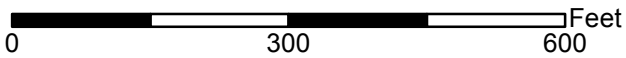
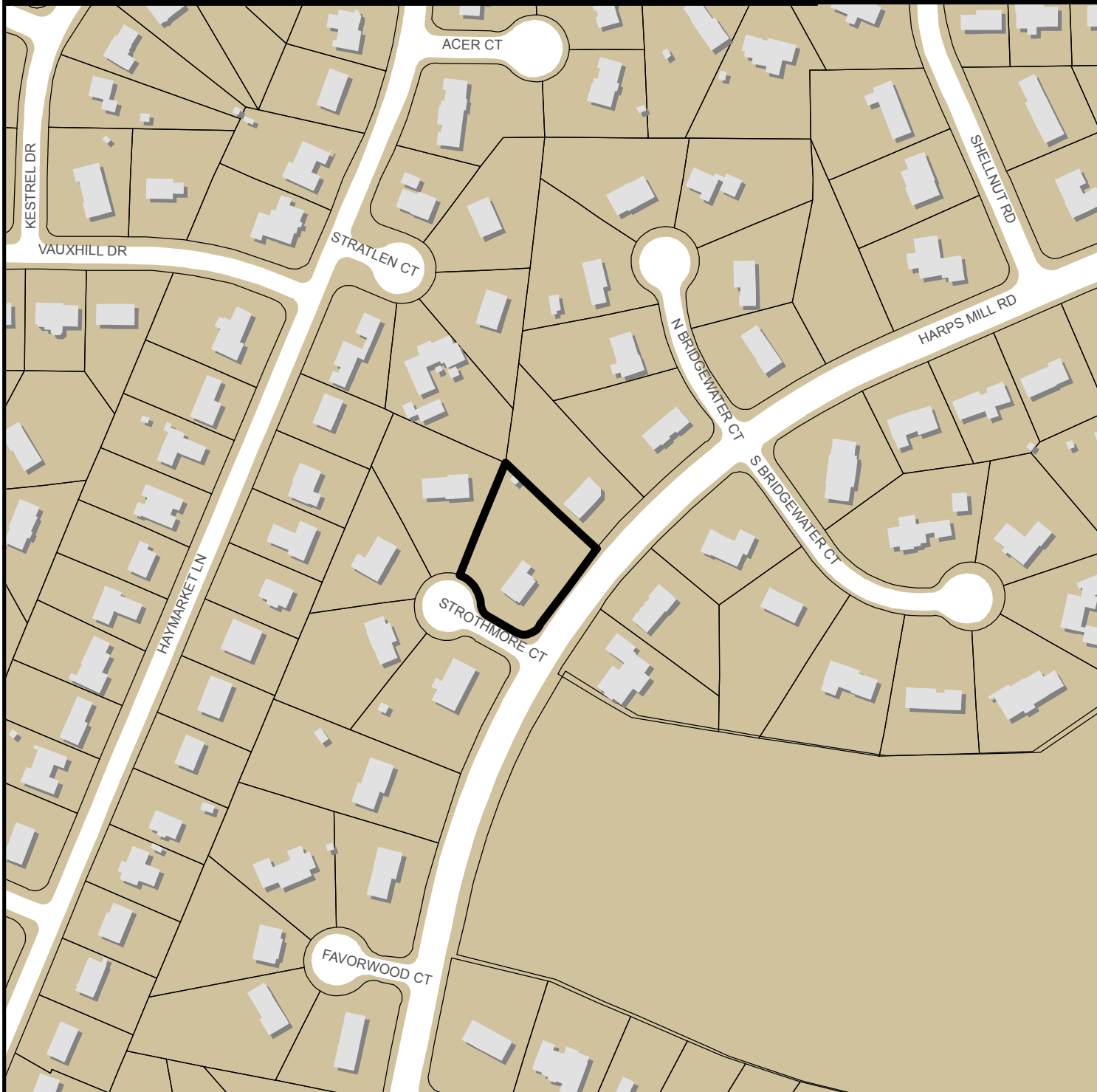
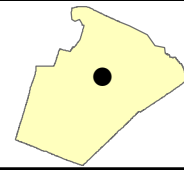


# NORTH RIDGE LOT 45 SUBDIVISION S-86-2017



Zoning: **R-6**  
CAC: **North**  
Drainage Basin: **Perry Creek**  
Acreage: **0.63**  
Number of Lots: **2**

Planner: **Ryan Boivin**  
Phone: **(919) 996-2681**  
Applicant: **Stoney Chance**  
Phone: **(919) 779-7245**





# Administrative Approval Action

S-86-17 North Ridge Lot 45 Subdivision  
Transaction # 537874, AA # 3782

City of Raleigh  
Development Services Department  
One Exchange Plaza  
Raleigh, NC 27602  
(919) 996-2495  
DS.help@raleighnc.gov  
www.raleighnc.gov

**LOCATION:** This site is located on the west side of Harps Mill Road and north side of Strothmore Court. The site is addressed at 7913 Harps Mill Road, which is inside City limits.

**REQUEST:** Subdivision of a 0.615 acre tract zoned R-6 into two lots. Proposed lot 1 will be 12,158 SF/0.279 acres and lot 2 will be 13,667 SF/0.313 acres.

**DESIGN ADJUSTMENT(S)/ALTERNATES, ETC** One Design Adjustment has been approved by the Development Services Director or Designee for this project:  
  
Due to existing conditions as well as the presence of a golf course immediately adjacent to the project, a Design Adjustment has been approved waiving the Block perimeter requirement (UDO Article 8.3).

**FINDINGS:** City Administration finds that this request, with the below conditions of approval being met, conforms to the Unified Development Ordinance. This approval is based on a preliminary plan submitted by Stoney Chance of Chance & Associates.

## CONDITIONS OF APPROVAL and NEXT STEPS:

**Note:** *This document must be applied to the second sheet of all future submittals with the exception of final plats.*

### **PRIOR TO THE ISSUANCE OF ANY SITE PERMITS OR APPROVAL OF CONCURRENT REVIEW PROCESS, WHICHEVER IS APPLICABLE:**

#### **ENGINEERING**

1. Next Step: A right-of-way obstruction permit must be obtained from Right-of-way Services prior to the commencement of any construction activities within the right-of-way.

#### **STORMWATER**

2. Next Step: A stormwater control plan with a stormwater operations and maintenance manual and budget shall be approved by the Stormwater Engineer in compliance with Part 10A Chapter 9 of the Unified Development Ordinance.

#### **URBAN FORESTRY**

3. Obtain required stub and tree impact permits from the City of Raleigh. *(used with new streets and infrastructure)*

### **PRIOR TO AUTHORIZATION TO RECORD LOTS:**

#### **ENGINEERING**

4. The required right of way for proposed and/or existing streets shall be dedicated to the City of Raleigh and shown on the map approved for recordation.



# Administrative Approval Action

S-86-17 North Ridge Lot 45 Subdivision  
Transaction # 537874, AA # 3782

City of Raleigh  
Development Services Department  
One Exchange Plaza  
Raleigh, NC 27602  
(919) 996-2495  
DS.help@raleighnc.gov  
www.raleighnc.gov

5. A 5' utility placement easement and associated deed of easement shall be approved by the City and the location of the easement shall be shown on the map approved for recordation. The deed of easement shall be recorded at Wake County Register of Deeds within one (1) day of recordation of the recorded plat. A recorded copy of these documents must be provided to the Development Services Department within 14 days from authorization of lot recordation. If a recorded copy of the documents are not provided within this 14 day period, further recordings and building permit issuance may be withheld.
6. In accordance with Part 10A Section 8.1.10, a fee-in-lieu for 1' sidewalk along Harps Mill Road is to be paid to the City of Raleigh.
7. Next Step: In accordance with Part 10A Section 8.1.3, a public infrastructure surety is provided to the City of Raleigh Development Services – Development Engineering program.

## URBAN FORESTRY

8. Obtain a tree impact permit from the City of Raleigh.

## PRIOR TO ISSUANCE OF BUILDING PERMITS:

### STORMWATER

9. These lots are exempt per UDO Section 9.2.2.A.2.b.i as a residential subdivision of one acre or less approved after May 1, 2001, but are subject to impervious limitations of subsection A.4.

**EXPIRATION DATES:** If significant construction has not taken place on a project after preliminary subdivision approval, that approval may "sunset" and be declared void, requiring re-approval before permits may be issued. To avoid allowing this preliminary approval to "sunset", the following must take place by the following dates:

**3-Year Sunset Date: 4-11-2021**  
Record the subdivision.

I hereby certify this administrative decision.

Signed: (Planning Dir./Designee) Angie Bily Zyl Date: 4/11/18

Staff Coordinator: Ryan Boivin

# Design Adjustment Staff Response



**DEVELOPMENT  
SERVICES  
DEPARTMENT**

Development Services Customer Service Center | 1 Exchange Plaza, Suite 400 | Raleigh, NC 27601 | 919-996-2495  
Litchford Satellite Office | 8320 - 130 Litchford Road | Raleigh, NC 27601 | 919-996-4200

Per Section 10.2.18.C of the Unified Development Ordinance, the Development Services Director, or designee, shall consult with the heads of other City Departments regarding the review of the request. The Development Services Director, or designee, shall approve, approve with conditions or deny the request, but must do so within 60 days of the receipt of a completed application. Additional time may be necessary if a municipal or state entity is incorporated in the review process or if a detailed engineering study is submitted in conjunction with the request.

<b>PROJECT</b>	Project Name North Ridge, Lot 45 Preliminary Subdivision	Date completed Application received 1/2/2018
	Case Number S-86-17	Transaction Number 637874

<b>DEPARTMENT RESPONSE/RECOMMENDATION</b>	Staff <u>SUPPORTS</u> the Design Adjustment based upon the findings in these applicable code:		
	<input checked="" type="checkbox"/> <u>UDO Art. 8.3 Blocks, Lots, Access</u>		<input type="checkbox"/> <u>UDO Art. 8.4 New Streets</u>
	<input checked="" type="checkbox"/> <u>UDO Art. 8.5 Existing Streets</u>		<input type="checkbox"/> <u>Raleigh Street Design Manual</u> <input type="checkbox"/> Other
	<b>DEPARTMENT</b>	<b>REPRESENTATIVE SIGNATURE</b>	<b>DEPARTMENT</b>
<input type="checkbox"/> Dev. Services Planner		<input type="checkbox"/> City Planning	
<input checked="" type="checkbox"/> Development Engineering	<i>KC Beard</i>	<input type="checkbox"/> Transportation	
<input type="checkbox"/> Engineering Services		<input type="checkbox"/> PRCR	
<input type="checkbox"/> Public Utilities			
<p><b>Findings:</b> This subdivision is zoned as R-6, which allows a block perimeter maximum length of 5,000 linear feet. The existing measurable length is shown on the attached map as 7,996 linear feet. This subdivision is adjacent to a cul-de-sac where Lot 1 has frontage on Strohmora Ct. A public street would not be allowed through this subdivision due to the public street spacing of 1200 feet based on the classification of Harps Mill Road as an Avenue, 2-lane Undivided. Raleigh Street Design Manual Sections 5.1.1, 6.1 and Table 6.8A</p> <p>Staff supports the request for a waiver from the requirement of providing a public street due to the block perimeter length.</p>			

**Development Services Director or Designee Action:** Approve  Approval with Conditions  Deny

*D*
*DANIEL KING, PE*
*4/11/18*  
 Authorized Signature      ENGINEERING REVIEW MANAGER      Date

\*The Development Services Director may authorize a designee to sign in his/her stead. Please print name and title next to signature.

<b>CONDITIONS</b>	
-------------------	--

Appeal of the decision from the Development Services Director, or his or her designee, shall be made in writing within 30 days to the Board of Adjustment (see Section 10.2.18.C3b).



# Planning & Development

**Public Works  
Transportation Field Services**  
One Exchange Plaza  
Suite 300  
Raleigh, NC 27602  
www.raleighnc.gov

## Public Works Design Adjustment Application

The purpose of this request is to seek a design adjustment from the Public Works Director for a specific project only and if granted may be given with special conditions and provisions. This application and all further action shall be consistent with Section 10.2.18 of the Unified Development Ordinance (UDO). The consideration and decision of this request shall be based solely on the conformance of the findings, as outlined in Sections 8.3.6 and 8.4.1.E of the UDO.

<b>Project</b>	Project Name <b>North Ridge Lot 45 Preliminary Subdivison</b>	
	Case Number <b>S-86-17</b>	Transaction Number <b>537874</b>

<b>Owner</b>	Name <b>Mary Helen Horn</b>	
	Address <b>7016 North Ridge Drive</b>	City <b>Raleigh</b>
	State <b>NC</b> Zip Code <b>27616</b>	Phone <b>919-418-4500</b>

<b>Applicant</b>	Name <b>Stoney Chance</b>	Firm <b>Chance &amp; Associates</b>
	Address <b>600 Benson Rd., Ste. 207</b>	City <b>Garner</b>
	State <b>NC</b> Zip Code <b>27529</b>	Phone <b>919-779-7245</b>

**\*Applicant must be a Licensed Professional (Engineer, Architect, Surveyor, or Contractor)**

<b>Design Adjustment Request</b>	Code Section Referenced <b>Section 8.3.2.A Block Perimeters</b>
	Justification <b>Due to existing street and development infrastructure surrounding this project, there is no opportunity for further street connectivity within this block area; therefore we are unable to comply with above Block Perimeter requirements. For these reasons, this Design Adjustment Application is requesting the Block Perimeter requirements of the UDO and RSDM be waived.</b>

\*Please include any additional supportive documents (Plan sheets, aeriels, etc.) along with this application. It is the applicant's responsibility to provide all pertinent information required for consideration.

By signing this document I hereby acknowledge the information on this application is accurate to the best of my knowledge.

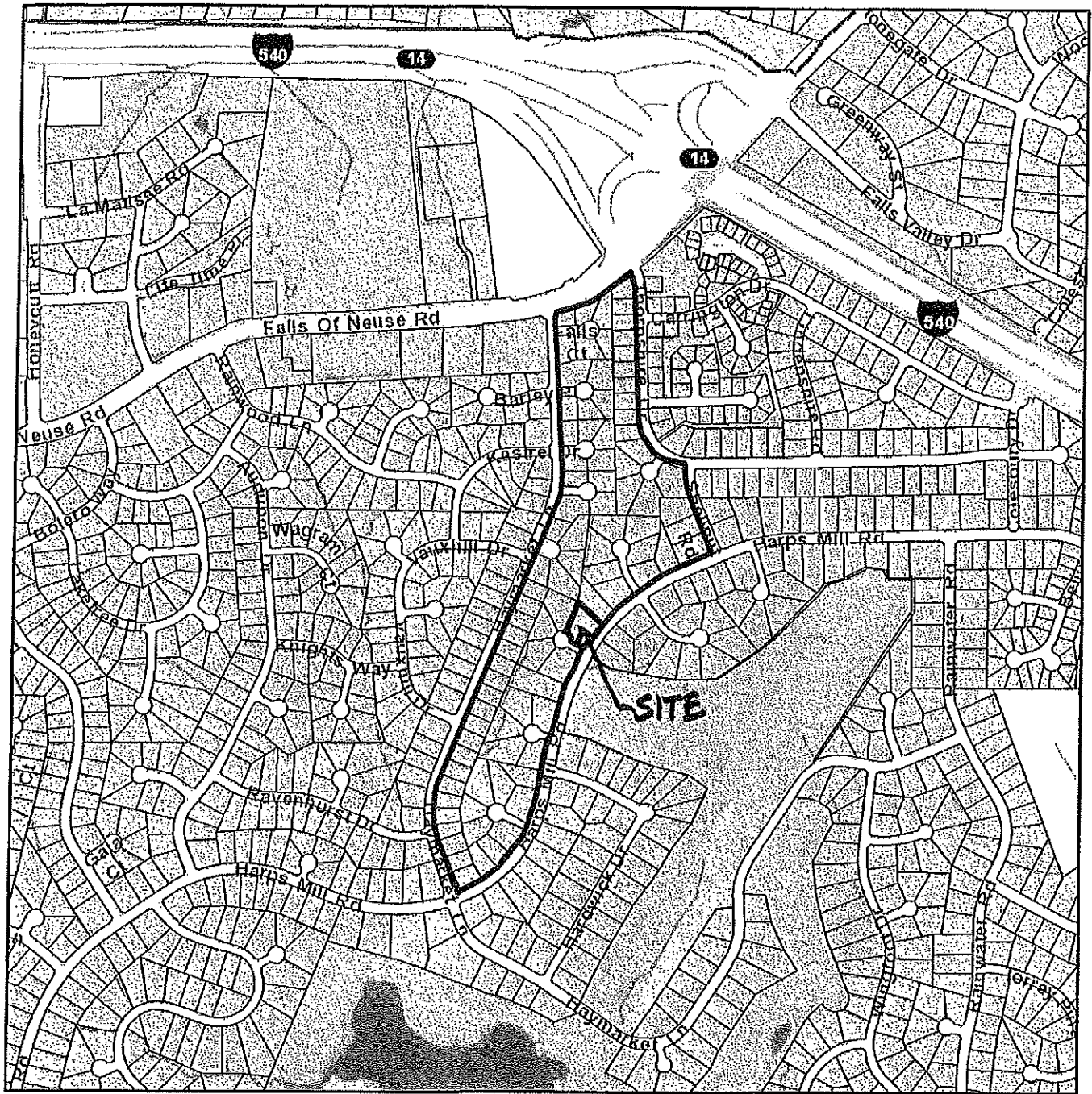
*Stoney Chance*      12/22/17  
 Owner/Owner's Representative Signature      Date

In witness whereof, the parties signed have executed this document on this date.

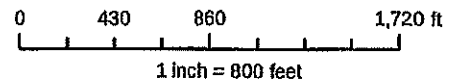
*Andrew L. Crook*      12/22/17  
 Notary Signature      Date

Comm Expi 24 Feb 2021

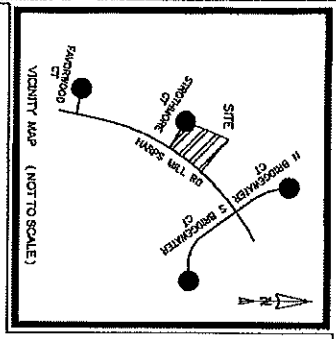




**NORTH RIDGE LOT 45**



**Disclaimer**  
 iMaps makes every effort to produce and publish the most current and accurate information possible. However, the maps are produced for information purposes, and are NOT surveys. No warranties, expressed or implied, are provided for the data therein, its use, or its interpretation.



BM 1973, PC 5

TOTAL SITE AREA: 0.515 AC.

BLOCK PERMETER: 7,996'  
 AVERAGE LOT SIZE IN BLOCK: 11,820 SF  
 BLOCK PERMETER ALLOWED: 5,000'  
 SEE ATTACHED DESIGN ADJUSTMENT APPLICATION

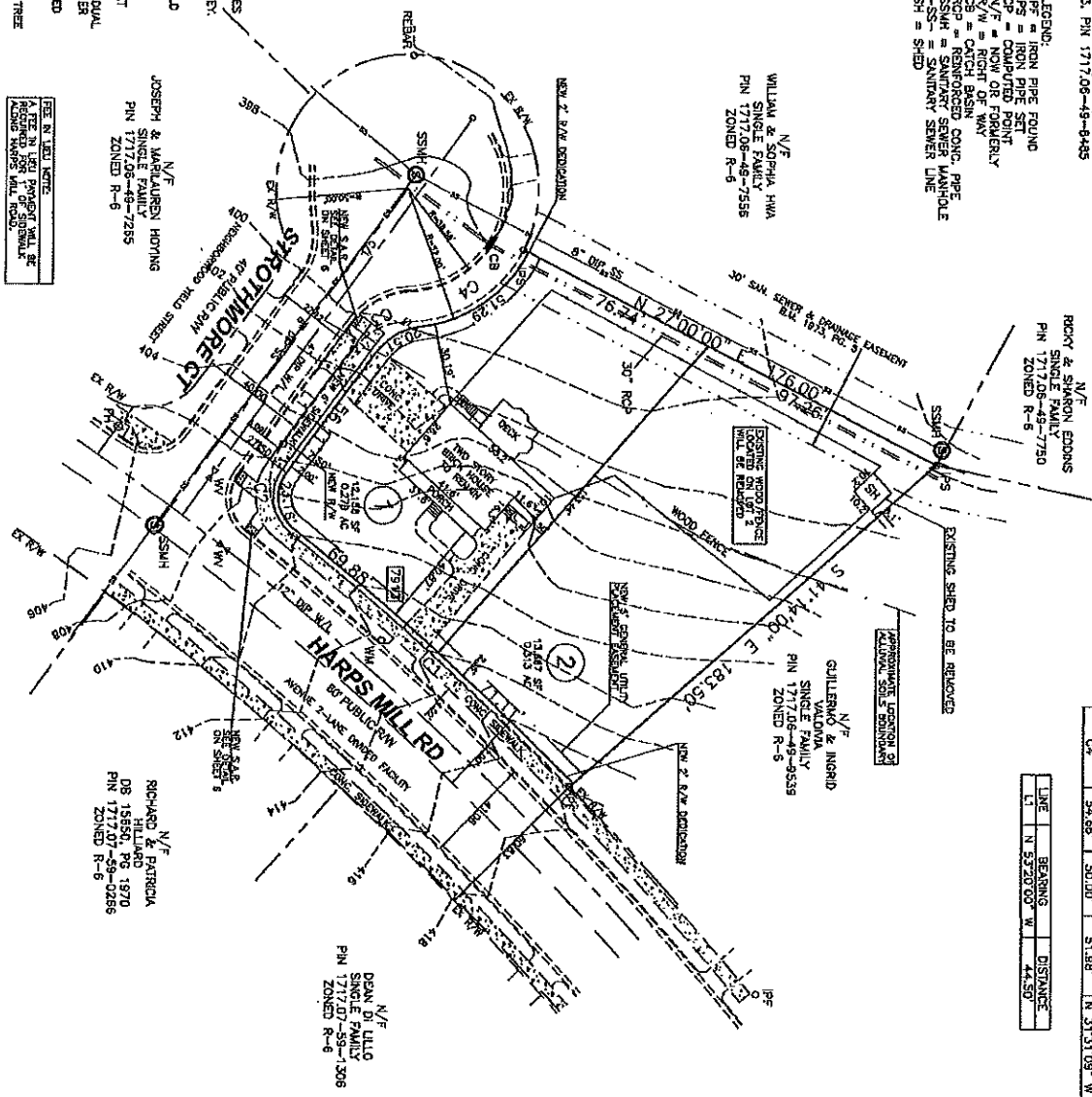
- REFERENCES:
- 1. DB 18241, PG 1386
  - 2. PIN 1717.06-49-8-445
  - 3. PIN 1717.06-49-8-445

- LEGEND:
- IR = IRON PIPE FOUND
  - CP = COMPUTED POINT
  - N/F = NOW OR FORMERLY
  - R/W = RIGHT OF WAY
  - CB = CATCH BASIN
  - CONC = CONCRETE
  - CONG. PIPE = CONCRETE PIPE
  - SH = SANDWY SEWER LINE
  - SH = SHED

RICKY & SIRON EDWARDS  
 SINGLE FAMILY  
 ZONED R-6  
 PIN 1717.06-49-7750

CURVE	ARC LEN	RADIUS	CH LENGTH	CH BEARING
C1	140.63'	1182.59'	140.55'	S 41°35'53" W
C2	39.60'	25.00'	34.46'	S 92°29'14" W
C3	23.18'	25.00'	22.35'	N 26°48'08" W
C4	54.65'	50.00'	51.92'	N 31°31'09" W

LINE	BEARING	DISTANCE
L1	N 53°20'00" W	44.50'



THE IR LIND NITE  
 A FEE IN LIND NITE WILL BE  
 REQUIRED FOR ALL OF SHOOT-  
 MORE CT AND HARP MILL RD.

STRAIGHT R-6

- NOTES:
1. BOUNDARY SURVEY AND ALL EXISTING ON-SITE AND OFF-SITE FEATURES
  2. STRIPPED SURVEY COMPART DATED BY 2/27/17
  3. THE LOCATION OF EXISTING WATER MAINS AND SEWER LINES PER CITY OF RALEIGH UTILITIES MAPS.
  4. CONDITIONS WERE TAKEN FROM CITY OF RALEIGH GIS MAPS AND SHOULD BE VERIFIED BY SURVEYOR. PROPERTY OWNER APPLICABLE CITY OF RALEIGH DEVELOPMENT STANDARDS AND SPECIFICATIONS.
  5. ALL NEW DRIVEWAY LOCATIONS WILL BE DETERMINED AND PERMITTED AT SITE PLAN SUBMITTAL PER CITY OF RALEIGH STANDARDS.
  6. SOLID WASTE SERVICE WILL BE PROVIDED AT PUBLIC STREET BY INDIVIDUAL PROPERTY OWNER. CITY OF RALEIGH RESIDENTIAL SOLID WASTE CART PER 8. A STREY COLLECTION AND TRUCK TRAILER LIGHT OR WAY SHALL BE POSTED WITH THE CITY PRIOR TO RECOGNITION OF SUBMISSION.
  7. PER SECTION 9.1, THIS PROJECT IS DEEMED FROM CITY OF RALEIGH TREE CONSERVATION REQUIREMENTS.

**STORMWATER EXEMPTION:**

PER SET, 9.22.2016, SUBJECT TO 4.2 OF THE PART 10A RALEIGH STORMWATER LEGISLATION, THESE LOTS ARE EXEMPT FROM ACTIVE MEANS OF IMPERVIOUS SURFACE AREAS.

JOSEPH & MARILYN HODGINS  
 SINGLE FAMILY  
 PIN 1717.06-49-7285  
 ZONED R-6

RICHARD & PATRICIA  
 HILL  
 DB 15850, PG 1970  
 PIN 1717.07-59-0286  
 ZONED R-6

DEAN  
 SINGLE FAMILY  
 PIN 1717.07-59-1306  
 ZONED R-6

GILBERT & INGRID  
 SINGLE FAMILY  
 PIN 1717.06-49-6535  
 ZONED R-6

WILLIAM & PAULA HAMA  
 SINGLE FAMILY  
 PIN 1717.06-49-7556  
 ZONED R-6

**CHANCE & ASSOCIATES**  
 Land Planning Services  
 600 Benson Road Ste. 207, Garner, North Carolina 27529  
 Phone: 919-778-7245 Fax: 919-778-3889  
 Email: cstonley@bellsouth.net

SHEET: **3**  
 OF: **6**

TITLE:  
**PRELIMINARY SUBDIVISION PLAN**  
**NORTH RIDGE, BLOCK 37, LOT 45**  
 NEUSE RIVER TOWNSHIP - WAKE COUNTY - NORTH CAROLINA

DATE	REVISIONS	BY

DATE:	30 OCTOBER 2011
SCALE:	1" = 30'
DRAWN BY:	BC
CHECKED BY:	STONEY CHANCE
FILE NAME:	North Ridge Lot 45 Subdiv

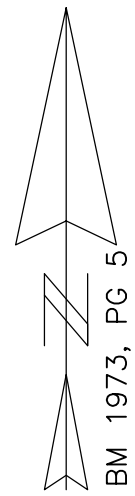
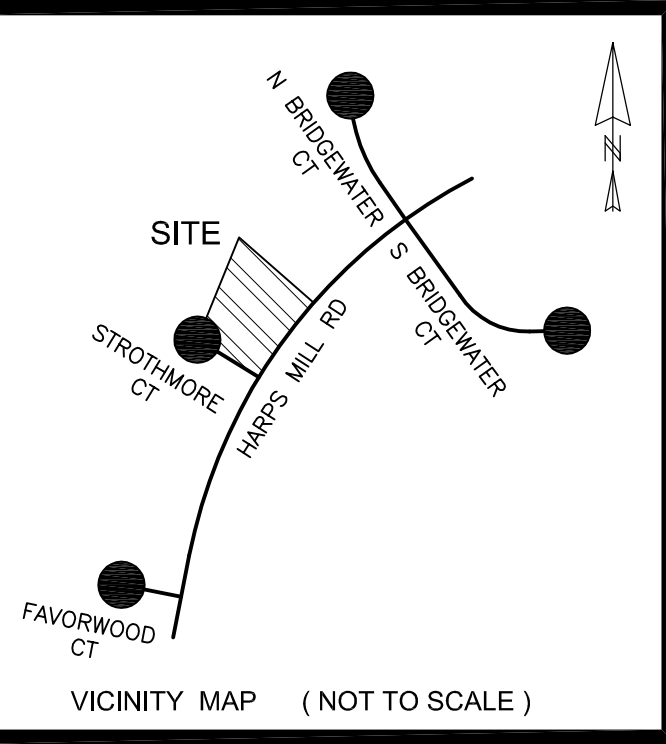
# NORTH RIDGE LOT 45 SUB.

PROJECT OWNER/DEVELOPER:

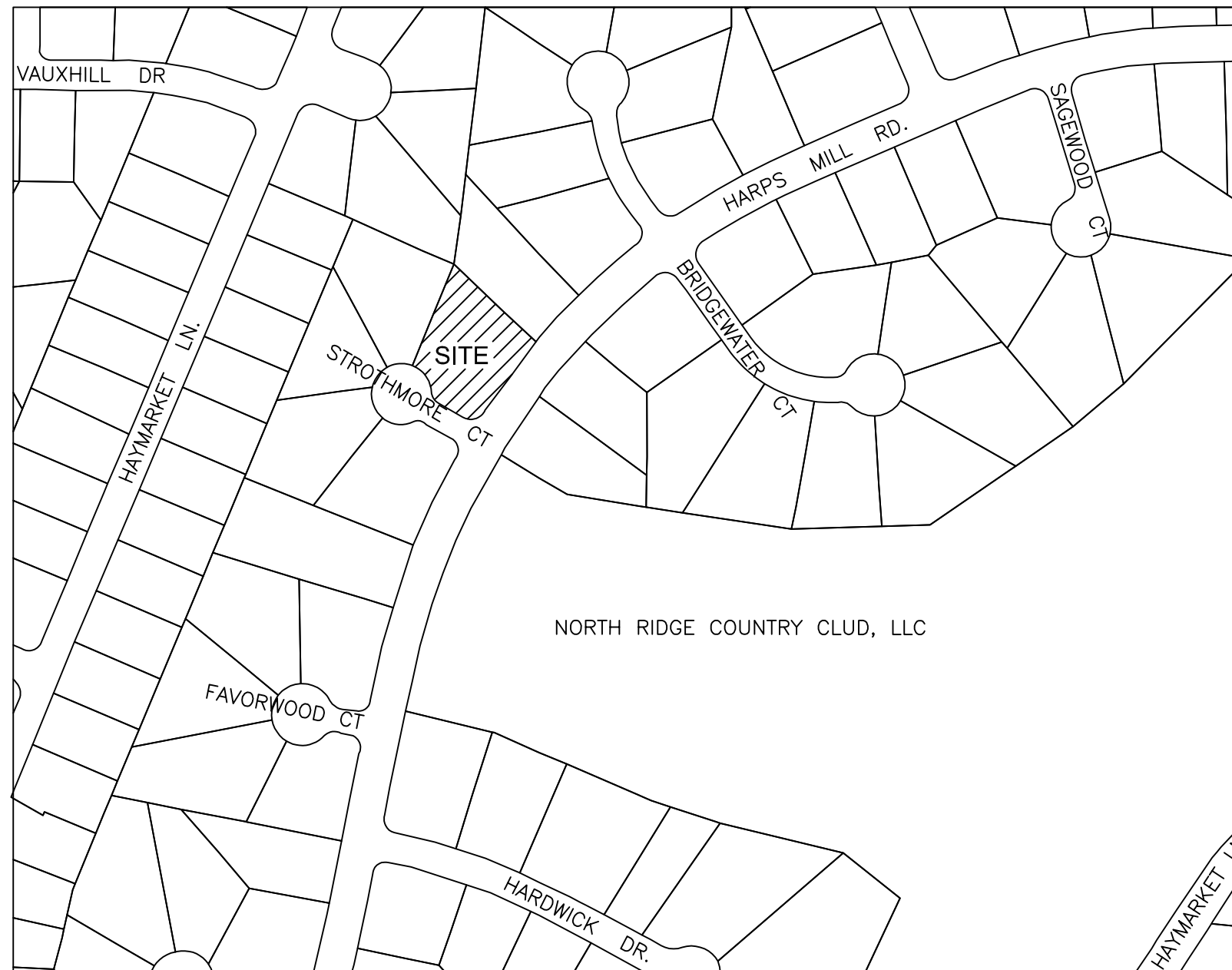
MARY HELEN HORN  
7016 NORTH RIDGE DRIVE  
RALEIGH, NC 27615

## PLANS SHEET INDEX

- SHEET 1 OF 6 - COVER SHEET
- SHEET 2 OF 6 - EXISTING CONDITIONS SHEET
- SHEET 3 OF 6 - PRELIMINARY SUBDIVISION PLAN
- SHEET 4 OF 6 - PRELIMINARY STREETScape PLAN
- SHEET 5 OF 6 - PRELIMINARY UTILITY PLAN
- SHEET 6 OF 6 - DETAILS SHEET



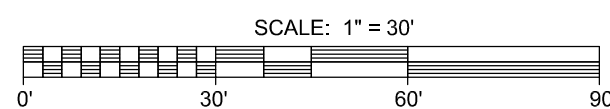
TOTAL SITE AREA: 0.615 AC.



- NOTES:
- BOUNDARY SURVEY AND ALL EXISTING ON-SITE AND OFF-SITE FEATURES PROVIDED BY CHANCE SURVEY COMPANY DATED 08/23/17.
  - STREETS, SANITARY & STORM SEWERS ARE EXISTING PER ABOVE SURVEY.
  - THE LOCATION OF EXISTING WATER MAINS ARE SHOWN PER CITY OF RALEIGH UTILITIES MAPS.
  - CONTOURS WERE TAKEN FROM CITY OF RALEIGH GIS MAPS AND SHOULD BE VERIFIED BY SURVEYOR.
  - ALL CONSTRUCTION SHALL COMPLY WITH APPLICABLE CITY OF RALEIGH DEVELOPMENT STANDARDS AND SPECIFICATIONS.
  - ALL NEW DRIVEWAY LOCATIONS WILL BE DETERMINED AND PERMITTED AT SITE PLAN SUBMITTAL PER CITY OF RALEIGH STANDARDS.
  - SOLID WASTE SERVICE WILL BE PROVIDED AT PUBLIC STREET BY INDIVIDUAL 96-GAL. STANDARD CITY OF RALEIGH RESIDENTIAL SOLID WASTE CART PER CITY OF RALEIGH WASTE DESIGN MANUAL.
  - A SURETY COVERING ALL WORK IN THE RIGHT OF WAY SHALL BE POSTED WITH THE CITY PRIOR TO RECORDATION OF SUBDIVISION.
  - EXISTING RESIDENCE WILL REMAIN ON NEW LOT 1.
  - PER SECTION 9.1, THIS PROJECT IS EXEMPT FROM CITY OF RALEIGH TREE CONSERVATION REQUIREMENTS.

**STORMWATER EXEMPTION:**

PER SEC. 9.2.2.A.2.b.i SUBJECT TO 4.a OF THE PART 10A RALEIGH UNIFIED DEVELOPMENT ORDINANCE, THESE LOTS ARE EXEMPT FROM ACTIVE STORM-WATER MEASURES AND SUBJECT TO FURTHER REVIEW UPON PLACEMENT OF IMPERVIOUS SURFACE AREAS.



**Preliminary Subdivision Plan Application**



Development Services Customer Service Center | Exchange Plaza, Suite 400 | Raleigh, NC 27601 | 919-996-2895 | ext 919-996-1831  
Litchford Satellite Office | 8320 - 130 Litchford Road | Raleigh, NC 27601 | 919-996-4200

When submitting plans, please check the appropriate review type and include the Plan Checklist document.

Office Use Only: Transaction #	Project Coordinator	Team Leader
<b>PRELIMINARY APPROVALS</b>		
<input type="checkbox"/> Subdivision *	<input checked="" type="checkbox"/> Conventional Subdivision	<input type="checkbox"/> Compact Development
		<input type="checkbox"/> Conservative Subdivision
*May require City Council approval if in a Metro Park Overlay or Historic Overlay District		
If your project has been through the Due Diligence process, provide the transaction #:		
<b>GENERAL INFORMATION</b>		
Development Name: North Ridge Lot 45 Preliminary Subdivision		
Proposed Use: Single Family Residential		
Property Address(es): 7913 Harps Mill Rd., Raleigh, NC 27615		
Wake County Property Identification Number(s) for each parcel to which these guidelines will apply:		
PIN Recorded Deed 1717489485	PIN Recorded Deed	PIN Recorded Deed
What is your project type?		
<input checked="" type="checkbox"/> Single family		
<input type="checkbox"/> Townhouse		
<input type="checkbox"/> Subdivision in a non-residential zoning district		
<input type="checkbox"/> Other (describe):		
<b>OWNER/DEVELOPER INFORMATION</b>		
Company Name: Mary Helen Horn		Owner/Developer Name: Same
Address: 7016 North Ridge Dr., Raleigh, NC 27615		
Phone: 919-418-4500	Email: helenhornmhh@gmail.com	
Fax:		
<b>CONSULTANT/CONTACT PERSON FOR PLANS</b>		
Company Name: Chance & Associates		Contact Name: Stoney Chance
Address: 500 Benson Rd., Ste. 207, Garner, NC 27529		
Phone: 919-779-7245	Email: cstoney@bellsouth.net	Fax: 919-779-3889

PAGE 1 OF 3

WWW.RALEIGHNC.GOV

REVISION 03.11.16

<b>DEVELOPMENT TYPE AND SITE DATE TABLE (Applicable to all developments)</b>		
<b>ZONING INFORMATION</b>		
Zoning District(s): R-6		
If more than one district, provide the acreage of each: N/A		
Overlay District? <input type="checkbox"/> Yes <input checked="" type="checkbox"/> No		
Inside City Limits? <input checked="" type="checkbox"/> Yes <input type="checkbox"/> No		
CUD (Conditional Use District) Case # Z: N/A		
COA (Certificate of Appropriateness) Case # N/A		
BOA (Board of Adjustment) Case # A: N/A		
<b>STORMWATER INFORMATION</b>		
Existing Impervious Surface: .0084/3,692 acres/sf	Flood Hazard Area: <input checked="" type="checkbox"/> Yes <input type="checkbox"/> No	
Proposed Impervious Surface: N/A acres/sf	Neuse River Buffer: <input type="checkbox"/> Yes <input checked="" type="checkbox"/> No	
	Wetlands: <input type="checkbox"/> Yes <input checked="" type="checkbox"/> No	
If in a Flood Hazard Area, provide the following:		
Alluvial Soils: X	Flood Study:	FEMA Map Panel #:
<b>NUMBER OF LOTS AND DENSITY</b>		
Total # of Townhouse Lots: Detached N/A	Attached N/A	
Total # of Single Family Lots: 2	Total # of All Lots: 2	
Overall Unit(s)/Acre Densities Per Zoning Districts: 2/.615 = 3.25 units/acre		
Total # of Open Space and/or Common Area Lots: N/A		
<b>SIGNATURE BLOCK (Applicable to all developments)</b>		
In filing this plan as the property owner(s), I/we do hereby agree and firmly bind ourselves, my/our heirs, executors, administrators, successors and assigns jointly and severally to construct all improvements and make all dedications as shown on this proposed subdivision plan as approved by the City.		
I hereby designate <b>Stoney Chance</b> to serve as my agent regarding this application, to receive and respond to administrative comments, to resubmit plans on my behalf, and to represent me in any public meeting regarding this application.		
I/we have read, acknowledge, and affirm that this project is conforming to all application requirements applicable with the proposed development use.		
Signature: <i>Mary Helen Horn</i>	Date: 11/09/2017	
Signature: _____	Date: _____	

PAGE 2 OF 3

WWW.RALEIGHNC.GOV

REVISION 03.11.16

DATE:	20 OCTOBER 2017
SCALE:	1" = 30'
DRAWN BY:	SC
CHECKED BY:	STONEY CHANCE
FILE NAME:	North Ridge Lot 45 Cover.dwg

REVISIONS PER C.O.R. COMMENTS	REVISIONS PER C.O.R. COMMENTS	REVISIONS	DATE
01-22-18			
12-21-17			

COVER SHEET  
**NORTH RIDGE, BLOCK 37, LOT 45**  
NEUSE RIVER TOWNSHIP - WAKE COUNTY - NORTH CAROLINA

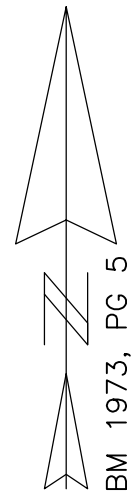
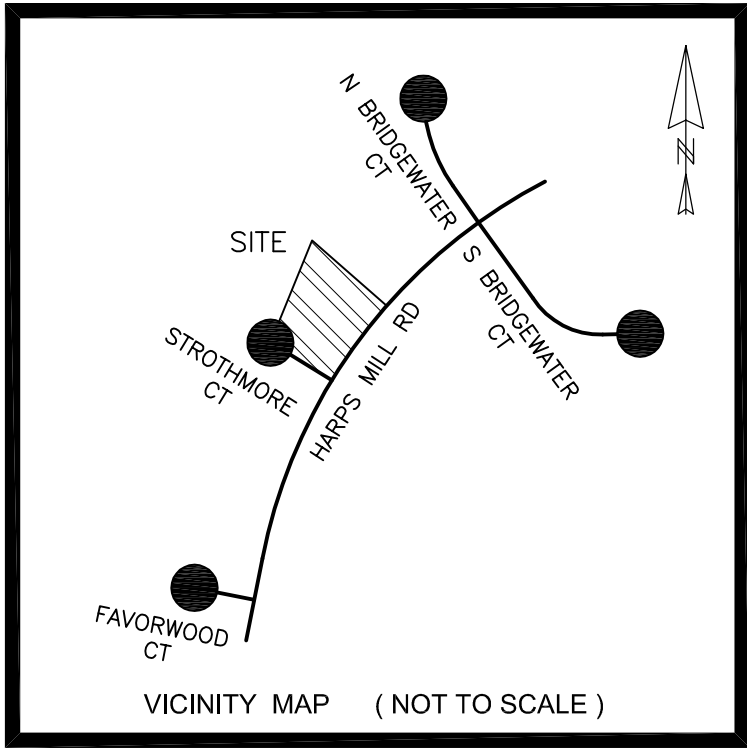
SHEET: **1** OF: **6**

**CHANCE & ASSOCIATES**  
Land Planning Services  
500 Benson Road Ste. 207, Garner, North Carolina 27529  
Phone: 919-779-7245  
Email: cstoney@bellsouth.net  
Fax: 919-779-3889

FILE: S-86-17  
TRANS#: 537874

NOT RELEASED FOR CONSTRUCTION





REFERENCES:  
 1. DB 16241, PG 1596  
 2. BM 1973, PG 5  
 3. PIN 1717.06-49-8485

LEGEND:  
 IPF = IRON PIPE FOUND  
 IPS = IRON PIPE SET  
 CP = COMPUTED POINT  
 N/F = NOW OR FORMERLY  
 R/W = RIGHT OF WAY  
 CB = CATCH BASIN  
 RCP = REINFORCED CONC. PIPE  
 SSMH = SANITARY SEWER MANHOLE  
 -SS- = SANITARY SEWER LINE  
 SH = SHED

CURVE	ARC LEN	RADIUS	CH LENGTH	CH BEARING
C1	140.63'	1182.59'	140.55'	S 41°36'53" W
C2	38.60'	25.00'	34.88'	S 82°26'14" W
C3	23.18'	25.00'	22.36'	N 26°46'06" W
C4	54.66'	50.00'	51.98'	N 31°31'09" W

LINE	BEARING	DISTANCE
L1	N 53°20'00" W	44.50'

TOTAL SITE AREA: 0.615 AC.

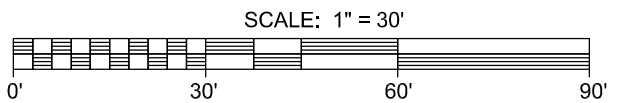
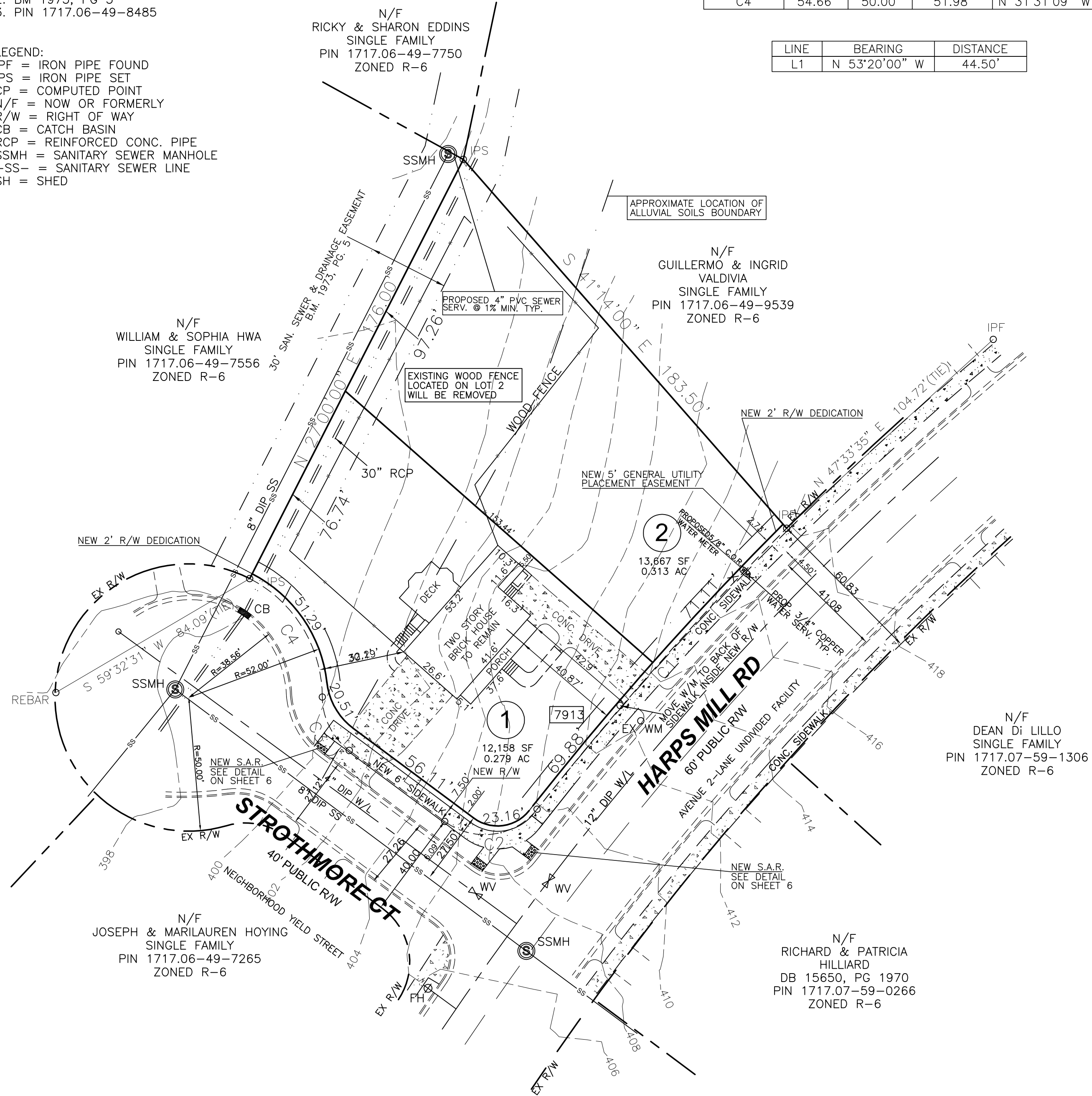
NOTE:  
 THERE IS NO SANITARY SEWER IN HARPS MILL ROAD.

NOTE:  
 EXISTING SEWER SERVICE LOCATION WAS NOT FOUND. IT WILL BE LOCATED PRIOR TO RECORDING PLAT. IF IT IS LOCATED OUTSIDE NEW LOT 1, IT WILL BE RE-LOCATED ENTIRELY ON NEW LOT 1.

NOTE:  
 EXISTING WATER & SEWER SERVICES WILL BE USED TO PROVIDE WATER & SANITARY SEWER SERVICES TO LOT 1. EXISTING LOT 1 WATER METER WILL BE RELOCATED BETWEEN R/W & SIDEWALK AS SHOWN ON PLAN.

FIRE PROTECTION NOTES:  
 1. FIRE HYDRANTS SHALL BE NO MORE THAN 400' FROM A BUILDING OR HOUSE ALONG AN APPROVED APPARATUS ACCESS ROAD, AS MEASURED BY AN APPROVED ROUTE AROUND THE BUILDING OR HOUSE. (ENFORCED AT TIME OF BLDG. PLAN SUBMITTAL) PER THE 2012 NCFPC, SECTION 507.3.1.  
 2. ALL PORTIONS OF THE EXTERIOR WALLS OF THE FIRST FLOOR SHALL BE LOCATED WITHIN 150 FEET OF THE APPARATUS ROAD SURFACE.  
 3. FIRE FLOW ANALYSIS MUST BE PROVEN AT TIME OF BUILDING PERMITS PER THE 2012 NCFPC, SECTION 507.3.

UTILITY NOTES:  
 1. NEW WATER & SEWER SERVICES SHALL BE INSTALLED BY OPEN CUT PER CITY OF RALEIGH STANDARDS.  
 2. PRIVATE WATER & SEWER MAINS OR SERVICES CANNOT CROSS PROPERTY LINES, SEC. 8-2007.  
 3. EXISTING UTILITY SERVICES (UNUSED) SHALL BE ABANDONED AT TAP (MAIN) & REMOVED FROM R.O.W. OR EASEMENT-PU HANDBOOK PG. 67 & PG. 125.



DATE:	20 OCTOBER 2017
SCALE:	1" = 30'
DRAWN BY:	SC
CHECKED BY:	STONEY CHANCE
FILE NAME:	North Ridge Lot 45 Utility.dwg

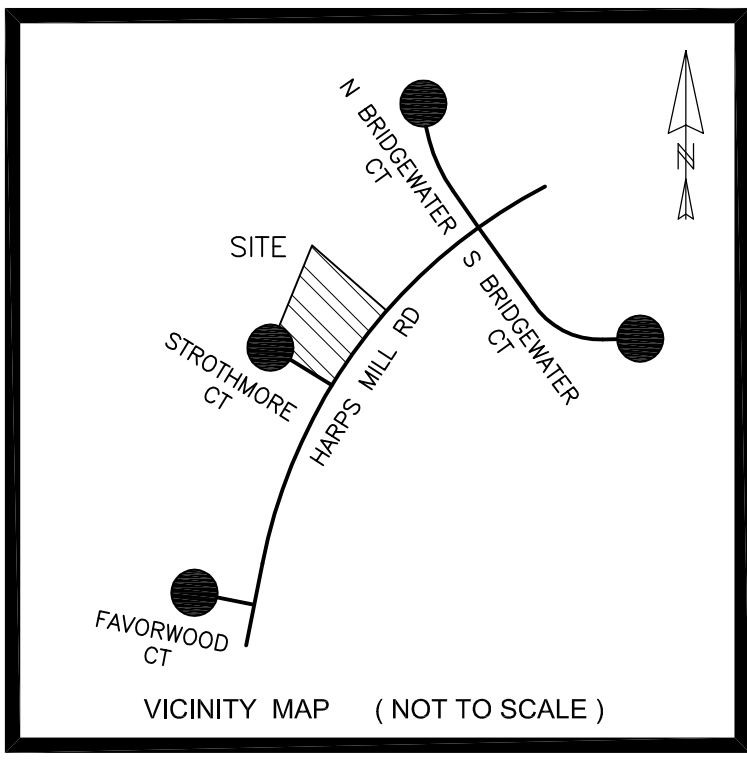
TITLE:  
**PRELIMINARY UTILITY PLAN**  
**NORTH RIDGE, BLOCK 37, LOT 45**  
 NEUSE RIVER TOWNSHIP - WAKE COUNTY - NORTH CAROLINA

SHEET:  
**5**  
 OF:  
**6**

**CHANCE & ASSOCIATES**  
 Land Planning Services  
 500 Benson Road Ste. 207, Garner, North Carolina 27529  
 Phone: 919-779-7245  
 Email: cstoney@bellsouth.net  
 Fax: 919-779-3889

NOT RELEASED FOR CONSTRUCTION





- REFERENCES:
1. DB 16241, PG 1596
  2. BM 1973, PG 5
  3. PIN 1717.06-49-8485

- LEGEND:
- IPF = IRON PIPE FOUND
  - IPS = IRON PIPE SET
  - CP = COMPUTED POINT
  - N/F = NOW OR FORMERLY
  - R/W = RIGHT OF WAY
  - CB = CATCH BASIN
  - RCP = REINFORCED CONC. PIPE
  - SSMH = SANITARY SEWER MANHOLE
  - SS- = SANITARY SEWER LINE
  - SH = SHED

CURVE	ARC LEN	RADIUS	CH LENGTH	CH BEARING
C1	140.63'	1182.59'	140.55'	S 41°36'53" W
C2	38.60'	25.00'	34.88'	S 82°26'14" W
C3	23.18'	25.00'	22.36'	N 26°46'06" W
C4	54.66'	50.00'	51.98'	N 31°31'09" W

LINE	BEARING	DISTANCE
L1	N 53°20'00" W	44.50'

TOTAL SITE AREA: 0.615 AC.

NEW TREES PLANT LEGEND:

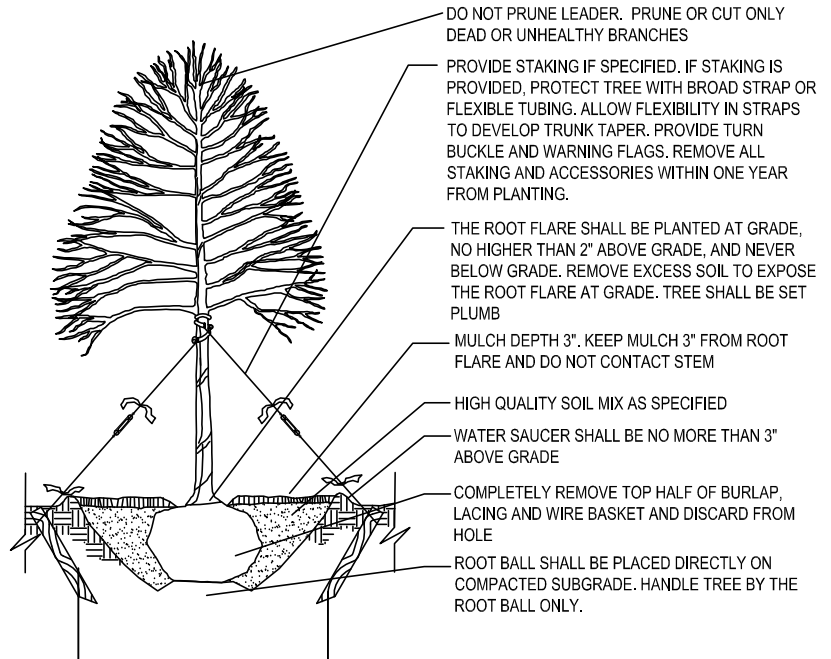
QUANTITY	COMMON NAME	BOTANICAL NAME	SIZE
4	TRIDENT MAPLE	Acer buergerianum	3" - CAL. - B & B
2	WILLOW OAK	Quercus phellos	3" - CAL. - B & B

- NOTES:
1. ALL STREET TREE INSTALLATION AND MAINTENANCE WILL COMPLY WITH CITY OF RALEIGH STREET TREE DESIGN MANUAL.
  2. TREES SHALL BE PLANTED ALONG STROTHMORE CT. AN AVERAGE OF 40' OFF CENTER AND ALONG HARPS MILL RD. AN AVERAGE OF 25' OFF CENTER AS NOTED IN STREETScape YARDS CHART.
  3. A TREE IMPACT PERMIT IS REQUIRED FROM C.O.R. PRIOR TO INSTALLATION OF STREET TREES.
  4. STREET TREE SPACING MAY BE ADJUSTED TO ACCOMMODATE NEW DRIVEWAYS & UTILITY SERVICES.

- PLANTING STANDARDS:
1. ALL PLANT MATERIAL AND INSTALLATION WORK SHALL CONFORM TO THE STANDARDS DETAILED IN THE FOLLOWING DOCUMENTS:
    - a. AMERICAN NATIONAL STANDARDS FOR TREE CARE OPERATIONS, ANSI A300, AMERICAN NATIONAL STANDARDS INSTITUTE, 11 WEST 42nd STREET, NEW YORK, N.Y. 10036
    - b. AMERICAN NATIONAL STANDARD FOR NURSERY STOCK, ANSI Z60.1, AMERICAN NURSERY AND LANDSCAPE ASSOCIATION, 1250 EYE STREET, NW, SUITE 500, WASHINGTON, DC 20005
    - c. HORTUS THIRTD, THE STAFF OF THE L.H.BAILEY HORTORIUM, 1976, MacMILLAN PUBLISHING CO., NEW YORK

STREETSCAPE YARDS:

HARPS MILL ROAD STREET FRONTAGE: 152.57'
TREES REQ'D: 152.57'/40'=3.81 TREES
TREES PROV'D: 4
STROTHMORE COURT STREET FRONTAGE: 67.69'
TREES REQ'D: 67.69'/40'=1.69 TREES
TREES PROV'D: 2



- NOTES:
1. CONTRACTOR IS RESPONSIBLE FOR ADEQUATE DRAINAGE OF ALL PLANTING PITS. (POSITIVE DRAINAGE AWAY FROM PIT)
  2. ADHERE TO STANDARDS IN THE CITY TREE MANUAL.
  3. STREET TREES MUST BE 3" CALIPER AT INSTALLATION WITH A 5' MINIMUM FIRST BRANCH HEIGHT.
  4. PLANTING SEASON OCTOBER - APRIL.
  5. A TREE IMPACT PERMIT IS REQUIRED.
  6. ELECTRICAL OUTLETS AND OTHER UTILITIES ARE PROHIBITED IN THE PLANTING AREA IMMEDIATELY SURROUNDING THE TREE.

CONTACT INFORMATION:  
CITY OF RALEIGH PARKS, RECREATION AND CULTURAL RESOURCES DEPARTMENT URBAN FORESTER;  
TREES@RALEIGHNC.GOV  
WWW.RALEIGHNC.GOV

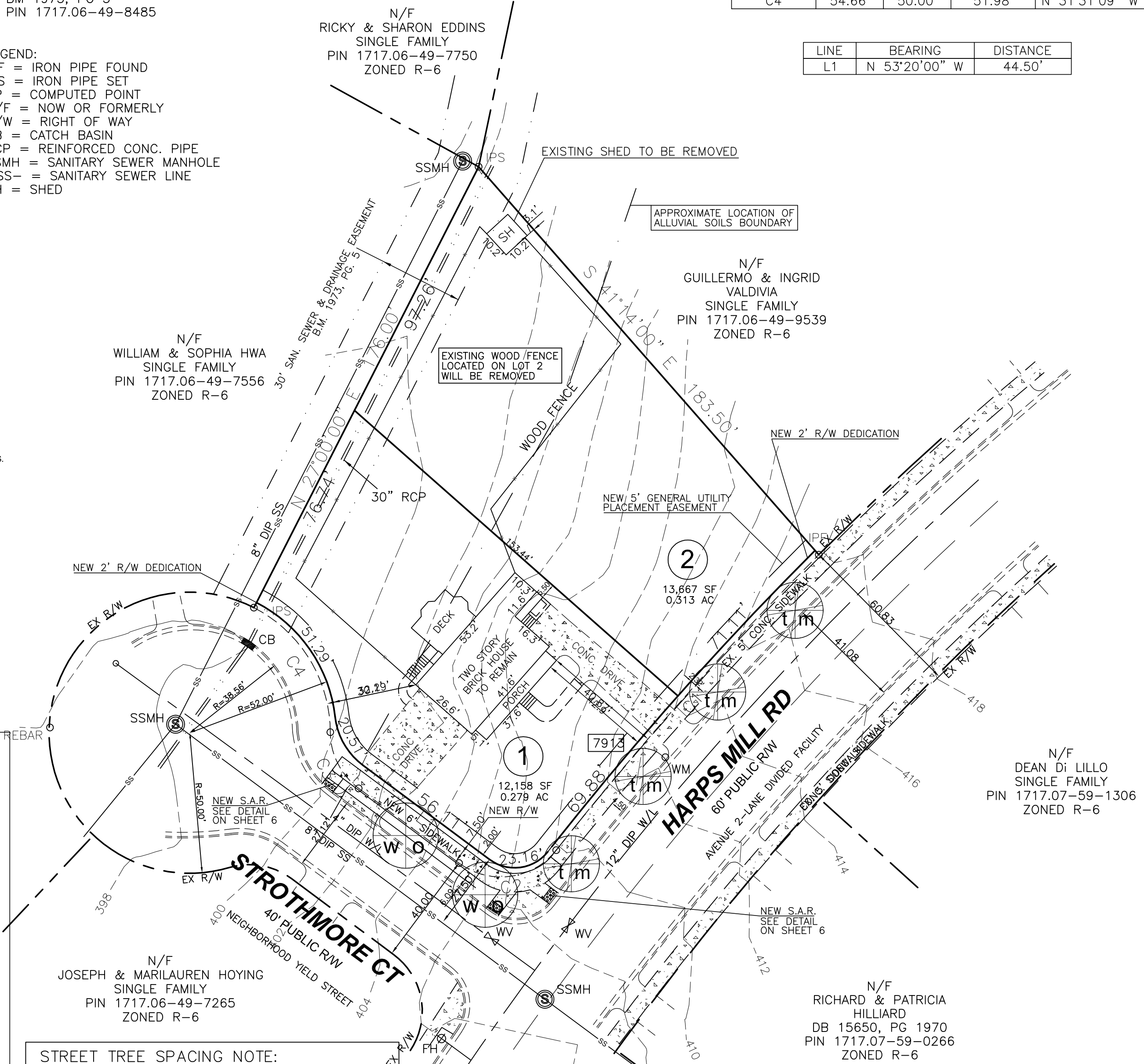
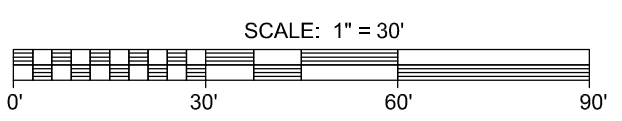
CITY OF RALEIGH  
PARKS, RECREATION AND CULTURAL RESOURCES DEPT

REVISIONS	DATE	BY

TREE PLANTING DETAIL

PRCR-03

STREET TREE SPACING NOTE:  
NEW STREET PLANTINGS SHALL COMPLY WITH CITY OF RALEIGH STREET TREE GUIDELINES FOR PROXIMITY FROM CENTER OF TREE TO INFRASTRUCTURE, PAGE 16, CITY TREE ORDINANCE WHICH SHALL BE ADDRESSED DURING BUILDING PERMIT REQUEST.



DATE: 20 OCTOBER 2017

SCALE: 1" = 30'

DRAWN BY: SC

CHECKED BY: STONEY/CHANGE

FILE NAME: North Ridge Lot 45 Streetscape.dwg

NO.	REVISIONS	DATE	BY

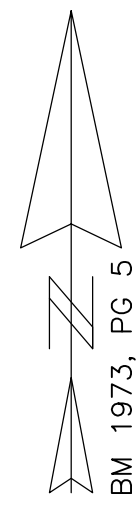
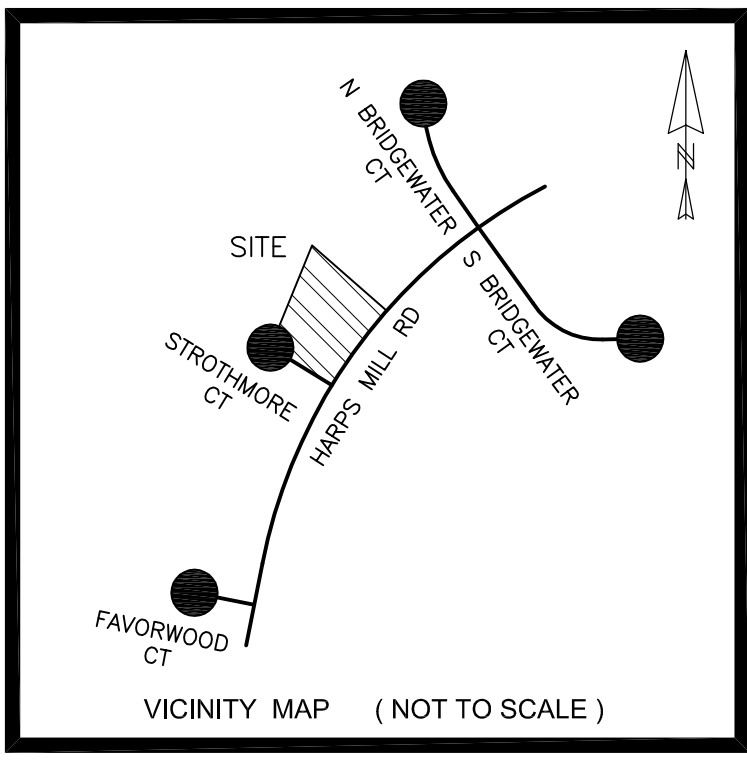
TITLE: PRELIMINARY STREETSCAPE PLAN  
NORTH RIDGE, BLOCK 37, LOT 45  
NEUSE RIVER TOWNSHIP - WAKE COUNTY - NORTH CAROLINA

SHEET: 4 OF 6

CHANCE & ASSOCIATES  
Land Planning Services

500 Benson Road Ste. 207, Garner, North Carolina 27529  
Phone: 919-779-7245  
Email: cstoney@bellsouth.net  
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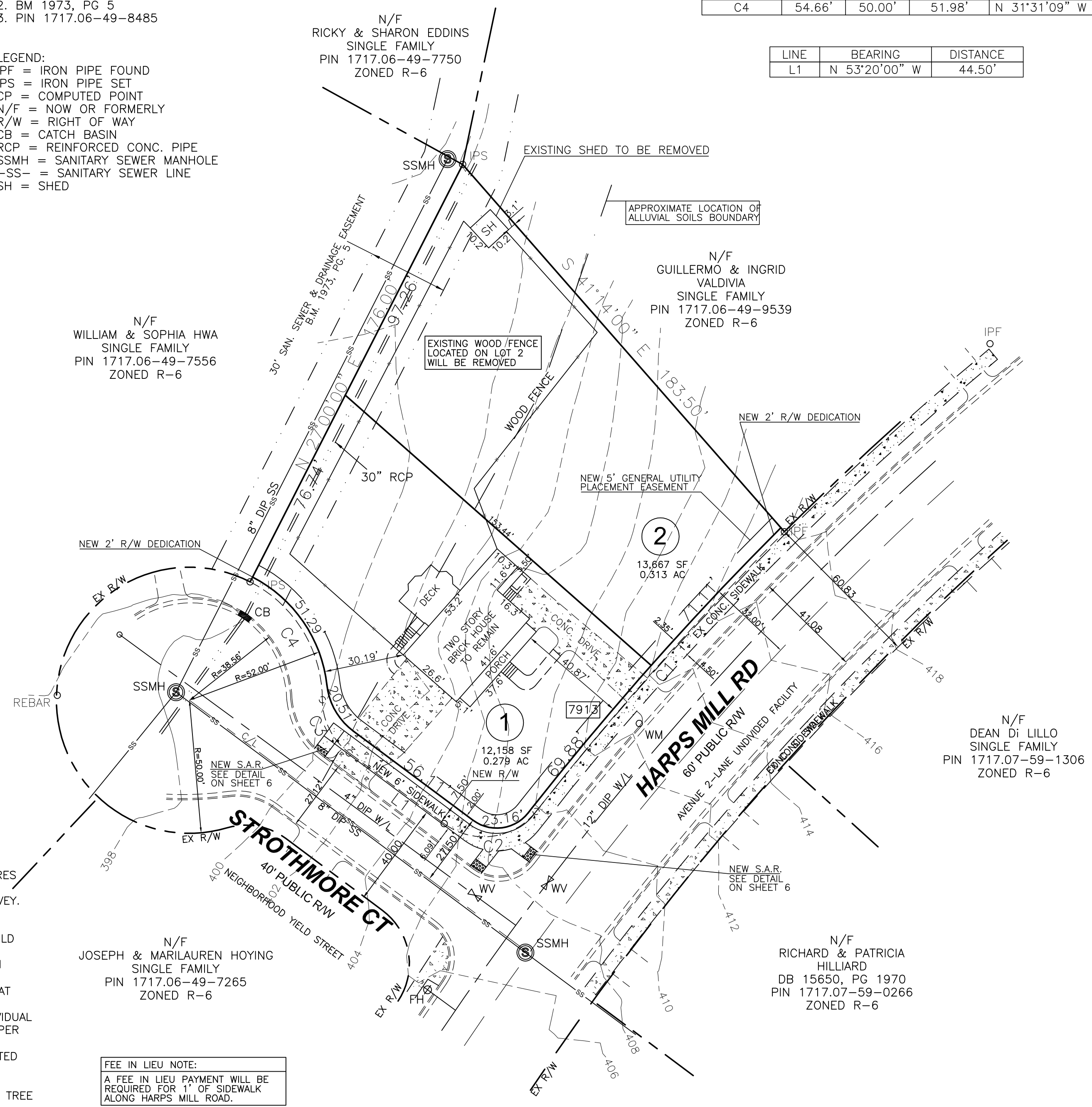
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LINE	BEARING	DISTANCE
L1	N 53°20'00" W	44.50'

TOTAL SITE AREA: 0.615 AC.  
 DENSITY CALS: 2/.615=3.25 UNITS PER AC.

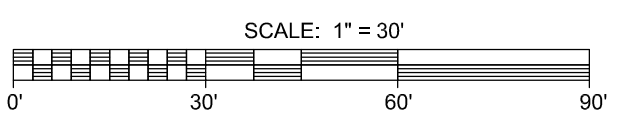
BLOCK PERIMETER:  
 EXISTING R-6 BLOCK PERIMETER: 7,996'  
 AVERAGE LOT SIZE IN BLOCK: 18,208 SF  
 BLOCK PERIMETER ALLOWED: 5,000'  
 SEE ATTACHED DESIGN ADJUSTMENT APPLICATION



- NOTES:
1. BOUNDARY SURVEY AND ALL EXISTING ON-SITE AND OFF-SITE FEATURES PROVIDED BY CHANCE SURVEY COMPANY DATED 08/23/17.
  2. STREETS, SANITARY & STORM SEWERS ARE EXISTING PER ABOVE SURVEY.
  3. THE LOCATION OF EXISTING WATER MAINS ARE SHOWN PER CITY OF RALEIGH UTILITIES MAPS.
  4. CONTOURS WERE TAKEN FROM CITY OF RALEIGH GIS MAPS AND SHOULD BE VERIFIED BY SURVEYOR.
  5. ALL CONSTRUCTION SHALL COMPLY WITH APPLICABLE CITY OF RALEIGH DEVELOPMENT STANDARDS AND SPECIFICATIONS.
  6. ALL NEW DRIVEWAY LOCATIONS WILL BE DETERMINED AND PERMITTED AT SITE PLAN SUBMITTAL PER CITY OF RALEIGH STANDARDS.
  7. SOLID WASTE SERVICE WILL BE PROVIDED AT PUBLIC STREET BY INDIVIDUAL 96-GAL. STANDARD CITY OF RALEIGH RESIDENTIAL SOLID WASTE CART PER CITY OF RALEIGH WASTE DESIGN MANUAL.
  8. A SURITY COVERING ALL WORK IN THE RIGHT OF WAY SHALL BE POSTED WITH THE CITY PRIOR TO RECORDATION OF SUBDIVISION.
  9. EXISTING RESIDENCE WILL REMAIN ON NEW LOT 1.
  10. PER SECTION 9.1, THIS PROJECT IS EXEMPT FROM CITY OF RALEIGH TREE CONSERVATION REQUIREMENTS.

STORMWATER EXEMPTION:  
 PER SEC. 9.2.2.A.A.2.b.i SUBJECT TO 4.c. OF THE PART 10A RALEIGH UNIFIED DEVELOPMENT ORDINANCE, THESE LOTS ARE EXEMPT FROM ACTIVE STORMWATER MEASURES AND SUBJECT TO FURTHER REVIEW UPON PLACEMENT OF IMPERVIOUS SURFACE AREAS.

FEE IN LIEU NOTE:  
 A FEE IN LIEU PAYMENT WILL BE REQUIRED FOR 1" OF SIDEWALK ALONG HARPS MILL ROAD.



DATE:	20 OCTOBER 2017
SCALE:	1" = 30'
DRAWN BY:	SC
CHECKED BY:	STONEY/CHANGE
FILE NAME:	North Ridge Lot 45 Sub.dwg

TITLE: PRELIMINARY SUBDIVISION PLAN  
**NORTH RIDGE, BLOCK 37, LOT 45**  
 NEUSE RIVER TOWNSHIP - WAKE COUNTY - NORTH CAROLINA

SHEET: **3** OF: **6**

CHANCE & ASSOCIATES  
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