



# CERTIFICATE OF APPROPRIATENESS PLACARD

for Raleigh Historic Resources

1012 W CABARRUS STREET

Address

BOYLAN HEIGHTS

Historic District

Historic Property

021-18-MW

Certificate Number

02-14-2018

Date of Issue

08-14-2018

Expiration Date

Project Description:

- Install additional window on rear elevation
- Replace in-kind damaged cedar shake siding on west elevation

*This card must be kept pasted in a location within public view until all phases of the described project are complete. The work must conform with the code of the City of Raleigh and laws of the state of North Carolina. When your project is complete, you are required to ask for a final zoning inspection in a historic district area. Telephone the RHDC office at 832-7238 and commission staff will coordinate the inspection with the Inspections Department. If you do not call for this final inspection, your Certificate of Appropriateness is null and void.*

Signature, \_\_\_\_\_

Raleigh Historic Development Commission

*Pending the resolution of appeals, commencement of work is at your own risk.*



I understand that all applications that require review by the commission's Certificate of Appropriateness Committee must be submitted by 4:00 p.m. on the application deadline; otherwise, consideration will be delayed until the following committee meeting. An incomplete application will not be accepted.

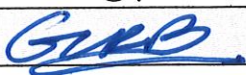
Type or print the following:

Applicant **Gary Bullard**

Mailing Address **615 Dorothea Drive**

City <b>Raleigh</b>	State <b>NC</b>	Zip Code <b>27603</b>
Date <b>1.26.18</b>	Daytime Phone <b>984-222-5205</b>	

Email Address **gary.bullard@ipreo.com**

Applicant Signature 

Will you be applying for rehabilitation tax credits for this project?  Yes  No

Did you consult with staff prior to filing the application?  Yes  No

Office Use Only

Type of Work \_\_\_\_\_  
**85, 99**  
 \_\_\_\_\_  
 \_\_\_\_\_

**Design Guidelines** - Please cite the applicable sections of the design guidelines ([www.rhdc.org](http://www.rhdc.org)).

Section/Page	Topic	Brief Description of Work (attach additional sheets as needed)
3.7.9	addition of window to rear elevation	-additional casement window on rear facade of previously approved addition (COA 125-17-CA) [details enclosed]
3.6.2/3.6.4-6	repair/replace cedar shake siding	
		-replace damaged/deteriorated cedar shake siding on western elevation [details enclosed]

### Minor Work Approval (office use only)

Upon being signed and dated below by the Planning Director or designee, this application becomes the Minor Work Certificate of Appropriateness. It is valid until 8/14/18. Please post the enclosed placard form of the certificate as indicated at the bottom of the card. Issuance of a Minor Work Certificate shall not relieve the applicant, contractor, tenant, or property owner from obtaining any other permit required by City Code or any law. Minor Works are subject to an appeals period of 30 days from the date of approval.

Signature (City of Raleigh) Melissa Robb Date 2/14/18

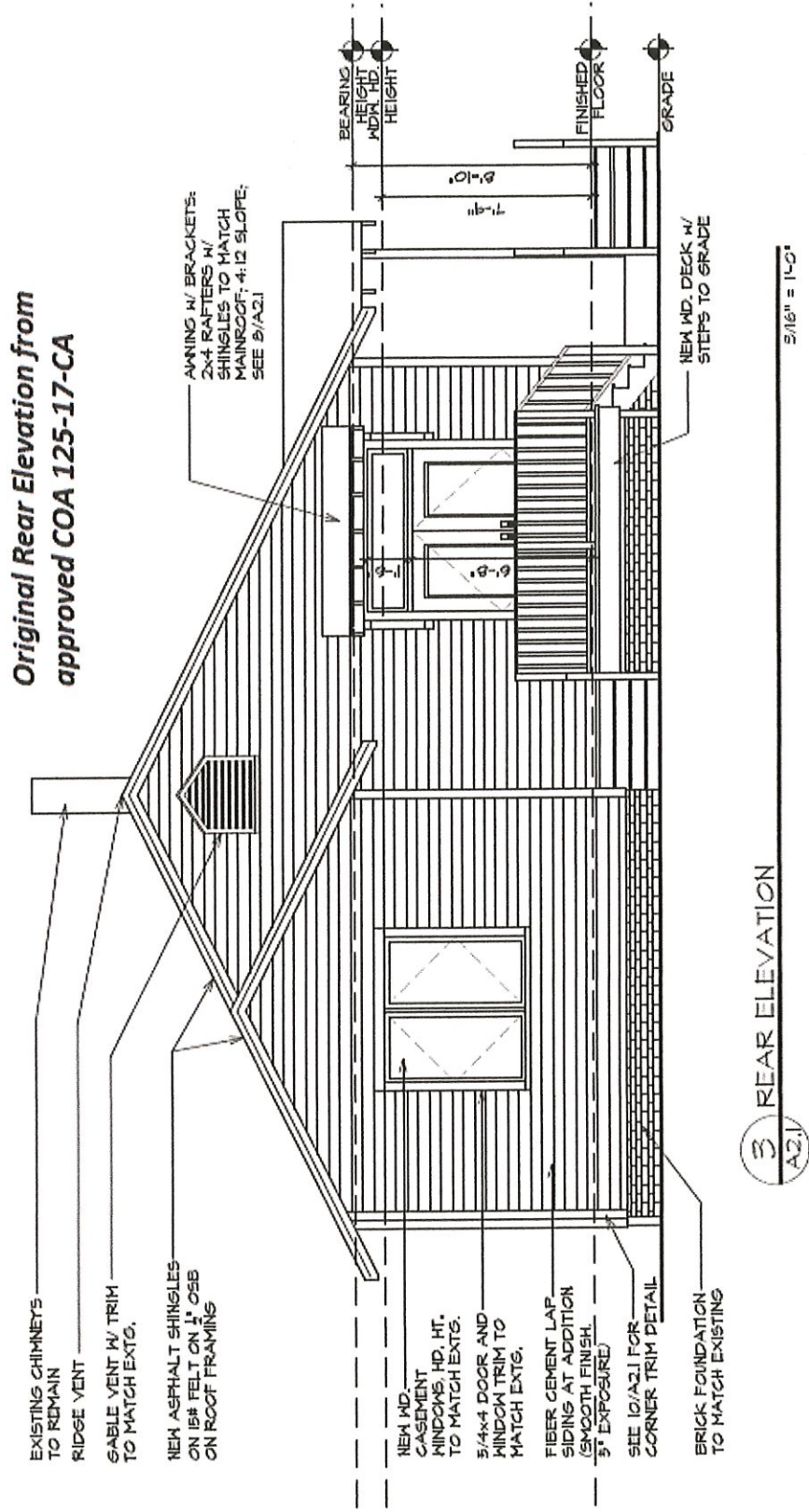
	TO BE COMPLETED BY APPLICANT		TO BE COMPLETED BY CITY STAFF		
	YES	N/A	YES	NO	N/A
Attach 8-1/2" x 11" or 11" x 17" sheets with written descriptions and drawings, photographs, and other graphic information necessary to completely describe the project. Use the checklist below to be sure your application is complete.			✓		
<u>Minor Work</u> (staff review) – 1 copy					
<u>Major Work</u> (COA Committee review) – 10 copies					
1. <b>Written description.</b> Describe clearly and in detail the nature of your project. Include exact dimensions for materials to be used (e.g. width of siding, window trim, etc.)	✓		✓		
2. <b>Description of materials</b> (Provide samples, if appropriate)	✓		✓		
3. <b>Photographs</b> of existing conditions are required. Minimum image size 4" x 6" as printed. Maximum 2 images per page.	✓		✓		
4. <u>Paint Schedule</u> (if applicable)	✓	<input type="checkbox"/>	✓		
5. <u>Plot plan</u> (if applicable). A plot plan showing relationship of buildings, additions, sidewalks, drives, trees, property lines, etc., must be provided if your project includes any addition, demolition, fences/walls, or other landscape work. Show accurate measurements. You may also use a copy of the survey you received when you bought your property. Revise the copy as needed to show existing conditions and your proposed work.	<input type="checkbox"/>	✓			X
6. <b>Drawings</b> showing existing and proposed work <ul style="list-style-type: none"> <li><input checked="" type="checkbox"/> Plan drawings</li> <li><input checked="" type="checkbox"/> Elevation drawings showing the façade(s)</li> <li><input checked="" type="checkbox"/> Dimensions shown on drawings and/or graphic scale (required)</li> <li><input checked="" type="checkbox"/> 11" x 17" or 8-1/2" x 11" reductions of full-size drawings. If reduced size is so small as to be illegible, make 11" x 17" or 8-1/2" x 11" snap shots of individual drawings from the big sheet.</li> </ul>	✓	<input type="checkbox"/>	✓		
7. Stamped envelopes addressed to all property owners within 100 feet of property not counting the width of public streets and alleys (required for Major Work). Use the <u>Label Creator</u> to determine the addresses.	<input type="checkbox"/>	✓			X
8. <b>Fee</b> ( <u>See Development Fee Schedule</u> )	✓		✓		

RHDC – COA Minor Work – Window and Siding Improvements – 1012 W. Cabarrus

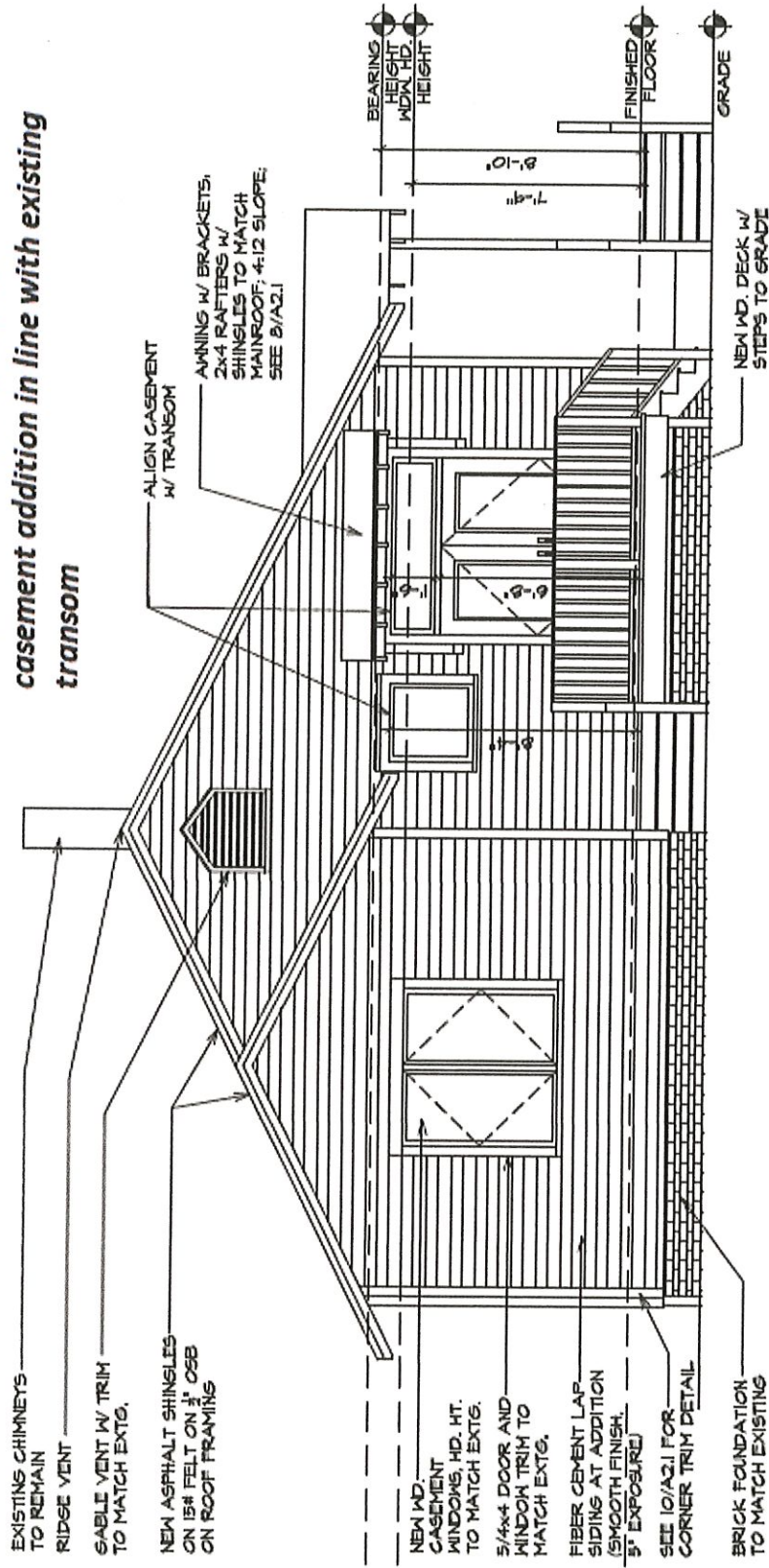
Additional Rear Window—

RHDC Design Guidelines – 3.7.9

- Additional 3' Casement Window on rear façade of previously approved addition (COA 125-17-CA)



**Proposed rear elevation with 3' casement addition in line with existing transom**



Siding Replacement—

RHDC Design Guidelines – 3.6.2 / 3.6.4-6

- Replace damaged/deteriorated cedar shake siding on western elevation. Replace in kind with material matching original in design. Paint schedule to match with approved paint schedule from COA 125-17-CA.
- Assessment and photographs listed below/enclosed



702 W Jones St  
Raleigh, NC 27603  
(919) 834-7991  
www.greyhouseinc.com

November 11<sup>th</sup>, 2017

To Whom it May Concern:

This letter is to serve as an assessment, opinion & recommendation of the existing cedar shake siding at 1012 Cabarrus St, Raleigh NC 27603 by greyHouse Inc.

Multiple representatives of greyHouse Inc. have performed site inspections of the existing cedar shake siding as well as the wood slat backing currently installed on the house. The existing siding material currently installed throughout the exterior of the house is damaged beyond repair and will need to be replaced in order to maintain the best protection of the home. Years of exposure to the elements have resulted in rot & disintegration that compromise the integrity of the existing siding product. The extent and breadth of deterioration makes saving part or all of the existing siding material not possible at this time.

Based on this assessment, greyHouse Inc. recommends the existing cedar shake siding be replaced in full with a like product, which is to mimic the existing siding in material, size, shape, reveal, profile, etc as close as possible in all ways. At the time of replacement it is also recommended that the wood slatboard to which the existing siding is currently affixed also be removed and replaced with OSB sheathing & Housewrap to best protect the integrity of the house, limit moisture & insect penetration, and offer better insulation. Not only will OSB sheathing – the current construction standard – provide the benefits listed above but it will also accommodate the mimicking of trim profile & reveal around existing windows and doorways as it will take the place of the existing slatboard to which the siding is currently affixed.

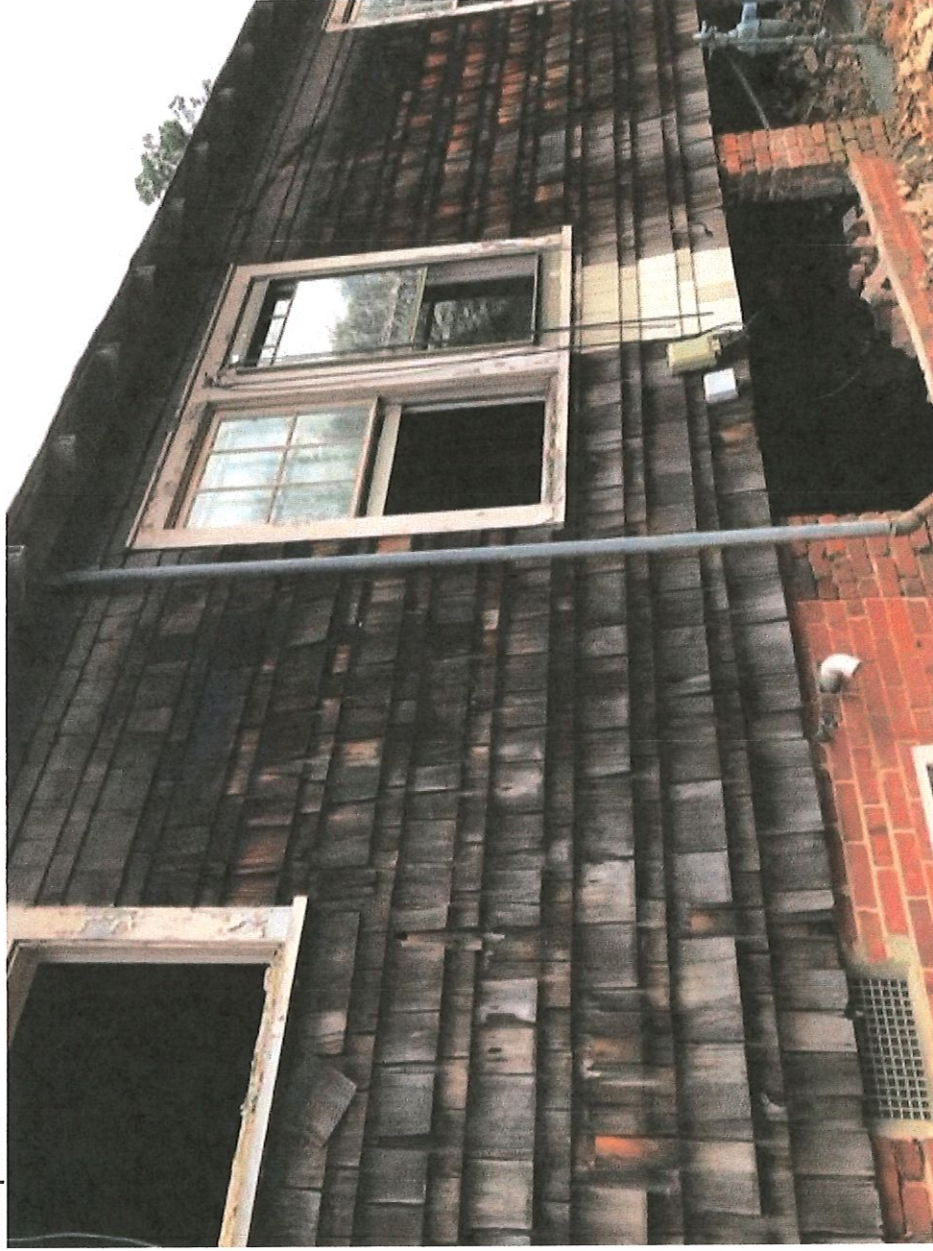
Questions regarding additional specifications can be directed to Lindsey Tomlinson, Owner, greyHouse Inc., at (919) 608-1478.

Respectfully,

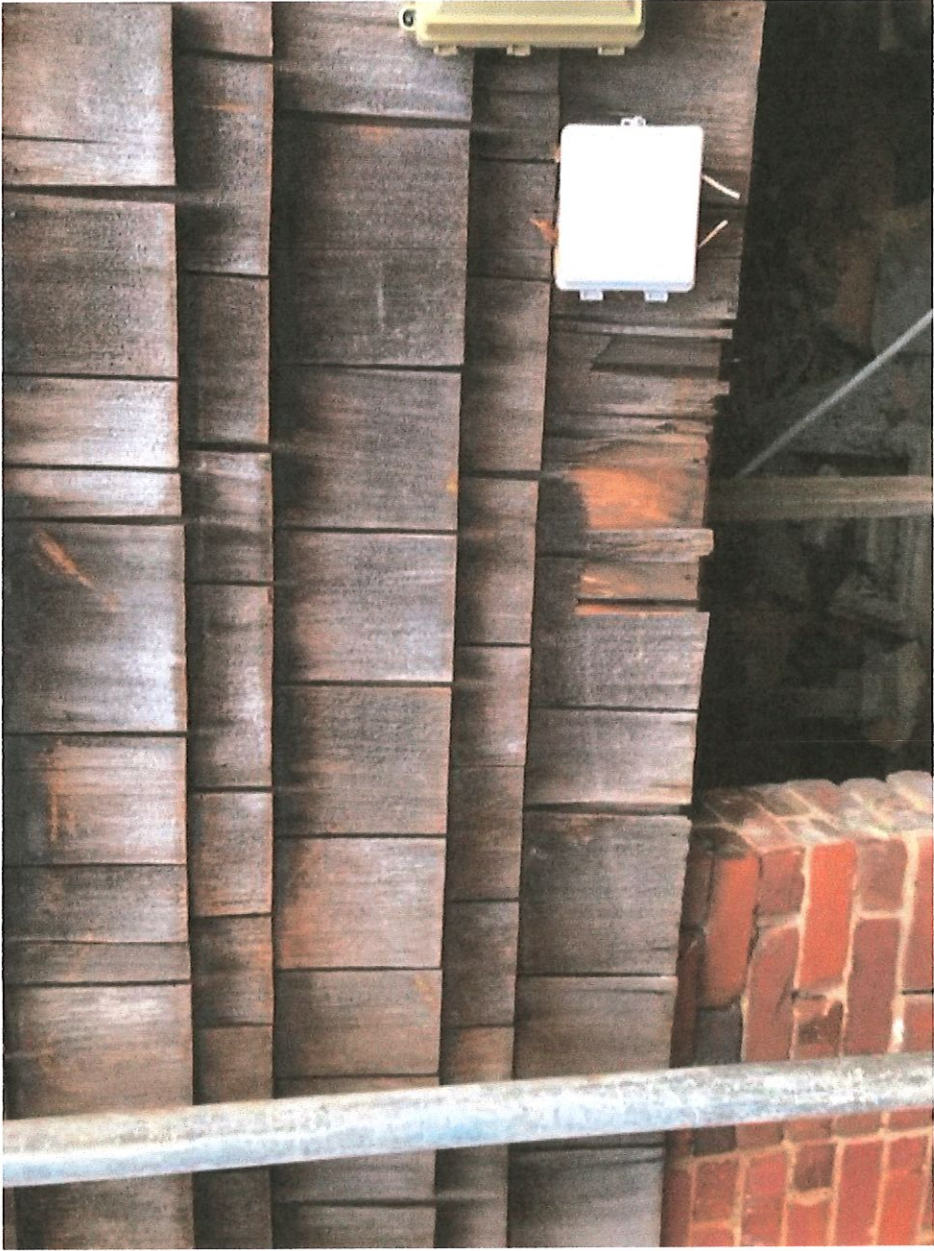
Lindsey Tomlinson  
Owner  
greyHouse Inc  
(919) 608-1478



Example 1:



Example 2:



Example 3:



Example 4:



Paint Schedule for Siding:

**Raleigh Historic Development Commission – Certificate of Appropriateness Paint Schedule**

Applicant **Meg and Gary Bullard**  
 Address **1012 W. Cabarrus St., Raleigh, NC 27603**  
 Paint Manufacturer (Please submit color chips with this schedule)

Color Schedule	
1	Body of House SW 7005 Pure White
2	Roofing Existing on existing house; new roofing on addition to match existing.
3	Foundation Existing unpainted brick on existing house; new brick on addition to match existing
4	Porch Floor SW 3039 Tobacco
5	Railing SW 7005 Pure White
6	Column SW 7005 Pure White
7	Entrance Door SW 3039 Tobacco
8	Cornice SW 7005 Pure White
9	Corner boards SW 7005 Pure White
10	Window Sash SW 6258 Tricorn Black
11	Shutter N/A
12	Door & Window Trim SW 7005 Pure White
13	Rake SW 7005 Pure White
14	Porch Ceiling SW 6505 Atmospheric
15	Other

SW 7005 PURE WHITE

SW 6258 TRICORN BLACK

SW 6505 ATMOSPHERIC

SW 3039 TOBACCO

SW 7005 PURE WHITE  
 SW 6258 TRICORN BLACK  
 SW 6505 ATMOSPHERIC  
 SW 3039 TOBACCO  
 SW 7005 PURE WHITE

## Tully, Tania

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**From:** Tully, Tania  
**Sent:** Wednesday, November 22, 2017 1:34 PM  
**To:** 'David S. Maurer AIA LEED-AP'; Bullard, Meg; Gary Bullard  
**Cc:** Robb, Melissa (Melissa.Robb@raleighnc.gov)  
**Subject:** RE: 1012 Cabarrus cedar siding

David –

Thank you for the follow-up email. Based on the evidence provided by the Bullard's in their prior emails and your professional judgment, pending photographs of the west side, staff is comfortable approving the replacement if that side only.

Best,  
Tania

**Tania Georgiou Tully**  
Senior Preservation Planner

■ **Raleigh Urban Design Center**  
One Exchange Plaza, Suite 300 | Raleigh, NC 27601  
919-996-2674 | [raleighnc.gov](http://raleighnc.gov)

**From:** David S. Maurer AIA LEED-AP [mailto:[david@maurerarchitecture.com](mailto:david@maurerarchitecture.com)]  
**Sent:** Wednesday, November 22, 2017 9:29 AM  
**To:** Tully, Tania <[Tania.Tully@raleighnc.gov](mailto:Tania.Tully@raleighnc.gov)>; Bullard, Meg <[mbullard@fmrealty.com](mailto:mbullard@fmrealty.com)>; Gary Bullard <[Gary.Bullard@ipreo.com](mailto:Gary.Bullard@ipreo.com)>  
**Subject:** 1012 Cabarrus cedar siding

Hey Tania - have tried to call you but know that you've been very busy this week.

At 1012 Cabarrus, I know that Meg has been in touch with you about replacing the existing cedar siding. I went by and met with her, and have convinced her that the front and east side siding should remain. The west side, given it's exposure, is in much worse condition. We looked at trying to replace the west side with the rear siding that needs to be removed, but there doesn't seem to be enough. The west side siding is very brittle and has thinned in most areas, and has a very limited lifespan left, and water intrusion is a big concern. My professional opinion is to replace the west side only with new cedar siding to match the thickness, texture, and lap exposure to match the front and east existing cedar. If you recall, the application that was approved indicates the siding to get a white opaque stain, so the end result will be a consistent finish for both the old and new.

I'm available to discuss this further if necessary. Thanks.



David S. Maurer, AIA, LEED-AP

