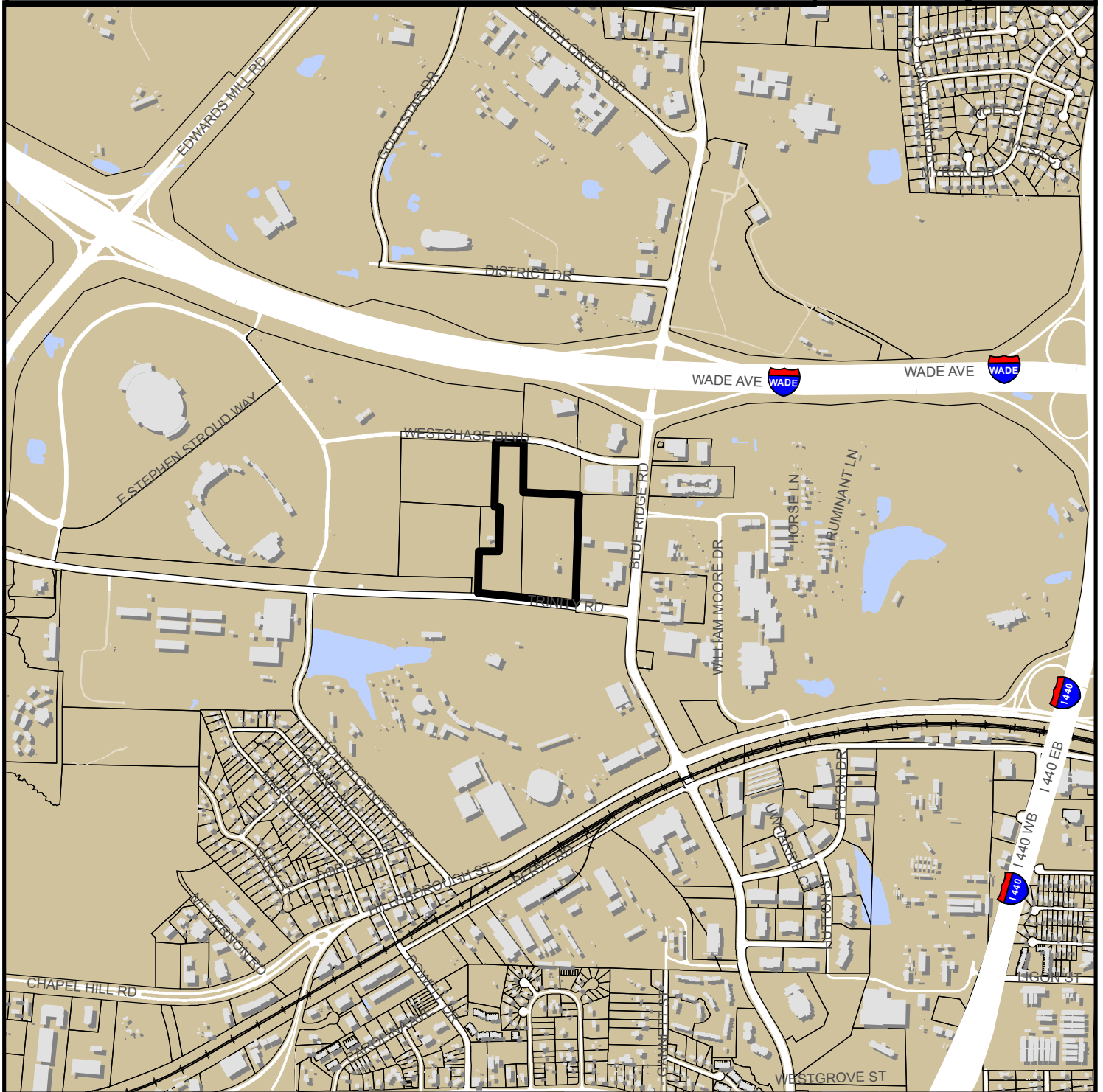
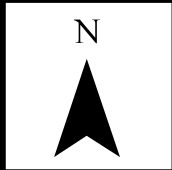
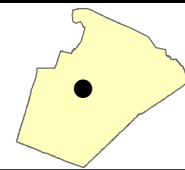


STATION AT RALEIGH SUBDIVISION S-79-2017



0 300 600 1,200 1,800 2,400 3,000 3,600 Feet

Zoning: **CX-12-CU SHOD-1**

CAC: **West**

Drainage Basin: **Richland Creek**

Acreage: **18.41**

Number of Lots: **5**

Planner: **Daniel Stegall**

Phone: **(919) 996-2712**

Applicant: **The Station at Raleigh**





Administrative Approval Action

Station At Raleigh: S-79-17, AA# 3705
Transaction# 535877

City of Raleigh
Development Services Department
One Exchange Plaza
Raleigh, NC 27602
(919) 996-2495
DS.help@raleighnc.gov
www.raleighnc.gov

LOCATION: This site is located north of Trinity Road and south of Westchase Boulevard. The addresses and PIN numbers are 4110 Trinity Road/PIN 0784569220 and 4200 Trinity Road/ PIN 0784565495.

REQUEST: Recombination and subdivision of an 8.4 acre tract and a 10 acre tract zoned Commercial Mixed Use (CX-12-CU) to create 5 lots. The tracts are located in a SHOD-1 overlay district with zoning conditions under Z-24-2009. Please note the preliminary submittal is part of a bundle process which includes a concurrent review.

DESIGN ADJUSTMENT(S)/ ALTERNATES, ETC: None.

FINDINGS: City Administration finds that this request, with the below conditions of approval being met, conforms to the Unified Development Ordinance. This approval is based on a preliminary plan submitted by Chris Bostic of Kimley-Horn & Associates, Inc.

CONDITIONS OF APPROVAL and NEXT STEPS:

Note: *This document must be applied to the second sheet of all future submittals with the exception of final plats.*

PRIOR TO THE ISSUANCE OF ANY SITE PERMITS OR APPROVAL OF CONCURRENT REVIEW PROCESS, WHICHEVER IS APPLICABLE:

ENGINEERING

1. Required NCDOT encroachment and/or driveway permits must be approved and copies provided to Development Services – Development Engineering prior to concurrent review approval.
2. An encroachment agreement for storm pipe that directly drains from stormwater control measures without a means to access at the ROW, storm pipes in the ROW diverted to stormwater control measures and storm pipes less than the minimum allowable diameter within the public right-of-way shall be approved by City Council and the City Council approved encroachment agreement shall be filed with the Development Services Department. The encroachment agreement shall also be recorded with the Wake County Register of Deeds prior to concurrent review approval.
3. Next Step: A right-of-way obstruction permit must be obtained from Right-of-way Services prior to the commencement of any construction activities within the right-of-way.

STORMWATER

4. A 100-year floodplain analysis shall be submitted and approved by the Engineering Services Department. Floodplain limits shall be shown on all plans submitted, and Flood storage easements delineated for increases in accordance with the approved floodplain analysis.
5. The State of North Carolina and Army Corps of Engineers shall approve any proposed disturbance within the stream and/or riparian buffer prior to the issuance of a site permit.



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6. All stormwater devices and culverts must be shown within required Private Drainage Easements as appropriate.
7. A payment for Nitrogen Offset Fees must be paid to a qualifying mitigation bank.
8. A Stormwater Design Exception for the retaining walls within Private Drainage Easements must be approved by the Engineering Services Director prior to site permit approval.
9. The stormwater control plan with a stormwater operations and maintenance manual and budget shall be approved by the Stormwater Engineer in compliance with Part 10A Chapter 9 of the Unified Development Ordinance.
10. In accordance with Part 10A Section 9.4.4 of the Unified Development Ordinance, a surety equal to of the cost of clearing, grubbing and reseeding a site, shall be paid to the City.

URBAN FORESTRY

11. Obtain required stub and tree impact permits from the City of Raleigh.
12. Next Step: Prior to the issuance of a mass grading permit or other site permit, whichever comes first, submit a final tree conservation plan with a permit approved by Urban Forestry staff that includes metes and bounds descriptions of all tree conservation areas and tree protection fencing as required.
13. Next Step: Tree protection fence must be located in the field and inspected by Urban Forestry staff prior to the issuance of a mass grading permit or other site permit, whichever comes first.

PRIOR TO AUTHORIZATION TO RECORD LOTS:

GENERAL

1. The City form document entitled Declaration of City of Raleigh Required City Code Provisions for Developments with Common Elements and Common Expenses shall be approved by the City and recorded with the county register of deeds office where the property is located and a copy of the recorded document shall be provided to the City by the end of the next business day following the recordation of the final plat; further recordings and building permit authorization will be withheld if the recorded document is not provided to the City.
2. Street names for this development shall be approved by the Raleigh GIS Division and by Wake County.
3. Demolition permits for the existing structures be issued and this building permit number be shown on all maps for recording
4. Next Step: Concurrent Review Plans for public infrastructure and site grading shall be approved by the City of Raleigh, including obtaining stub permits, tree impact permit and a street lighting plan, if applicable.

ENGINEERING

5. The required right of way for proposed and/or existing streets shall be dedicated to the City of Raleigh and shown on the map approved for recordation.



Administrative Approval Action

Station At Raleigh: S-79-17, AA# 3705
Transaction# 535877

City of Raleigh
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6. A 5' general utility easement and associated deed of easement shall be approved by the City and the location of the easement shall be shown on the map approved for recordation. The deed of easement shall be recorded at Wake County Register of Deeds within one (1) day of recordation of the recorded plat. A recorded copy of these documents must be provided to the Development Services Department within 14 days from authorization of lot recordation. If a recorded copy of the documents are not provided within this 14 day period, further recordings and building permit issuance may be withheld.
7. In accordance with Part 10A Section 8.1.10, a fee-in-lieu for the portions of sidewalk not being constructed is paid to the City of Raleigh. The sidewalk network is largely being constructed with the exception of approximately 330 linear feet of sidewalk at the western side of Thornberry St.
8. A cross access agreement among the proposed lot 3 and the adjacent properties identified by PIN 0784563392 and PIN 0784469137 owned by Board of Trustees of The Endowment Fund of NC and NCSU Student Aid Assoc. Inc., respectively, shall be approved by the Development Services Department for recording in the Wake County Registry, and a copy of the recorded cross access easement shall be returned to the Development Services Department within 1 day of lot recordation. A recorded copy of these documents shall be provided to the Development Services Department within 14 days from authorization of lot recording. If a recorded copy of the documents are not provided within this 14 day period, further recordings and building permit issuance may be withheld.
9. A sidewalk deed of easement for any public sidewalk on private property shall be approved by City staff, and the location of the easement shall be shown on the map approved for recordation. The deed of easement shall be recorded at Wake County Register of Deeds within one day of recordation of the recorded plat. A recorded copy of these documents shall be provided to the Development Services Department within 14 days from authorization of lot recordation. If a recorded copy of the documents are not provided within this 14 day period, further recordings and building permit issuance may be withheld.
10. Next Step: In accordance with Part 10A Section 8.1.3, a public infrastructure surety is provided to the City of Raleigh Development Services – Development Engineering program.

STORMWATER

11. A payment equal to twenty-four percent (24%) of the estimated cost of constructing all stormwater control facilities shown on the development plans shall be paid by the developer to the City stormwater facility replacement fund.
12. The flood prone areas and/or required Flood Storage Easements, as approved by the City Stormwater Engineer and shown on the preliminary plan, shall be shown on the recorded map.
13. The City form document entitled Declaration of Maintenance Covenant and Grant of Protection Easement for Stormwater Control Facilities shall be approved by the City and recorded with the county register of deeds office.
14. All stormwater control measures and means of transporting stormwater runoff to and from any nitrogen and stormwater runoff control measures shall be shown on all plats for recording as



**Administrative
Approval Action**
Station At Raleigh: S-79-17, AA# 3705
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private drainage easements. Plat shall include note stating: "All private storm drainage easements & stormwater measures will be maintained by the property owners' association."

15. The riparian buffers, in accordance with the preliminary plan and the State of North Carolina regulations, shall be shown on plats for recording along with a note stating: "The areas shown on the recorded plat identified as Neuse River Riparian Buffer shall be maintained in their natural or mitigated condition, No person or entity shall fill, grade, excavate, or perform any other land-disturbing activities; nor cut, remove, or harm any vegetation; nor construct any structures nor add any additional impervious surface, nor allow animal grazing or water or any other agricultural use on such protected areas without written authorization from the state of North Carolina in accordance with the Riparian Buffer Protection Rules (15A NCAC 2B.0233 or .0259)."
16. In accordance with Part 10A Section 9.2.2, a surety equal to 125% of the cost of the construction of a stormwater device shall be paid to the Engineering Services Department
17. The maximum allowed impervious surface allocated to each lot shall be identified on all maps for recording.
18. That an encroachment agreement for any stormwater drainage systems that carry private drainage located within the public right-of-way is approved by the City Council by separate action.

URBAN FORESTRY

19. A tree conservation map in compliance with Chapter 9 of the Unified Development Ordinance shall be recorded with metes and bound showing the designated Tree Conservation Areas.

EXPIRATION DATES: If significant construction has not taken place on a project after preliminary subdivision approval, that approval may "sunset" and be declared void, requiring re-approval before permits may be issued. To avoid allowing this preliminary approval to "sunset", the following must take place by the following dates:

3-Year Sunset Date: 2-14-2021
Record at least ½ of the land area approved.

5-Year Sunset Date: 2-14-2023
Record entire subdivision.

I hereby certify this administrative decision.

Signed:(Planning Dir./Designee) *Clayton Bilyeu* Date: 2/14/2018

Staff Coordinator: Daniel L. Stegall

CONCURRENT SUBDIVISION CONSTRUCTION PLANS SUBMITTAL FOR STATION AT RALEIGH

S-79-17

TRANS.#535877

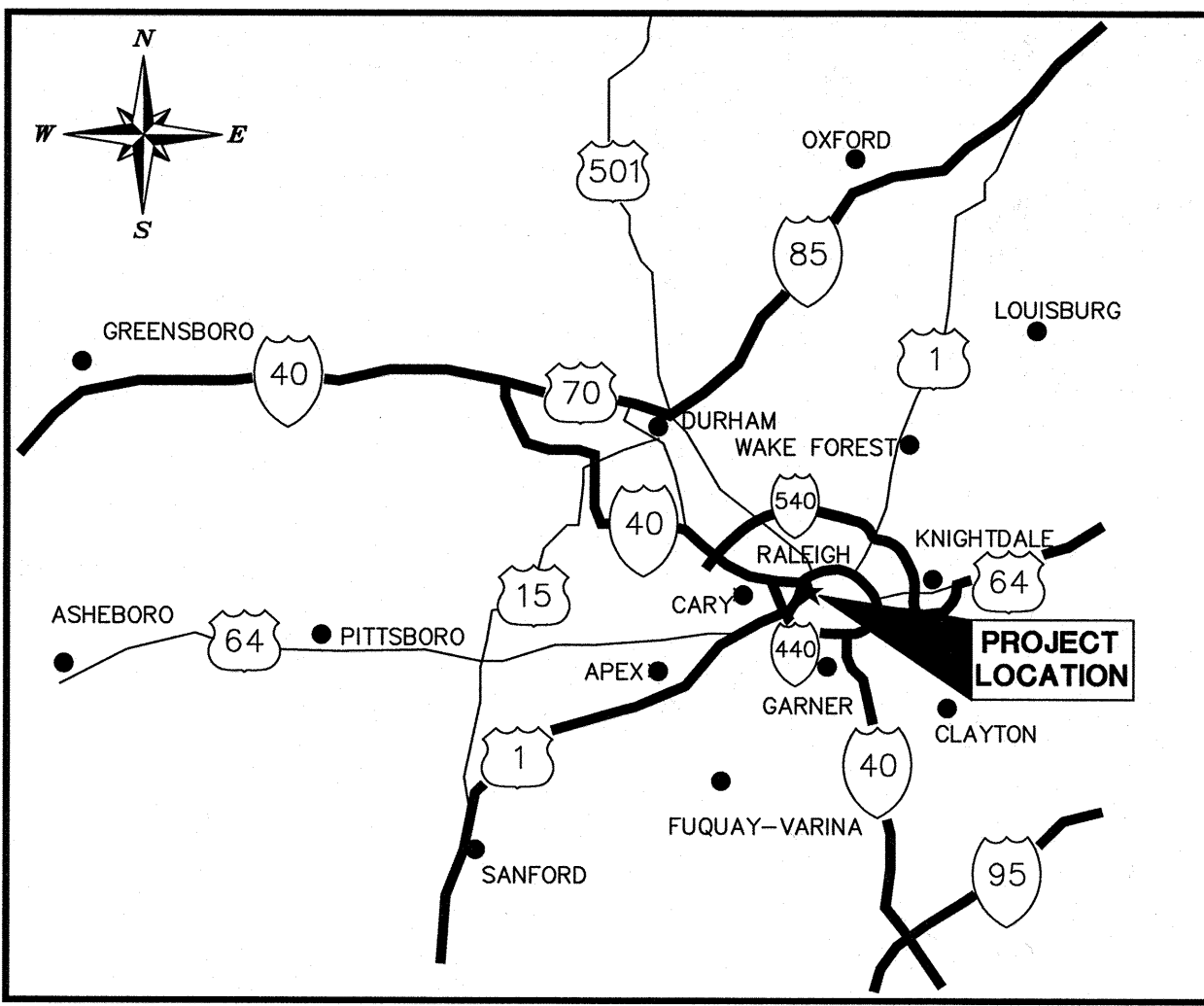
SKETCH TRANS.#498091

4200 TRINITY ROAD

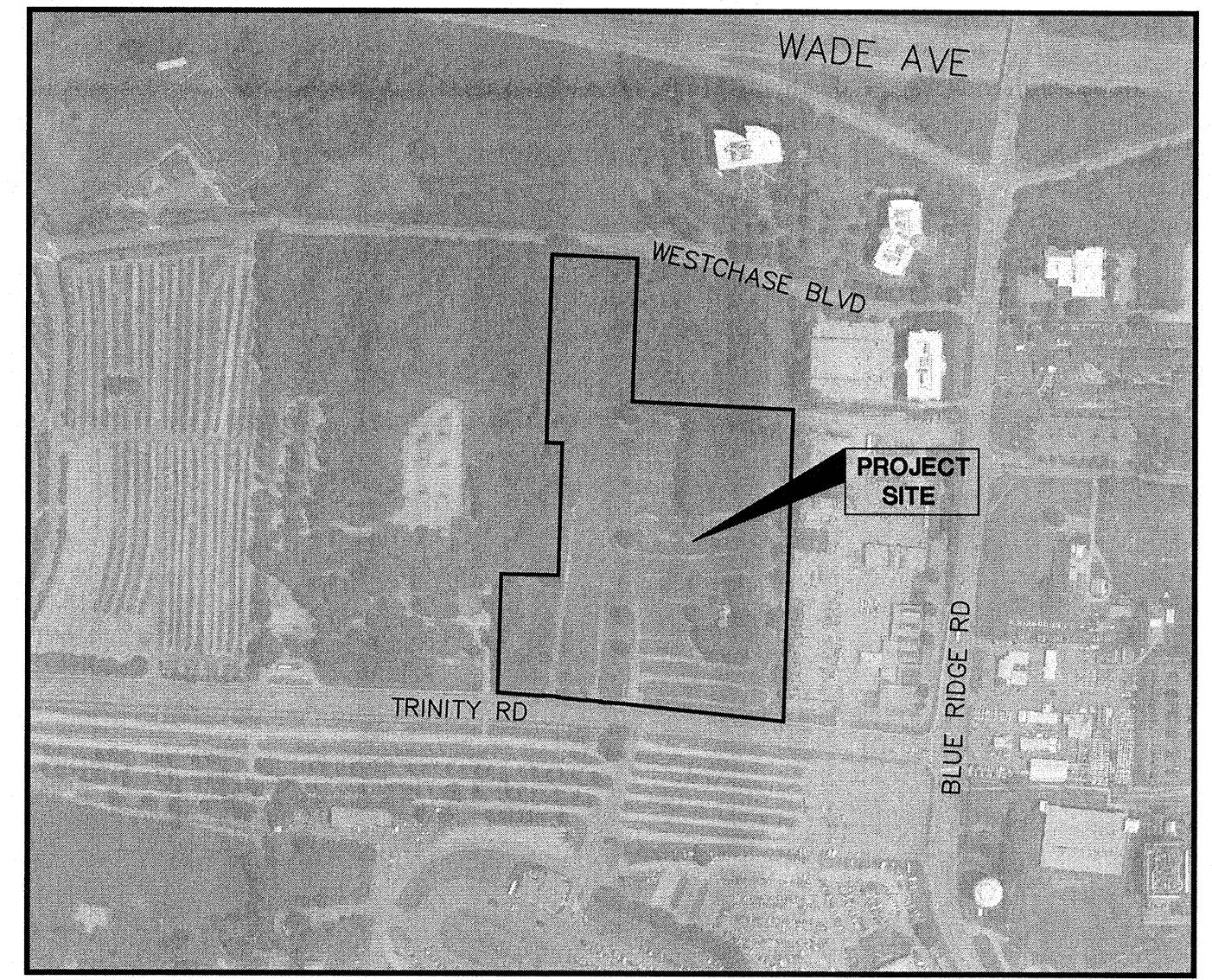
RALEIGH, NORTH CAROLINA 27607

A DEVELOPMENT BY: THE STATION AT RALEIGH, LLC.

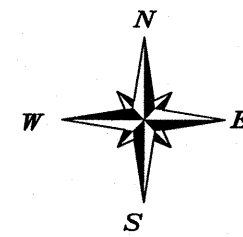
315 OCONEE STREET
ATHENS, GEORGIA 30601



PROJECT LOCATION
NTS



VICINITY MAP



SCALE: 1" = 500'

Right-of-Way Obstruction Notes:

- Lane and Sidewalk closures or detours: Prior to any lane or sidewalk obstruction, the contractor or engineer shall submit a traffic control and/or pedestrian plan along with a Right-of-Way Services Application to request the obstruction prior to the start of work.
- rightofwayservices@raleighnc.gov for approval.
- The City of Raleigh requires an approved Right-of-Way Obstruction Permit for work on any public street or sidewalk and NCDOT road within Raleigh's Jurisdiction.
- All Traffic Control Signage and practices shall adhere to the Manual on Uniform Traffic Control, and the latest edition of the NCDOT "Standard Specification for Roadway Structures", NCDOT "Roadway Standard Drawing Manual", and the NCDOT supplement to the MUTCD.
- All public sidewalks must be accessible to pedestrians who are visually impaired and/or people with mobility concerns. Existing and alternative pedestrian routes during construction shall be required to be compliant with the Public Rights of Way Accessibility Guidelines (PROWAG), the ADA Standards for Accessible Design and the Manual on Uniform Traffic Control Devices (MUTCD).
- Prior to the start of work, the Client shall schedule a Pre-Construction meeting with the Engineering Inspections Coordinator to review the specific components of the approved plan, and ensure all permits are issued.
- All permits must be available and visible on site during the operation.

Conditions Dated: 05/22/09

- ALL BUILDINGS SHALL BE A MAXIMUM HEIGHT OF 140 FEET.
- THE FOLLOWING USES SHALL BE PROHIBITED:
 - CEMETERY
 - FUNERAL HOME
 - EMERGENCY SHELTER TYPE B
 - SINGLE FAMILY DETACHED DWELLING
 - CORRECTIONAL/PENAL FACILITY OF ALL TYPES
 - SITE PLAN APPROVAL SHALL BE BY CITY COUNCIL.
 - THE SITE SHALL CONTROL THE RATE OF STORMWATER RUNOFF TO THE PREDEVELOPED LEVELS FOR THE 2, 10, 25, 50, AND 100 YEARS STORM EVENTS.
 - THERE SHALL BE NO MORE THAN 2 ACCESS POINTS ONTO TRINITY RD. AND ONE ONTO WESTCHASE RD.
 - DEVELOPMENT SHALL MEET ALL SHOD-1 REQUIREMENTS EXCEPT FOR THE HEIGHT LIMIT.
 - ALL HOTEL ROOMS SHALL HAVE INTERIOR ACCESS ONLY.
 - REIMBURSEMENT FOR ALL RIGHT OF WAY DEDICATION SHALL BE AT THE EXISTING RATE OF 0& 1-1.
 - ALL PARKING DECKS SHALL HAVE THE SAME ARCHITECTURAL CHARACTER AND MATERIALS AS THAT OF THE BUILDING IT SERVES.
 - THE OWNERS SHALL APPLY FOR A FOUR STAR OR FOUR DIAMOND QUALITY RATING FOR ANY HOTEL USE WITHIN 90 DAYS OF RECEIVING A CERTIFICATE OF OCCUPANCY.
 - RESIDENTIAL DENSITY SHALL NOT EXCEED THAT ALLOWED IN O& 1-1.
 - SHOD-1 LANDSCAPING AND YARD SETBACKS SHALL APPLY TO TRINITY ROAD ONLY.

| Public | Public |
|--|--|
| Sewer Collection / Extension System The City of Raleigh consents to the connection and extension of the City's public sewer system as shown on this plan. The material and construction methods used for this project shall conform to the standards and specifications of the City's Public Utilities Handbook. | Water Collection / Extension System The City of Raleigh consents to the connection and extension of the City's public water system as shown on this plan. The material and construction methods used for this project shall conform to the standards and specifications of the City's Public Utilities Handbook. |
| City of Raleigh Public Utilities Department Permit # _____ Authorization to Construct _____ Date _____ | City of Raleigh Public Utilities Department Permit # _____ Authorization to Construct _____ Date _____ |

ATTENTION CONTRACTORS

The Construction Contractor responsible for the extension of water, sewer, and/or reuse, as approved in these plans, is responsible for contacting the Public Works Department at (919) 996-2409, and the Public Utilities Department at (919) 996-4540 at least **twenty four hours** prior to beginning any of their construction.

Failure to notify both City Departments in advance of beginning construction, will result in the issuance of monetary fines, and require reinstallation of any water or sewer facilities not inspected as a result of this notification failure.

Failure to call for inspection, install a Downstream Plug, have Permitted Plans on the Jobsite, or any other Violation of City of Raleigh Standards will result in a Fine and Possible Exclusion from future work in the City of Raleigh.

| Sheet Number | Sheet Title |
|---------------|--|
| C0.0 | COVER SHEET |
| C0.1 | CONDITIONS OF APPROVAL |
| C0.2 | GENERAL NOTES |
| C1.0 | EXISTING CONDITIONS & DEMOLITION PLAN |
| C2.0 | SUBDIVISION PLAN |
| C2.1 | OGLETHORPE AVENUE PROFILE |
| C2.1A | OGLETHORPE AVENUE PROFILE |
| C2.2 | CLOVERHURST DRIVE PROFILE |
| C2.3 | THORNBERRY STREET PROFILE |
| C3.0 | GRADING & DRAINAGE PLAN |
| C4.0 | UTILITY PLAN |
| C4.1 | OFFSITE SEWER INDEX AND ABBREVIATIONS |
| C4.2 | OFFSITE SEWER GENERAL NOTES |
| C4.3 | OFFSITE SEWER OVERALL PROJECT |
| C4.4 | PLAN AND PROFILE STA 10+00 TO 14+50 |
| C4.5 | PLAN AND PROFILE STA 14+50 TO 19+25 |
| C5.0 | EROSION CONTROL PLAN - PHASE 1 |
| C5.1 | EROSION CONTROL PLAN - PHASE 2 |
| C5.2 | EROSION CONTROL PLAN - PHASE 3 |
| C5.3 | NPDES PLAN FOR PHASE 3 |
| C6.0 | SITE DETAILS |
| C7.0 | STORM DRAINAGE DETAILS |
| C7.1 | STORM DRAINAGE DETAILS |
| C8.0 | UTILITY DETAILS |
| C8.1 | UTILITY DETAILS |
| C8.2 | UTILITY DETAILS |
| C9.0 | EROSION CONTROL DETAILS |
| C9.1 | EROSION CONTROL DETAILS |
| C10.0 | WET POND DETAILS |
| C10.1 | DRY POND DETAILS |
| C11.0 | MUTCD STANDARD TRAFFIC CONTROL DETAILS |
| L1.0 | OVERALL LANDSCAPE PLAN |
| TC1.0 | TREE CONSERVATION PLAN |
| RW1.0 - RW6.5 | RETAINING WALL PLANS AND DETAILS |

SURVEY NOTE:

EXISTING INFORMATION TAKEN FROM AN ALTA/ACSM LAND TITLE SURVEY PROVIDED BY MCKIM & CREED, 1730 VARSITY DRIVE, SUITE 500, RALEIGH, NC 27606, PHONE: 919-233-8091 AND DATED JANUARY 23, 2017.

ALL CONSTRUCTION TO BE IN ACCORDANCE WITH ALL CITY OF RALEIGH AND/OR NCDOT STANDARDS AND SPECIFICATIONS.

MINIMUM CORNER CLEARANCE FROM CURB LINE OF INTERSECTING STREETS SHALL BE AT LEAST (20) FEET FROM THE POINT OF TANGENCY.

PROJECT OWNER AND CONSULTANT

SITE DEVELOPER: THE STATION AT RALEIGH, LLC
315 OCONEE STREET
ATHENS, GA 30601
ATTN: MARK JENSEN
MARK.JENSEN@LANDMARKPROPERTIES.COM

CIVIL ENGINEER: KIMLEY-HORN AND ASSOCIATES, INC.
421 FAYETTEVILLE ST., SUITE 600
RALEIGH, NORTH CAROLINA 27601
PHONE: (919) 653-2927
ATTN: CHRIS BOSTIC, P.E.
chris.bostic@kimley-horn.com

LANDSCAPE ARCHITECT: KIMLEY-HORN AND ASSOCIATES, INC.
421 FAYETTEVILLE ST., SUITE 600
RALEIGH, NORTH CAROLINA 27601
PHONE: (919) 653-2927
ATTN: RICHARD BROWN, PLA
richard.brown@kimley-horn.com

SURVEYOR: MCKIM & CREED,
1730 VARSITY DRIVE, SUITE 500
RALEIGH, NC 27606
PHONE: (919) 233-8091
ATTN: ROBIN L LEE

Project Data Sheet

Development Services Customer Service Center | Exchange Plaza, Suite 600 | Raleigh, NC 27601 | 919-996-2405
Litchford Satellite Office | 8320 - 130 Litchford Road | Raleigh, NC 27610 | 919-996-4200

GENERAL INFORMATION

Development Name: The Station at Raleigh | Proposed Use: Multi-Family Residential

Property Address(es): 4110 and 4200 Trinity Road, Raleigh, NC 27607

Wake County Property Identification Number(s) (PIN) for each parcel to which these guidelines will apply:

PIN # 0784-56-5495 | PIN # 0784-56-9220

What is the project type? Apartment Bank Elderly Facility Hospital Hotel/Motel Industrial Building Mixed Residential Non-Residential Condo Office Religious Institution Residential Condo Retail School Shopping Center Single Family Residential Telecommunication Tower Townhouse Other

Scope of Work: Project includes construction of multi-family residential apartments and associated facilities and infrastructure. Project also includes construction of new public street with two culverts and associated infrastructure.

FOR APARTMENTS, CONDOS, AND TOWNHOMES ONLY

- Total number of townhouse lots: 0 | Number attached: | Number detached: |
- Total number of apartment or condominium units: 174
- Total number of Congregate Care or Life Care Dwelling units: 0
- Overall total number of dwelling units (from 1-3 above): 174
- Number of bedroom units: 1BR 0 | 2BR 0 | 3BR 4 | 4BR or more 170
- Overall unit(s) per acre densities per zoning district(s): 0

DEVELOPMENT TYPE AND SITE DATA TABLE (applicable to all developments)

| Zoning Information | Building Information |
|---|---|
| Zoning District(s): CC-12-CU | Proposed use of building(s): |
| Overlay District(s): NA | Proposed Sq. Ft. of building(s) gross: |
| Total site acreage: 18.70 | Total Sq. Ft. gross (existing and proposed): |
| Off street parking: Required Provided | Proposed height of building(s): |
| COA (Certificate of Appropriateness) case # N/A | FAR (Floor area ratio) %: |
| BOA (Board of Adjustment) case # A-NA | Building lot coverage %: |
| CUD (Conditional Use District) case # Z-24-09 | Inside City Limits? <input type="checkbox"/> Yes <input checked="" type="checkbox"/> No |

STORMWATER INFORMATION

Existing impervious surface: 0.73 Acres square feet

Proposed impervious surface: 10.31 Acres square feet

Neuse River buffer: Yes No Wetlands: Yes No

Flood Hazard Area: Yes No if yes, Alluvial Soils: Flood Study: FEMA Map Panel #: _____

Total disturbed area: 17.50 Acres square feet

Permit Application

For more Project and Process Information, see the DEVELOPMENT SERVICES CLUB, to get started Development Services Customer Service Center | Exchange Plaza, Suite 600 | Raleigh, NC 27601 | 919-996-2405
Litchford Satellite Office | 8320 - 130 Litchford Road | Raleigh, NC 27610 | 919-996-4200

GENERAL INFORMATION

NC Existing Building Code 2014 NC Building Code 2012 NC Rehab Code 2012 TRANSACTION NUMBER _____

Applicant: The Station at Raleigh, LLC | Office USE ONLY | GROUP NUMBER _____ | TECHNICIAN _____ | Date _____

Project Address: 4200 Trinity Road, Raleigh, NC 27607 | Suite Number _____

Subdivision/Tenant/Shopping Center | Lot Number _____

Property Owner: The Station at Raleigh, LLC | Phone 706-543-1810

Email mark.jensen@landmarkproperties.com

Project Contact Person: Chris Bostic, P.E. | Phone 919-653-2927

Email chris.bostic@kimley-horn.com

PROJECT INFORMATION

Review Types: Express Review Permit Express Residential Review Commercial Review

Choose a Work Type below: Click on text for process description, Gatekeeping required for Commercial New, Change of Use, and Addition

New Construction Multi-Family Fire/Life/Interior Comp. Demolition Water/Sewer Service

Change of Use Accessory Structure Alteration/Remodel Mechanical Signage Tree Conservation

Other Manufactured Home Stand Alone Other

Provide a detailed Project Description: Infrastructure associated with a proposed multi-family apartment complex

Additional Project Information (complete all that apply):

Site Information: Zoning District: CC-12-CU | Overlay District: NA | Building Information: Ex. Building (s.f.): Heated _____ Unheated _____

Existing Use: Parking Lot | Prop. Building (s.f.): Heated _____ Unheated _____

Prop. Use: Multi-Family Residential | Total Building Size: Heated _____ Unheated _____

Will Impervious Surface change? YES NO Ex. Height (feet): _____

Ex. Impervious (s.f.): 61,739 | Prop. Height (feet): _____

Proposed change in Impervious (s.f.): 10,000.00 | Ex. Height (feet): _____

Proposed total Impervious (s.f.): 71,739 | Number of Stories: _____

LIEN AGENT INFORMATION

North Carolina law requires appointment of a lien agent. Contractors and subcontractors can give notice when they are working on the project. Lien Agent appointments are not required for the following:

- Improvements under \$30,000, or
- to the owner's existing residence, or
- for public building projects.

See www.lienagent.com for more information.

FACILITY FEE INFORMATION

Facility Fees may be due for projects that involve:

- New Construction
- Change of Use
- Additions
- See Development Fee Schedule for more information

PLANS HOLDING POLICY

I acknowledge that it is the responsibility of the applicant to pick up their plans after each review cycle. If plans are not picked up 180 days from the last review cycle they will be considered abandoned and will be destroyed.

Signature of Property Owner/Agent: _____

PUBLIC IMPROVEMENTS

| PHASE NUMBER | N/A |
|---------------------------|------|
| NUMBER OF LOTS | 5 |
| LOT NUMBERS BY PHASE | N/A |
| NUMBER OF UNITS | |
| LIVABLE BUILDINGS | 0 |
| OPEN SPACE? | NO |
| NUMBER OF OPEN SPACE LOTS | 0 |
| PUBLIC WATER (LF) | 3644 |
| PUBLIC SEWER (LF) | 2976 |
| PUBLIC STREET (LF) | 2972 |
| PUBLIC SIDEWALK (LF) | 5081 |
| STREET SIGNS | 3 |
| WATER SERVICE STUBS | 3 |
| SEWER SERVICE STUBS | 2 |

CONCURRENT REVIEW APPROVAL

CITY OF RALEIGH - PLANS AUTHORIZED FOR CONSTRUCTION

PLANS FOR THE PROPOSED USE HAVE BEEN REVIEWED FOR GENERAL COMPLIANCE WITH APPLICABLE CODES. THIS LIMITED REVIEW AND AUTHORIZATION FOR CONSTRUCTION IS NOT TO BE CONSIDERED TO REPRESENT TOTAL COMPLIANCE WITH ALL LEGAL REQUIREMENTS FOR DEVELOPMENT AND CONSTRUCTION. THE PROPERTY OWNER, DESIGN CONSULTANTS AND CONTRACTORS ARE EACH RESPONSIBLE FOR COMPLIANCE WITH ALL APPLICABLE CITY, STATE AND FEDERAL LAWS. THIS SPECIFIC AUTHORIZATION BELOW IS NOT A PERMIT NOR SHALL IT BE CONSIDERED TO PERMIT ANY VIOLATION OF CITY, STATE OR FEDERAL LAW. ALL CONSTRUCTION MUST BE IN ACCORDANCE WITH ALL LOCAL, STATE, AND FEDERAL RULES AND REGULATIONS.

TRANSPORTATION FIELD SERVICES _____

PUBLIC UTILITIES _____

STORMWATER _____

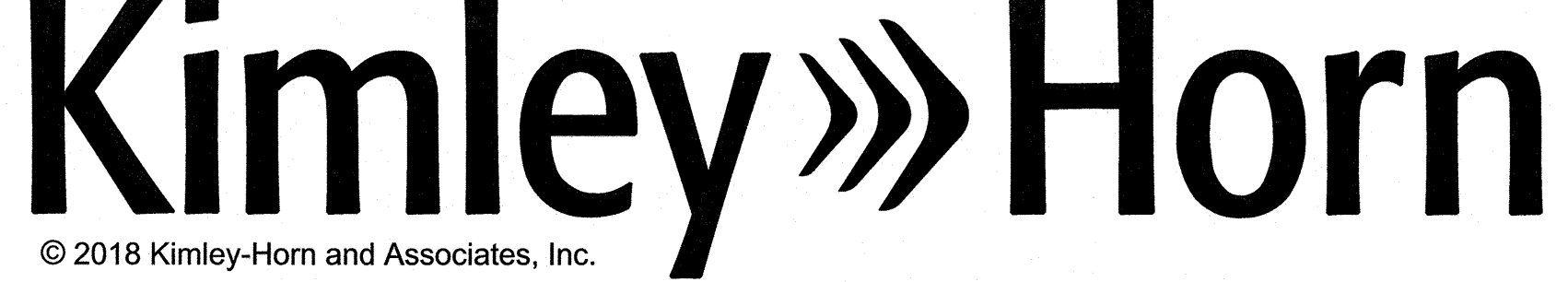
PLANNING/ZONING _____

FIRE _____

URBAN FORESTRY _____

SITE ACCESSIBILITY _____

PREPARED IN THE OFFICE OF:



© 2018 Kimley-Horn and Associates, Inc.
421 FAYETTEVILLE STREET - SUITE 600 - RALEIGH, NORTH CAROLINA 27601
PHONE: (919) 677-2000

NC CERTIFICATE OF AUTHORIZATION: F-0102

This document, together with the concepts and designs presented herein, as an instrument of services, is intended only for the specific purpose and client for which it was prepared. Reuse of and improper reliance on this document without written authorization and adaptation by Kimley-Horn and Associates, Inc. shall be without liability to Kimley-Horn and Associates, Inc.

Copyright Kimley-Horn and Associates, Inc., 2018

DATE: FEBRUARY 16, 2018

JOB NUMBER: 011170002

Kimley-Horn

© 2018 KIMLEY-HORN AND ASSOCIATES, INC.
421 FAYETTEVILLE STREET, SUITE 600, RALEIGH, NC 27601
PHONE: 919-635-1494
WWW.KIMLEY-HORN.COM

KHA PROJECT 011170002
DATE 02/16/2018
SCALE AS SHOWN
DESIGNED BY WWH
DRAWN BY WWH
CHECKED BY CCB

COVER SHEET

STATION AT RALEIGH
PREPARED FOR
STATION AT RALEIGH, LLC
RALEIGH NORTH CAROLINA

SHEET NUMBER C0.0

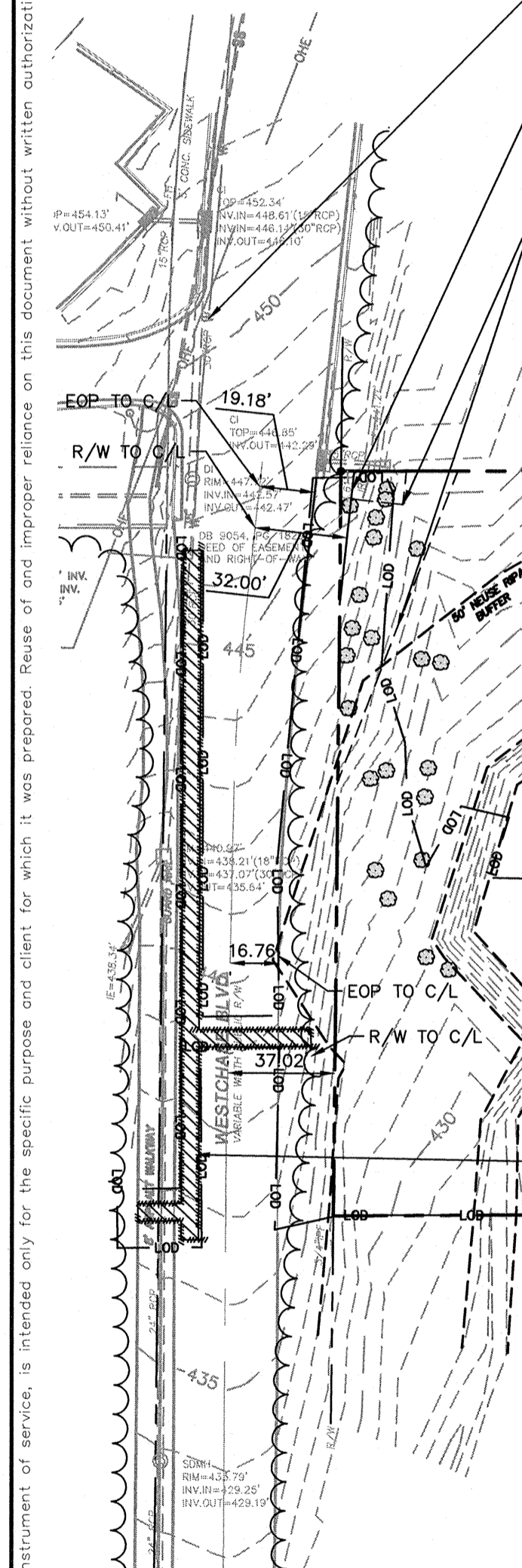
Plotted By: Carter, Tim Sheet: Station At Raleigh - Layout C0.0 COVER SHEET February 19, 2018 01:49:18pm K:\RAL\LD\VA\011170002 Station at Raleigh\Planning\Phase\5-CAD Files\PlanSheets\SUBDIVISION PLAN SUBMITTAL SET\C0.0 COVER SHEET.dwg
This document, together with the concepts and designs presented herein, as an instrument of services, is intended only for the specific purpose and client for which it was prepared. Reuse of and improper reliance on this document without written authorization and adaptation by Kimley-Horn and Associates, Inc. shall be without liability to Kimley-Horn and Associates, Inc.

LEGEND

| | | | |
|-------|--------------------------|-----|---------------------------|
| R/W | RIGHT-OF-WAY | LP | LIGHT POLE |
| IPF | IRON PIPE FOUND | GTS | GAS TEST STATION |
| PKS | P.K. NAIL SET | WV | WATER VALVE |
| IRF | IRON ROD SET | TE | TELEPHONE PED |
| IRF | IRON ROD FOUND | H | HANDHOLE |
| ISF | RAILROAD SPIKE FOUND | FL | FIRE HYDRANT |
| PKF | IRON STAKE FOUND | EL | ELECTRIC LINE |
| | PARKER-KAYLON NAIL FOUND | GL | GAS LINE |
| | RIGHT-OF-WAY MONUMENT | WL | WATER LINE |
| | COMPUTED POINT | TL | TELEPHONE LINE |
| BM | BOOK OF MAPS | FL | FIBER OPTIC LINE |
| CP | COMPUTED POINT (NOT SET) | PT | PER RECORD TELEPHONE LINE |
| PB | PLAT BOOK | | |
| N/F | NOW OR FORMERLY | | |
| DB | DEED BOOK | | |
| PG | PAGE | | |
| CONC | CONCRETE | | |
| SW | SIDEWALK | | |
| BC | BACK OF CURB | | |
| BH | BORE HOLE | | |
| EP | EDGE OF PAVEMENT | | |
| FE | FENCE | | |
| FW | WOVEN WIRE | | |
| EW | BARBED WIRE | | |
| LSA | LANDSCAPE AREA | | |
| ME | FIBER OPTIC MARKER | | |
| MS | MAINTENANCE HOLE | | |
| SDMH | STORM DRAIN MANHOLE | | |
| RCP | REINFORCED CONCRETE PIPE | | |
| CMP | CORRUGATED METAL PIPE | | |
| FES | FLARED END SECTION | | |
| CI | CURB INLET | | |
| INV | INVERT | | |
| SMH | SANITARY SEWER MANHOLE | | |
| GW | GUY WIRE | | |
| PP | POWER POLE | | |
| TP | TELEPHONE POLE | | |
| LP | LIGHT POLE | | |
| TRNSP | TRANSFORMER | | |
| GTS | GAS TEST STATION | | |
| WSE | WATER SURFACE ELEVATION | | |
| DIP | DUCTILE IRON PIPE | | |
| PLA | PLASTIC | | |
| | SIGN | | |
| | ELECTRIC BOX | | |
| | ELECTRIC MANHOLE | | |
| | TELEPHONE PEDESTAL | | |
| | CABLE TV PEDESTAL | | |
| | WATER MANHOLE | | |

THE HORIZONTAL UNDERGROUND UTILITY LINES SHOWN REPRESENT QUALITY LEVEL B SUBSURFACE UTILITY ENGINEERING SERVICES. UTILITY MARKS PLACED ON THE GROUND BY MCKIM & CREED ARE NOT TO BE USED FOR CONSTRUCTION PURPOSES. USE OF THIS INFORMATION DOES NOT RELIEVE ANY PARTY FROM THEIR OBLIGATION TO CONTACT THE UTILITY DAMAGE PREVENTION SYSTEM BEFORE DIGGING BEGINS. THIS QUALITY LEVEL B UTILITY INVENTORY DOES NOT GUARANTEE THE EXISTENCE OF EACH UTILITY OR THAT ALL THE UNDERGROUND UTILITIES HAVE BEEN ACCOUNTED FOR. EXACT HORIZONTAL AND VERTICAL POSITIONS CAN ONLY BE VERIFIED WHERE QUALITY LEVEL A (EXPOSURES) HAVE BEEN PERFORMED SERVICES WERE PROVIDED IN ACCORDANCE WITH THE STANDARD OF PRACTICE FOR THE SUBSURFACE UTILITY ENGINEERING PROFESSION, AMERICAN SOCIETY OF CIVIL ENGINEERS STANDARD GUIDELINE FOR THE COLLECTION AND DEPICTION OF EXISTING SUBSURFACE UTILITY DATA (C/ASCE 38-02).

CLASS OF SURVEY: AA
 POSITIONAL ACCURACY: 0.028M (HORIZONTAL), 0.033M (VERTICAL)
 TYPE OF GPS FIELD PROCEDURE: VRS
 DATES OF SURVEY: 12-04-13 THRU 12-10-13
 DATUM/EPOCH: NAD 83/2011
 PUBLISHED/FIXED CONTROL USE: FIXED CONTROL
 GEOID MODEL: GEOID 09
 COMBINED GRID FACTOR(S): 0.99991986
 UNITS: US/SURVEY FEET
 TYPE AND MODEL OF GPS RECEIVER USED: TRIMBLE 5800



APPROXIMATE LOCATION OF EXISTING 8" DIP WATER LINE
 DB 9054, PG. 1829
 DEED OF EASEMENT AND RIGHT-OF-WAY

VARIABLE WIDTH DUKE ENERGY EASEMENT
 DB 13070, PG. 1567

ASPHALT TO BE REMOVED

N/F
 NCSU STUDENT AID ASSOC. INC.
 DB 8684, PG. 389
 BM 2000, PG. 1472
 NC PIN # 0784-56-0833
 ZONED OFFICE MIXED USE(OX)
 USE: VACANT

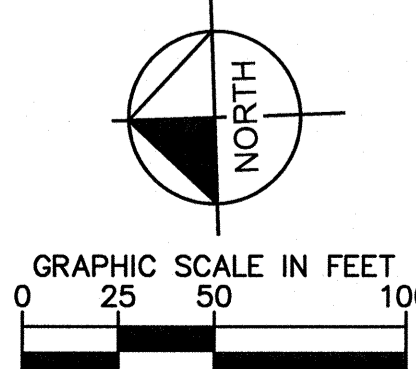
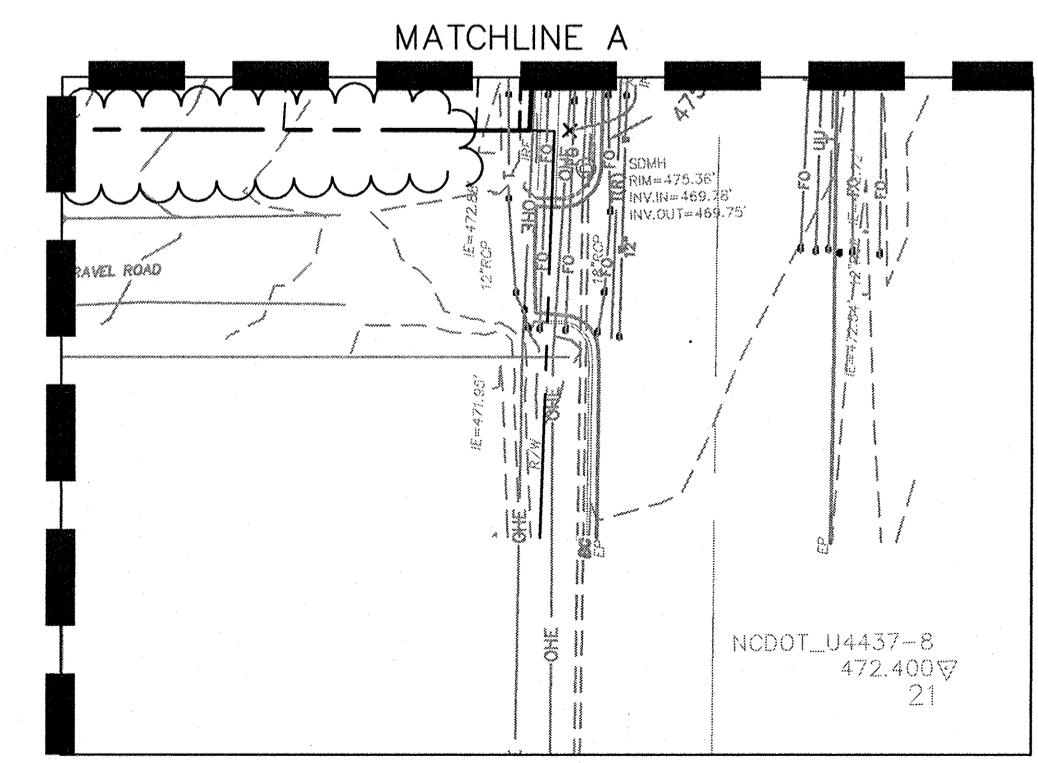
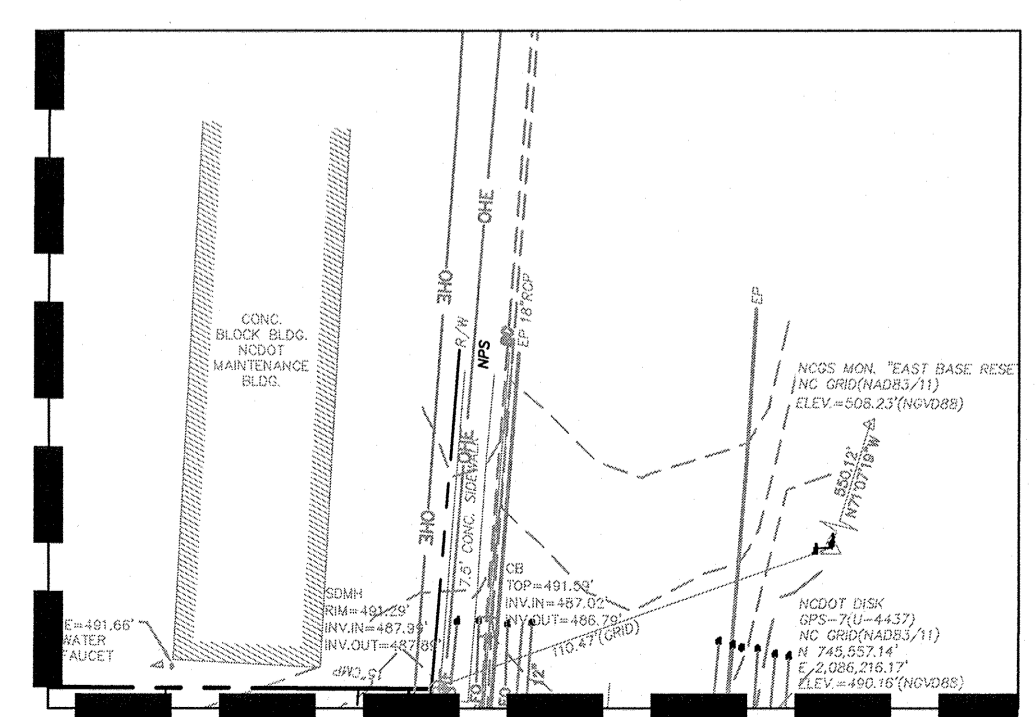
N/F
 BOARD OF TRUSTEES OF THE ENDOWMENT FUND OF NC STATE UNIVERSITY
 DB 8466, PG. 1333
 BM 2000, PG. 1472
 NC PIN # 0784-56-5392
 ZONED OFFICE MIXED USE(OX)
 USE: VACANT

EX. PARCEL 1
 AREA
 10.31 ACRES
 ZONE: CX-12-CU
 USE: PARKING LOT

EX. PARCEL 2
 AREA
 8.38 ACRES
 ZONE: CX-12-CU
 USE: PARKING LOT

TRACT 2
 (PORTION OF TRACT 1)
 DB 1050, PG. 318 3
 AREA = 8.384 ACRES
 365,221 SQ. FT.
 (INCLUDING R/W EASEMENT IN THE NORTHEAST CORNER)

- NOTE:
1. ALL DISTANCES SHOWN ARE HORIZONTAL GROUND DISTANCES IN U.S. SURVEY FEET. (UNLESS OTHERWISE STATED)
 2. ALL BEARINGS ARE BASED ON THE NORTH CAROLINA STATE PLANE COORDINATE SYSTEM (NAD 1983/2011).
 3. THERE ARE NO BURIAL GROUNDS OR CEMETERIES VISIBLE EXCEPT AS SHOWN.
 4. ALL ELEVATIONS ARE BASED ON NCGS MONUMENT EAST BASED RESET WITH A GIVEN ELEVATION OF 508.23' (NAVD 88).
 5. ONE FOOT CONTOUR INTERVALS.
 6. THESE PARCELS ARE LOCATED IN FEMA FLOOD HAZARD ZONE X. ZONE X ARE AREAS DETERMINED TO BE OUTSIDE OF THE 500-YEAR FLOOD PLAIN ACCORDING TO FLOOD INSURANCE RATE MAP 3720078400J WITH AN EFFECTIVE DATE OF MAY 02, 2006.
 7. THIS PROPERTY IS ZONED COMMERCIAL MIXED USE(CX).
 8. THESE PARCELS ARE NOT LOCATED WITHIN THE CITY LIMITS OF RALEIGH BUT ARE LOCATED WITHIN THE CITY OF RALEIGH PLANNING JURISDICTIONS.
 9. THESE PARCELS HAVE DIRECT ACCESS TO TRINITY ROAD A PUBLIC RIGHT-OF-WAY.
 10. THERE ARE NO PERMANENT PARKING SPACES OR STRIPING LOCATED ON THESE PARCELS.
 11. THESE PARCELS HAVE BEEN USED IN THE PAST FOR OVERFLOW PARKING FOR THE STATE FAIRGROUNDS AND OTHER EVENTS.



ALL CONSTRUCTION TO BE IN ACCORDANCE WITH ALL CITY OF RALEIGH AND/OR NCDOT STANDARDS AND SPECIFICATIONS.

SURVEY NOTE:
 EXISTING INFORMATION TAKEN FROM AN ALTA/ACSM LAND TITLE SURVEY PROVIDED BY MCKIM & CREED, 1730 VARSITY DRIVE, SUITE 500, RALEIGH, NC 27606. PHONE: 919-233-8091 AND DATED JANUARY 23, 2017.

CONCURRENT REVIEW APPROVAL
 CITY OF RALEIGH - PLANS AUTHORIZED FOR CONSTRUCTION

PLANS FOR THE PROPOSED USE HAVE BEEN REVIEWED FOR GENERAL COMPLIANCE WITH APPLICABLE CODES. THIS LIMITED REVIEW, AND AUTHORIZATION FOR CONSTRUCTION IS NOT TO BE CONSIDERED TO REPRESENT TOTAL COMPLIANCE WITH ALL LEGAL REQUIREMENTS FOR DEVELOPMENT AND CONSTRUCTION. THE PROPERTY OWNER, DESIGN CONSULTANTS, AND CONTRACTORS ARE EACH RESPONSIBLE FOR COMPLIANCE WITH ALL APPLICABLE CITY, STATE AND FEDERAL LAWS. THIS SPECIFIC AUTHORIZATION BELOW IS NOT A PERMIT, NOR SHALL IT BE CONSTRUED TO PERMIT ANY VIOLATION OF CITY, STATE OR FEDERAL LAW. ALL CONSTRUCTION MUST BE IN ACCORDANCE WITH ALL LOCAL, STATE, AND FEDERAL RULES AND REGULATIONS.

TRANSPORTATION FIELD SERVICES _____
 PUBLIC UTILITIES _____
 STORMWATER _____
 PLANNING/ZONING _____
 FIRE _____
 URBAN FORESTRY _____
 SITE ACCESSIBILITY _____

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 421 FAYETTEVILLE STREET, SUITE 600, RALEIGH, NC 27601
 PHONE: 919-835-1494
 WWW.KIMLEY-HORN.COM

EXISTING CONDITIONS & DEMOLITION PLAN

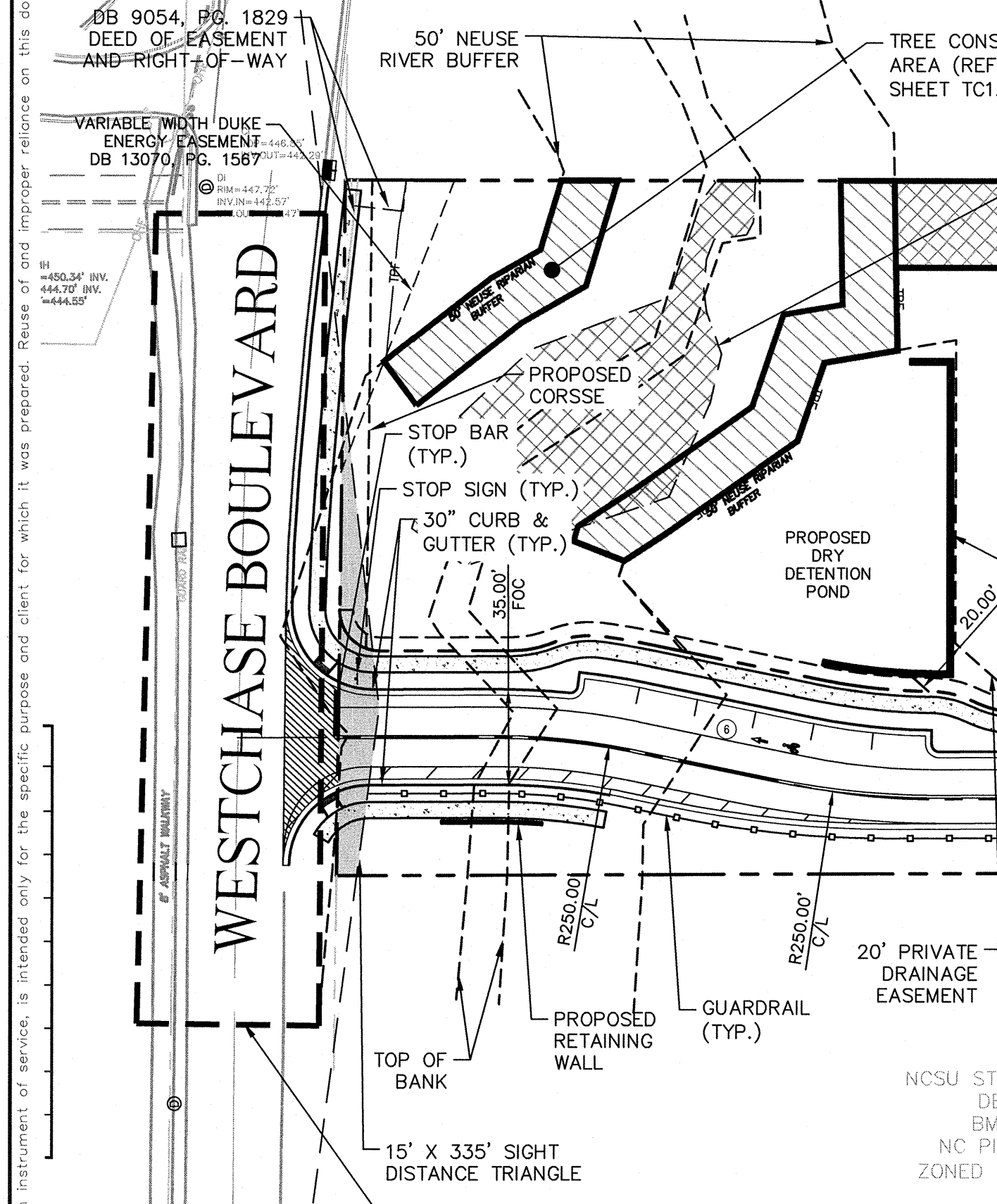
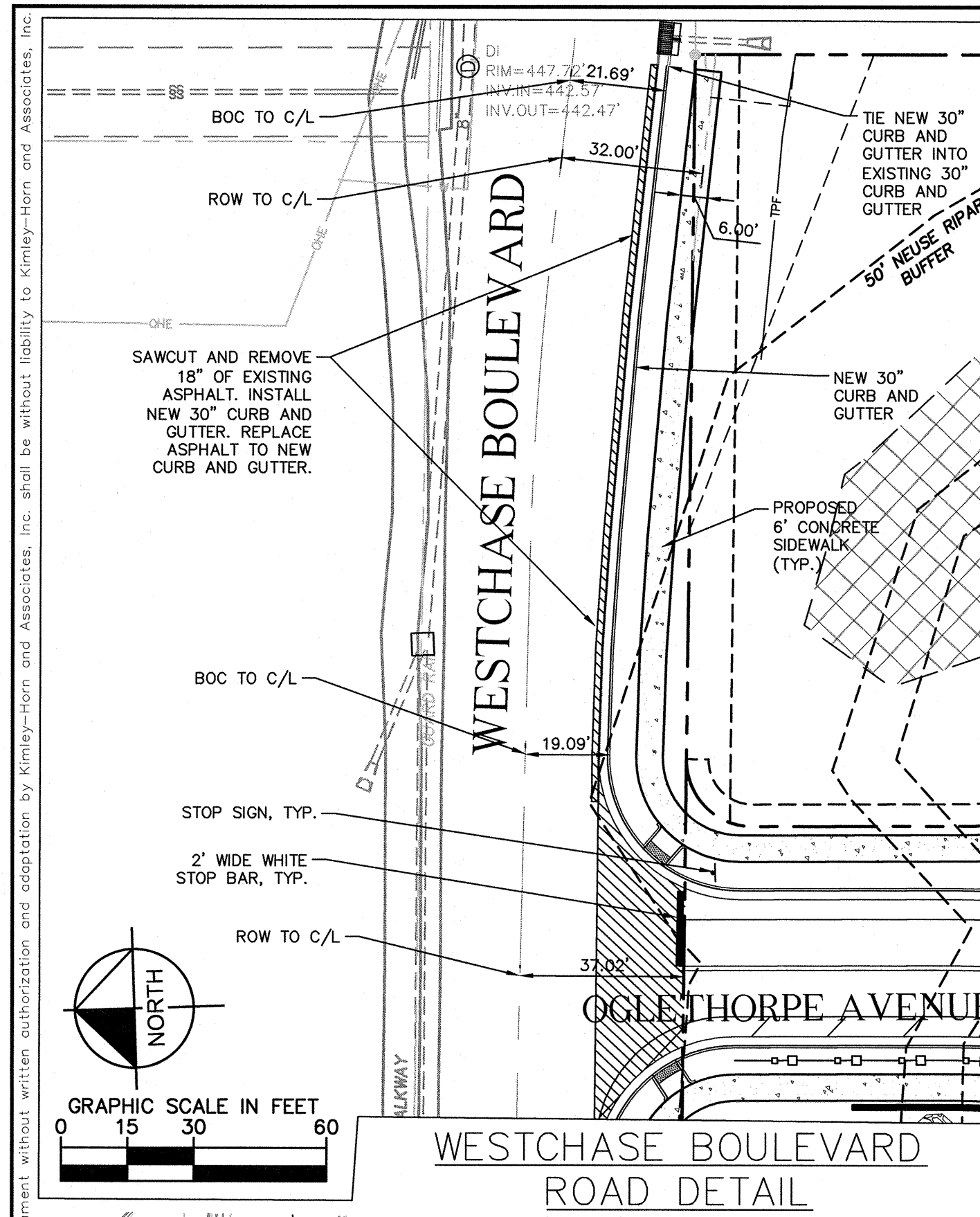
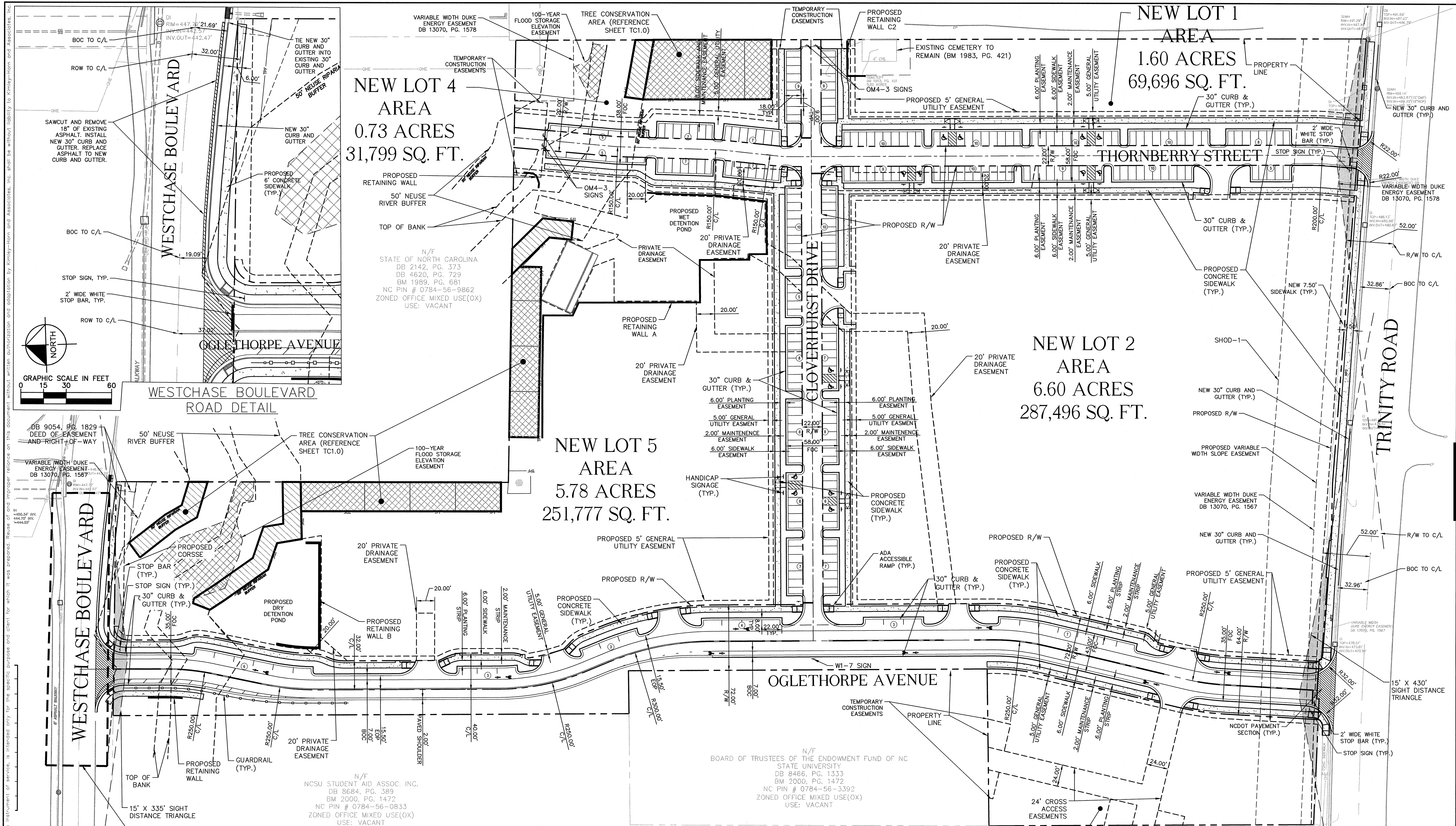
STATION AT RALEIGH
 PREPARED FOR
 STATION AT RALEIGH, LLC

NORTH CAROLINA
 RALEIGH

KHA PROJECT 011170002
 DATE 02/16/2018
 SCALE AS SHOWN
 DESIGNED BY WWH
 DRAWN BY WWH
 CHECKED BY COE

NO. _____
 REVISIONS _____
 DATE _____

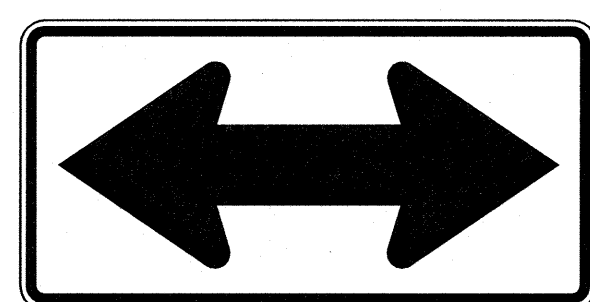
SHEET NUMBER
C1.0



NCDOT PAVEMENT SCHEDULE

| | |
|------|---|
| (C1) | PROP. APPROX. 1.5" ASPHALT CONCRETE SURFACE COURSE, TYPE S9.5B, AT AN AVERAGE RATE OF 168 LBS. PER SQ. YARD. (OVERLAY) |
| (C2) | PROP. APPROX. 3" ASPHALT CONCRETE SURFACE COURSE, TYPE S9.5B, AT AN AVERAGE RATE OF 168 LBS. PER SQ. YARD IN EACH OF TWO LAYERS. (1.5" OF OVERLAY INCLUDED IN TOTAL DEPTH) |
| (D1) | PROP. APPROX. 4" ASPHALT CONCRETE INTERMEDIATE COURSE, TYPE I19.0B, AT AN AVERAGE RATE OF 456 LBS. PER SQ. YARD. |
| (E1) | PROP. APPROX. 5" ASPHALT CONCRETE BASE COURSE, TYPE B25.0B, AT AN AVERAGE RATE OF 570 LBS. PER SQ. YARD. (REQUIRED IN AREAS LESS THAN OR EQUAL TO 6' WIDE. AREAS > 6' MAY BE SUBSTITUTED WITH J1) |
| (J1) | PROP. APPROX. 10" AGGREGATE BASE COURSE (MAY BE SUBSTITUTED WITH E1) |
| (U) | EXISTING PAVEMENT |

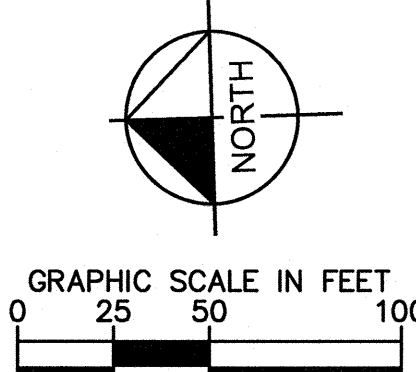
NOTE: PAVEMENT SECTIONS ARE BASED ON NCDOT REQUIREMENTS.



NOTE:
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 2. ALL BEARINGS ARE BASED ON THE NORTH CAROLINA STATE PLANE COORDINATE SYSTEM (NAD 1983/2011).

LEGEND

| | |
|----------|------------------------|
| R/W | RIGHT-OF-WAY |
| C/L | CENTERLINE |
| (Symbol) | SIGHT TRIANGLE |
| (Symbol) | NCDOT PAVEMENT SECTION |



SURVEY NOTE:
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 EXISTING INFORMATION TAKEN FROM AN ALTA/ACSM LAND TITLE SURVEY PROVIDED BY MCKIM & CREED, 1730 VARSITY DRIVE, SUITE 500, RALEIGH, NC 27606. PHONE: 919-233-8091 AND DATED JANUARY 23, 2017.

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TRANSPORTATION FIELD SERVICES _____
 PUBLIC UTILITIES _____
 STORMWATER _____
 PLANNING/ZONING _____
 FIRE _____
 URBAN FORESTRY _____
 SITE ACCESSIBILITY _____

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 421 FAYETTEVILLE STREET, SUITE 600, RALEIGH, NC 27601
 PHONE: 919-835-1494
 WWW.KIMLEY-HORN.COM

REVISIONS

| No. | DATE | BY |
|-----|------|----|
| | | |

PROJECT KHA PROJECT 011170002
DATE 02/16/2018
SCALE AS SHOWN
DESIGNED BY WWH
DRAWN BY WWH
CHECKED BY COB

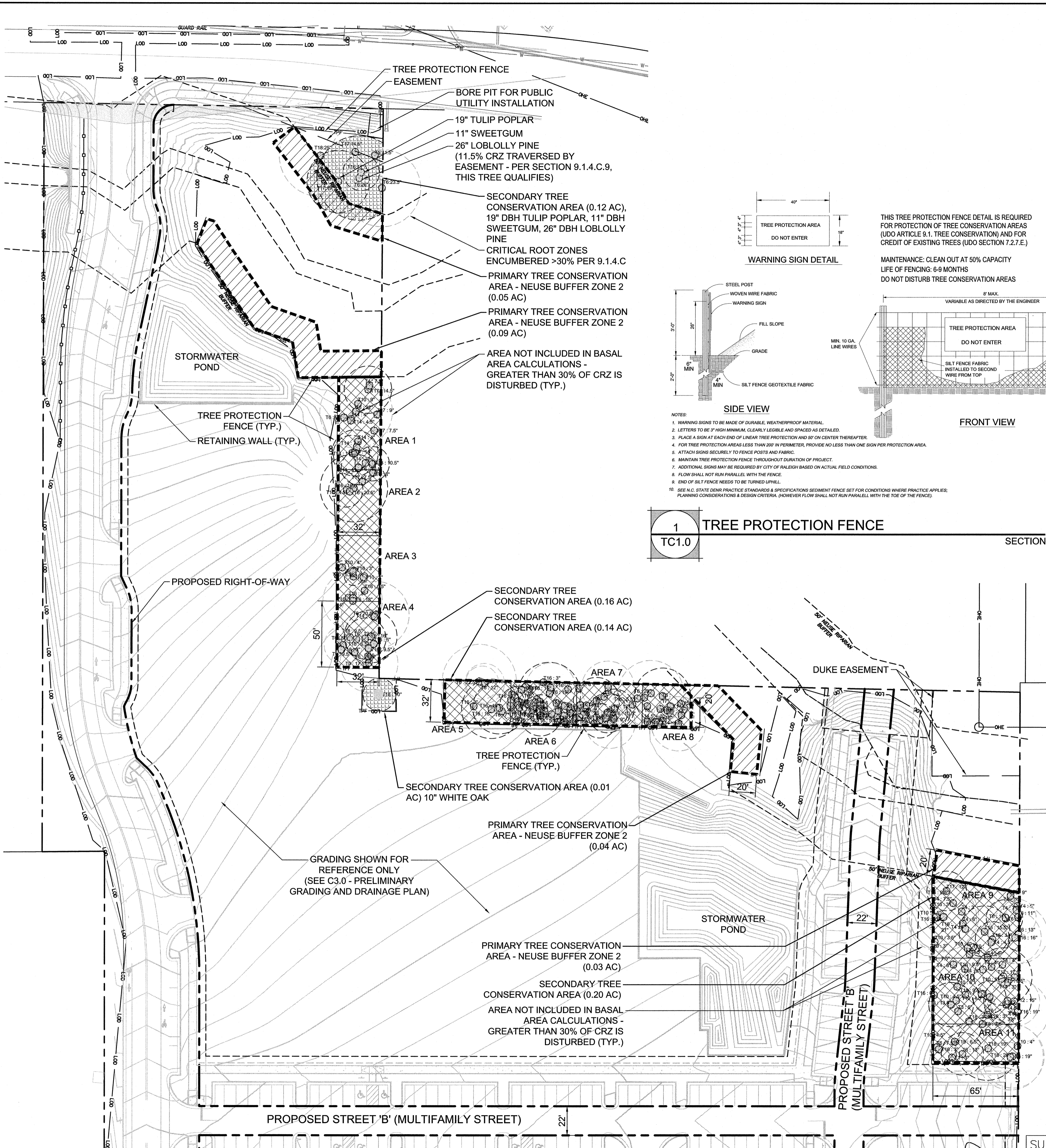
SUBDIVISION PLAN

STATION AT RALEIGH
 PREPARED FOR
STATION AT RALEIGH, LLC

RALEIGH NORTH CAROLINA

SHEET NUMBER
C2.0

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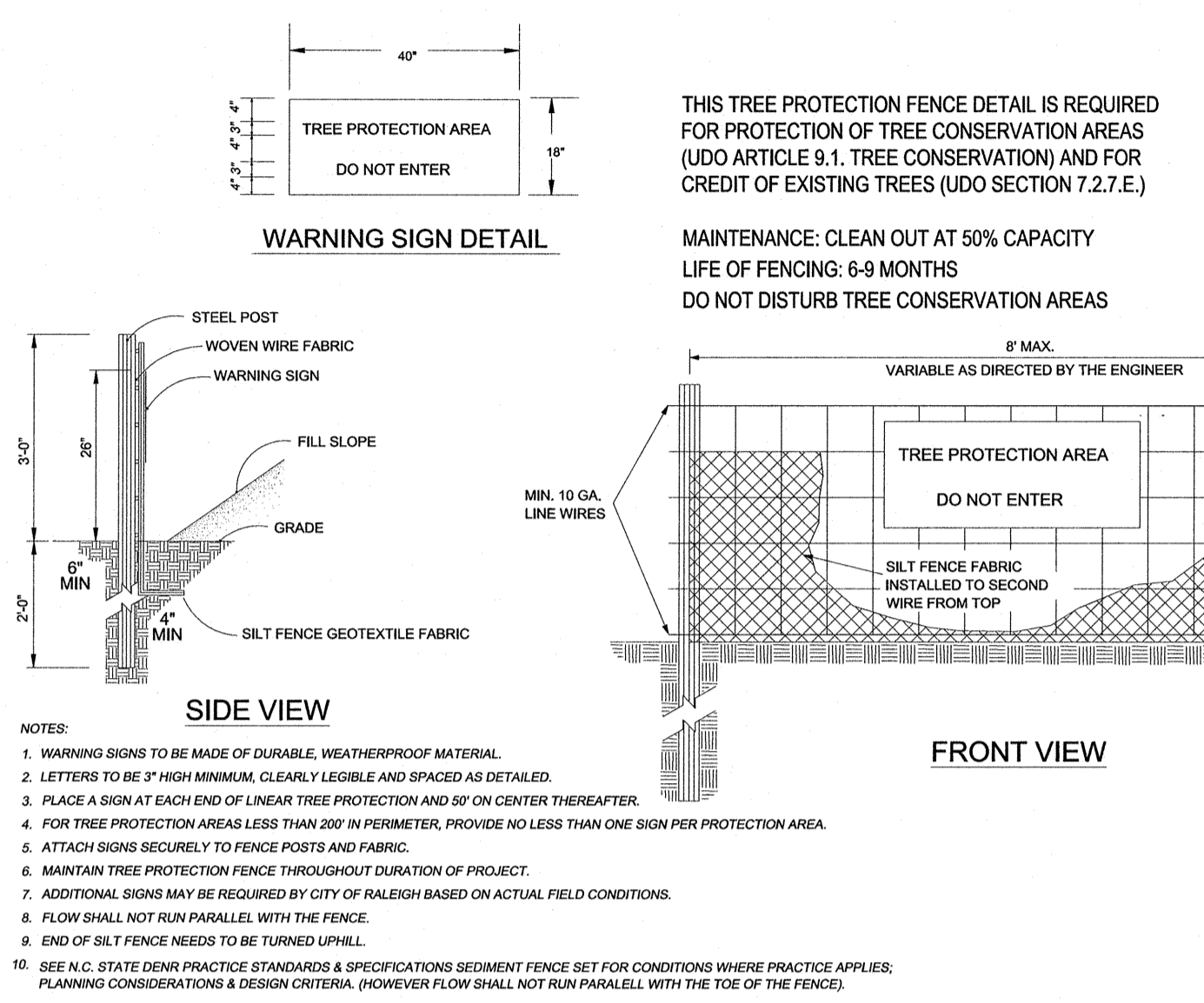
- TREE CONSERVATION NOTES:**
- A TREE CONSERVATION PERMIT REQUIRED TO ESTABLISH TREE CONSERVATION AREAS IN THE FIELD.
 - A TREE CONSERVATION PERMIT IS REQUIRED PRIOR TO ISSUANCE OF A GRADING PERMIT.
 - PRIOR TO OBTAINING A BUILDING PERMIT, THE FOLLOWING WILL BE RECORDED WITH THE WAKE COUNTY REGISTER OF DEEDS:
 - TREE CONSERVATION AREA MUST BE RECORDED PRIOR TO OBTAINING A BUILDING PERMIT PER UDO 9.1.5.A.2.
 - A DOCUMENT PREPARED IN ACCORDANCE WITH 10-2082.14(E) WHICH SHALL FIRST BE APPROVED BY THE CITY ATTORNEY.
 - NEW PLANTINGS SHALL NOT BE INSTALLED WITHIN THE CRITICAL ROOTZONE OF ANY EXISTING TREE LOCATED WITHIN A TREE CONSERVATION AREA.
 - CRZ = CRITICAL ROOTZONE

| Tree Conservation Plan Data | | |
|--|------------------------|----------------------------|
| Net Project Area - 15.87 AC (after ROW dedication) | | |
| 15.87 Total Acres (10% = 1.58 AC Required for TCA) | | |
| Primary Tree Conservation Areas | Number of Acres | Percentage of Tract |
| Primary Tree Conservation Area - Neuse Buffer Zone 2 | 0.21 | 1.32% |
| Secondary Tree Conservation Areas | Number of Acres | Percentage of Tract |
| Secondary Tree Conservation Areas | 0.5 | 3.15% |
| Secondary Individual critical root zones | 0.13 | 0.82% |
| Tree Conservation Area | 0.840 | 5.29% |

LEGEND:

- PRIMARY TREE CONSERVATION AREA
- SECONDARY TREE CONSERVATION AREA
- INDIVIDUAL TREE SECONDARY TREE CONSERVATION AREA
- CRITICAL ROOTZONE
- TREE PROTECTION FENCE

| Common Name | Code |
|-------------------|------|
| American holly | T1 |
| American sycamore | T2 |
| Black cherry | T3 |
| Blackgum | T4 |
| Glossy privet | T5 |
| Loblolly pine | T6 |
| Magnolia | T7 |
| Mockernut hickory | T8 |
| Northern red oak | T9 |
| Red maple | T10 |
| Red mulberry | T11 |
| Scarlet oak | T12 |
| Shortleaf pine | T13 |
| Sourwood | T14 |
| Southern red oak | T15 |
| Sweetgum | T16 |
| Tulip poplar | T17 |
| White oak | T18 |
| Willow oak | T19 |



1 TREE PROTECTION FENCE SECTION
TC1.0



2 SITE AERIAL PLAN
TC1.0

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- TRANSPORTATION FIELD SERVICES _____
- PUBLIC UTILITIES _____
- STORMWATER _____
- PLANNING/ZONING _____
- FIRE _____
- URBAN FORESTRY _____
- SITE ACCESSIBILITY _____

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PRELIMINARY
NOT FOR CONSTRUCTION

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12/18/17 JCB
DATE

1
CITY OF RALEIGH COMMENTS
REVISIONS

No.
BY

Kimley»Horn

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421 FAYETTEVILLE STREET, SUITE 600, RALEIGH, NC 27601
PHONE: 919-835-1494
WWW.KIMLEY-HORN.COM

STATION AT RALEIGH
PREPARED FOR
LCD ACQUISITIONS, LLC

TREE CONSERVATION

NORTH CAROLINA

KHA PROJECT 011170002
DATE 01/16/2018
SCALE AS SHOWN
DESIGNED BY RLB
DRAWN BY BPG
CHECKED BY RLB

STATE OF NORTH CAROLINA
DB 2142, PG. 373
DB 4620, PG. 729
BM 1989, PG. 681
NC PIN # 0784-56-9862
ZONED OFFICE MIXED USE(OX)

STATION AT RALEIGH
SHEET NUMBER

PREPARED FOR
TC1.0