



CERTIFICATE OF APPROPRIATENESS PLACARD

for Raleigh Historic Resources

3108 HILLMER DRIVE

Address

Historic District

NATHANIEL CRABTREE

JONES IR HOUSE

Historic Property

031-18-MW

Certificate Number

03-01-2018

Date of Issue

09-01-2018

Expiration Date

Project Description:

- Install landings and roof coverings for four doorways
- Construct porch for non-contributing garage

This card must be kept pasted in a location within public view until all phases of the described project are complete. The work must conform with the code of the City of Raleigh and laws of the state of North Carolina. When your project is complete, you are required to ask for a final zoning inspection in a historic district area. Telephone the RHDC office at 832-7238 and commission staff will coordinate the inspection with the Inspections Department. If you do not call for this final inspection, your Certificate of Appropriateness is null and void.

Signature, _____

Raleigh Historic Development Commission

Pending the resolution of appeals, commencement of work is at your own risk.

Raleigh Historic Development Commission – Certificate of Appropriateness (COA) Application



**DEVELOPMENT
SERVICES
DEPARTMENT**

Development Services
Customer Service Center
One Exchange Plaza
1 Exchange Plaza, Suite 400
Raleigh, North Carolina 27601
Phone 919-996-2495
eFax 919-996-1831



<input checked="" type="checkbox"/> Minor Work (staff review) – 1 copy <input type="checkbox"/> Major Work (COA Committee review) – 10 copies <input type="checkbox"/> Additions Greater than 25% of Building Square Footage <input type="checkbox"/> New Buildings <input type="checkbox"/> Demo of Contributing Historic Resource <input type="checkbox"/> All Other <input type="checkbox"/> Post Approval Re-review of Conditions of Approval	For Office Use Only Transaction # <u>543849</u> File # <u>031-18-MW</u> Fee <u>\$29.00</u> Amount Paid <u>\$29.00</u> Received Date <u>02/05/2018</u> Received By <u>P. Best.</u>
--	--

Property Street Address	3108 HILLMER DRIVE	
Historic District	N/A	
Historic Property/Landmark name (if applicable)	NATHANIEL "CRABTREE" JONES JR HOUSE	
Owner's Name	MATTHEW HOBBS AND KATHERINE O'BRIEN	
Lot size	<u>0.46</u> ACRES	(width in feet) 100 (depth in feet) 200

For applications that require review by the COA Committee (Major Work), provide addressed, stamped envelopes to owners of all properties within 100 feet (i.e. both sides, in front (across the street), and behind the property) not including the width of public streets or alleys ([Label Creator](#)).

Property Address	Property Address

I understand that all applications that require review by the commission's Certificate of Appropriateness Committee must be submitted by 4:00 p.m. on the application deadline; otherwise, consideration will be delayed until the following committee meeting. An incomplete application will not be accepted.

Type or print the following:

Applicant Matthew Hobbs

Mailing Address 3108 Hillmer Drive

City Raleigh

State NC

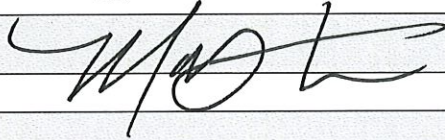
Zip Code 27609

Date February 5, 2018

Daytime Phone 919-616-9869

Email Address dovetailer@gmail.com

Applicant Signature



Will you be applying for rehabilitation tax credits for this project? Yes No

Did you consult with staff prior to filing the application? Yes No

NOT INTENDED BUT POSSIBLE
WALKED SITE W/TULLY

Office Use Only

Type of Work _____

57

Design Guidelines - Please cite the applicable sections of the design guidelines (www.rhdc.org).

Section/Page	Topic	Brief Description of Work (attach additional sheets as needed)
		Build front porch as appropriate for 1st period construction with likely original stone steps
		(B,D,E,F) Landings & roof coverings for doorways, copying late 19th C solution as used on (E)
		(C) Porch/landing for garage rear door

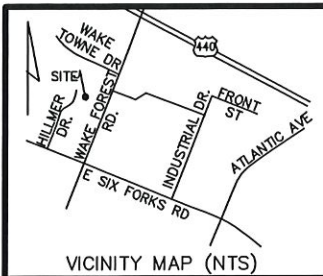
REMOVED FROM APPLICATION 2/27/18 MR

Minor Work Approval (office use only)

Upon being signed and dated below by the Planning Director or designee, this application becomes the Minor Work Certificate of Appropriateness. It is valid until 9/1/18. Please post the enclosed placard form of the certificate as indicated at the bottom of the card. Issuance of a Minor Work Certificate shall not relieve the applicant, contractor, tenant, or property owner from obtaining any other permit required by City Code or any law. Minor Works are subject to an appeals period of 30 days from the date of approval.

Signature (City of Raleigh) Melissa Robb Date 3/1/18

	TO BE COMPLETED BY APPLICANT		TO BE COMPLETED BY CITY STAFF		
	YES	N/A	YES	NO	N/A
<p>Attach 8-1/2" x 11" or 11" x 17" sheets with written descriptions and drawings, photographs, and other graphic information necessary to completely describe the project. Use the checklist below to be sure your application is complete.</p> <p>Minor Work (staff review) – 1 copy</p> <p>Major Work (COA Committee review) – 10 copies</p>					
1. Written description. Describe clearly and in detail the nature of your project. Include exact dimensions for materials to be used (e.g. width of siding, window trim, etc.)	<input checked="" type="checkbox"/>				
2. Description of materials (Provide samples, if appropriate)	<input checked="" type="checkbox"/>				
3. Photographs of existing conditions are required. Minimum image size 4" x 6" as printed. Maximum 2 images per page.	<input checked="" type="checkbox"/>				
4. Paint Schedule (if applicable)	<input checked="" type="checkbox"/>	<input type="checkbox"/>			
5. Plot plan (if applicable). A plot plan showing relationship of buildings, additions, sidewalks, drives, trees, property lines, etc., must be provided if your project includes any addition, demolition, fences/walls, or other landscape work. Show accurate measurements. You may also use a copy of the survey you received when you bought your property. Revise the copy as needed to show existing conditions and your proposed work.	<input checked="" type="checkbox"/>	<input type="checkbox"/>			
6. Drawings showing existing and proposed work <ul style="list-style-type: none"> <input type="checkbox"/> Plan drawings <input type="checkbox"/> Elevation drawings showing the façade(s) <input type="checkbox"/> Dimensions shown on drawings and/or graphic scale (required) <input type="checkbox"/> 11" x 17" or 8-1/2" x 11" reductions of full-size drawings. If reduced size is so small as to be illegible, make 11" x 17" or 8-1/2" x 11" snap shots of individual drawings from the big sheet. 	<input checked="" type="checkbox"/>	<input type="checkbox"/>			
7. Stamped envelopes addressed to all property owners within 100 feet of property not counting the width of public streets and alleys (required for Major Work). Use the Label Creator to determine the addresses.	<input type="checkbox"/>	<input type="checkbox"/>			
8. Fee (See Development Fee Schedule)	<input checked="" type="checkbox"/>				



SETBACKS FOR R-4 ZONING:
 PRINCIPAL BUILDING SETBACKS:
 FROM PRIMARY STREET = 20'
 FROM REAR LOT LINE = 30'
 FROM SIDE LOT LINE = 10'
 SUM OF SIDE SETBACKS = 20'
 FROM SIDE STREET = 15'

ACCESSORY STRUCTURE SETBACKS:
 FROM PRIMARY STREET = 50'
 FROM SIDE STREET = 20'
 FROM SIDE LOT LINE = 5'
 FROM REAR LOT LINE = 5'

IMPERVIOUS CALCULATIONS:
 EX.HOUSE/SCREEN PORCH: 2053 SF
 EX.CONCRETE: 677 SF
 EX.GARAGE/OUTBUILDING: 739 SF
 EX.STEPS/WALKS/WALLS: 595 SF

TOTAL IMP. AREA: 4064 SF
 PROPOSED DRIVE: 1596 SF
 PROPOSED ADDITION/STEPS: 217 SF
 PROPOSED PORCH ADDED: 40 SF
 PROPOSED TOTAL IMP. AREA: 5917 SF

LOT 1
 JONES GRANT APARTMENTS
 BM2014-PG51
 PIN:1715144630
 ZONED CUD O&I-2

ALL CONSTRUCTION SHALL BE PER CITY OF RALEIGH AND/OR NCDOT STANDARDS AND SPECIFICATIONS

WIDTH OF DRIVEWAY BEYOND TURNOUT AND WITHIN THE R/W WILL REMAIN CONSTANT

LEGEND:

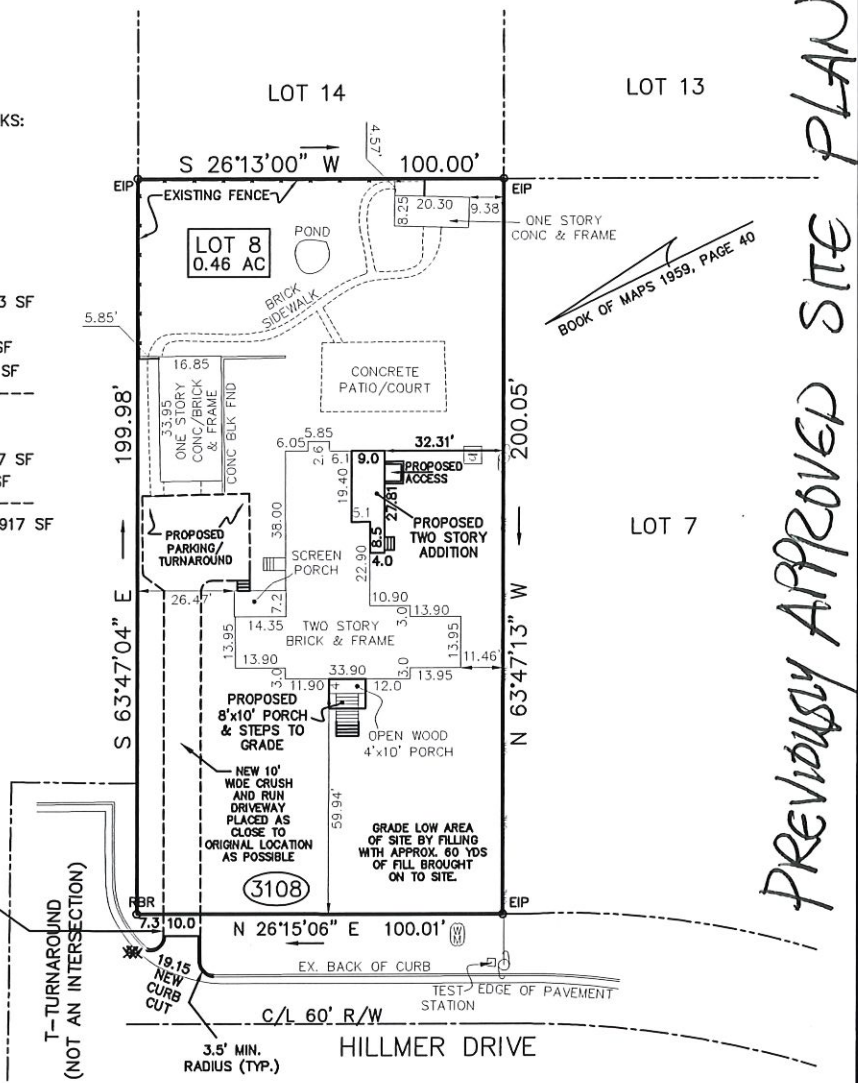
- R/W = RIGHT OF WAY
- C/L = CENTER LINE
- EIP = EXISTING IRON PIPE
- () = FIELD MEASUREMENTS
- ⊕ = CABLE TV PEDESTAL
- ⊙ = CLEAN OUT (SEWER)
- ⊕ = TELECOM PEDESTAL
- ⊕ = ELECTRIC PEDESTAL
- ⊕ = OVERHEAD UTILITY POLE
- ⊕ = WATER VALVE
- ⊕ = SEWER LID
- ⊕ = WATER METER

NOTES:

NOT FOR RECORDATION, CONVEYANCES, OR SALE.
 PROPERTY SUBJECT TO ANY EASEMENTS OF RECORD.
 TITLE SEARCH NOT PERFORMED BY THIS OFFICE.
 FIELD CLOSURE < 1/10000.
 THIS PROPERTY IS ZONED R-4. PIN#1715-14-4451.

SETBACKS FROM REST. COV. DB1585, PG 97:
 EXPIRED APRIL 30, 1983.

FRONT YARD = 30'
 REAR YARD = 25'
 SIDE YARD = 10'
 CORNER YARD = 25'



PREVIOUSLY APPROVED SITE PLAN

THIS PROPERTY IS NOT LOCATED IN AN AREA DESIGNATED AS HAVING SPECIAL FLOOD HAZARDS ACCORDING TO FLOOD INSURANCE RATE MAP #3720171500 J . EFFECTIVE DATE: MAY 2, 2006.

LOT 8 BLOCK E SECTION _____ ADDITION/DRIVEWAY
 SUBDIVISION CRABTREE HEIGHTS
 RECORDED IN BOOK OF MAPS 1959 PAGE 40 WAKE COUNTY REGISTRY SAW/MW 2015166

I, SONYA WARD, A PROFESSIONAL SURVEYOR, CERTIFY THAT THIS MAP IS CORRECT, THAT THE BUILDINGS ARE SHOWN BY THE LINES AND THAT THERE ARE NO ENCROACHMENTS OF OTHER BUILDINGS ON THE SAID LOT EXCEPT AS SHOWN ON SURVEY.

SEAL
 L-4017
 SONYA WARD
 PROFESSIONAL SURVEYOR

SURVEY FOR:

MATT HOBBS

RALEIGH TOWNSHIP

WAKE COUNTY

NC

SCALE: 1"=40'

DATE: 9/9/15

BOOK #: 294p43

WARD SURVEYING SERVICES, PLLC
 LAND SURVEYING & PLANNING
 APEX, N.C. (919) 367-7858

11/24/15 UPDATED TO SHOW ADDITION/DRIVEWAY

REMOVED FROM
APPLICATION
2/27/18 MR

A

Construct porch appropriate to first period of house (c1810) as required by code and as needed to protect entry door from water intrusion.

The house appears to have had no porch until about 1830 when a Greek-revival porch was built. Owner research strongly supports a particular arrangement for the porch and details for the posts/rails/other details that can be observed in the tightly aligned evidence from White Oak Plantation (Clayton; original full-width porch survives), White Holman House (Raleigh; documentary photograph showing similar size and scale and arrangement) and Ayr Mount (Hillsborough; reproduction porch based on strong evidence for posts, rails, size, etc).

All to be constructed of exterior-grade wood and painted to match the house. Roof material to be either architectural shingles matching house (Landmark Weathered Wood) or double-crimped standing seam copper. What are believed to be the original steps will be installed.

B, E, F

Construct landings as required by code (original submission showed steps only)

Landings of all wood construction, as can be seen in photos. Post caps and rail cap to be added. All to be painted to match the house (Benjamin Moore CW-95 Lime White)

B, C, E, F

Construct roof sheds to protect doorways. Precedent is the roof structure that was built over exterior doorway at E, which had simple brackets supporting a shed roof. Support brackets will be in pattern shown in E as mocked-up, but constructed of 4" x4" wood material, painted to match the house. Roof material to be either architectural shingles matching house (Landmark Weathered Wood) or double-crimped standing seam copper.

APPLICANT CONFIRMED CUSTOM COPPER ROOF WITH SHALLOW STANDING SEAMS WITH FLAT PANELS BETWEEN SEAMS 2/27/18 MR

D

Construct landing/porch as required by code (original submission showed steps only). Extending roof over to cover porch as shown in drawings. All materials and paint to match garage/house.

GARAGE

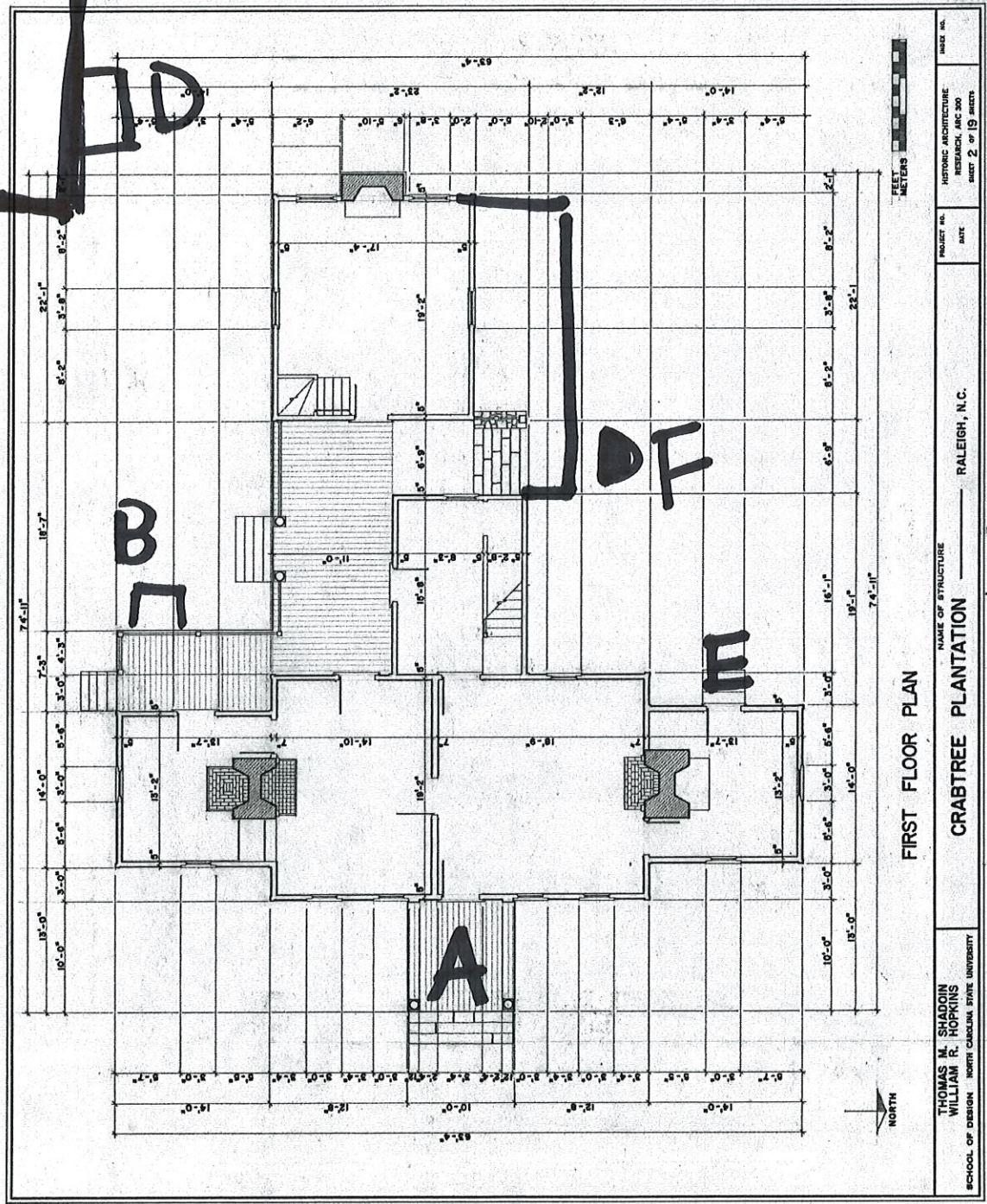
C

B

A

D

E



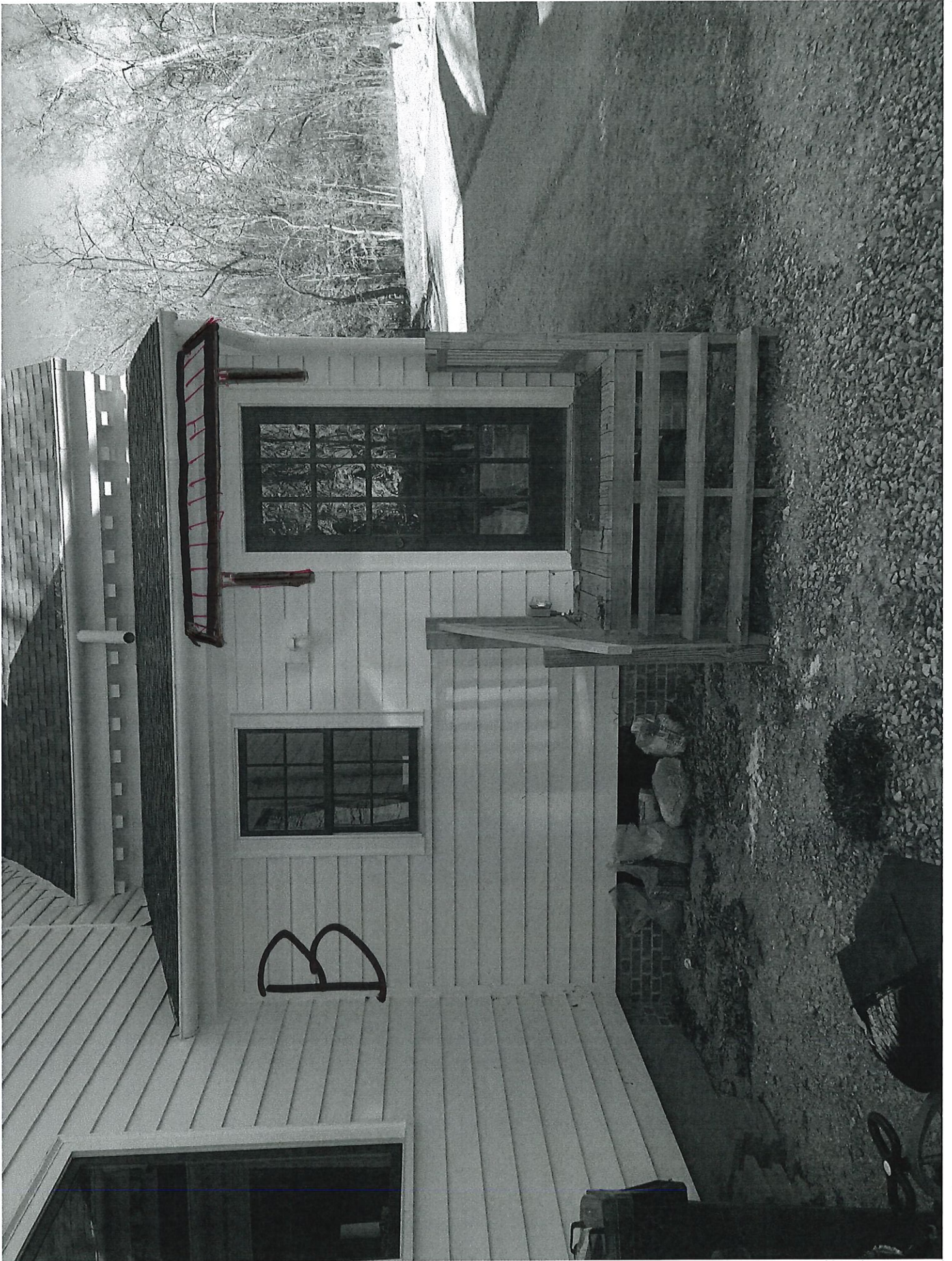
FEET METERS

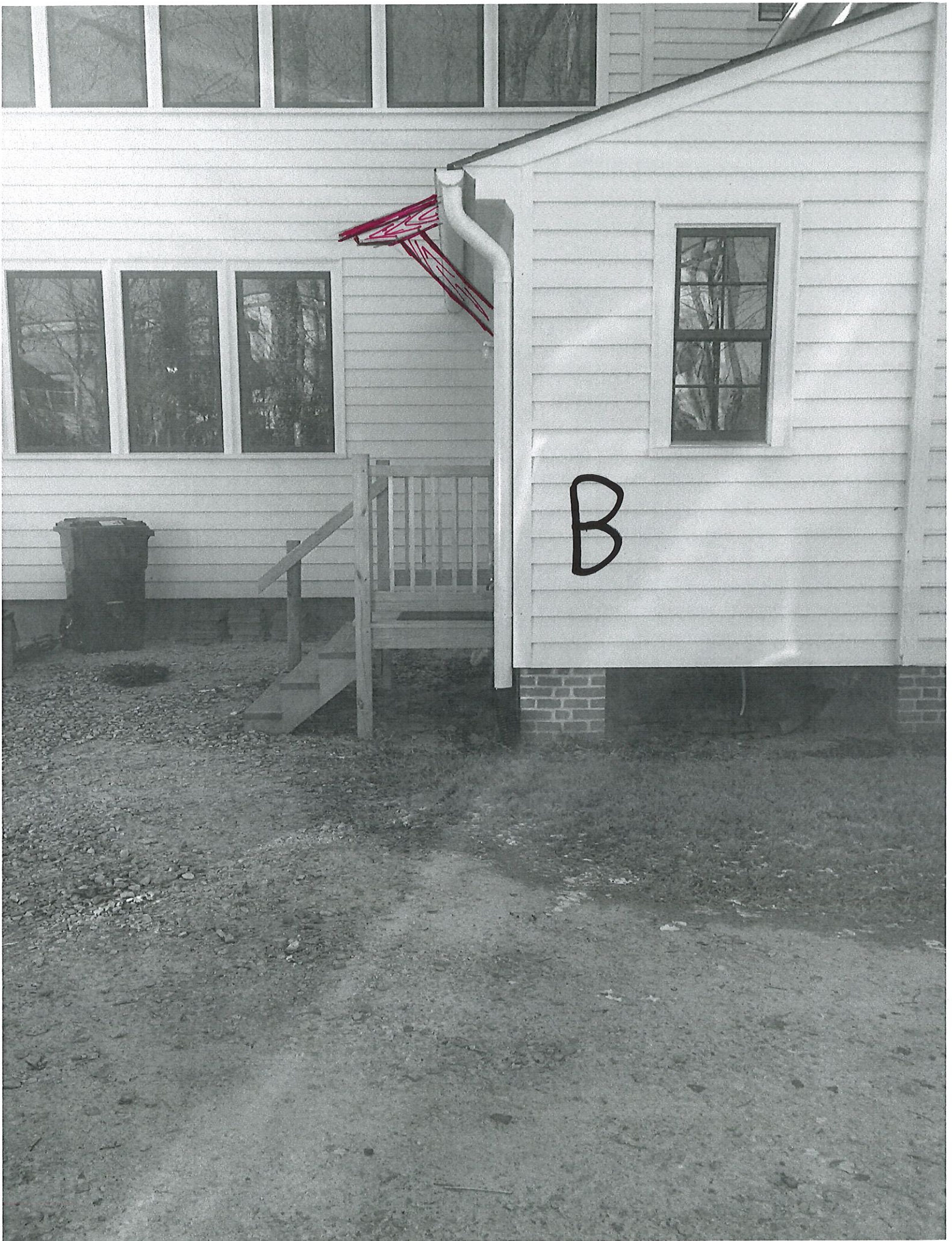
FIRST FLOOR PLAN

THOMAS M. SHADON WILLIAM R. HOPKINS SCHOOL OF DESIGN, NORTH CAROLINA STATE UNIVERSITY	NAME OF STRUCTURE CRABTREE PLANTATION		PROJECT NO. DATE	SCALE NO. HISTORIC ARCHITECTURE RESEARCH, INC. 300 SHEET 2 OF 19 SHEETS
	RALEIGH, N. C.			

B







B



NEW WEST ELEVATION

C

8'10" W
9'-8" H

GARAGE BUILDING



same as side treatment

$\frac{9.75}{13}$

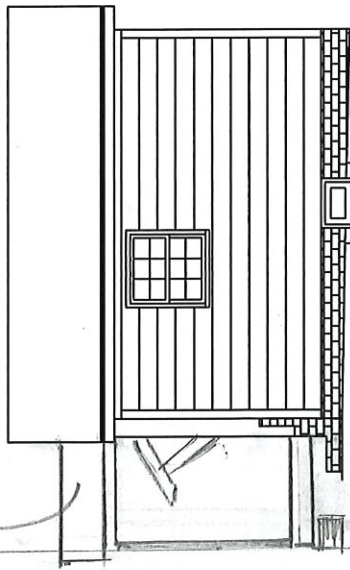
8'10"

C

Note:

Addition of landing or
Porch required by code

Extends over
foot of existing

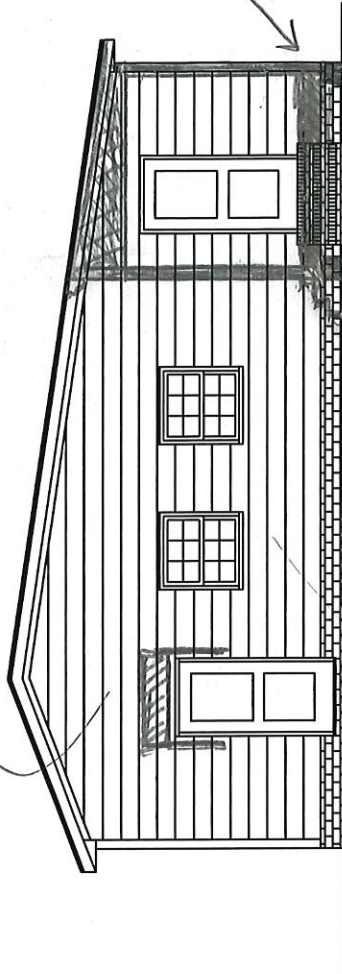


Brick
Piers

(like
E detail)

D

POSTS - WOOD WITH
CHAMFER
SIZE TO CODE



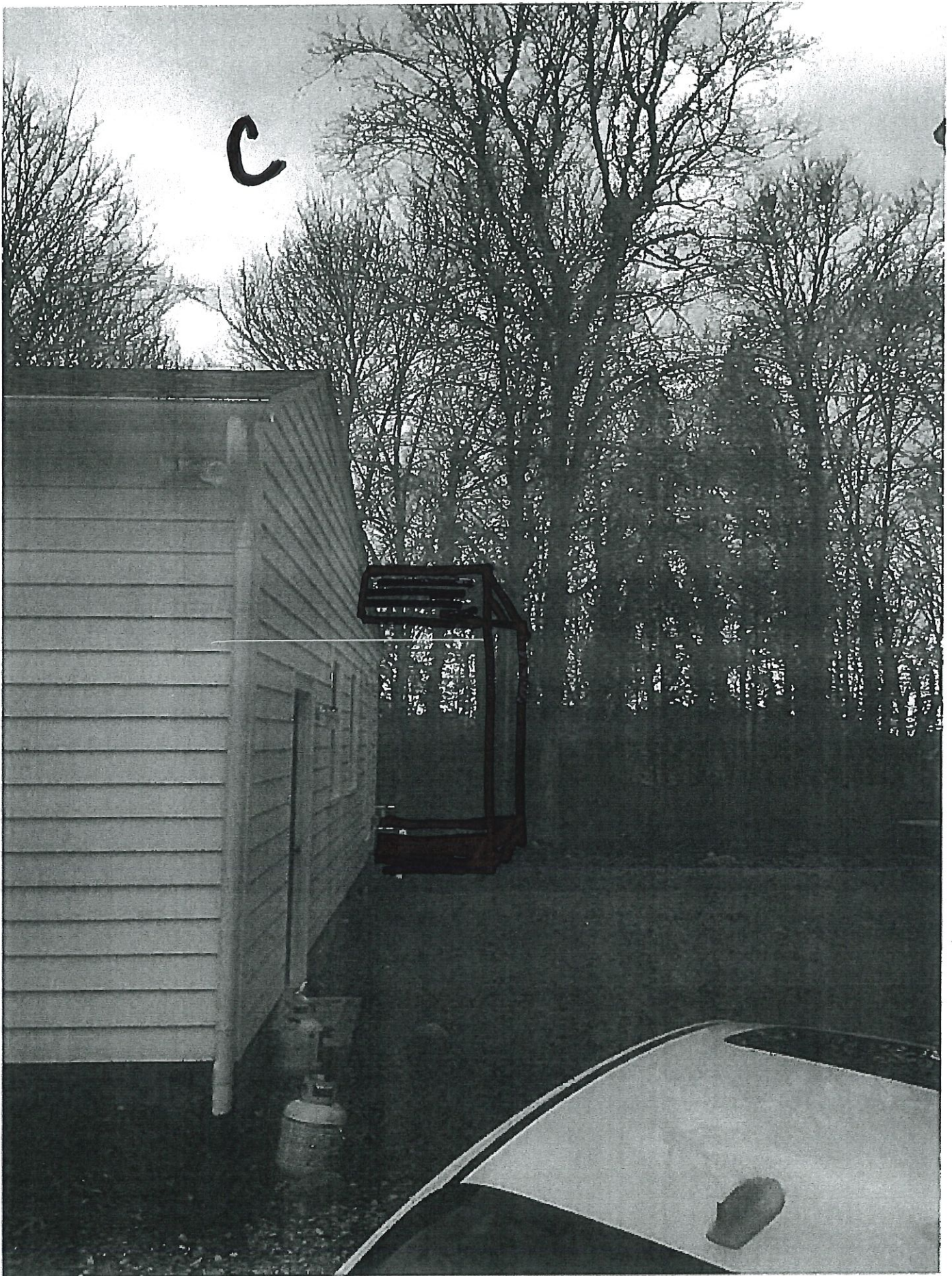
Wood
Deck/
Floor

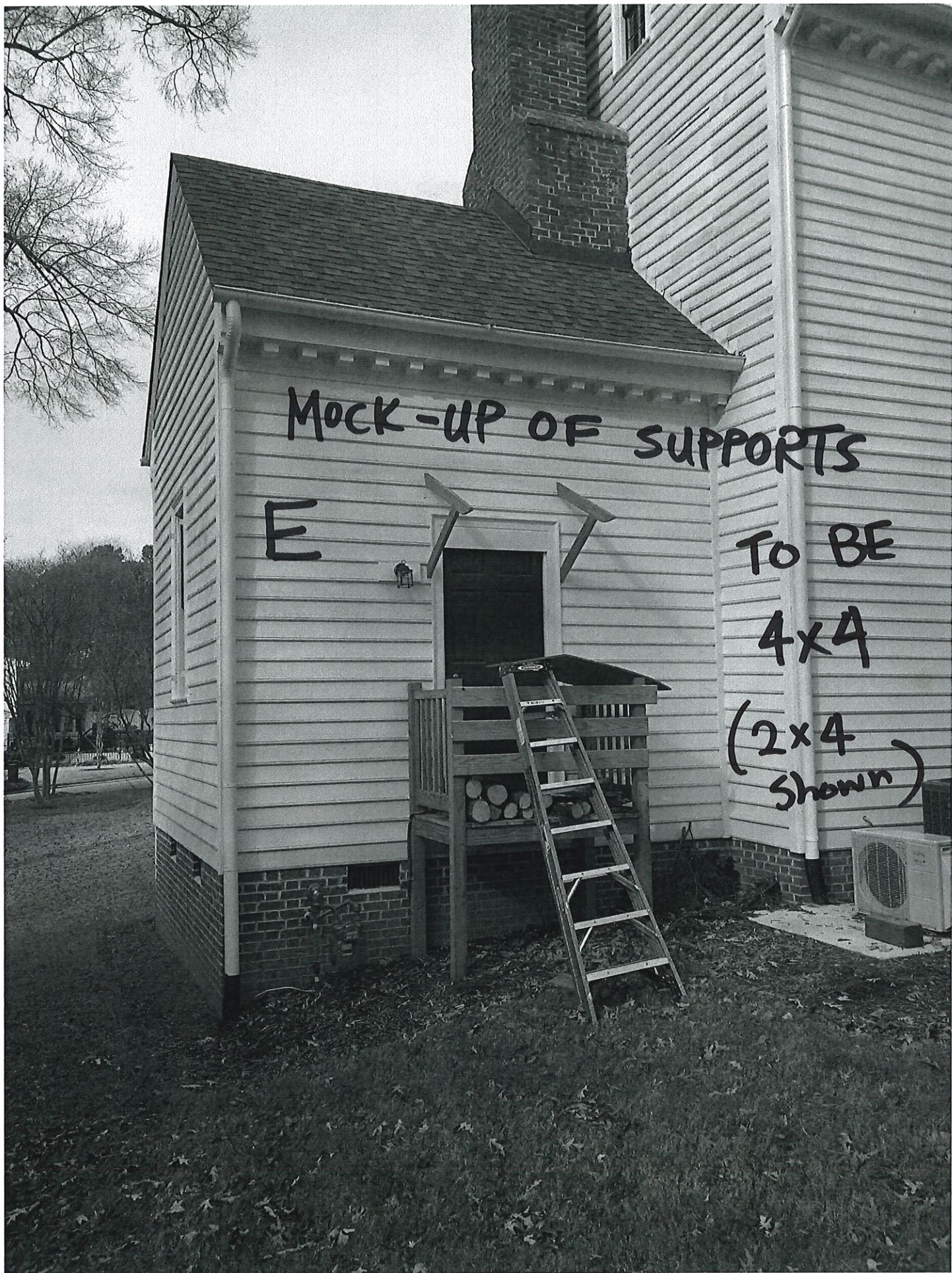
PELL ST studio
ARCHITECT
Ashley Forrest Harris
1000 W. 102nd St.
Baltimore, MD 21204
410.326.8270

Crabtree Jones - Garage Rear Elevation - siding will be completed + Garage Side Elevation Facing Property Line to have new doors, w/dws. + siding
Scale - 1/8" = 1'-0"

Step or steps
NO RAIL

brick pier (2x)





MOCK-UP OF SUPPORTS

E

TO BE

4x4

(2x4 shown)

E

Deck w/
Arch.
Shingles







