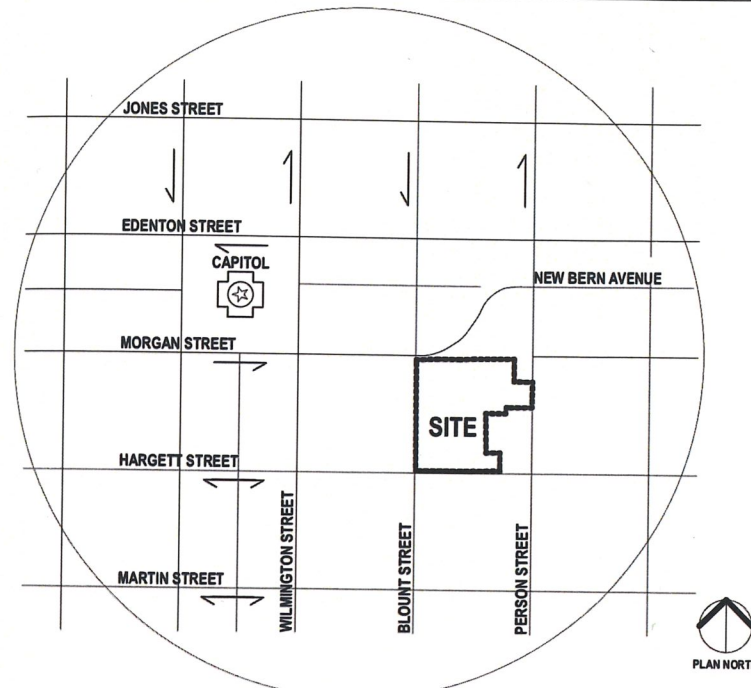
Lysaght & Associates
120 Saint Mary's Street
Raleigh, NC 27605
919.833.0495

Sigma Engineered Solutions
PC2100 Gateway Centre Blvd
Suite 100
Morrisville, NC 27560
919.828.9346

SITE AND PROJECT LOCATION



VICINITY MAP



SHEET LIST

| GENERAL | |
|---------------|--|
| G000 | COVER SHEET |
| G001 | PROJECT DATA SHEET & BUILDING CODE SUMMARY |
| G002 | BUILDING CODE SUMMARY |
| G003 | ARCHITECTURAL SITE PLAN |
| ARCHITECTURAL | |
| A001 | DEMOLITION - SITE PLAN |
| A002 | DEMOLITION - SITE SECTIONS/ ELEVATIONS |
| A101 | OVERALL SITE PLAN |
| A102 | ENLARGED PLAN |
| A201 | SITE SECTIONS/ ELEVATIONS |
| A301 | SECTION DETAILS |
| A302 | SECTION DETAILS |
| ELECTRICAL | |
| E001 | ELECTRICAL SYMBOLS |
| E100 | ELECTRICAL DEMOLITION |
| E200 | ELECTRICAL NEW WORK |
| E300 | ELECTRICAL RISER |

GENERAL NOTES

REGULATORY REQUIREMENTS

- 0-0. ALL WORK SHALL CONFORM TO:
- NORTH CAROLINA STATE BUILDING CODE, 2012 EDITION AND CURRENT AMENDMENTS
 - RULES AND REGULATIONS OF THE CITY OF RALEIGH, NORTH CAROLINA
 - RULES AND REGULATIONS OF PUBLIC UTILITIES
 - AMERICANS WITH DISABILITIES ACT, 26 JULY 1991, ANSI A117 AND CURRENT AMENDMENTS
- 0-1. THE CODE COMPLIANCE SUMMARIES ARE GUIDES TO THE CONSTRUCTION CRITERIA DEVELOPED FOR THIS PROJECT. THEY ARE NOT INTENDED TO BE A COMPLETE LIST OF CODE REQUIREMENTS.
- 0-2. MAINTAIN INTEGRITY OF FIRE RESISTANCE RATING OF ALL RATED SHAFT ENCLOSURES AND RATED PARTITIONS BEHIND RECESSED WALL ACCESSORIES, INCLUDING FIRE EXTINGUISHER CABINETS, TOILET ACCESSORIES, ELECTRICAL JUNCTION BOXES, AND OTHER ITEMS WHERE THEY OCCUR.
- 0-3. PENETRATIONS OF PIPES, CONDUITS, SWITCHES, OUTLETS, AND OTHER ITEMS AT RATED ASSEMBLIES SHALL BE FIRE-STOPPED, TYP.

GENERAL REQUIREMENTS

- 1-0. REFER TO THE PROJECT MANUAL FOR COMPLETE GENERAL REQUIREMENTS AND CONDITIONS OF THE CONTRACT. THE PROJECT MANUAL SHALL TAKE PRECEDENCE OVER THESE GENERAL NOTES IN THE EVENT OF A CONFLICT.
- 1-1. THE GENERAL CONTRACTOR MUST COORDINATE ARCHITECTURAL DRAWINGS WITH SPME&FA DRAWINGS AND ALL OWNER'S VENDORS INCLUDING, BUT NOT LIMITED TO, TELEPHONE, AUDIOVISUAL AND SECURITY SYSTEMS. NOTIFY ARCHITECT OF ANY CONFLICTS OR DISCREPANCIES PRIOR TO COMMENCEMENT OF WORK.
- 1-2. THE GENERAL CONTRACTOR AND ALL SUB-CONTRACTORS ARE RESPONSIBLE FOR REVIEWING AND COORDINATING THEIR WORK WITH ALL OF THE DRAWINGS PRIOR TO INSTALLATION. OMISSIONS OR CONFLICTS BETWEEN THE VARIOUS ELEMENTS OF THE DRAWINGS, PROJECT MANUAL, NOTES, AND DETAILS SHALL BE BROUGHT TO THE ATTENTION OF THE ARCHITECT BY THE GENERAL CONTRACTOR AND SHALL BE RESOLVED WITH THE ARCHITECT BEFORE PROCEEDING WITH THE WORK OR RELATED WORK.
- 1-3. THE GENERAL CONTRACTOR TO INCLUDE ALL PERMIT FEES AND COORDINATION WITH CITY OF RALEIGH INSPECTIONS DEPARTMENT, INCLUDING COORDINATION OF WORK IN CITY RIGHT OF WAY, TYPICAL.
- 1-4. BASE BID TO INCLUDE AN ALLOWANCE OF \$3,000 FOR PROCESS OF SECURING (2) PERMITS FROM THE CITY OF RALEIGH. A PERMIT FOR EACH BUILDING WILL BE REQUIRED AND ASSUMED BY CONTRACTOR FOR THIS WORK. EACH PERMIT IS ESTIMATED TO BE \$1,000 FOR MARBLES.
- 1-5. CONTRACTOR TO ASSUME A 2-STEP "NOTICE TO PROCEED" PROCESS. STEP #1- PERMITTING, SHOP DRAWINGS AND ORDER/SECURING OF MATERIALS/FIXTURES (90 DAYS). STEP #2- CONSTRUCTION (120 DAYS) (START DATE TO BE AGREED UPON BY ALL PARTIES AFTER MATERIALS HAVE BEEN SECURED)
- 1-6. THE CONTRACTOR WORK HOURS- CLEARSCAPES, MARBLES KIDS MUSEUM AND WAKE COUNTY GSA WILL WORK WITH SELECTED CONTRACTOR TO ACCOMMODATE A COST EFFECTIVE SOLUTION FOR THE REPLACEMENT/INSTALLATION OF PROJECT THAT MAY INCLUDE NIGHT, EVENING AND WEEKEND HOURS.
- 1-7. THE CONTRACTOR AND ALL SUB-CONTRACTORS ARE RESPONSIBLE TO COORDINATE AND PROVIDE ANY AND ALL REQUIRED CROWD CONTROL NEEDED TO MAINTAIN EXIT EGRESS AND SITE SAFETY FOR GENERAL PUBLIC AND MUSEUM PATRONS DURING BUSINESS HOURS. THIS ALSO INCLUDES SITE CONTROL OF CHILLER COURT AREA AND MUSEUM SERVICE COURT.
- 1-8. DUE TO MUSEUM PATRONS, MARBLES KIDS MUSEUM CAMPUS IS A ZERO TOLERANCE SITE FOR USE OF DRUGS, TOBACCO OR ALCOHOL, INCLUDING USE OF VAPOR SMOKING DEVICES BY STAFF OR CONTRACTORS.

1-9. MARBLES KIDS MUSEUM HAS VERY LIMITED ONSITE STORAGE, THEREFORE CONTRACTOR IS RESPONSIBLE FOR PROVIDING THEIR OWN STORAGE. MARBLES STAFF WILL WORK WITH GC TO COORDINATE OPTIONS ON A CASE BY CASE BASIS.

DIMENSIONING REQUIREMENTS

- 2-0. DIMENSIONS ARE NOTED OR CAN BE DETERMINED FROM OTHER INFORMATION INCLUDED IN THE DRAWINGS. VERIFY ALL DIMENSIONS BEFORE PROCEEDING WITH THE WORK. NOTIFY THE ARCHITECT IMMEDIATELY OF ANY DISCREPANCIES OR OMISSIONS. DO NOT PROCEED WITH AFFECTED WORK OR RELATED WORK UNTIL THE VARIATIONS OR OMISSIONS HAVE BEEN RESOLVED BY THE ARCHITECT. DO NOT SCALE DRAWINGS. DRAWING SHEETS LESS THAN 24"x36" MAY HAVE BEEN REDUCED FROM THE ORIGINALS.
- 2-1. ALL DIMENSIONS ARE TO FINISHED FACE OF WALL UNLESS OTHERWISE NOTED.
- 2-2. WALLS SHOWN TO ALIGN ARE TO HAVE FINISH FACES ALIGN UNLESS OTHERWISE NOTED.
- 2-3. IF PROVIDED, REFER TO ENLARGED PLANS AND PLAN DETAILS FOR ADDITIONAL INFORMATION AND DIMENSIONS.
- 2-4. LOCATIONS OF ALL DEVICES AND FIXTURES DIMENSIONED, NOTED OR OTHERWISE DESCRIBED, ARE EXACT. ALL NEW FRAMING MUST ACCOMMODATE THESE LOCATIONS.
- 2-5. ANY DIMENSIONS OF OR TYING IN TO EXISTING BUILDING COMPONENTS ARE TO BE FIELD-VERIFIED PRIOR TO COMMENCEMENT OF WORK. VERIFY ANY DISCREPANCIES W/ ARCHITECT PRIOR TO COMMENCEMENT OF WORK.

OTHER REQUIREMENTS

- 3-1. TYPICAL DETAILS SHOWN ON THE DRAWINGS SHALL BE INCORPORATED AT ALL APPROPRIATE LOCATIONS WHETHER OR NOT SPECIFICALLY REFERENCED AT EACH LOCATION.
- 3-2. THE GENERAL CONTRACTOR IS RESPONSIBLE FOR ANY REQUIRED DEMOLITION, TEMPORARY SUPPORT OF, AND/OR DAMAGE TO NEW OR EXISTING FINISHES DURING CONSTRUCTION.
- 3-3. THE GENERAL CONTRACTOR IS TO COORDINATE, PROVIDE, AND INSTALL CONCEALED BLOCKING FOR ALL WALL-MOUNTED ITEMS INCLUDING, BUT NOT LIMITED TO, FIXTURES, EQUIPMENT, OWNER- AND/OR VENDOR-PROVIDED ITEMS, ETC.
- 3-4. NO EXPOSED CONDUIT, WIRING, OR PIPING IS PERMITTED WITHOUT ARCHITECT APPROVAL UNLESS SPECIFICALLY NOTED OTHERWISE. ANY OPEN CEILING CONDITIONS AS PART OF THIS PROJECT, THE GENERAL CONTRACTOR WILL BE RESPONSIBLE FOR PROVIDING SYSTEMS COORDINATION BETWEEN THE TRADES. COORDINATION DRAWINGS SHALL BE PROVIDED FOR THE ARCHITECT'S REVIEW. ALL CONFLICTS ARE TO BE BROUGHT TO THE ATTENTION OF THE ARCHITECT PRIOR TO INSTALLATION.
- 3-5. ALL FRAMING, SOUND ATTENUATION, AND GYP BOARD FOR NON-RATED SOUND-ATTENUATED WALLS SHALL CONTINUE TO THE UNDERSIDE OF DECK UNLESS SPECIFICALLY NOTED OTHERWISE. GYP BOARD SHALL BE SEALED TO DECK AT EACH FACE WITH JOINT COMPOUND, SEALANT, AND/OR EXPANDING FOAM (ACCEPTABLE ONLY IN CONCEALED CONDITIONS). ANY REQUIRED PIPE, DUCT, OR WIRING PENETRATIONS SHALL BE SEALED AS DESCRIBED ABOVE.
- 3-6. IN AREAS OF HARD CEILING, BUILDING SYSTEMS SHALL BE CONFIGURED TO MINIMIZE REQUIRED ABOVE-CEILING ACCESS. THE LOCATION OF ALL ACCESS DOORS MUST BE COORDINATED WITH AND APPROVED BY THE ARCHITECT PRIOR TO THE INSTALLATION OF ANY ABOVE-CEILING EQUIPMENT, DAMPERS, VALVES, JUNCTION BOXES, ETC. ACCESS DOORS SHALL BE PROVIDED AND INSTALLED FOR ANY WORK THAT REQUIRES ABOVE-CEILING ACCESS. ADDITIONALLY, ANY ACCESS DOORS OR PANELS REQUIRED IN WALLS MUST BE COORDINATED WITH AND APPROVED BY THE ARCHITECT PRIOR TO THE INSTALLATION OF ANY EQUIPMENT REQUIRING ACCESS.

ABBREVIATIONS

| | | | | | |
|--------|---------------------------------|--------|--|--------|------------------------|
| ABV | ABOVE | FEC | FIRE EXTINGUISHER CABINET | OC | ON CENTER |
| ACT | ACOUSTICAL CEILING TILE | FFE | FINISHED FLOOR ELEVATION | OD | OUTSIDE DIAMETER |
| ADA | AMERICANS WITH DISABILITIES ACT | FH | FIRE HYDRANT | OH | OPPOSITE HAND |
| ADJ | ADJACENT | FLR | FLOOR | OPP | OPPOSITE |
| AFF | ABOVE FINISH FLOOR | FIN | FINISH | PLAM | PLASTIC LAMINATE |
| ALT | ALTERNATE | F.O. | FACE OF | PLY | PLYWOOD |
| ALUM | ALUMINUM | FOIC | FURNISHED BY OWNER/INSTALLED BY CONTRACTOR | PREFIN | PREFINISHED |
| BO | BOTTOM OF | FT | FOOT, FEET | PT | PRESSURE TREATED |
| BTM | BOTTOM | FTG | FOOTING | PTD | PAINTED |
| C.I.P. | CAST IN PLACE | FURN | FURNITURE | PVC | POLYVINYL CHLORIDE |
| C.J. | CONTROL JOINT | GA | GAUGE | RCP | REFLECTED CEILING PLAN |
| CL | CENTER LINE | GALV | GALVANIZED | RDL | ROOF DRAIN LEADER |
| CLNG | CEILING | GC | GENERAL CONTRACTOR | REF | REFERENCE |
| CLO | CLOSET | GLAZ | GLAZING | REQD | REQUIRED |
| CLR | CLEAR | GWB | GYP BOARD | RIM | ROUGH OPENING |
| CMU | CONCRETE MASONRY UNIT | GYP BD | GYP BOARD | R.O. | ROUGH OPENING |
| COL | COLUMN | HB | HOSE BIBB | S.S. | SOLID CORE |
| CONC | CONCRETE | HC | HANDICAPPED | SM | SIMILAR |
| CONT | CONTINUOUS | HDWD | HARDWOOD | SPECS | SPECIFICATIONS |
| CPT | CARPET | HDWR | HARDWARE | S.S. | STAINLESS STEEL |
| CSJ | CONSTRUCTION JOINT | HM | HOLLOW METAL | STL | STEEL |
| DIA | DIAMETER | HORIZ | HORIZONTAL | T.O.F. | TOP OF |
| DIM | DIMENSION | HSS | HOLLOW STRUCTURAL SECTION | TYP | TYPICAL |
| DIST | DISTANCE | HVAC | HEATING, VENTILATING AND AIR COND. | UNO | UNLESS NOTED OTHERWISE |
| DN | DOWN | INT | INTERIOR | VIF | VERIFY IN FIELD |
| DS | DOWNSPOUT | LAM | LAMINATE | WC | WATER CLOSET |
| DSP | DRY STANDPIPE | LAV | LAVATORY | WD | WOOD |
| DTL | DETAIL | LED | LIGHT EMITTING DIODE | | |
| DWG | DRAWING | MAX | AXIUM | | |
| EA | EACH | MDF | MEDIUM DENSITY FIBERBOARD | | |
| EJ | EXPANSION JOINT | MECH | MECHANICAL | | |
| ELEV | ELEVATOR | MFR | MANUFACTURER | | |
| EQ | EQUAL/ EQUAL TO | MIN | MINIMUM | | |
| EQUIP | EQUIPMENT | MISC | MISCELLANEOUS | | |
| EWC | ELECTRIC WATER COOLER | MTL | METAL | | |
| FA | FIRE ALARM | N.I.C | NOT IN CONTRACT | | |
| FDC | FIRE DEPARTMENT CONNECTION | NTS | NOT TO SCALE | | |
| FE | | | | | |

ANNOTATION LEGEND

| | |
|------|---------------------------|
| | SECTION MARKER |
| | ELEVATION MARKER |
| | DETAIL MARKER |
| | STRUCTURAL COLUMN GRID |
| | INTERIOR ELEVATION MARKER |
| | ROOM NAME & NUMBER |
| 1.0A | WALL CONSTRUCTION TYPE |
| XX | WINDOW MARKER |
| DXXX | DOOR NUMBER |
| | FINISHED FLOOR ELEVATION |



PERMIT SET
03-02-2018

SITE IMPROVEMENTS PLAY ANNEX COURTYARD

Marbles Kids Museum
201 East Hargett Street
Raleigh, NC 27601

NO. REVISION DATE

PROJECT NO.
DRAWN:
CHECKED:
DATE: 03.02.2018

COVER SHEET



PERMIT SET
 03-02-2018

SITE IMPROVEMENTS
PLAY ANNEX COURTYARD

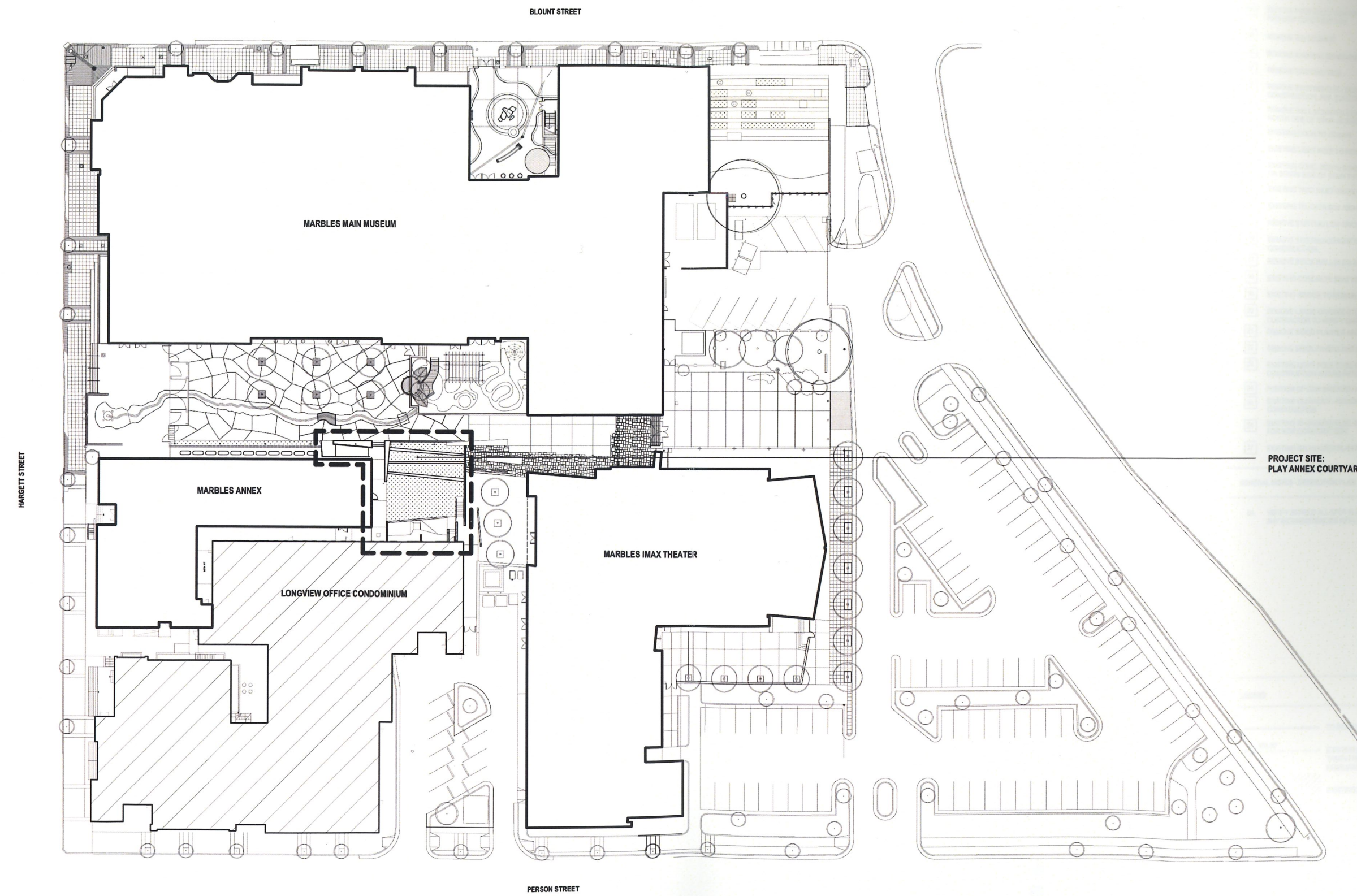
Marbles Kids Museum
 201 East Hargett Street
 Raleigh, NC 27601

| NO. | REVISION DATE |
|-----|------------------------|
| 1 | 10/31/2017 ACCENDUM #1 |

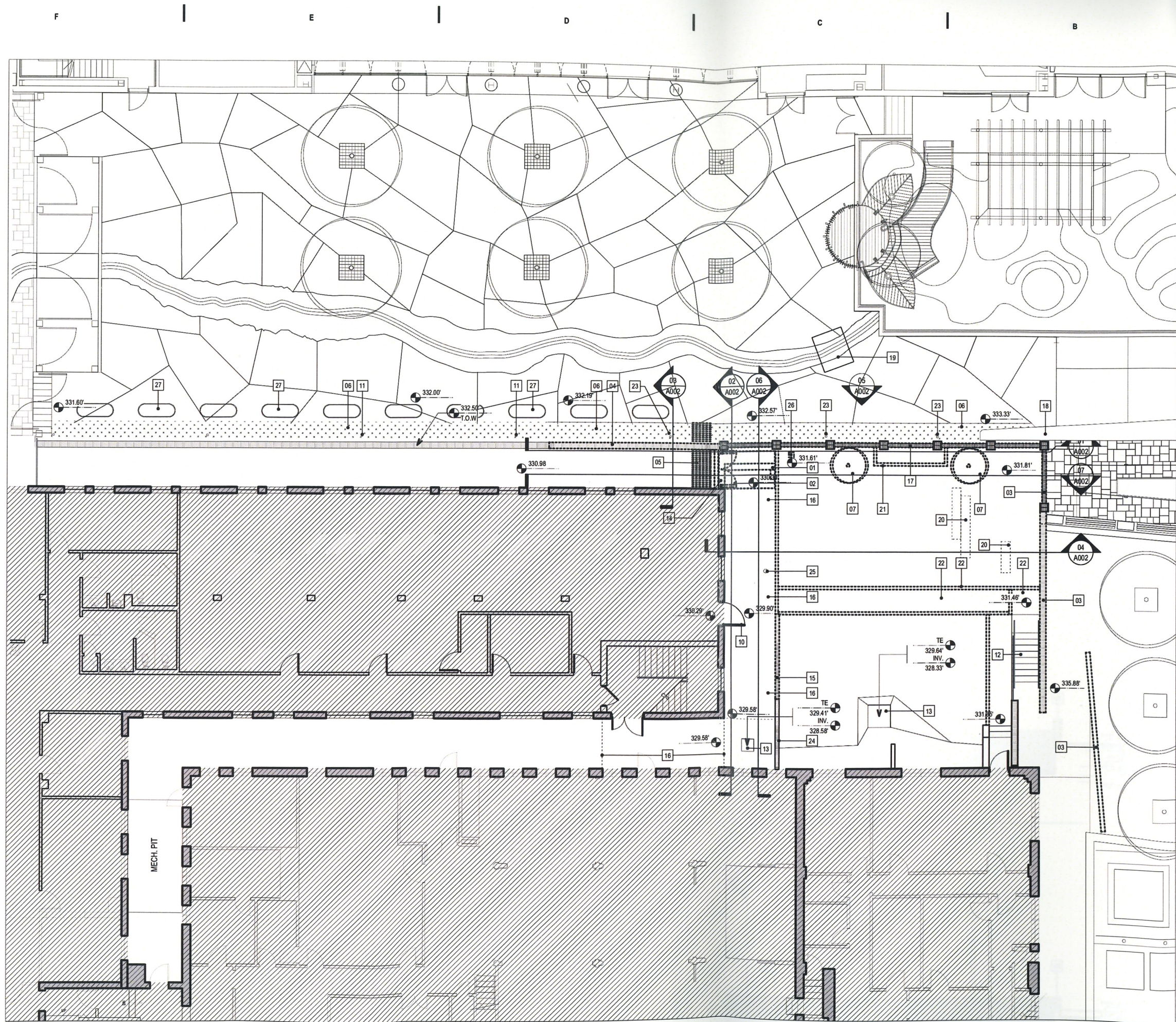
PROJECT NO:
 DRAWN:
 CHECKED:
 DATE: 03.02.2018

ARCHITECTURAL SITE PLAN

17_0210_MARBLES NPR_COURTYARD.rvt



PROJECT SITE:
 PLAY ANNEX COURTYARD



- NUMBERED NOTES - DEMOLITION PLAN**
- 01 REMOVE EXISTING CONC. STEPS
 - 02 REMOVE EXISTING METAL GATE; PATCH AND REPAIR MASONRY AS REQUIRED ON EXISTING BUILDING
 - 03 REMOVE HALF HEIGHT MASONRY WALL
 - 04 REMOVE PORTION OF EXISTING RETAINING WALL AS REQUIRED FOR NEW CONSTRUCTION
 - 05 REMOVE WD DECKING
 - 06 REMOVE EXISTING BAMBOO IN ITS ENTIRETY
 - 07 REMOVE EXISTING TREE
 - 08 REMOVE EXISTING ELEC. CONDUIT AS REQUIRED FOR NEW CONSTRUCTION, REF. ELECTRICAL
 - 09 REMOVE WALL MOUNTED STAINLESS STEEL HANDRAIL ON NORTH SIDE OF STAIR AS REQUIRED FOR NEW CONSTRUCTION
 - 10 EXISTING DOOR TO REMAIN
 - 11 EXISTING LIGHT POLE TO REMAIN
 - 12 EXISTING CONC. STEPS, STAINLESS STEEL RAILING & HANDRAIL ON SOUTH SIDE OF STAIR TO REMAIN
 - 13 EXISTING YARD INLET GRATE TO REMAIN
 - 14 EXISTING TEL/DATA BOX AND CONDUIT TO REMAIN
 - 15 REMOVE EXISTING LOW BRICK WALL
 - 16 REMOVE EXISTING CONCRETE WALK AS REQUIRED FOR NEW CONSTRUCTION
 - 17 REMOVE BRICK WALL IN ITS ENTIRETY
 - 18 EXISTING CONCRETE SEAT WALL TO REMAIN
 - 19 EXISTING BRIDGE TO REMAIN
 - 20 REMOVE LARGE GRANITE STONE FROM COURTYARD - CONTRACTOR TO VERIFY QUANTITY
 - 21 REMOVE WOOD PLANTER AND PLANT MATERIAL
 - 22 REMOVE BRICK PAVERS AND WD EDGING
 - 23 EXISTING LIGHT POLE TO BE REMOVED DURING CONSTRUCTION AND RE-INSTALLED
 - 24 PORTION OF LOW BRICK RETAINING WALL TO REMAIN
 - 25 EXISTING CLEANOUT - REWORK AS REQUIRED FOR NEW CONSTRUCTION
 - 26 EXISTING IN-GROUND ELEC. BOX - RELOCATE AS REQUIRED FOR NEW CONSTRUCTION
 - 27 EXISTING GALVANIZED PLANTERS - OWNER TO RELOCATE

GENERAL NOTES - DEMOLITION PLAN

01. VERIFY IN FIELD ALL SPOT ELEVATIONS. NOTIFY ARCHITECT OF ANY INCONSISTENCIES WITH PLAN.

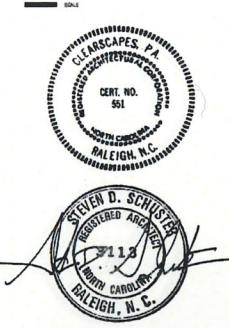
LEGEND

- TO BE DEMOLISHED
- 100.00' EXISTING SPOT ELEVATIONS TAKEN FROM SURVEY DATED FEBRUARY 26, 2018
- ▨ EXISTING BUILDING

CLEARSCAPES
ARCHITECTURE A + I
311-200 W. Marie Street | Raleigh, NC 27601
919.821.2775 | www.clearscapes.com

Lysaght & Associates
120 Saint Mary's Street
Raleigh, NC 27605
919.833.0495

Sigma Engineered Solutions
PC2100 Gateway Centre Blvd
Suite 100
Morrisville, NC 27560
919.828.9346



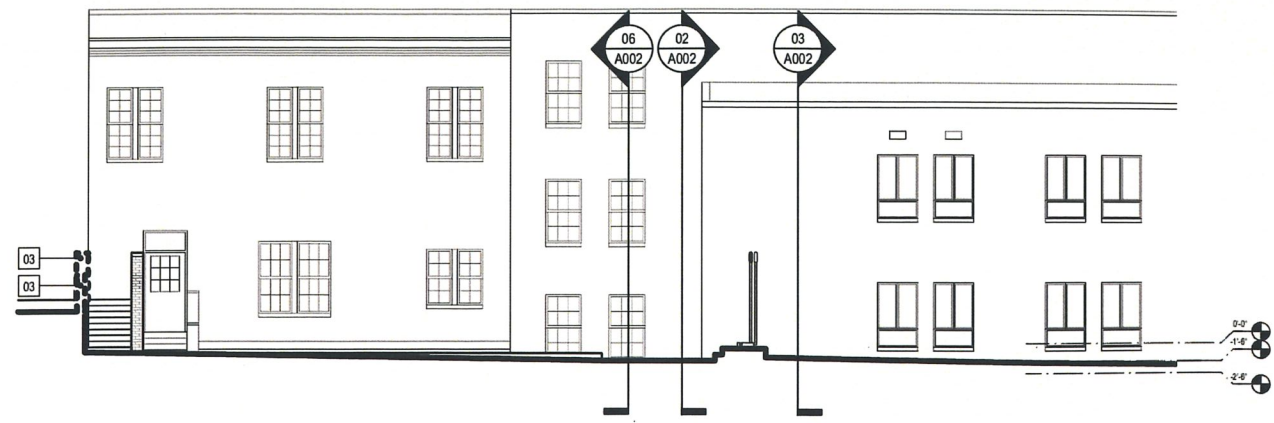
PERMIT SET
03-02-2018

SITE IMPROVEMENTS
PLAY ANNEX
COURTYARD

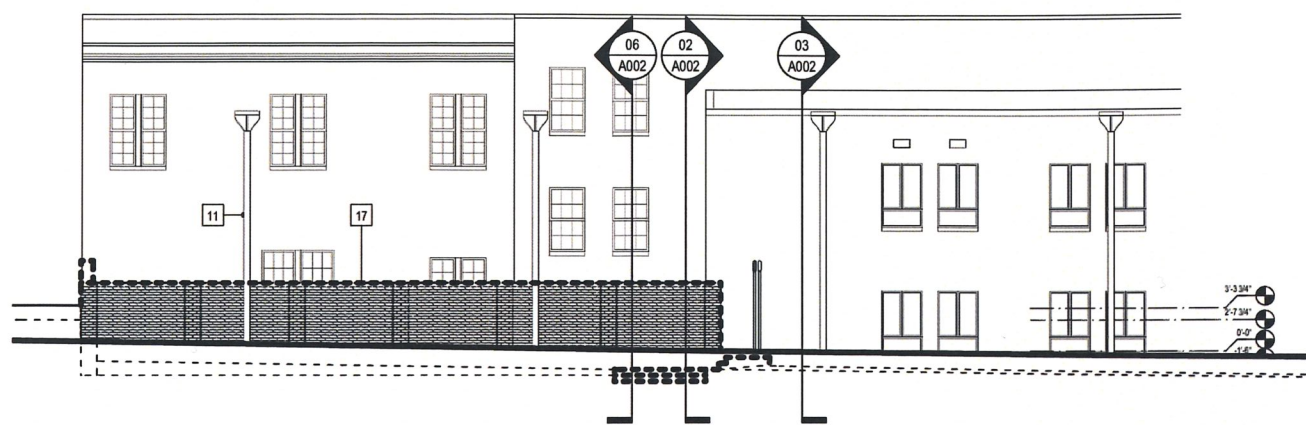
Marbles Kids Museum
201 East Hargett Street
Raleigh, NC 27601

PROJECT NO.
DRAWN:
CHECKED:
DATE: 03.02.2018

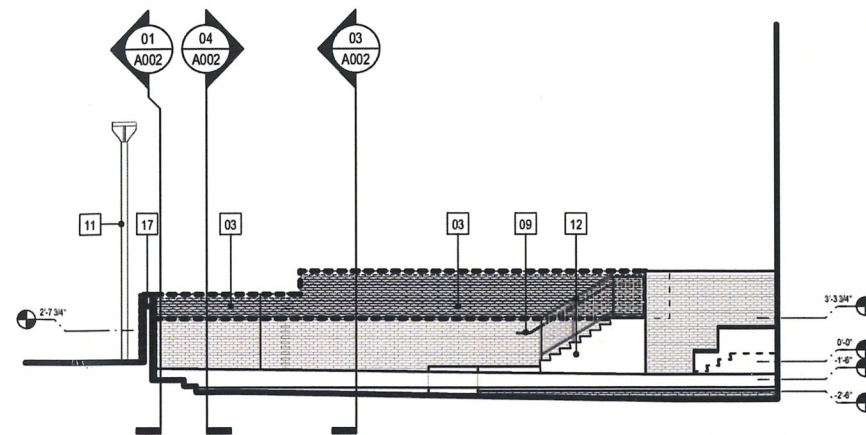
DEMOLITION
SITE PLAN



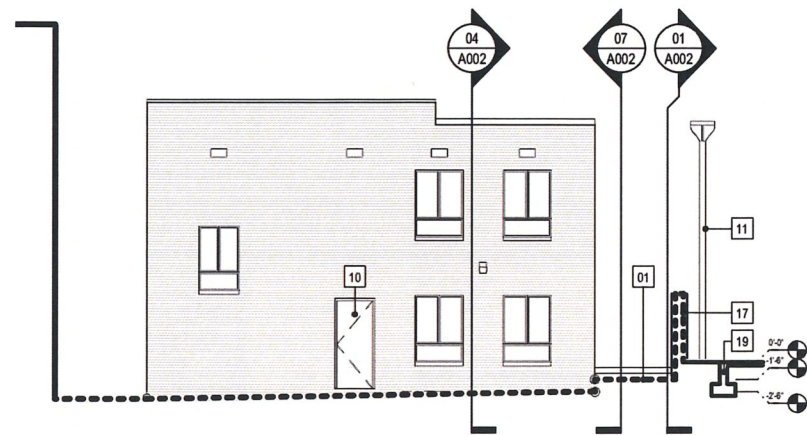
07 SECTION/ELEVATION - PLAY ANNEX COURTYARD EAST
Scale: 1/8" = 1'-0"



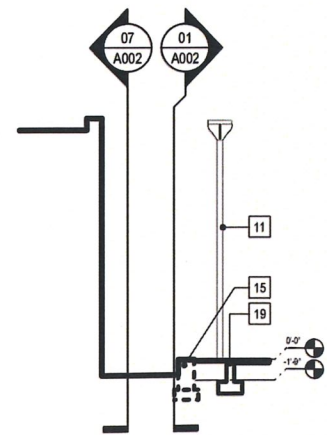
05 SECTION/ELEVATION - CENTRAL COURTYARD EAST
Scale: 1/8" = 1'-0"



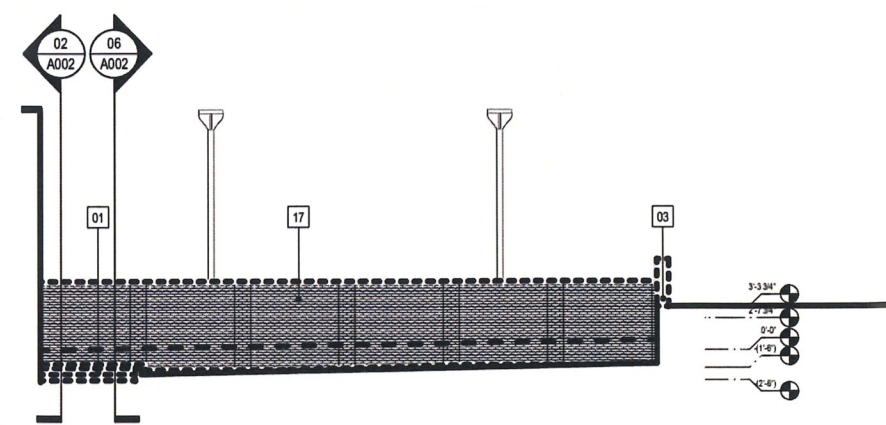
06 SECTION/ELEVATION - PLAY ANNEX COURTYARD NORTH
Scale: 1/8" = 1'-0"



02 SECTION/ELEVATION - PLAY ANNEX COURTYARD SOUTH
Scale: 1/8" = 1'-0"



03 SECTION/ELEVATION - PLAY ANNEX COURTYARD SOUTH
Scale: 1/8" = 1'-0"



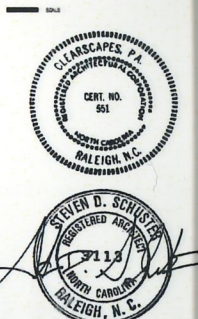
04 SECTION/ELEVATION - PLAY ANNEX COURTYARD WEST
Scale: 1/8" = 1'-0"

- NUMBERED NOTES - DEMOLITION
- 01 REMOVE EXISTING CONC. STEPS
 - 02 REMOVE EXISTING METAL GATE, PATCH AND REPAIR MASONRY AS REQUIRED
 - 03 REMOVE UPPER PORTION OF MASONRY WALL AS REQUIRED FOR NEW CONSTRUCTION
 - 04 REMOVE PORTION OF EXISTING RETAINING WALL AS REQUIRED FOR NEW CONSTRUCTION
 - 05 REMOVE WD DECKING
 - 06 REMOVE BRICK PAVERS AND WD EDGING
 - 07 REMOVE EXISTING BAMBOO IN ITS ENTIRETY
 - 08 REMOVE EXISTING TREE
 - 09 REMOVE EXISTING ELEC. CONDUIT AS REQUIRED FOR NEW CONSTRUCTION, REF. ELECTRICAL
 - 10 REMOVE WALL MOUNTED STAINLESS STEEL HANDRAIL ON NORTH SIDE OF STAIR AS REQUIRED FOR NEW CONSTRUCTION
 - 11 EXISTING DOOR TO REMAIN
 - 12 EXISTING LIGHT POLE TO REMAIN
 - 13 EXISTING CONC. STEPS, STAINLESS STEEL RAILING & HANDRAIL ON SOUTH SIDE OF STAIR TO REMAIN
 - 14 EXISTING DRAIN GRATE TO REMAIN
 - 15 EXISTING TEL/DATA BOX AND CONDUIT TO REMAIN
 - 16 REMOVE EXISTING LOW BRICK RETAINING WALL
 - 17 REMOVE EXISTING CONCRETE WALK AS REQUIRED FOR NEW CONSTRUCTION
 - 18 REMOVE MASONRY WALL IN ITS ENTIRETY
 - 19 EXPOSED ELECTRICAL CONDUIT AND FLOOD LIGHTS MOUNTED TO INSIDE FACE OF EXISTING RETAINING WALL - REF. ELECTRICAL DRAWINGS FOR EXTENT OF DEMOLITION
 - 20 EXISTING SLAB & CONCRETE FOOTING TO REMAIN

CLEARSCAPES
ARCHITECTURE
311 20th St. Raleigh, NC 27601
919.821.2775 | www.clearscapes.com

Lynagh & Associates
120 Saint Mary's Street
Raleigh, NC 27605
919.833.0495

Sigma Engineered Solutions
PC2100 Gateway Centre Blvd
Suite 100
Morrisville, NC 27560
919.828.9346



PERMIT SET
03-02-2018

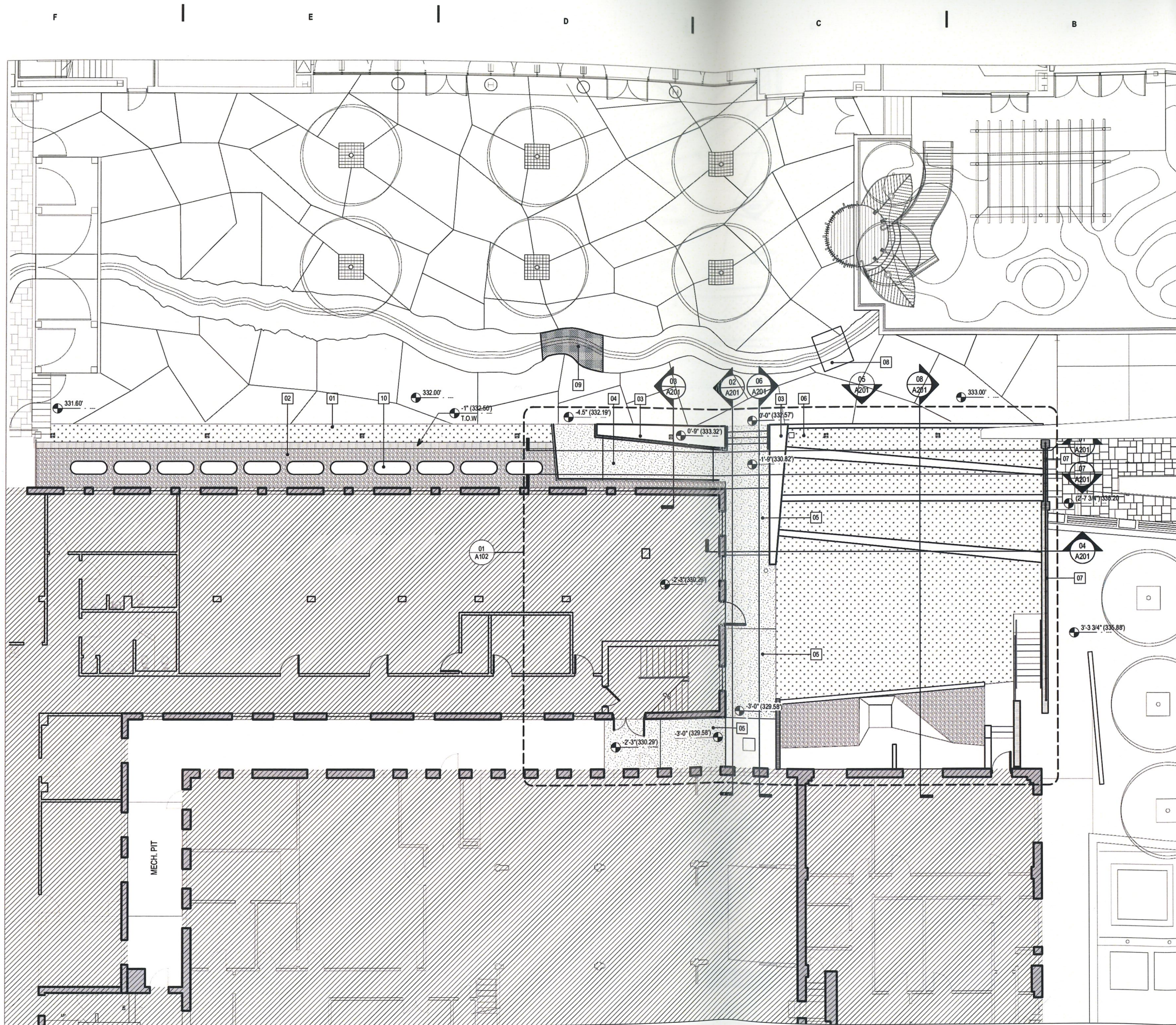
SITE IMPROVEMENTS
PLAY ANNEX COURTYARD
Marbles Kids Museum
201 East Hargett Street
Raleigh, NC 27601

NO. REVISION DATE

PROJECT NO:
DRAWN:
CHECKED:
DATE: 03.02.2018

DEMOLITION
SITE SECTIONS/
ELEVATIONS

1-01 2017_0210_MARBLES NPRL COURTYARD.VBK



NUMBERED NOTES - OVERALL PLAN

- 01 NEW PLANTINGS
- 02 DECORATIVE STONE
- 03 EXPOSED CONCRETE SEAT WALL
- 04 HANDICAPPED ACCESSIBLE RAMP
- 05 SLOPED SIDEWALK
- 06 TERRACED LANDSCAPE
- 07 PAINTED STEEL GUARDRAIL
- 08 EXISTING BRIDGE
- 09 STAINLESS STEEL GRATE OVER RUNNEL - BY OTHERS
- 10 EXISTING GALVANIZED METAL PLANTERS RELOCATED

GENERAL NOTES - OVERALL PLAN

- 01. VERIFY IN FIELD ALL SPOT ELEVATIONS. NOTIFY ARCHITECT OF ANY CONFLICTS WITH INFORMATION ON THE DRAWINGS.

LEGEND

- 100.00' EXISTING SPOT ELEVATIONS TAKEN FROM SURVEY DATED FEBRUARY 26, 2018
- EXISTING BUILDING
- SOD OR LANDSCAPE MATERIAL
- CONCRETE SLAB ON GRADE
- DECORATIVE STONE

CLEARSCAPES
 A S C P L L C I N C
 311.260.91 Main Street - Raleigh, NC 27601
 919.823.2775 www.clearscapes.com

Lynght & Associates
 120 Saint Mary's Street
 Raleigh, NC 27605
 919.823.0495

Sigma Engineered Solutions
 PC2100 Gateway Centre Blvd
 Suite 100
 Morrisville, NC 27560
 919.828.8348



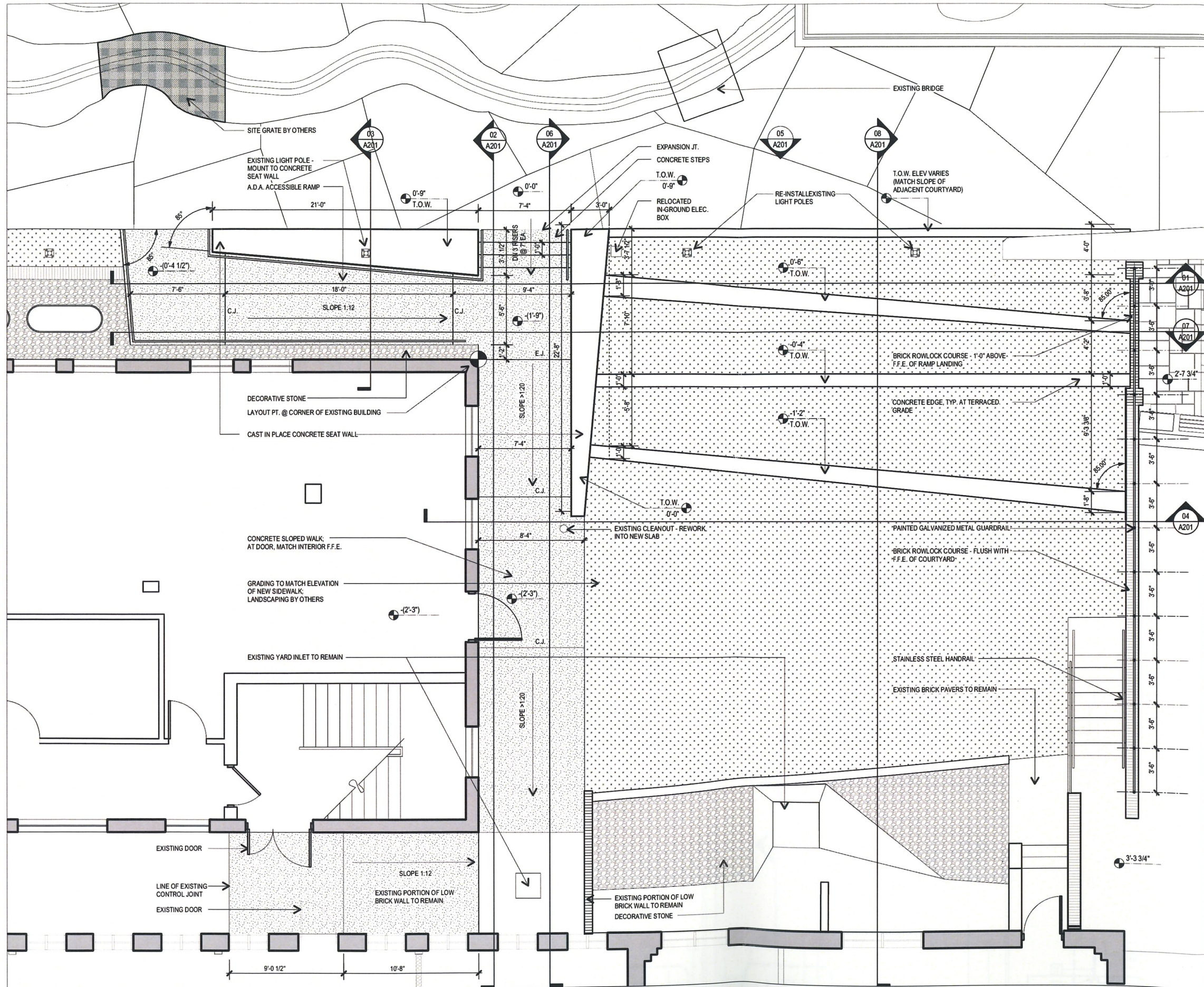
PERMIT SET
 03-02-2018

SITE IMPROVEMENTS
PLAY ANNEX
COURTYARD
 Marbles Kids Museum
 201 East Hargett Street
 Raleigh, NC 27601

NO. REVISION DATE
 1 10/31/2017 ADDENDUM #1

PROJECT NO.
 DRAWN:
 CHECKED:
 DATE: 03.02.2018

OVERALL PLAN

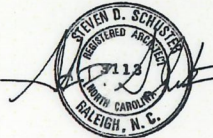
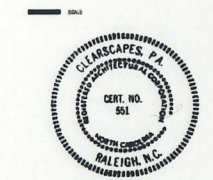


GENERAL NOTES
 REFERENCE SHEET G000 FOR GENERAL NOTES

CLEARSCAPES
 ARCHITECTURE + ART
 311-200 W. Main Street | Raleigh, NC 27601
 919.821.2775 | www.clearscapes.com

Lysaght & Associates
 120 Saint Mary's Street
 Raleigh, NC 27605
 919.833.0495

Sigma Engineered Solutions
 PC2100 Gateway Centre Blvd
 Suite 100
 Morrisville, NC 27560
 919.828.9346



PERMIT SET
 03-02-2018

**SITE IMPROVEMENTS
 PLAY ANNEX
 COURTYARD**

Marbles Kids Museum
 201 East Hargett Street
 Raleigh, NC 27601

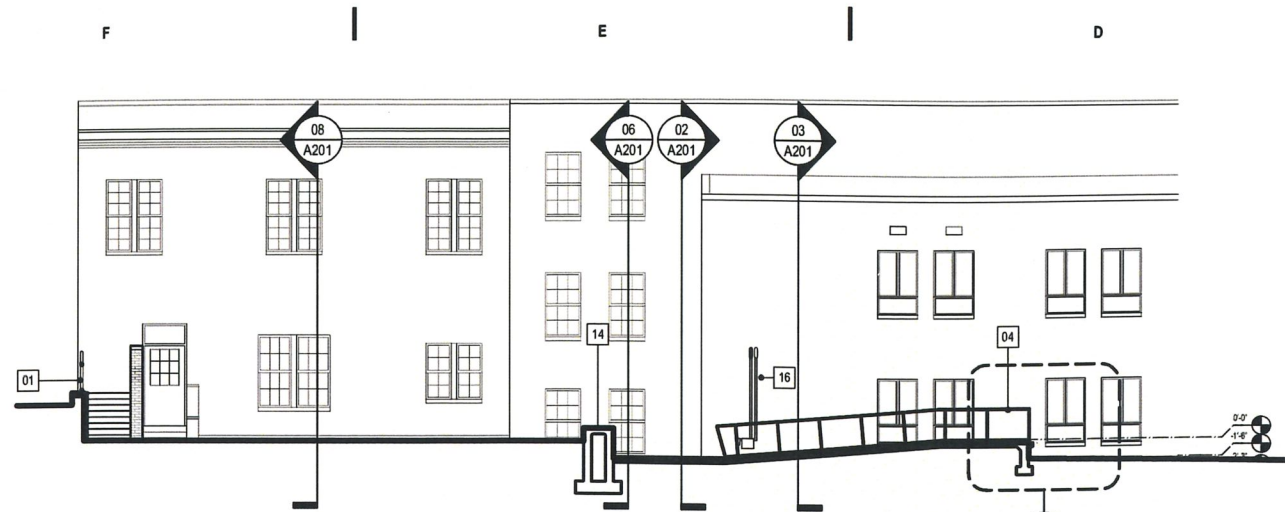
LEGEND

- 100.00' EXISTING SPOT ELEVATIONS TAKEN FROM SURVEY DATED FEBRUARY 26, 2018
- SOD OR LANDSCAPE MATERIAL
- CONCRETE SLAB ON GRADE
- DECORATIVE STONE

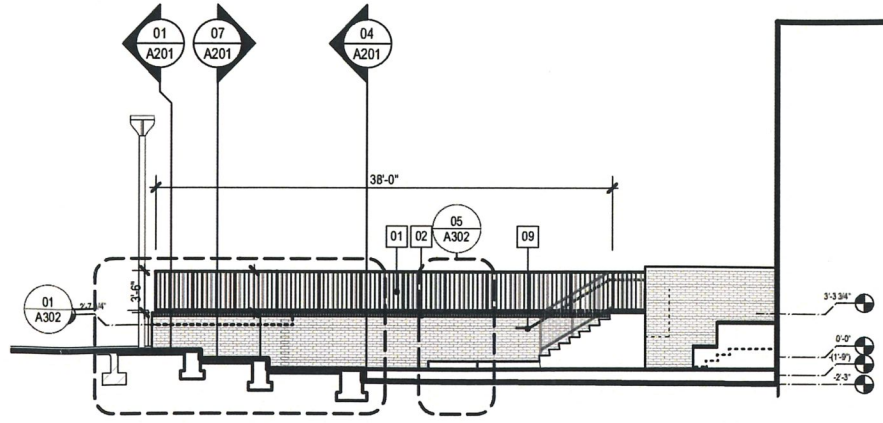
| NO. | REVISION DATE | DESCRIPTION |
|-----|---------------|-------------|
| 1 | 10/31/2017 | ADDENDUM #1 |

PROJECT NO:
 DRAWN:
 CHECKED:
 DATE: 03.02.2018

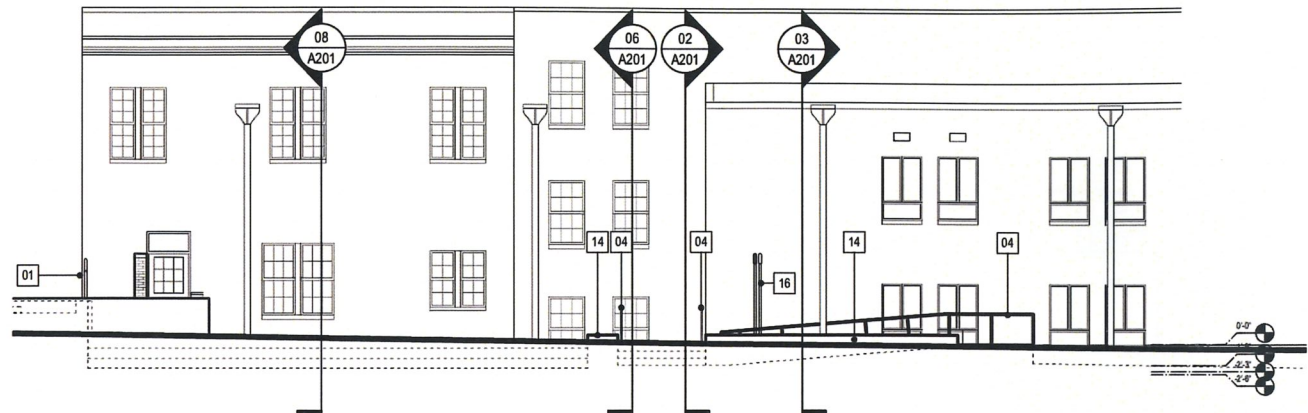
ENLARGED PLAN



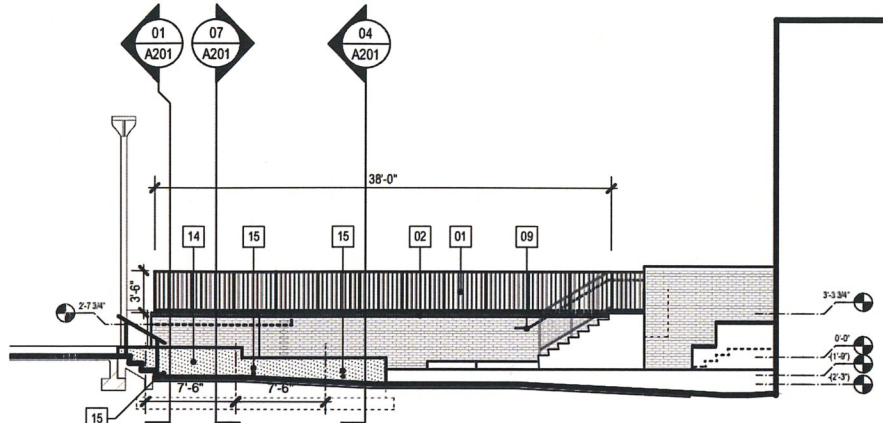
07 SECTION/ELEVATION - PLAY ANNEX COURTYARD EAST
Scale: 1/8" = 1'-0"



08 SECTION/ELEVATION - PLAY ANNEX COURTYARD NORTH
Scale: 1/8" = 1'-0"



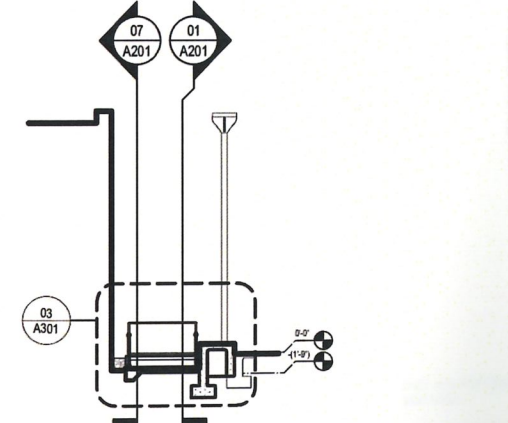
05 SECTION/ELEVATION - CENTRAL COURTYARD EAST
Scale: 1/8" = 1'-0"



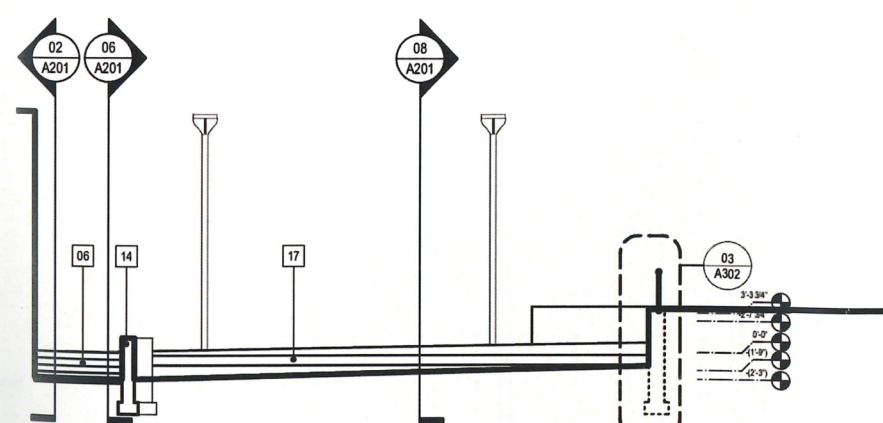
06 SECTION/ELEVATION - PLAY ANNEX COURTYARD NORTH
Scale: 1/8" = 1'-0"



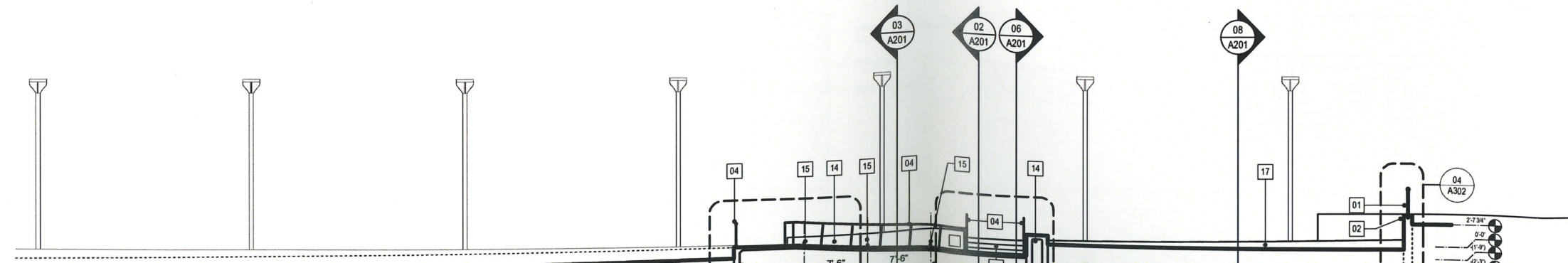
02 SECTION/ELEVATION - PLAY ANNEX COURTYARD SOUTH
Scale: 1/8" = 1'-0"



03 SECTION/ELEVATION - PLAY ANNEX COURTYARD SOUTH
Scale: 1/8" = 1'-0"



04 SECTION/ELEVATION - PLAY ANNEX COURTYARD WEST
Scale: 1/8" = 1'-0"



NUMBERED NOTES - ELEVATIONS

- 01 PAINTED METAL GUARDRAIL
- 02 BRICK ROWLOCK COURSE AT TOP OF WALL
- 03 PATCH AND REPAIR MASONRY PIER AT LOCATION OF REMOVED WALL
- 04 STAINLESS STEEL HANDRAIL
- 05 CONCRETE RAMP
- 06 CAST IN PLACE CONCRETE STEPS
- 07 PAINTED STEEL GATEWAY AND SIGNAGE
- 08 CONCRETE SLOPED WALK @ 1:22 SLOPE
- 09 STAINLESS STEEL HANDRAIL - MOUNT TO NEW GUARDRAIL
- 10 PAINT EXISTING DOOR
- 11 CONCRETE LANDING
- 12 SECURITY CAMERA LOCATION - PROVIDE CONDUIT
- 13 RELOCATED EXISTING GATE - BY OWNER
- 14 CAST IN PLACE CONCRETE SEAT WALL
- 15 RECESSED STEP LIGHTS
- 16 EXISTING TEL/DATA TO REMAIN
- 17 TERRACED LANDSCAPE W/CAST IN PLACE CONCRETE EDGE

GENERAL NOTES - ELEVATIONS

- 01. VERIFY IN FIELD ALL SPOT ELEVATIONS. NOTIFY ARCHITECT OF ANY INCONSISTENCIES WITH PLAN.

LEGEND



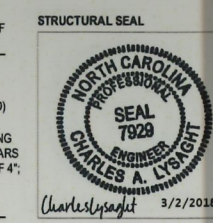
PERMIT SET
03-02-2018

SITE IMPROVEMENTS
PLAY ANNEX
COURTYARD
Marbles Kids Museum
201 East Hargett Street
Raleigh, NC 27601

NO. REVISION DATE

PROJECT NO:
DRAWN:
CHECKED:
DATE: 03.02.2018

SITE SECTIONS/
ELEVATIONS



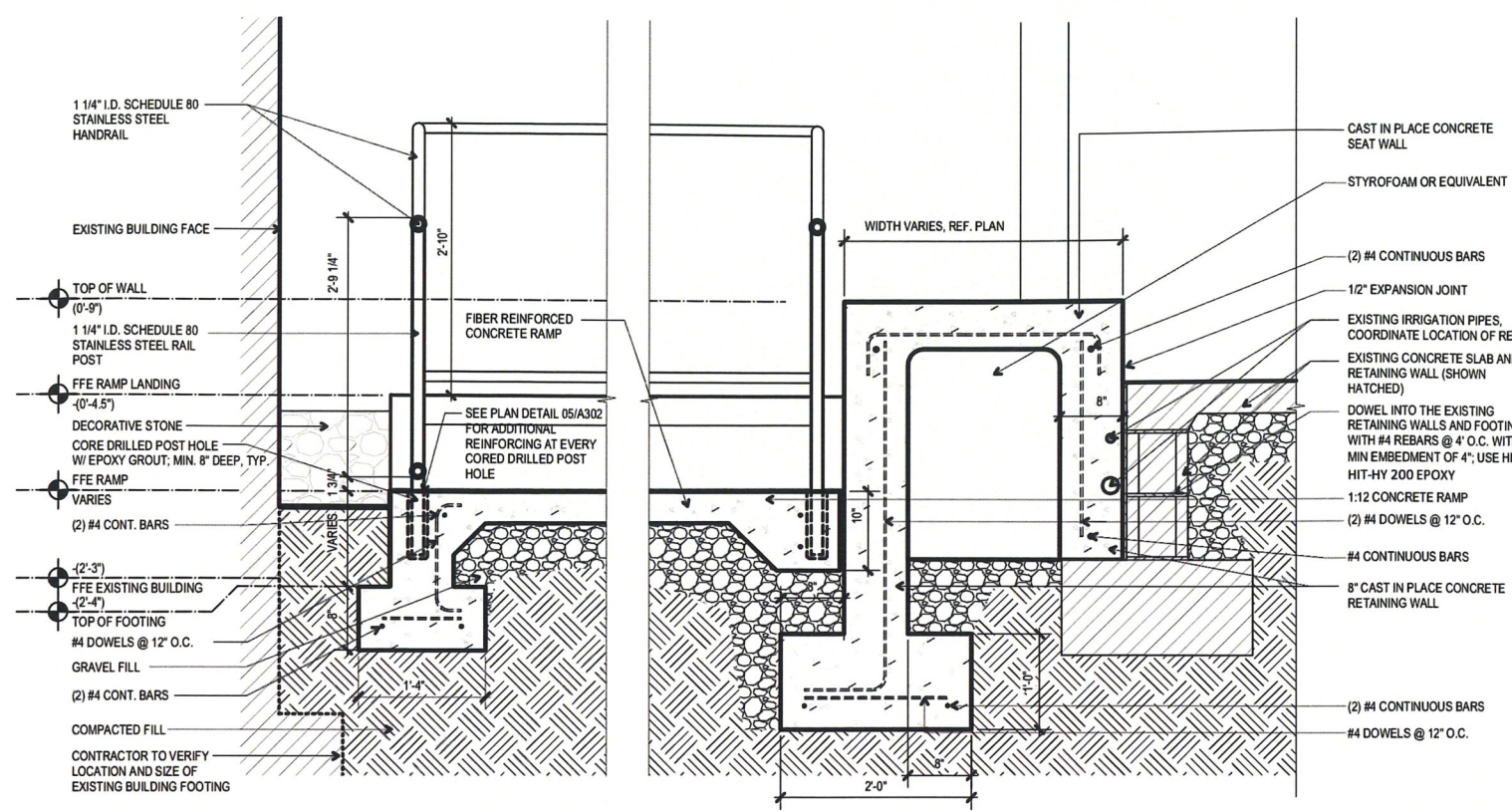
PERMIT SET
03.02.2018

**SITE IMPROVEMENTS
PLAY ANNEX
COURTYARD**
Marbles Kids Museum
201 East Hargett Street
Raleigh, NC 27601

NO. REVISION DATE

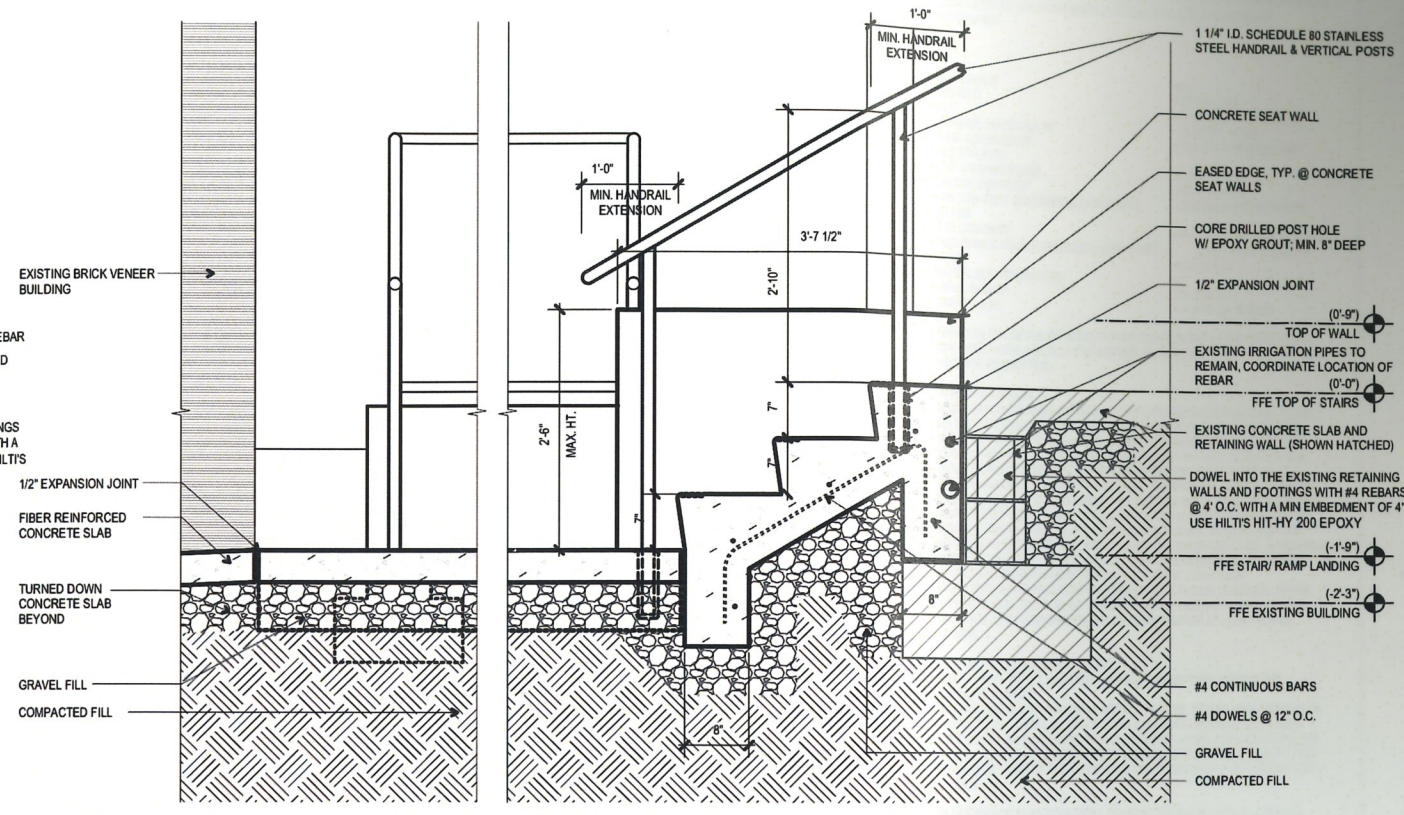
PROJECT NO.
DRAWN:
CHECKED:
DATE: 03.02.2018

SECTION DETAILS



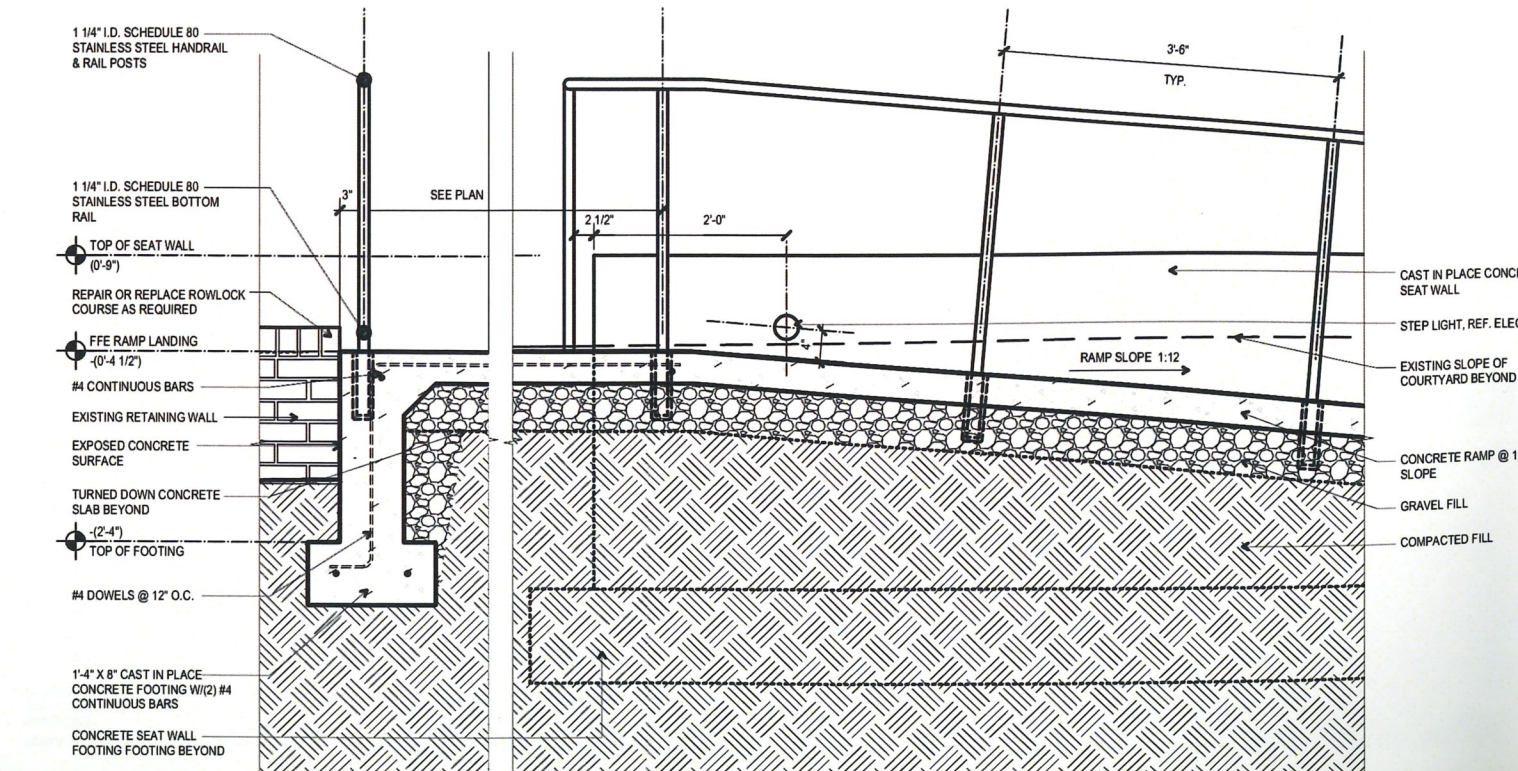
03 SECTION DETAIL @ RAMP/ SEAT WALL
Scale: 1" = 1'-0"

NOTE: SEE SHEET A302, STRUCTURAL NOTES FOR SLAB ON GRADE CONSTRUCTION



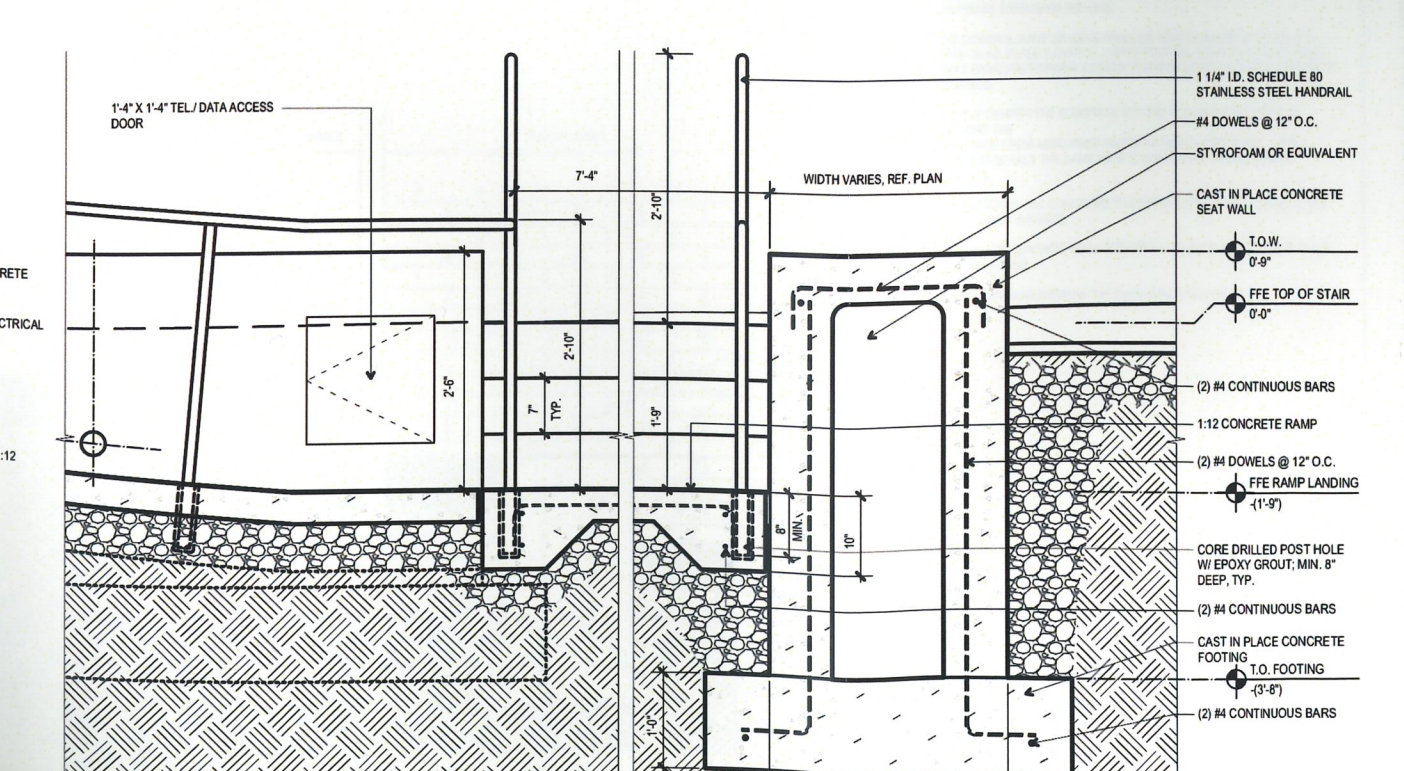
04 SECTION DETAIL @ STAIR
Scale: 1" = 1'-0"

NOTE: SEE SHEET A302, STRUCTURAL NOTES FOR SLAB ON GRADE CONSTRUCTION



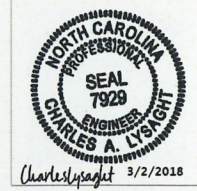
2

1



017_0210_MARBLES NPR_COURTYARD.rvt

STRUCTURAL SEAL



PERMIT SET
03.02.2018

SITE IMPROVEMENTS
PLAY ANNEX
COURTYARD

Marbles Kids Museum
201 East Hargett Street
Raleigh, NC 27601

PROJECT NO. / DRAWN: / CHECKED: / DATE: 03.02.2018

SECTION DETAILS

STRUCTURAL NOTES

SLAB-ON-GRADE CONSTRUCTION

CONCRETE SHALL BE DESIGNED TO MEET 4000 PSI COMPRESSIVE STRENGTH @ 28 DAYS AND EXHIBIT <0.04% SHRINKAGE @ 28 DAYS. THE MIX SHALL CONTAIN APPROXIMATELY 12 CUBIC FEET OF COARSE AGGREGATE (1 1/2" TOP SIZE), THE SPECIFIED WATER REDUCING ADMIXTURE AND ACHIEVE A W/CM RATIO OF 0.53 (MAX.). INTERIOR SLABS SHALL NOT BE AIR-ENTRAINED; EXTERIOR SLABS SHALL BE AIR ENTRAINED.

| MATERIALS | MIX |
|------------------------------------|-----------------------------------|
| CEMENT | 517-560 LBS. |
| FLY ASH/SLAG PROHIBITED | |
| COARSE AGGREGATE | 12 CU FT +/- .50 |
| FINE AGGREGATE | 7 CU FT +/- (ADJUST AS NECESSARY) |
| TUF-STRAND FIBER | 3 LBS/ CU YD |
| WATER CONTENT | 250 - 300 LBS. |
| AIR CONTENT (ENTRAPPED AIR ONLY) | 3.0% (MAX.) AT INTERIOR SLABS |
| AIR CONTENT | 4% - 6% AT EXTERIOR SLABS |
| MID-RANGE WATER REDUCER (TYPE A/F) | 3OZ.-10OZ./100WT +/- |
| W/CM | 0.53 (MAX.) |
| INITIAL SLUMP (WATER) | 3" |
| FINAL SLUMP | 5.5" (MAX.) |
| SHRINKAGE | < 0.04% @ 28 DAYS |

CALCIUM CHLORIDE OR ADMIXTURES CONTAINING MORE THAN 0.05% CHLORIDE IONS ARE NOT PERMITTED. FLYASH, SLAG, AND BOTTOM ASH ARE NOT PERMITTED.

INTERIOR CURING
MOISTURE RETAINING COVER: ALL INTERIOR CONCRETE SLABS SHALL BE PROTECTED FROM PREMATURE DRYING FOR A MINIMUM OF FIVE DAYS, AS REQUIRED IN ACI 301, USING MOISTURE-RETAINING COVER. FLOOD THE INTERIOR SLAB WITH SUFFICIENT WATER TO COVER THE SLAB. COVER CONCRETE SURFACES WITH MOISTURE-RETAINING COVER, PLACED IN WIDEST PRACTICAL WIDTH WITH SIDES AND ENDS LAPPED AT LEAST 3" AND SEALED BY WATERPROOF TAPE OR ADHESIVE. IMMEDIATELY REPAIR ANY HOLES OR TEARS DURING CURING PERIOD USING COVER MATERIAL AND WATERPROOF TAPE. REMOVE ANY AIR BUBBLES IN BETWEEN THE COVER AND THE INTERIOR SLAB. AFTER THE MINIMUM FIVE DAY CURING PERIOD, REMOVE MOISTURE-RETAINING COVER AND IMMEDIATELY SCRUB THE ENTIRE AREA WITH AUTO-SCRUBBER AND INTERIOR CONCRETE FLOOR CLEANER. AFTER INTERIOR CONCRETE SLAB IS THOROUGHLY CLEANED OF ALL SALTS, LAITANCE, DIRT AND DEBRIS, ALLOW DRYING FOR AT LEAST SIX (6) HOURS.

EXTERIOR CURING AND SEALING
ASTM C1315, TYPE I, CLASS B, (700G/L); LIQUID TYPE MEMBRANE FORMING CURING COMPOUND, CLEAR STYRENE ACRYLATE TYPE, COMPLYING WITH ASTM C1315, TYPE I, CLASS B, 25% SOLIDS CONTENT MINIMUM. MOISTURE LOSS SHALL BE NOT MORE THAN 0.30 KG/M2 WHEN APPLIED AT 300 SQ. FT./GAL. MANUFACTURER'S CERTIFICATION IS REQUIRED. ACCEPTABLE PRODUCTS: "SUPER REZ SEAL" BY EUCLID CHEMICAL OR "KUREN SEAL 30" BY BASF.

PLACE FLOOR SLAB ON A WELL COMPACTED BASE. THE SUBGRADE SHALL BE GRANULAR, NON-EXPANSIVE SOIL (THAT IS, WITHOUT CLAY), WHICH HAS BEEN COMPACTED TO AT LEAST 95% AND VERIFIED BY ON-SITE TESTING.

CONCRETE STRENGTH SHALL BE 4000 PSI AT 28 DAYS. USE A WATER REDUCING ADMIXTURE TO REDUCE WATER, INCREASE WORKABILITY AND DECREASE SHRINKAGE CRACKS.

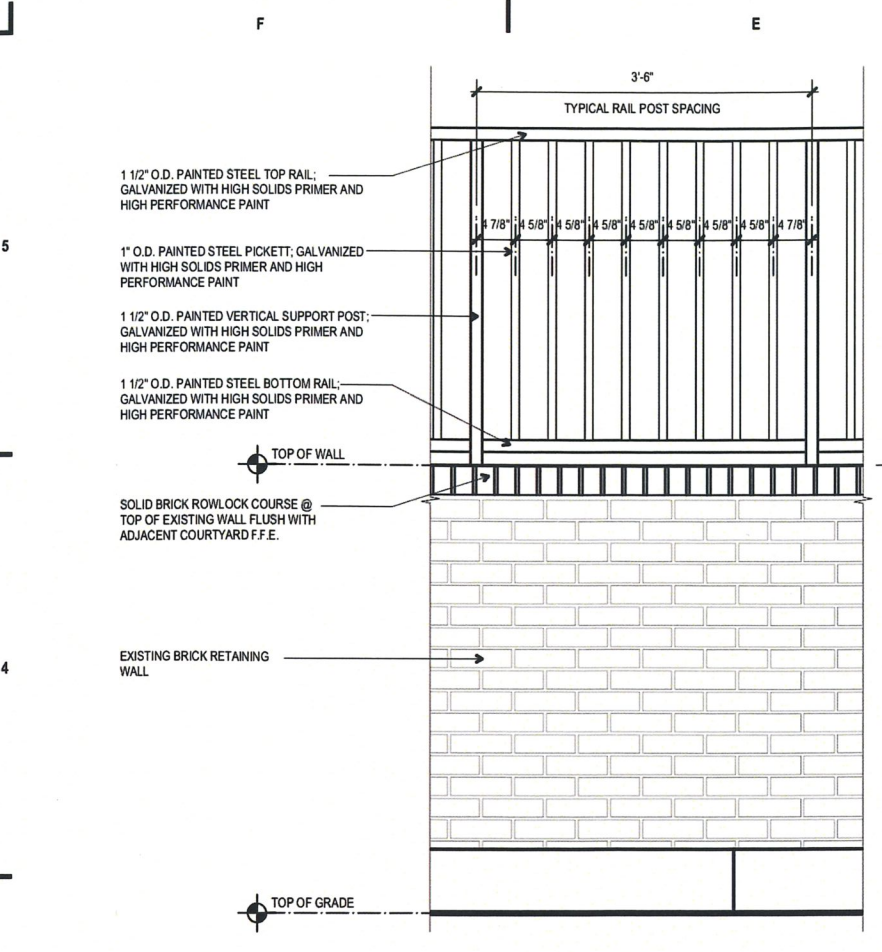
THE CONTROL JOINT SPACING SHALL BE APPROXIMATELY 12' FOR A 4" THICK SLAB. PLACE CONTROL JOINTS TO AVOID REENTRANT CORNERS. MAKE SAWCUTS TO FORM WEAKEN PLANE CONTROL JOINTS AS SOON AS POSSIBLE.

LIGHTLY DAMPEN THE SUBGRADE BEFORE PLACING CONCRETE TO PREVENT THE SUBGRADE FROM ABSORBING WATER FROM CONCRETE MIX. APPLY WATER AT NEARLY THE SAME RATE IT SOAKS INTO THE SUBGRADE SURFACE.

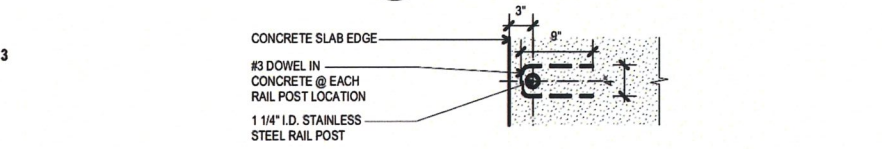
STEEL TROWEL THE CONCRETE TO A SHINY FINISH WHICH RESULTS IN A HARD, DENSE SURFACE.

DURING HOT WEATHER, USE A FOG SPRAY TO KEEP THE SURFACE DAMP BEFORE CURING.

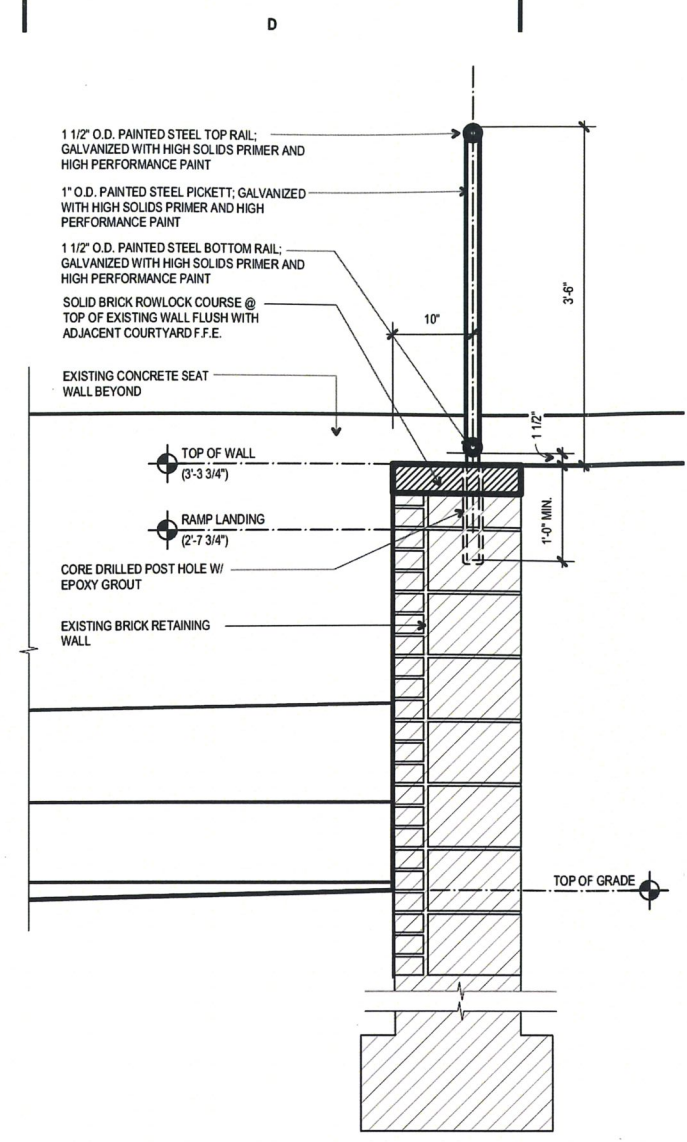
START CURING AS SOON AS THE FINISHERS ARE DONE.



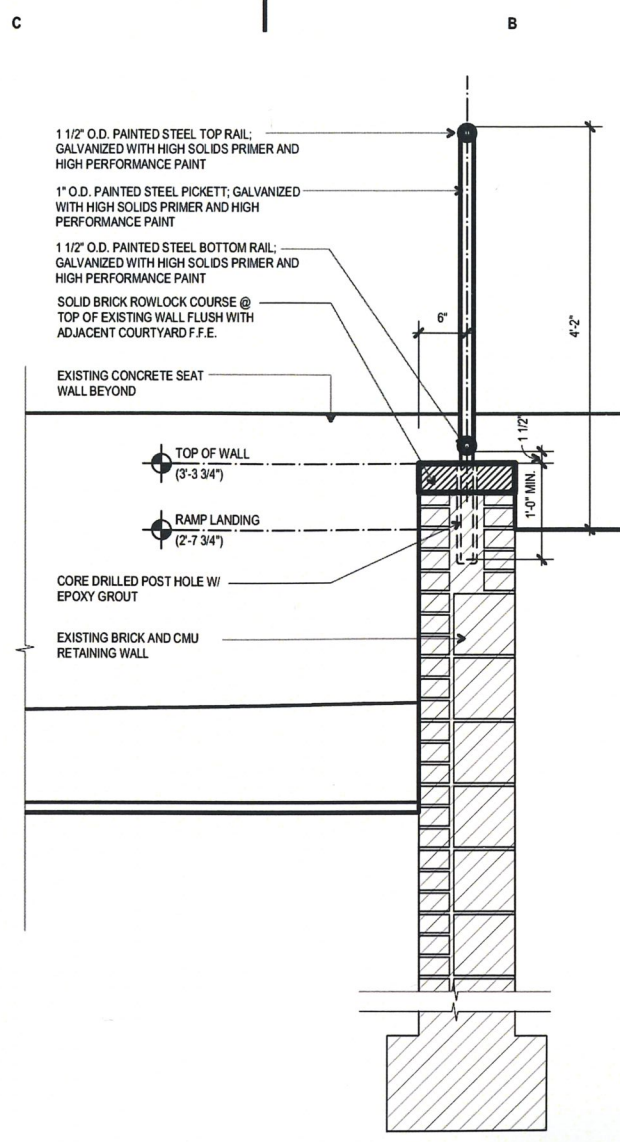
05 ELEVATION DETAIL @ RAILING
Scale: 1" = 1'-0"



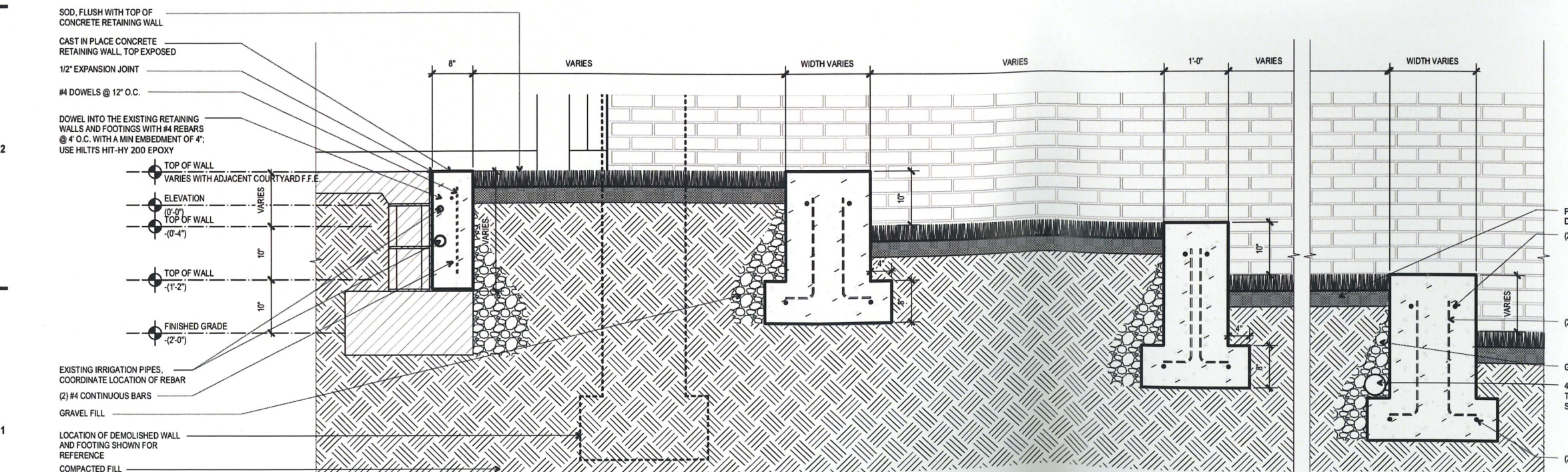
02 TYPICAL PLAN DETAIL @ STAINLESS STEEL RAIL POSTS
Scale: 1" = 1'-0"



03 SECTION DETAIL AT RAILING
Scale: 1" = 1'-0"



04 SECTION DETAIL @ RAILING
Scale: 1" = 1'-0"



01 LOCATION OF DEMOLISHED WALL AND FOOTING SHOWN FOR REFERENCE
COMPACTED FILL

EXISTING IRRIGATION PIPES, COORDINATE LOCATION OF REBAR
(2) #4 CONTINUOUS BARS
GRAVEL FILL

TOP OF WALL (0'-0")
TOP OF WALL (-0'-4")
TOP OF WALL (-1'-2")
FINISHED GRADE (-2'-0")

USE HILTS HIT-HY 200 EPOXY
@ 4" O.C. WITH A MIN EMBEDMENT OF 4";
DOWEL INTO THE EXISTING RETAINING WALLS AND FOOTINGS WITH #4 REBARS

1/2" EXPANSION JOINT
CAST IN PLACE CONCRETE RETAINING WALL, TOP EXPOSED
SOD, FLUSH WITH TOP OF CONCRETE RETAINING WALL

PLANTING SOIL, MIN. 3" DEPTH
(2) #4 CONTINUOUS BARS
(2) #4 DOWELS @ 12" O.C.
GRAVEL FILL
4" PERFORATED DRAIN, TIE INTO EXISTING STORM LINE
(2) #4 CONTINUOUS BARS