



Administrative Approval Action

S-58-17 /5401 North Lot 22 Subdivision Transaction#
527068 AA#3847

City of Raleigh
Development Services Department
One Exchange Plaza
Raleigh, NC 27602
(919) 996-2495
DS.help@raleighnc.gov
www.raleighnc.gov

LOCATION: This site is located on the south side of the proposed Beckom Street extension and north side of I-540, within the existing 5401 North Planed Development.

REQUEST: Development of a 26.96 acre tract zoned Planned Development District with Special Highway Overlay District-1 into a subdivision of 71 single family lots and 3 open space lots in three phases.

**DESIGN
ADJUSTMENT(S)/
ALTERNATES,
ETC:** N/A

FINDINGS: City Administration finds that this request, with the below conditions of approval being met, conforms to the Unified Development Ordinance. This approval is based on a preliminary plan dated 6/26/2018 by The John R McAdams Company.

CONDITIONS OF APPROVAL and NEXT STEPS:

This document must be applied to the second sheet of all future submittals except for final plats. This is a preliminary plan and as such no permits have been issued with this approval. To obtain permits and/or completion of the project, the following steps are required:

CONCURRENT SITE REVIEW - For land disturbance of 12,000 square feet or greater, public or private infrastructure, shared stormwater devices, etc. Concurrent Site Review may be submitted upon receipt of this signed approval document.

The following items are required prior to approval of Concurrent Site Review plans:

Engineering

1. A right-of-way obstruction permit must be obtained from Right-of-way Services prior to the commencement of any construction activities within the right-of-way.
2. Concurrent plans will provide the plan and profile for Beckom Street construction to the centerline of I-540.

Stormwater

3. The State of North Carolina shall approve any proposed disturbance within the riparian buffer prior to the issuance of any grading or site permit (UDO 9.2.3.E).
4. A stormwater control plan with a stormwater operations and maintenance manual and budget shall be approved (UDO 9.2).
5. A surety equal to of the cost of clearing, grubbing and reseeding a site, shall be paid to the City (UDO 9.4.4).



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LEGAL DOCUMENTS - Email to legaldocumentreview@raleighnc.gov. Legal documents must be approved, executed, and recorded prior to or in conjunction with the recorded plat on which the associated easements are shown. Copies of recorded documents must be returned to the City within one business day of recording to avoid withholding of further permit issuance.

| | | | |
|-------------------------------------|---------------------------------|-------------------------------------|------------------------|
| <input checked="" type="checkbox"/> | City Code Covenant | <input type="checkbox"/> | Slope Easement |
| <input checked="" type="checkbox"/> | Stormwater Maintenance Covenant | <input type="checkbox"/> | Transit Easement |
| <input checked="" type="checkbox"/> | Utility Placement Easement | <input type="checkbox"/> | Cross Access Easement |
| <input checked="" type="checkbox"/> | Sidewalk Easement | <input checked="" type="checkbox"/> | Public Access Easement |
| | | <input type="checkbox"/> | Other: |

RECORDED MAP(S) - Submit plat to record new property lines, easements, tree conservation areas, etc.). Plats may be submitted for review when the Concurrent Site Review plans, if required, have been deemed ready for mylar signature.

The following items must be approved prior to recording the plat:

General

1. The City Code Covenant shall be approved by the City and recorded with the county register of deeds office where the property is located and a copy of the recorded document shall be provided to the City by the end of the next business day following the recordation of the final plat. Further recordings and building permits will be withheld if the recorded document is not provided to the City.
2. Street names for this development shall be approved by the Raleigh GIS Division and by Wake County.

Engineering

3. The required right of way for proposed and/or existing streets shall be dedicated to the City of Raleigh and shown on the map approved for recordation.
4. A 5' general utility easement and associated deed of easement shall be approved by the City and the location of the easement shall be shown on the map approved for recordation. The deed of easement shall be recorded at Wake County Register of Deeds within one day of recordation of the recorded plat. A recorded copy of these documents must be provided to the Development Services Department within one day from authorization of lot recordation. If recorded copies of the documents are not provided, further recordings and building permit issuance will be withheld.
5. A fee-in-lieu for partial construction of Beckom Street is paid to the City of Raleigh (UDO 8.1.10).
6. A sidewalk deed of easement for any public sidewalk on private property shall be approved by City staff, and the location of the easement shall be shown on the map approved for recordation. The deed of easement shall be recorded at Wake County Register of Deeds within one day of



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recording of the plat. A recorded copy of this document shall be provided to the Development Services Department within one day from authorization of lot recording. If a recorded copy of this document is not provided, further recordings and building permit issuance will be withheld.

7. A public infrastructure surety is provided to the City of Raleigh Development Services – Development Engineering program (UDO 8.1.3).

Public Utilities

8. Infrastructure Construction Plans (concurrent submittal) must be approved by the City of Raleigh Public Utilities Department for all public water, public sewer and/or private sewer extensions.
9. A Petition for Annexation into the City limits shall be submitted in accordance with City Council policy for extension of utility service to properties currently outside of the City limits. This voluntary annexation in no way obligates the City to extend utility services to the property.

Stormwater

10. A payment equal to twenty-four percent (24%) of the estimated cost of constructing all stormwater control facilities shown on the development plans shall be paid by the developer to the City stormwater facility replacement fund (UDO 9.2.2.G.3).
11. The City form document entitled Declaration of Maintenance Covenant and Grant of Protection Easement for Stormwater Control Facilities shall be approved by the City and recorded with the county register of deeds office (UDO 9.2.2.G).
12. All stormwater control measures and means of transporting stormwater runoff to and from any nitrogen and stormwater runoff control measures shall be shown on all plats for recording as private drainage easements (UDO 9.2).
13. The riparian buffers, in accordance with the preliminary plan and the State of North Carolina regulations, shall be shown on plats for recording along with required buffer statement (Recorded Map Checklist).
14. A surety equal to 125% of the cost of the construction of a stormwater device shall be paid to the Engineering Services Department (UDO 9.2.2.D.1.d).

Urban Forestry

15. A tree conservation plat shall be recorded with metes and bounds showing the designated tree conservation areas (UDO 9.1).

BUILDING PERMITS – For buildings and structures shown on the approved plans. Commercial building permit plans must include the signed, approved Concurrent Site Review plans attached, if



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applicable. Permit sets may be reviewed prior to the recordation of required plats, but cannot be approved.

The following items must be approved prior to the issuance of building permits:

Urban Forestry

19. A tree impact permit must be obtained for the approved streetscape tree installation in the right of way.

EXPIRATION DATES: If significant construction has not taken place on a project after preliminary subdivision approval, that approval may "sunset" and be declared void, requiring re-approval before permits may be issued. To avoid allowing this preliminary approval to "sunset", the following must take place by the following dates:

3-Year Sunset Date: 8/23/2021

Record at least ½ of the land area approved.

5-Year Sunset Date: 8/23/2023

Record entire subdivision.

I hereby certify this administrative decision.

Signed:(Planning Dir./Designee)

Date: 8/23/18

Staff Coordinator: Justin Rametta

5401 NORTH LOT 22 (PHASES 24, 25 & 26)

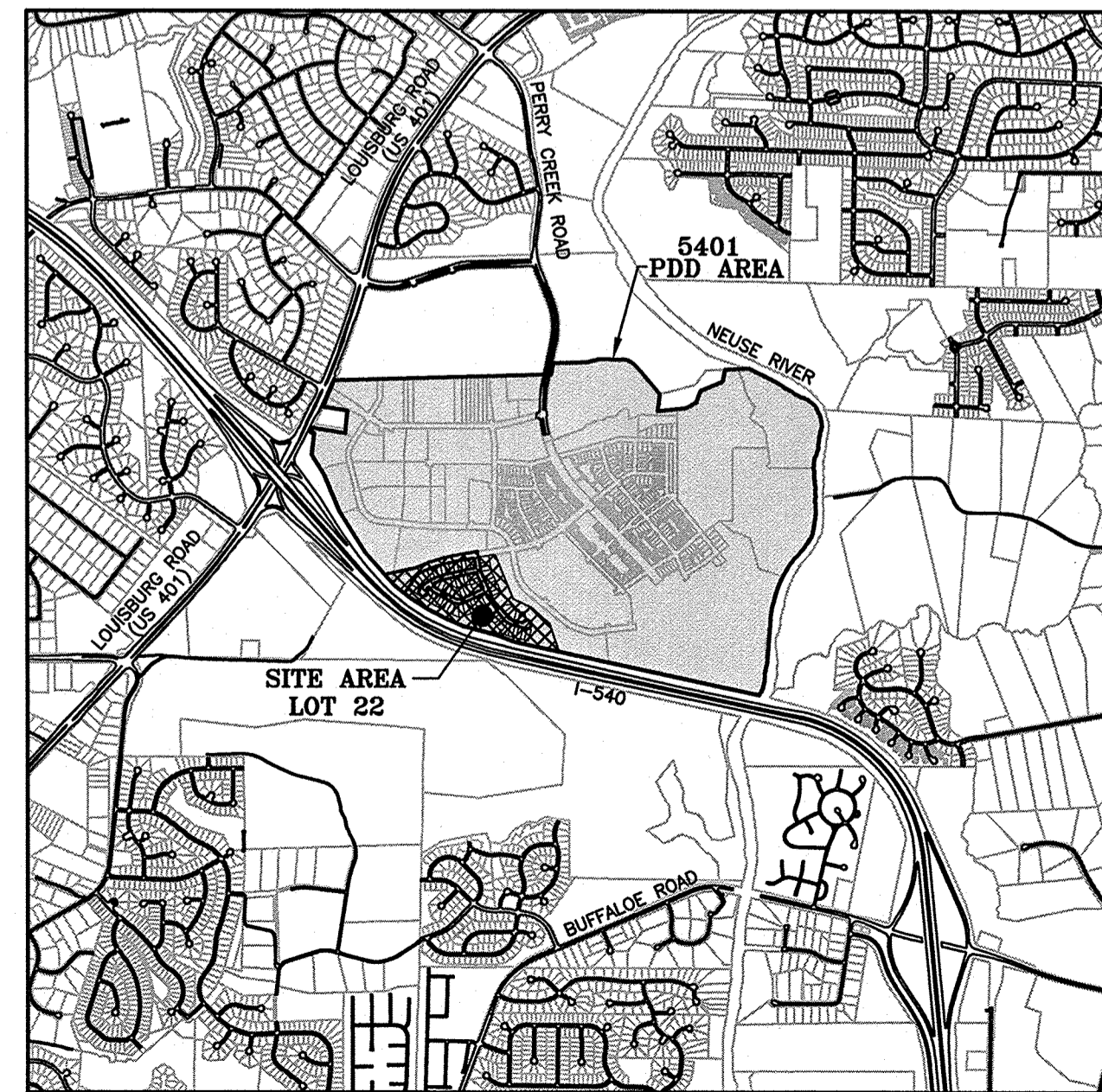
PRELIMINARY SUBDIVISION FOR:
5401 NORTH LOT-22
RALEIGH, NORTH CAROLINA
PROJECT NUMBER: CRC-16020

PRELIMINARY SUBDIVISION

5000 BECKOM STREET
RALEIGH, NORTH CAROLINA
TRANSACTION #: 527068
RALEIGH CASE NUMBER: S-58-17
PROJECT NUMBER: CRC-16020

DATE: JUNE 26, 2018

OWNER:
ELD-5401 NORTH, LLC
C/O ENGQUIST-LEVEL DEVELOPMENT, LLC
BATON ROUGE, LOUISIANA 70809
(225) 338-6120



VICINITY MAP
1" = 2,000'

SHEET INDEX

| | |
|-----------|--|
| C-1 | EXISTING CONDITIONS |
| C-1A | CUMULATIVE MAP |
| C-2 | PROJECT NOTES |
| C-2A | FUTURE TRACT INTENSITY |
| C-3 | TYPICAL SECTIONS |
| C-4 | OVERALL SUBDIVISION PLAN |
| C-5 | SUBDIVISION & PAVEMENT MARKING PLAN - AREA "A" |
| C-6 | SUBDIVISION & PAVEMENT MARKING PLAN - AREA "B" |
| C-7 | LOT DIMENSION PLAN - AREA "A" |
| C-8 | LOT DIMENSION PLAN - AREA "B" |
| C-9 | OVERALL GRADING & STORM DRAINAGE PLAN |
| C-10 | GRADING & STORM DRAINAGE PLAN - AREA "A" |
| C-11 | GRADING & STORM DRAINAGE PLAN - AREA "B" |
| C-12 | OVERALL UTILITY PLAN |
| C-13 | UTILITY PLAN - AREA "A" |
| C-14 | UTILITY PLAN - AREA "B" |
| L-1 | STREET TREE PLAN - AREA "A" (BY OTHERS) |
| L-2 | STREET TREE PLAN - AREA "B" (BY OTHERS) |
| L-3 | STREET TREE PLAN (BY OTHERS) |
| TC-1 | TREE CONSERVATION PLAN |
| TC-2 | RECORDED TREE CONSERVATION PLAN |
| SW-1 | STORMWATER MANAGEMENT FACILITY "T" PLAN VIEW |
| D-1 - D-2 | SITE DETAILS |
| D-3 - D-4 | STORM DRAINAGE DETAILS |
| D-5 - D-6 | WATER DETAILS |
| D-7 - D-8 | SANITARY SEWER DETAILS |

NEW LOTS CREATED

| PHASE | 24 | 25 | 26 |
|-------------------|----------|----------|-----------|
| TOTAL AREA | 8.96 AC. | 4.75 AC. | 13.24 AC. |
| # LOTS | 33 | 23 | 15 |
| # OPEN SPACE LOTS | 2 | 0 | 1 |
| TOTAL # OF LOTS | 35 | 23 | 16 |

HORIZONTAL DATUM: NAD 83
VERTICAL DATUM: NAVD 88

NOTE: DEVELOPMENT AND DESIGN SHALL BE IN ACCORDANCE WITH THE CONDITIONS LISTED IN THE 5401 NORTH MASTER PLAN AND PLANNED DEVELOPMENT DISTRICT AMENDMENT (MP-1-2010).

SOLID WASTE INSPECTION STATEMENT:

- THE DEVELOPER ACKNOWLEDGES THAT THEY HAVE REVIEWED AND ARE IN COMPLIANCE WITH THE REQUIREMENTS SET FORTH IN THE SOLID WASTE DESIGN MANUAL.
- THE SOLID WASTE REMOVAL FOR THIS PROJECT WILL BE HANDLED BY PRIVATE SERVICES. THE CITY OF RALEIGH SOLID WASTE SERVICES (SWS) WILL NOT SERVICE THIS DESIGN.
- REFUSE WILL BE COLLECTED BY ROLL-OUT CONTAINERS.



CONTRACTOR SHALL NOTIFY "NC811" (811) OR (1-800-632-4949) AT LEAST 3 FULL BUSINESS DAYS PRIOR TO BEGINNING CONSTRUCTION OR EXCAVATION TO HAVE EXISTING UTILITIES LOCATED. CONTRACTOR SHALL CONTACT ANY LOCAL UTILITIES THAT PROVIDE THEIR OWN LOCATOR SERVICES INDEPENDENT OF "NC811". REPORT ANY DISCREPANCIES TO THE ENGINEER IMMEDIATELY.



MCADAMS

THE JOHN R. McADAMS COMPANY, INC.
2905 Meridian Parkway
Durham, North Carolina 27713
License No.: C-0293
(800) 733-5646 • McAdamsCo.com
Contact: Brad Rhinehalt
Rhinehalt@mcadamsco.com

Preliminary Subdivision
Plan Application

Development Services Customer Service Center | 1 Exchange Plaza, Suite 400 | Raleigh, NC 27601 | 919-996-2405 | Fax: 919-996-1831
Litchford Satellite Office | 6320 - 130 Litchford Road | Raleigh, NC 27601 | 919-996-4200



When submitting plans, please check the appropriate review type and include the Plan Checklist document.

Office Use Only: Transaction # _____ Project Coordinator _____ Team Leader _____

PRELIMINARY APPROVALS

Subdivision * Conventional Subdivision Compact Development Conservative Subdivision

*May require City Council approval if in a Metro Park Overlay or Historic Overlay District

If your project has been through the Due Diligence process, provide the transaction ID: _____

GENERAL INFORMATION

Development Name: 5401 North Lot 22
Proposed Use: Single Family Residential
Property Address(es): 5000 Beckom Street

Wake County Property Identification Number(s) for each parcel to which these guidelines will apply:

| PIN Recorded Deed | PIN Recorded Deed | PIN Recorded Deed | PIN Recorded Deed |
|-------------------|-------------------|-------------------|-------------------|
| 173607000 | | | |

What is your project type?

Single family Townhouse Subdivision in a non-residential zoning district

Other (describe): _____

OWNER/DEVELOPER INFORMATION

Company Name: 5401 East Development, LLC | Owner/Developer Name: Ric J. Rojas
Address: 7500 Pecue Lane, Baton Rouge, Louisiana 70809
Phone: 919-518-9211 | Email: johnm@jmsouth.com | Fax: n/a

CONSULTANT/CONTACT PERSON FOR PLANS

Company Name: McAdams | Contact Name: Jon Moore
Address: 2905 Meridian Parkway, Durham, North Carolina 27713
Phone: 919-361-5000 | Email: moore@mcadamsco.com | Fax: n/a

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SITE DATA

| | |
|------------------------|---|
| DEVELOPER: | LEVEL HOMES 6320 QUADRANGLE DRIVE STE. 100, CHAPEL HILL, NORTH CAROLINA 27517 |
| OWNER: (EX. LOT 22) | 5401 EAST DEVELOPMENT, LLC C/O ENGQUIST-LEVEL DEVELOPMENT, LLC 7500 PECUE LANE BATON ROUGE, LOUISIANA 70809 |
| OWNER: (EX. LOT 11) | 5401 NORTH, LLC 100 NORTH STREET, SUITE 900 BATON ROUGE, LOUISIANA 70802 |
| PIN NUMBERS: | 1736-67-0500 & 1736-68-0743 |
| TOTAL PDD AREA: | 404.44 AC. |
| LOT 22 AREA: | GROSS AREA = 1,174,171 SF / 26.96 AC AREA DEEDED TO EX. LOT 11 = 4,442 SF / 0.10 AC R/W DEDICATION PHASE 24 = 175,145 SF / 4.02 AC R/W DEDICATION PHASE 25 = 36,390 SF / 0.83 AC R/W DEDICATION PHASE 26 = 34,255 SF / 0.79 AC R/W DEDICATION TOTAL = 245,790 SF / 5.64 AC NET AREA = 923,939 SF / 21.21 AC |
| LOT 11 AREA: | GROSS AREA = 2,333,087 SF / 53.56 AC AREA DEEDED FROM EX. LOT 22 = 4,442 SF / 0.10 AC R/W DEDICATION PHASE 24 = 19,804 SF / 0.45 AC NET AREA = 2,317,725 SF / 53.21 AC |
| EXISTING ZONING: | PD |
| OVERLAY DISTRICT: | SHOD-1 |
| CURRENT USE: | VACANT |
| EXISTING LOTS: | 2 (EXISTING LOT 22 & 11) |
| PROPOSED LOTS: | 74 (INCLUDES 3 OPEN SPACE LOTS) |
| INSIDE CITY LIMITS: | NO |
| FEMA FIRM MAP: | 3720173600J, DATED MAY 2, 2006 |
| RIVER BASIN: | NEUSE RIVER |

OPEN SPACE TABLE

| | |
|--|-------------------|
| TOTAL 5401 NORTH PDD AREA (ALL PHASES): | 404.44 AC. |
| REQUIRED OPEN SPACE: | 80.67 AC. 15.00% |
| EXISTING OPEN SPACE: | |
| EXISTING LOT 4: | 15.58 AC. |
| EXISTING LOT 8: | 24.97 AC. |
| RECORDED TREE CONSERVATION: | 40.84 AC. |
| EX. PHASE 4 OPEN SPACE AREA: | 0.00 AC. |
| EX. PHASE 7 OPEN SPACE AREA: (LOTS 5001, 5008 & 5009) | 6.37 AC. |
| EX. PHASE 11 OPEN SPACE AREA: (LOTS 5004-5007): | 0.77 AC. |
| EX. PHASE 12 OPEN SPACE AREA: (LOTS 5003 & 5024): | 0.49 AC. |
| EX. PHASE 17 OPEN SPACE AREA: (LOT 5010) | 1.37 AC. |
| EX. PHASE 18 OPEN SPACE AREA: (LOTS 5011, 5012 & 5021) | 0.27 AC. |
| EX. PHASE 19 OPEN SPACE AREA: (LOTS 5013-5015) | 0.42 AC. |
| EX. PHASE 21 OPEN SPACE AREA: (LOTS 5016 & 5017) | 0.59 AC. |
| EX. PHASE 22 OPEN SPACE AREA: | 0.00 AC. |
| EX. PHASE 23 OPEN SPACE AREA: (LOT 5018) | 3.50 AC. |
| TOTAL EXISTING OPEN SPACE: | 95.17 AC. 23.53% |
| PHASE 13 OPEN SPACE AREA: | 0.00 AC. |
| PHASE 14 OPEN SPACE AREA: (LOTS 5019 & 5020) | 0.84 AC. |
| PHASE 15 OPEN SPACE AREA: | 0.00 AC. |
| PHASE 16 OPEN SPACE AREA: | 0.00 AC. |
| TOTAL OPEN SPACE AREA (PHASES 13-16): | 0.84 AC. |
| ADDITIONAL OPEN SPACE PROVIDED WITH LOT 22 PRELIMINARY SUBDIVISION: | |
| PHASE 24 OPEN SPACE: (LOTS 5022, 5023) | 0.23 AC. |
| PHASE 25 OPEN SPACE: (LOTS 5022, 5023) | 0.00 AC. |
| PHASE 26 OPEN SPACE: (LOT 5025) | 9.44 AC. |
| TOTAL OPEN SPACE PROVIDED: | |
| EXISTING: | 95.17 AC. |
| PHASES 13-16: | 0.84 AC. |
| LOT 22: | 9.67 AC. |
| TOTAL: | 105.68 AC. 26.13% |

DEVELOPMENT TYPE AND SITE DATE TABLE (Applicable to all developments)

ZONING INFORMATION

Zoning District(s): PD

If more than one district, provide the acreage of each:

Overlay District? Yes No

Inside City Limits? Yes No

CLD (Conditional Use District) Case # _____

COA (Certificate of Appropriateness) Case # _____

BOA (Board of Adjustment) Case # _____

STORMWATER INFORMATION

Existing Impervious Surface: 0 sf acres/af Flood Hazard Area: Yes No

Proposed Impervious Surface: 7.9 AC/BS acres/af Neuse River Buffer: Yes No

Wetlands: Yes No

If in a Flood Hazard Area, provide the following:

Alluvial Soils: n/a Flood Study: n/a FEMA Map Panel # n/a

NUMBER OF LOTS AND DENSITY

Total # of Townhouse Lots: Detached _____ Attached _____

Total # of Single Family Lots: 71 Total # of All Lots: 74

Overall Units/Acre Densities Per Zoning District: 70/26.86 = 2.6 units to the acre

Total # of Open Space and/or Common Area Lots: 3

SIGNATURE BLOCK (Applicable to all developments)

In filing this plan as the property owner(s), I/we do hereby agree and firmly bind ourselves, my/our heirs, executors, administrators, successors and assigns jointly and severally to construct all improvements and make all dedications as shown on this proposed subdivision plan as approved by the City.

I hereby designate _____ to serve as my agent regarding this application, to receive and respond to administrative comments, to resubmit plans on my behalf, and to represent me in any public meeting regarding this application.

I/we have read, acknowledge, and affirm that this project is conforming to all application requirements applicable with the proposed development use.

Signature: Authorized Representative Date: 8-25-17

Signature: _____ Date: _____

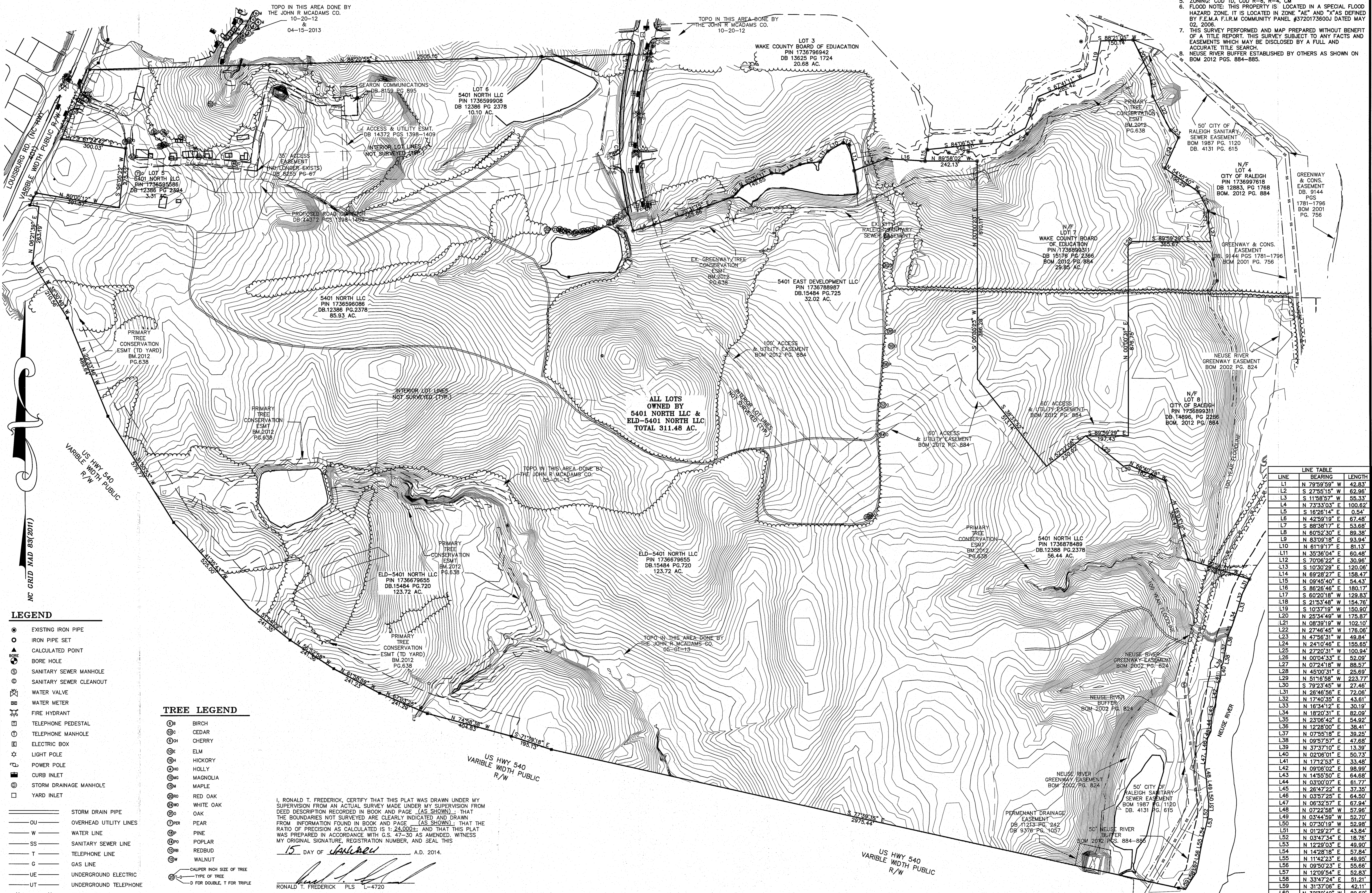
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X:\Projects\CRC-16040\Land\Construction Drawings\CRC-16040-Preliminary Subdivision-CSI.dwg, 6/27/2018, 8:48:37 AM, Schmidt, Chris

| CURVE TABLE | | | | | | |
|-------------|----------|---------|---------------|----------------|-----------|---------|
| CURVE | RADIUS | LENGTH | CHORD BEARING | CHORD DISTANCE | DELTA | TANGENT |
| C1 | 1550.00' | 789.16' | S 02°14'00" E | 781.29' | 28°25'55" | 392.67' |
| C2 | 1550.00' | 286.09' | S 21°44'12" E | 285.68' | 10°34'31" | 143.45' |
| C3 | 1550.00' | 423.73' | S 34°51'21" E | 422.41' | 15°39'47" | 213.19' |

GENERAL NOTES

- THIS IS A SURVEY OF AN EXISTING PARCEL(S) OF LAND. THIS IS A TOPOGRAPHIC SURVEY. THIS SURVEY WAS OBTAINED FROM A TOPOGRAPHIC SURVEY DONE BY WITHERS AND RAVENEL, EXCEPT 2 AREAS AS NOTED ON THE PLAN. THE JOHN R. MCADAMS COMPANY MAKES NO GUARANTEES OF THE ACCURACY OF THE DATA BY OTHERS.
- BEARINGS FOR THIS SURVEY ARE BASED ON NC GRID NAD 83.
- ALL DISTANCES ARE HORIZONTAL GROUND DISTANCES.
- AREA BY COORDINATE GEOMETRY.
- ZONING: CUD TO CUD R-6, R-4, CM
- FLOOD NOTE: THIS PROPERTY IS LOCATED IN A SPECIAL FLOOD HAZARD ZONE. IT IS LOCATED IN ZONE "AE" AND "X" AS DEFINED BY F.E.M.A. F.I.R.M. COMMUNITY PANEL #3720173600J DATED MAY 02, 2006.
- THIS SURVEY PERFORMED AND MAP PREPARED WITHOUT BENEFIT OF A TITLE REPORT. THIS SURVEY SUBJECT TO ANY FACTS AND EASEMENTS WHICH MAY BE DISCLOSED BY A FULL AND ACCURATE TITLE SEARCH.
- NEUSE RIVER BUFFER ESTABLISHED BY OTHERS AS SHOWN ON BOM 2012 PGS. 884-885.



TOPO IN THIS AREA DONE BY THE JOHN R. MCADAMS CO. 10-20-12 & 04-15-2013

TOPO IN THIS AREA DONE BY THE JOHN R. MCADAMS CO. 10-20-12

LOT 3 WAKE COUNTY BOARD OF EDUCATION PIN 1736789942 DB 13625 PG 1724 20.68 AC.

LOT 6 5401 NORTH LLC PIN 1736599908 DB 12386 PG 2378 10.10 AC.

5401 EAST DEVELOPMENT LLC PIN 1736789987 DB 15484 PG 725 32.02 AC.

5401 NORTH LLC PIN 1736596086 DB 12386 PG 2378 85.93 AC.

ALL LOTS OWNED BY 5401 NORTH LLC & ELD-5401 NORTH LLC TOTAL 311.48 AC.

ELD-5401 NORTH LLC PIN 1736679655 DB 15484 PG 720 123.72 AC.

5401 NORTH LLC PIN 1736878489 DB 12386 PG 2378 56.44 AC.

ELD-5401 NORTH LLC PIN 1736679655 DB 15484 PG 720 123.72 AC.

| LINE | BEARING | LENGTH |
|------|----------------|---------|
| L1 | N 79°59'59" W | 42.83' |
| L2 | S 27°55'15" W | 62.96' |
| L3 | S 11°58'57" W | 55.33' |
| L4 | N 73°33'03" E | 100.62' |
| L5 | S 16°26'14" E | 0.54' |
| L6 | N 42°59'19" E | 67.48' |
| L7 | S 88°38'17" E | 53.68' |
| L8 | N 60°52'30" E | 89.38' |
| L9 | N 83°09'18" E | 93.94' |
| L10 | N 61°19'17" E | 81.13' |
| L11 | N 35°36'04" E | 60.48' |
| L12 | S 70°06'22" E | 30.96' |
| L13 | S 10°30'29" E | 120.06' |
| L14 | N 69°28'27" E | 158.47' |
| L15 | N 09°45'40" E | 54.43' |
| L16 | S 86°26'46" E | 180.17' |
| L17 | S 60°20'18" W | 129.83' |
| L18 | S 21°53'48" W | 154.76' |
| L19 | S 107°37'19" W | 150.90' |
| L20 | N 25°34'49" W | 175.87' |
| L21 | N 08°39'19" W | 102.10' |
| L22 | N 27°46'45" W | 176.06' |
| L23 | N 47°56'31" W | 49.84' |
| L24 | N 24°10'46" E | 155.65' |
| L25 | N 27°20'31" W | 100.94' |
| L26 | N 00°04'33" E | 52.00' |
| L27 | N 07°24'18" E | 88.57' |
| L28 | N 45°00'31" E | 25.69' |
| L29 | N 51°16'58" W | 223.77' |
| L30 | S 79°23'45" W | 27.46' |
| L31 | N 26°46'56" E | 72.06' |
| L32 | N 17°40'35" E | 43.61' |
| L33 | N 16°34'12" E | 30.19' |
| L34 | N 18°20'31" E | 82.09' |
| L35 | N 23°06'42" E | 54.92' |
| L36 | N 12°28'00" E | 38.41' |
| L37 | N 07°55'18" E | 39.25' |
| L38 | N 09°57'57" E | 47.68' |
| L39 | N 37°37'10" E | 13.39' |
| L40 | N 02°06'01" E | 50.73' |
| L41 | N 17°12'53" E | 33.48' |
| L42 | N 09°06'02" E | 98.99' |
| L43 | N 14°55'50" E | 64.68' |
| L44 | N 03°00'07" E | 81.77' |
| L45 | N 26°47'22" E | 37.35' |
| L46 | N 03°57'25" E | 64.50' |
| L47 | N 06°32'57" E | 67.94' |
| L48 | N 07°22'58" W | 57.96' |
| L49 | N 03°44'59" W | 52.70' |
| L50 | N 07°30'19" W | 52.98' |
| L51 | N 01°29'27" E | 43.84' |
| L52 | N 03°47'34" E | 18.76' |
| L53 | N 12°29'03" E | 49.90' |
| L54 | N 14°28'18" E | 57.84' |
| L55 | N 11°42'23" E | 49.95' |
| L56 | N 09°50'23" E | 55.66' |
| L57 | N 12°09'54" E | 52.63' |
| L58 | N 33°47'24" E | 51.21' |
| L59 | N 31°37'06" E | 42.11' |
| L60 | N 32°30'40" W | 89.62' |

LEGEND

- EXISTING IRON PIPE
- IRON PIPE SET
- ▲ CALCULATED POINT
- BORE HOLE
- ⊙ SANITARY SEWER MANHOLE
- ⊙ SANITARY SEWER CLEANOUT
- ⊙ WATER VALVE
- ⊙ WATER METER
- ⊙ FIRE HYDRANT
- ⊙ TELEPHONE PEDESTAL
- ⊙ TELEPHONE MANHOLE
- ⊙ ELECTRIC BOX
- ⊙ LIGHT POLE
- ⊙ POWER POLE
- ⊙ CURB INLET
- ⊙ STORM DRAINAGE MANHOLE
- ⊙ YARD INLET
- STORM DRAIN PIPE
- OVERHEAD UTILITY LINES
- WATER LINE
- SANITARY SEWER LINE
- TELEPHONE LINE
- GAS LINE
- UNDERGROUND ELECTRIC
- UNDERGROUND TELEPHONE
- FENCE LINE

TREE LEGEND

- ⊙ BIRCH
- ⊙ CEDAR
- ⊙ CHERRY
- ⊙ ELM
- ⊙ HICKORY
- ⊙ HOLLY
- ⊙ MAGNOLIA
- ⊙ MAPLE
- ⊙ RED OAK
- ⊙ WHITE OAK
- ⊙ OAK
- ⊙ PEAR
- ⊙ PINE
- ⊙ POPLAR
- ⊙ REDBUD
- ⊙ WALNUT
- ⊙ CALIPER INCH SIZE OF TREE
- ⊙ TYPE OF TREE
- ⊙ FOR DOUBLE, T FOR TRIPLE

I, RONALD T. FREDERICK, CERTIFY THAT THIS PLAT WAS DRAWN UNDER MY SUPERVISION FROM AN ACTUAL SURVEY MADE UNDER MY SUPERVISION FROM DEED DESCRIPTION RECORDED IN BOOK AND PAGE (AS SHOWN); THAT THE BOUNDARIES NOT SURVEYED ARE CLEARLY INDICATED AND DRAWN FROM INFORMATION FOUND IN BOOK AND PAGE (AS SHOWN); THAT THE RATIO OF PRECISION AS CALCULATED IS 1:24,000; AND THAT THIS PLAT WAS PREPARED IN ACCORDANCE WITH G.S. 47-30 AS AMENDED. WITNESS MY ORIGINAL SIGNATURE, REGISTRATION NUMBER, AND SEAL THIS 15 DAY OF JANUARY A.D. 2014.

RONALD T. FREDERICK PLS L-4720

THE JOHN R. MCADAMS COMPANY, INC.
2905 Meridian Parkway
Durham, North Carolina 27713
License No.: C-02985
(800) 753-8646
McAdamsCo.com



REVISIONS:
NEW INTERIOR LOT LINES SHOWN 01-15-2014

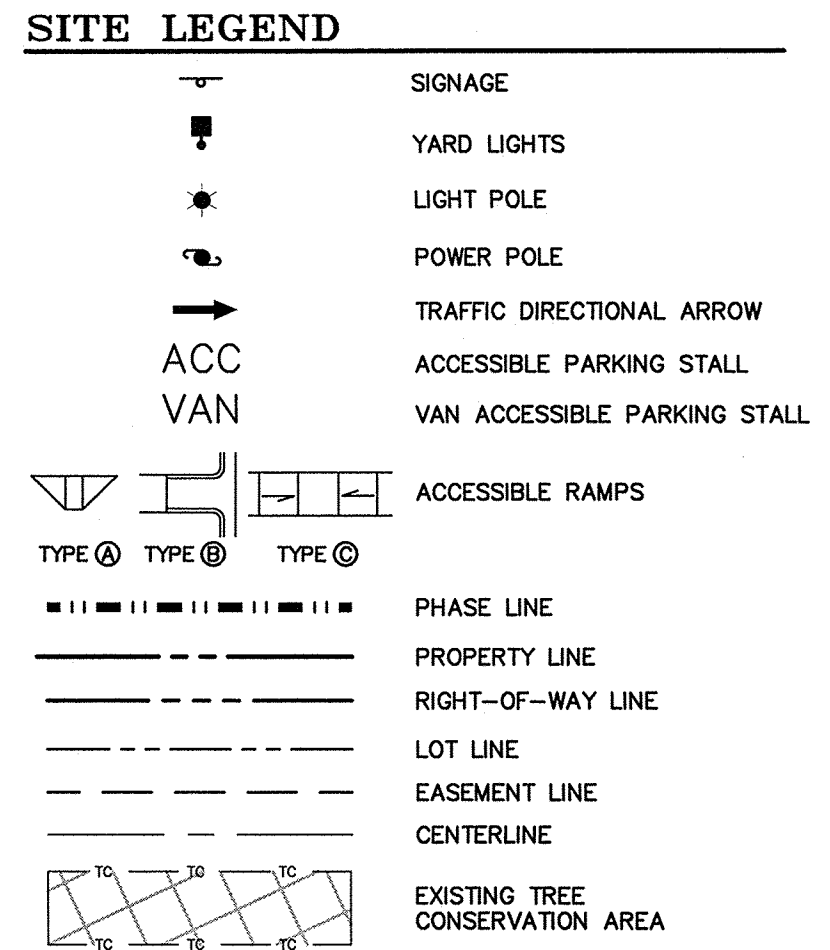
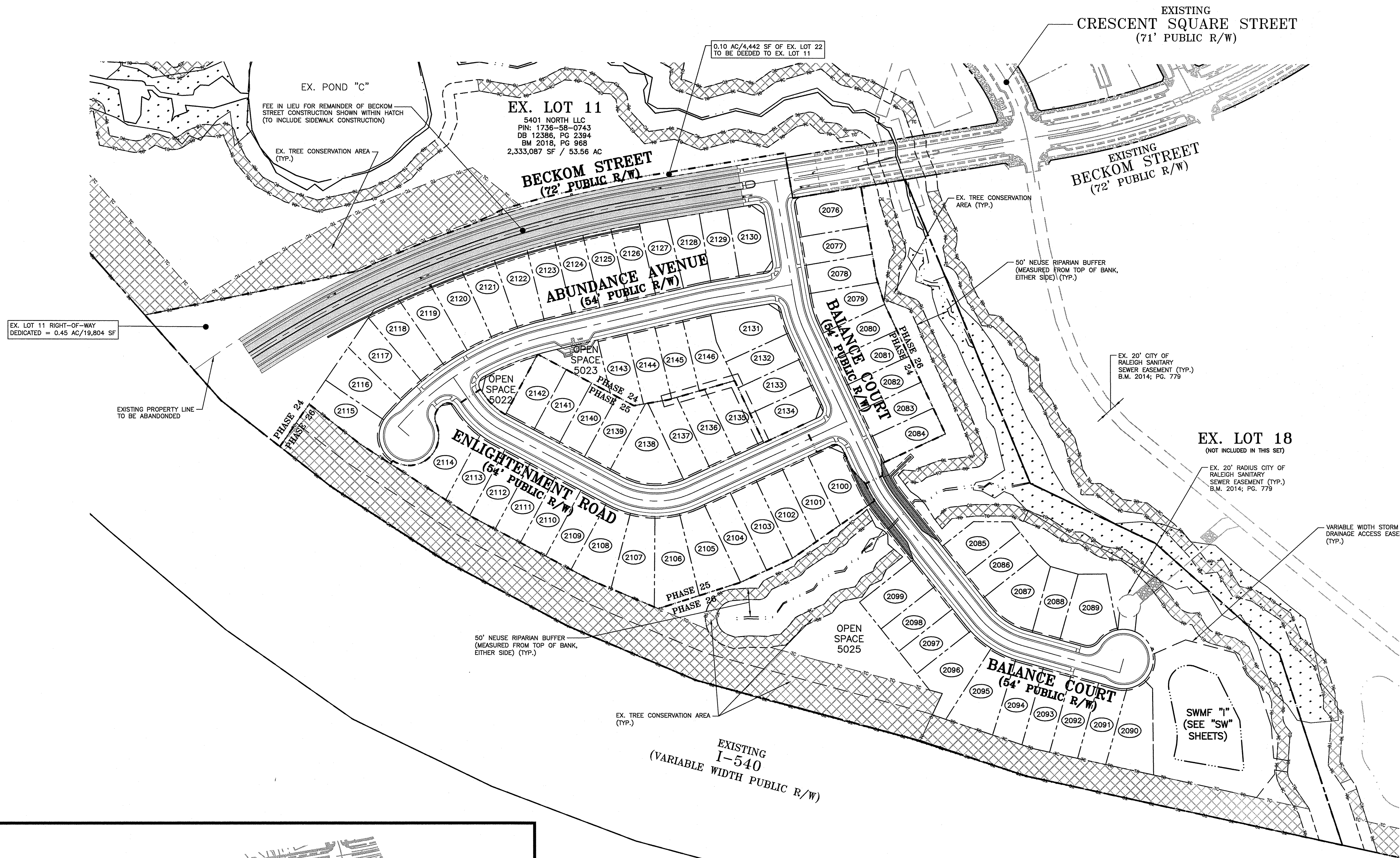
OWNER:
5401 NORTH, LLC
402 NORTH FOURTH STREET
BATON ROUGE, LOUISIANA 70802

5401 PHASES 2,3,4,7&9

PROJECT NO. CRC-12000
FILENAME: CRC12000-C1
DESCRIPTION: RTF
DRAWN BY: JBT
SCALE: 1"=200'
DATE: 05-20-13
SHEET NO. C-1



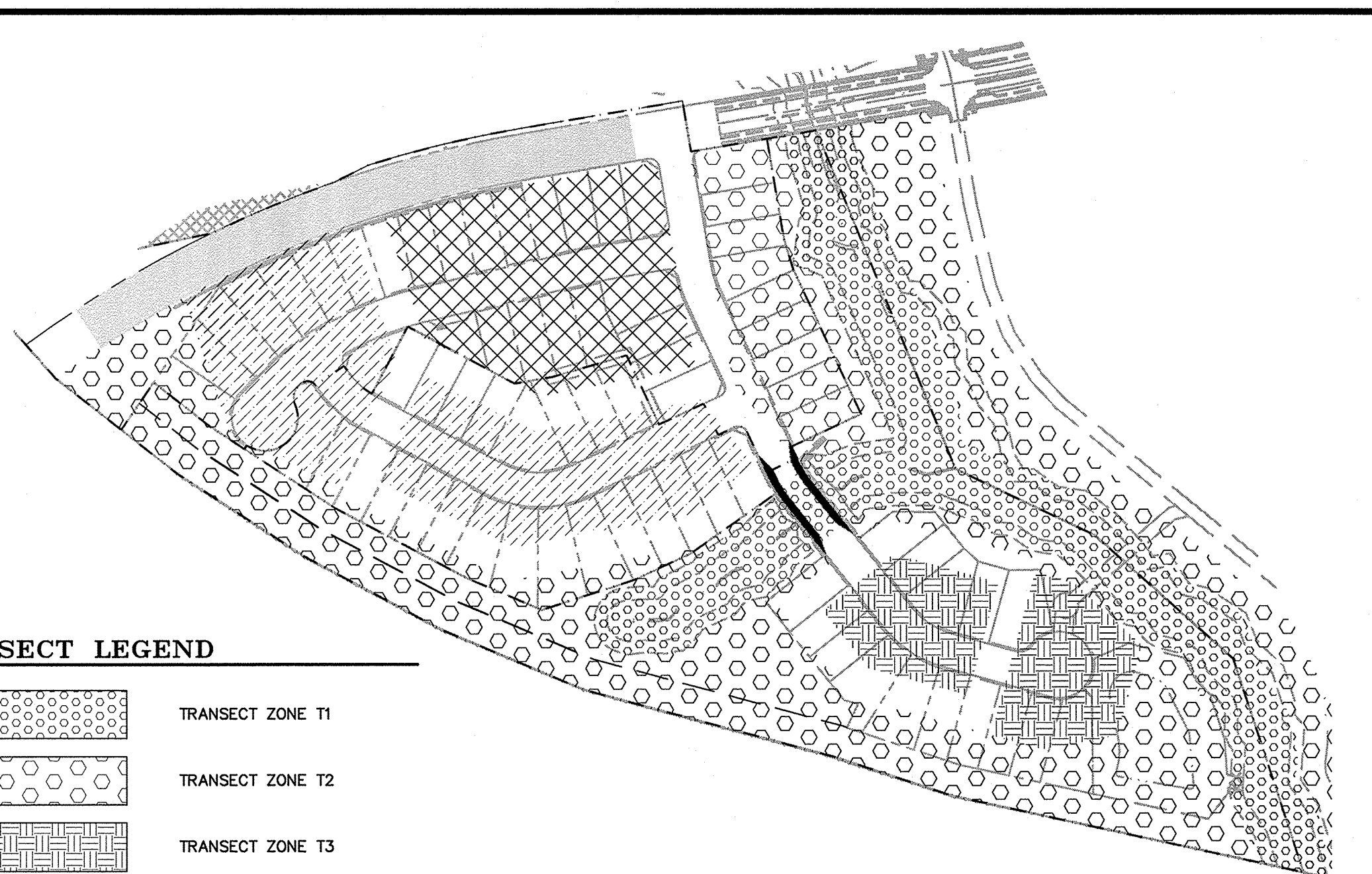
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SEE SHEET C-2 FOR ALL PROJECT, SITE, GRADING, STORM DRAINAGE AND UTILITY NOTES

SITE DATA

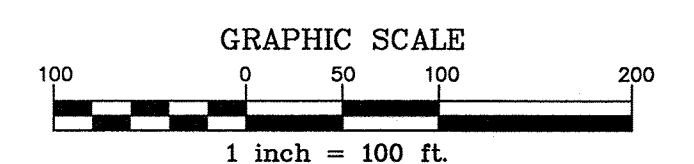
| | |
|------------------------|---|
| DEVELOPER: | LEVEL HOMES 6320 QUADRANGLE DRIVE STE. 100, CHAPEL HILL, NORTH CAROLINA 27517 |
| OWNER: (EX. LOT 22) | 5401 EAST DEVELOPMENT, LLC C/O ENGQUIST-LEVEL DEVELOPMENT, LLC 7500 PECUE LANE BATON ROUGE, LOUISIANA 70809 |
| OWNER: (EX. LOT 11) | 5401 NORTH, LLC 100 NORTH STREET, SUITE 900 BATON ROUGE, LOUISIANA 70802 |
| PIN NUMBERS: | 1736-67-0500 & 1736-58-0743 |
| TOTAL PDD AREA: | 404.44 AC. |
| LOT 22 AREA: | GROSS AREA = 1,174,171 SF / 26.86 AC AREA DEEDED TO EX. LOT 11 = 4,442 SF / 0.10 AC R/W DEDICATION PHASE 24 = 175,145 SF / 4.02 AC R/W DEDICATION PHASE 25 = 36,390 SF / 0.83 AC R/W DEDICATION PHASE 26 = 34,255 SF / 0.79 AC R/W DEDICATION TOTAL = 245,790 SF / 5.64 AC NET AREA = 923,939 SF / 21.21 AC |
| LOT 11 AREA: | GROSS AREA = 2,333,087 SF / 53.56 AC AREA DEEDED FROM EX. LOT 22 = 4,442 SF / 0.10 AC R/W DEDICATION PHASE 24 = 19,804 SF / 0.45 AC NET AREA = 2,317,725 SF / 53.21 AC |
| EXISTING ZONING: | PD |
| OVERLAY DISTRICT: | SHOD-1 |
| CURRENT USE: | VACANT |
| EXISTING LOTS: | 2 (EXISTING LOT 22 & 11) |
| PROPOSED LOTS: | 74 (INCLUDES 3 OPEN SPACE LOTS) |
| INSIDE CITY LIMITS: | NO |
| FEMA FIRM MAP: | 3720173600J, DATED MAY 2, 2006 |
| RIVER BASIN: | NEUSE RIVER |



TRANSECT LEGEND

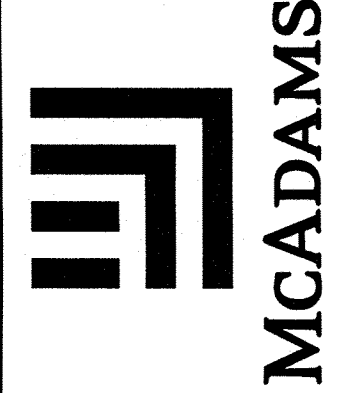
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|--|--------------------|
| | TRANSECT ZONE T1 |
| | TRANSECT ZONE T2 |
| | TRANSECT ZONE T3 |
| | TRANSECT ZONE T4-0 |
| | TRANSECT ZONE T5 |

TRANSECT MAP OVERLAY
1" = 200'



PRELIMINARY DRAWING - NOT RELEASED FOR CONSTRUCTION

THE JOHN R. MCADAMS COMPANY, INC.
2905 Meridian Parkway
Durham, North Carolina 27713
Tel: 919.486.0400
Fax: 919.486.0401
(800) 755-5686 • jrmcadams.com



REVISIONS:

| | |
|--|--|
| | |
| | |
| | |
| | |
| | |
| | |
| | |

OWNER:
ELD-5401 NORTH, LLC
C/O ENGQUIST-LEVEL DEVELOPMENT, LLC
7500 PECUE LANE
BATON ROUGE, LOUISIANA 70809
(225) 838-6120

5401 NORTH LOT - 22 PRELIMINARY SUBDIVISION RALEIGH, NORTH CAROLINA OVERALL SUBDIVISION PLAN

| | |
|--------------|-----------------|
| PROJECT NO.: | CR16020 |
| FILENAME: | CR16020-PS-OAS1 |
| CHECKED BY: | BAR |
| DRAWN BY: | CNS |
| SCALE: | 1" = 100' |
| DATE: | 06-26-2018 |
| SHEET NO.: | C-4 |



| NEW LOTS CREATED | | | |
|-------------------|----------|----------|-----------|
| PHASE | 24 | 25 | 26 |
| TOTAL AREA | 8.96 AC. | 4.75 AC. | 13.24 AC. |
| # LOTS | 33 | 23 | 15 |
| # OPEN SPACE LOTS | 2 | 0 | 1 |
| TOTAL # OF LOTS | 35 | 23 | 16 |

| SIGHT DISTANCE TRIANGLE TABLE | | | |
|-------------------------------|------------------------------|--------------------|--------------------|
| SPEED LIMIT | SIGHT DISTANCE TRIANGLE TYPE | LEFT TURN | RIGHT TURN |
| 25 MPH | TWO STAGE | 7'x280' / 15'x280' | 7'x240' / 15'x240' |
| (2 LANE UNDIVIDED) | SINGLE STAGE | 15'x280' | 15'x240' |
| 35 MPH | TWO STAGE | 7'x470' / 15'x470' | 7'x340' / 15'x340' |
| (4 LANE DIVIDED) | SINGLE STAGE | 15'x470' | 15'x340' |

NOTE: THE POSTED SPEED = 25 MPH & DESIGN SPEED = 30 MPH ON ALL STREETS EXCEPT FOR PERRY CREEK ROAD & BECKOM STREET WHICH WILL BE POSTED AT 35 MPH WITH A DESIGN SPEED OF 40 MPH.

PAVEMENT MARKING LEGEND

- LANE LINES/MARKINGS**
- TA 4" WHITE EDGELINE
 - TB 4" YELLOW EDGELINE
 - TC 4" WHITE SKIP (10')
 - TD 4" WHITE MINISIP (3'-9" SPACING)
 - TE 4" WHITE SOLID LANE LINE
 - TF 4" YELLOW DOUBLE CENTER
 - TT 8" YELLOW DIAGONAL
 - TP 8" WHITE GORELINE
 - TQ 8" WHITE CROSSWALK
 - TI 16" WHITE LINE, RAILROAD CROSSBAR
 - TJ 24" WHITE STOPBAR
 - TK 24" WHITE CROSSWALK LINE (HIGH VISIBILITY)
 - TL 4" WHITE MINISIP (2')

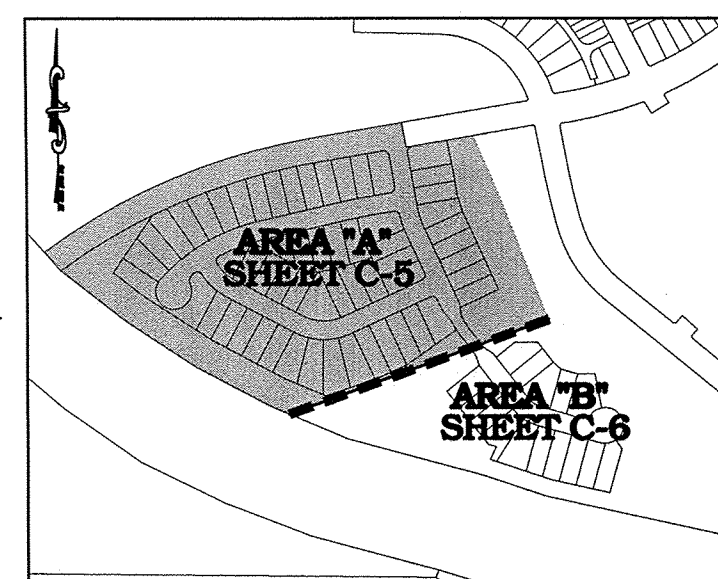
ARROWS/CHARACTERS

- UA ALPHANUMERIC CHARACTER
- UB LEFT TURN ARROW
- UC RIGHT TURN ARROW
- UD STRAIGHT ARROW
- UE COMBINATION STRAIGHT/LEFT TURN ARROW
- UF COMBINATION STRAIGHT/RIGHT TURN ARROW
- UG COMBINATION STRAIGHT/RIGHT TURN/LEFT TURN ARROW
- UH MERGE ARROW
- UI BIKE LANE SYMBOL WITH ARROW

ALL PAVEMENT MARKINGS SHALL BE THERMOPLASTIC AND ARE TO BE PLACED PER NCDOT STANDARDS (REFERENCE NCDOT DETAILS (1205.01-1205.12))

EASEMENT LEGEND:

- PE PUBLIC STORM DRAINAGE EASEMENT
- PRE PRIVATE STORM DRAINAGE EASEMENT
- PH 3'x3' CITY OF RALEIGH UTILITY EASEMENT CENTERED ON FIRE HYDRANT
- SDTE SIGHT DISTANCE TRIANGLE EASEMENT
- RE RETAINING WALL MAINTENANCE EASEMENT
- SSS CITY OF RALEIGH SANITARY SEWER EASEMENT
- 3' CITY OF RALEIGH UTILITY EASEMENT
- PAE PUBLIC PEDESTRIAN ACCESS EASEMENT



EX. LOT 11

5401 NORTH LLC
PIN: 1736-58-0743
DB 12386, PG 2394
BM 2018, PG 968
2,333,087-SF / 53.56 AC

BECKOM STREET

(72' PUBLIC R/W)

EXISTING BECKOM STREET

(72' PUBLIC R/W)

SEE SHEET C-2 FOR ALL PROJECT, SITE, GRADING, STORM DRAINAGE AND UTILITY NOTES

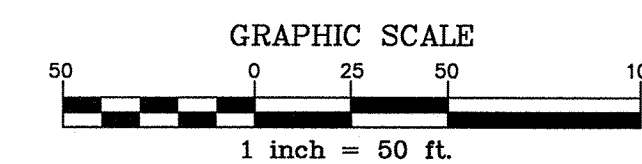
SITE LEGEND

- SIGNAGE
- TRAFFIC DIRECTIONAL ARROW
- ACCESSIBLE RAMPS
- ACCESSIBLE ROUTE
- PHASE LINE
- PROPERTY LINE
- RIGHT-OF-WAY LINE
- LOT LINE
- EASEMENT LINE
- CENTERLINE
- EXISTING TREE CONSERVATION AREA
- WETLAND

EX. LOT 18

(NOT INCLUDED IN THIS SET)

SEE SHEET C-6



PRELIMINARY DRAWING - NOT RELEASED FOR CONSTRUCTION

X:\Projects\CRC-16020\Land\Construction Drawings\CRC16020-PS-51.dwg, 8/29/2018 4:46:31 PM, Schmitt, Chris

THE JOHN R. MCADAMS COMPANY, INC.
2905 Meridian Parkway
Durham, North Carolina 27713
License No.: C-0298
(800) 733-5646 • mcadamsco.com



MCADAMS

REVISIONS:

OWNER: ELD-5401 NORTH, LLC
C/O ENGQUIST-LEVEL DEVELOPMENT, LLC
7500 PECUE LANE
BATON ROUGE, LOUISIANA 70809
(225) 338-6120

5401 NORTH LOT - 22
PRELIMINARY SUBDIVISION
RALEIGH, NORTH CAROLINA
SUBDIVISION & PAVEMENT MARKING PLAN - AREA 'A'

PROJECT NO. CRC-16020
PLAN NAME: CRC16020-PS-51
CHECKED BY: JGM
DRAWN BY: CNS
SCALE: 1" = 50'
DATE: 06-26-2018
SHEET NO. C-5



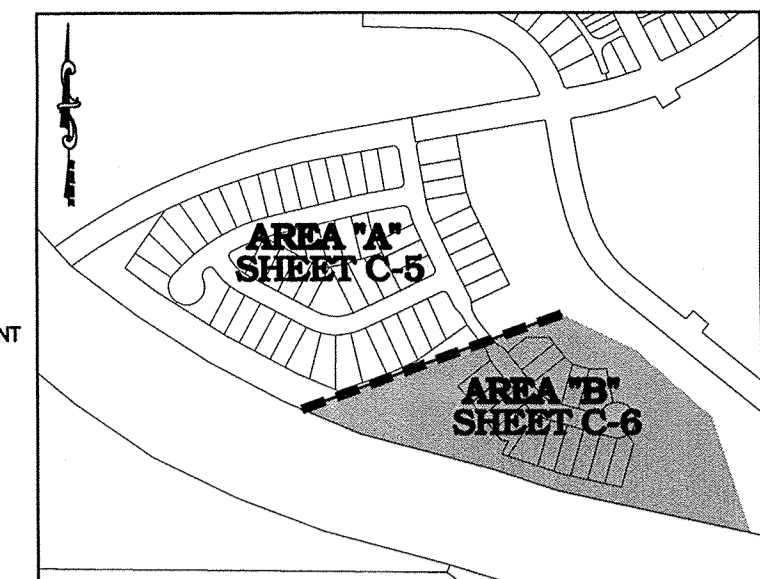
| SIGHT DISTANCE TRIANGLE TABLE | | | |
|-------------------------------|--------------------------------------|--------------------|--------------------|
| SPEED LIMIT | SIGHT DISTANCE TRIANGLE TYPE | LEFT TURN | RIGHT TURN |
| 25 MPH | TWO STAGE SIGHT DISTANCE TRIANGLE | 7'x280' / 15'x280' | 7'x240' / 15'x240' |
| (2 LANE UNDIVIDED) | SINGLE STAGE SIGHT DISTANCE TRIANGLE | 15'x280' | 15'x240' |
| 35 MPH | TWO STAGE SIGHT DISTANCE TRIANGLE | 7'x470' / 15'x470' | 7'x340' / 15'x340' |
| (4 LANE DIVIDED) | SINGLE STAGE SIGHT DISTANCE TRIANGLE | 15'x470' | 15'x340' |

NOTE: THE POSTED SPEED = 25 MPH & DESIGN SPEED = 30 MPH ON ALL STREETS EXCEPT FOR PERRY CREEK ROAD & BECKOM STREET WHICH WILL BE POSTED AT 35 MPH WITH A DESIGN SPEED OF 40 MPH.

| NEW LOTS CREATED | | | |
|-------------------|----------|----------|-----------|
| PHASE | 24 | 25 | 26 |
| TOTAL AREA | 8.96 AC. | 4.75 AC. | 13.24 AC. |
| # LOTS | 33 | 23 | 15 |
| # OPEN SPACE LOTS | 2 | 0 | 1 |
| TOTAL # OF LOTS | 35 | 23 | 16 |

EASEMENT LEGEND:

- (PS) PUBLIC STORM DRAINAGE EASEMENT
- (PSE) PRIVATE STORM DRAINAGE EASEMENT
- (FHE) 3'x3' CITY OF RALEIGH UTILITY EASEMENT CENTERED ON FIRE HYDRANT
- (SDTE) SIGHT DISTANCE TRIANGLE EASEMENT
- (WE) RETAINING WALL MAINTENANCE EASEMENT
- (SSE) CITY OF RALEIGH SANITARY SEWER EASEMENT
- (UE) 3' CITY OF RALEIGH UTILITY EASEMENT
- (PAE) PUBLIC PEDESTRIAN ACCESS EASEMENT

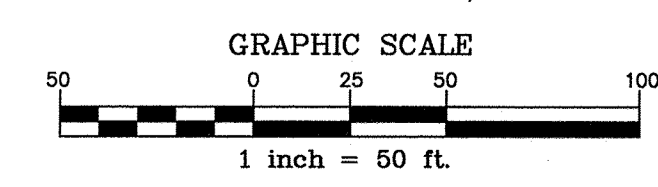
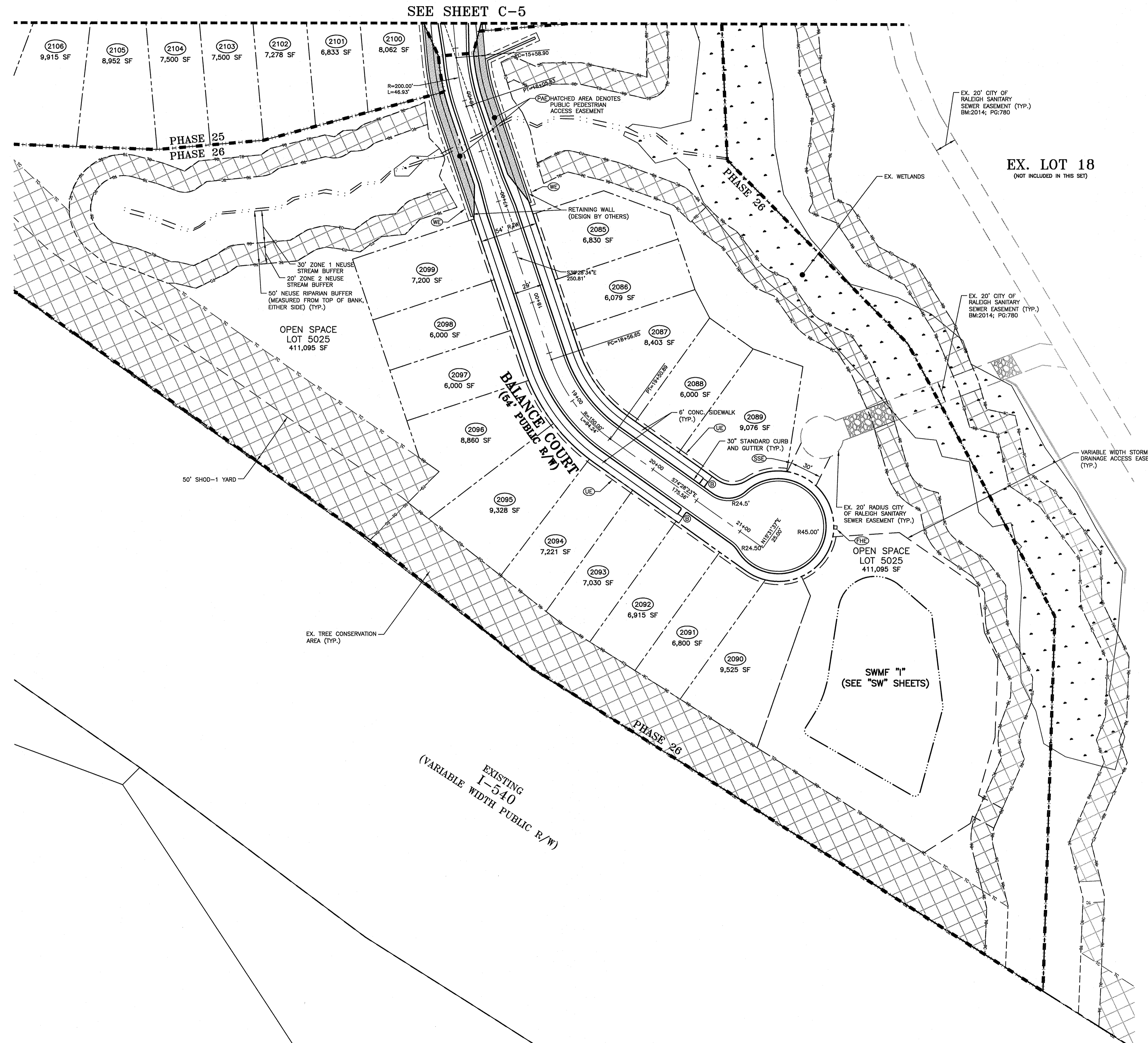


INDEX MAP

SEE SHEET C-2 FOR ALL PROJECT, SITE, GRADING, STORM DRAINAGE AND UTILITY NOTES

SITE LEGEND

- (T) SIGNAGE
- (→) TRAFFIC DIRECTIONAL ARROW
- (R) ACCESSIBLE RAMPS
- (A) (B) (C) ACCESSIBLE ROUTE
- (---) PHASE LINE
- (---) PROPERTY LINE
- (---) RIGHT-OF-WAY LINE
- (---) LOT LINE
- (---) EASEMENT LINE
- (---) CENTERLINE
- (T) EXISTING TREE CONSERVATION AREA
- (---) WETLAND



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THE JOHN R. MCADAMS COMPANY, INC.
2805 Meridian Parkway
Durham, North Carolina 27713
License No: C-0283
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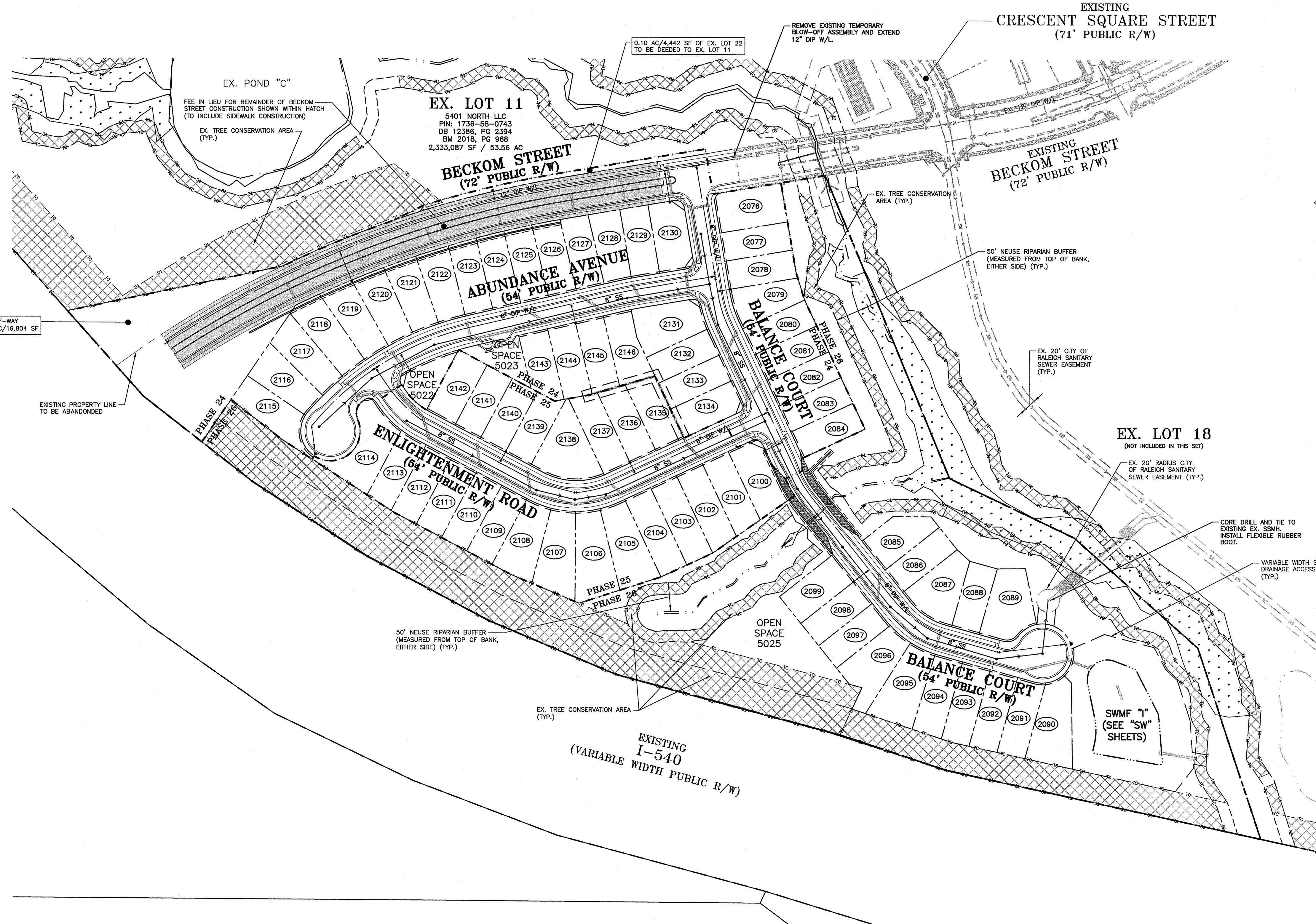
REVISIONS:

OWNER:
ELD-5401 NORTH, LLC
C/O ENGQUIST-LEVEL DEVELOPMENT, LLC
7500 PECUE LANE
ROUGE, LOUISIANA 70809
BATON (225) 338-6120

5401 NORTH LOT - 22
PRELIMINARY SUBDIVISION
RALEIGH, NORTH CAROLINA
SUBDIVISION & PAVEMENT MARKING PLAN - AREA "B"

| | |
|-------------|----------------|
| PROJECT NO. | CRC-16020 |
| FILENAME | CRC16020-PS-S1 |
| CHECKED BY: | JGM |
| DRAWN BY: | CNS |
| SCALE: | 1" = 50' |
| DATE: | 06-26-2018 |
| SHEET NO. | C-6 |

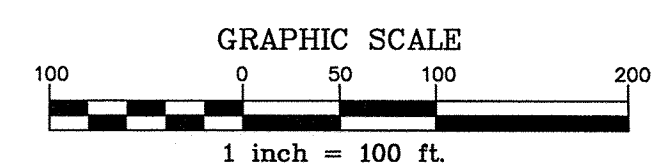




SEE SHEET C-2 FOR ALL PROJECT, SITE, GRADING, STORM DRAINAGE AND UTILITY NOTES

UTILITY LEGEND

| | |
|--|----------------------------------|
| | FIRE HYDRANT ASSEMBLY |
| | FIRE DEPARTMENT CONNECTION (FDC) |
| | WATER METER |
| | WATER VALVE |
| | POST INDICATOR VALVE |
| | VALVE IN MANHOLE |
| | METER & VAULT |
| | BACKFLOW PREVENTER |
| | REDUCER |
| | PLUG |
| | BLOW-OFF ASSEMBLY |
| | SANITARY SEWER MANHOLE |
| | SEWER CLEAN-OUT |
| | GREASE TRAP |
| | SEWER FLOW DIRECTION ARROW |
| | YARD LIGHTS |
| | LIGHT POLE |
| | POWER POLE |
| | LINE BREAK SYMBOL |
| | WATERLINE |
| | WATER SERVICE LINE |
| | UTILITY SLEEVE |
| | SANITARY SEWER |
| | SEWER SERVICE LINE |
| | SEWER FORCE MAIN |
| | GAS LINE |
| | OVERHEAD UTILITY |
| | UNDERGROUND ELECTRIC |
| | TELEPHONE LINE |
| | EASEMENT LINE |



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SEGMENTAL RETAINING WALL TO BE REMOVED/RELOCATED OR ADJUSTED AS NEEDED FOR FUTURE BRIDGE/STREET CONNECTION

EX. LOT 11 RIGHT-OF-WAY DEDICATED = 0.45 AC/19,804 SF

FEE IN LIEU FOR STA. 25+86.50 THRU STA. 35+00.00 OF BECKOM STREET CONSTRUCTION SHOWN WITHIN HATCHED AREA (TO INCLUDE SIDEWALK CONSTRUCTION) (FEE IN LIEU MUST BE PAID PRIOR TO MAP RECORDATION)

EX. LOT 11
5401 NORTH LLC
PIN: 1736-58-0743
DB 12386, PG 2394
BM 2018, PG 968
2,333,087 SF / 53.56 AC

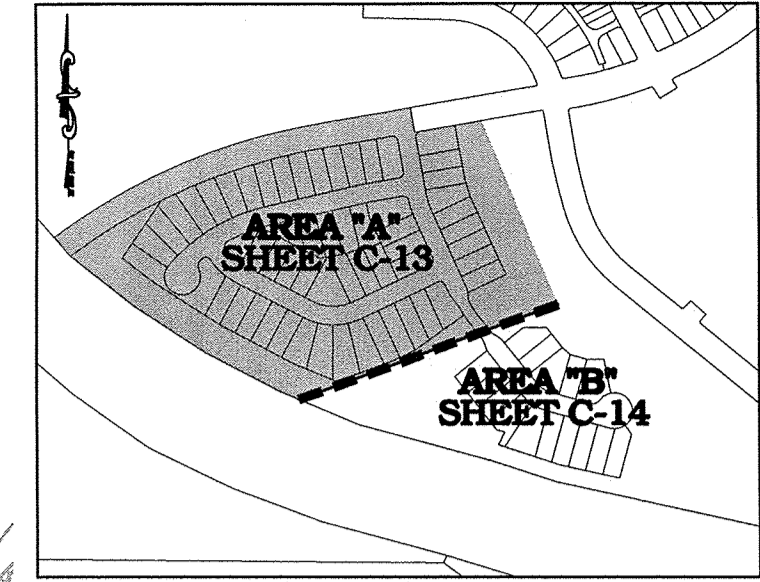
FULL BUILD OUT OF BECKOM STREET IS REQUIRED FROM END OF EXISTING STREET STUB TO STATION 25+86.50 (INCLUDING ALL WALKS, PEDESTRIAN REFUGE, STORM & UTILITIES). THE REMAINING PORTION OF BECKOM STREET (STA. 25+86.50 THRU STA. 35+00.00) TO BE GRADED ONLY (BUT NOT CONSTRUCTED WITH STONE/PAVEMENT/CURB/UTILITIES) & RETAINING WALL TO BE STABILIZED.

0.10 AC/4,442 SF OF EX. LOT 22 TO BE DEEDED TO EX. LOT 11

REMOVE EX. 12" TEMPORARY BLOW-OFF ASSEMBLY & EXTEND 12" DIP W/L

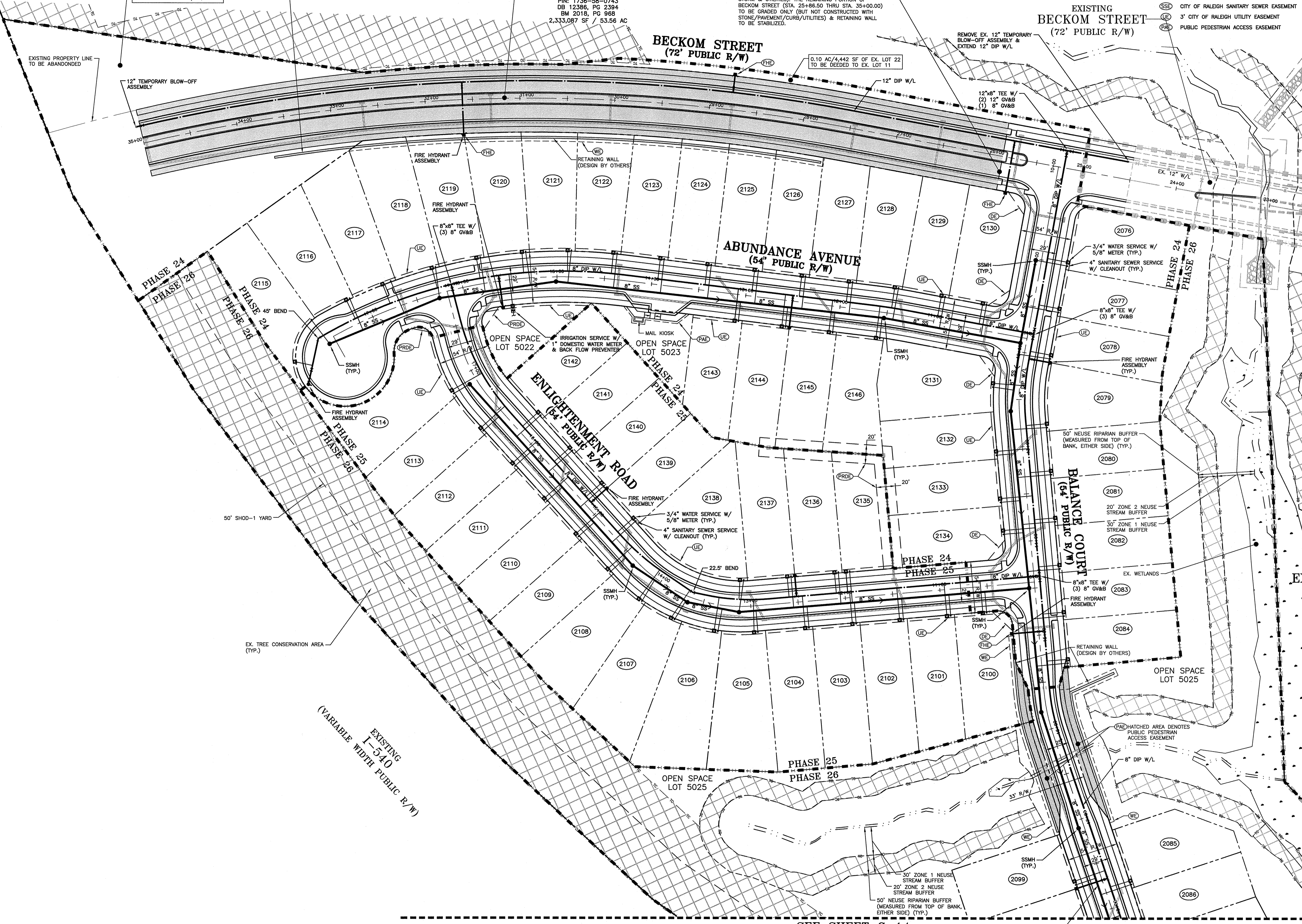
EXISTING BECKOM STREET
(72' PUBLIC R/W)

- EASEMENT LEGEND:**
- DE PUBLIC STORM DRAINAGE EASEMENT
 - PRDE PRIVATE STORM DRAINAGE EASEMENT
 - FHE 3'x3' CITY OF RALEIGH UTILITY EASEMENT CENTERED ON FIRE HYDRANT
 - SDTE SIGHT DISTANCE TRIANGLE EASEMENT
 - WE RETAINING WALL MAINTENANCE EASEMENT
 - SSS CITY OF RALEIGH SANITARY SEWER EASEMENT
 - UE 3' CITY OF RALEIGH UTILITY EASEMENT
 - PAE PUBLIC PEDESTRIAN ACCESS EASEMENT



SEE SHEET C-2 FOR ALL PROJECT, SITE, GRADING, STORM DRAINAGE AND UTILITY NOTES

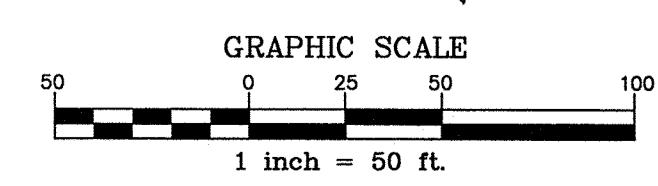
- UTILITY LEGEND**
- FIRE HYDRANT ASSEMBLY
 - WATER METER
 - WATER VALVE
 - POST INDICATOR VALVE
 - VALVE IN MANHOLE
 - METER & VAULT
 - BACKFLOW PREVENTER
 - REDUCER
 - PLUG
 - BLOW-OFF ASSEMBLY
 - SANITARY SEWER MANHOLE
 - SEWER CLEAN-OUT
 - GREASE TRAP
 - SEWER FLOW DIRECTION ARROW
 - YARD LIGHTS
 - LIGHT POLE
 - POWER POLE
 - LINE BREAK SYMBOL
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 - UTILITY SLEEVE
 - SANITARY SEWER
 - SEWER SERVICE LINE
 - SEWER FORCE MAIN
 - GAS LINE
 - OVERHEAD UTILITY
 - UNDERGROUND ELECTRIC
 - TELEPHONE
 - EASEMENT LINE
 - EXISTING TREE CONSERVATION AREA



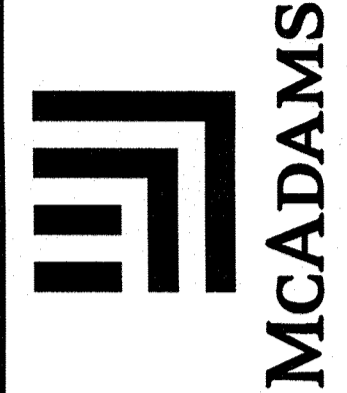
SEE SHEET C-14

ALL SANITARY SEWER THAT FALLS WITHIN BALANCE COURT PHASE 26 TO BE INSTALLED AND ROAD TO BE BROUGHT UP TO GRADE DURING PHASE 24 CONSTRUCTION.

EX. LOT 18



THE JOHN R. MCADAMS COMPANY, INC.
2905 Meridian Parkway
Durham, North Carolina 27713
License No. C-0285
(800) 755-8646 • mcadamsco.com



REVISIONS:

OWNER:
ELD-5401 NORTH, LLC
C/O ENGQUIST-LEVEL DEVELOPMENT, LLC
7500 PECUE LANE
BATON ROUGE, LOUISIANA 70809
(225) 938-6120

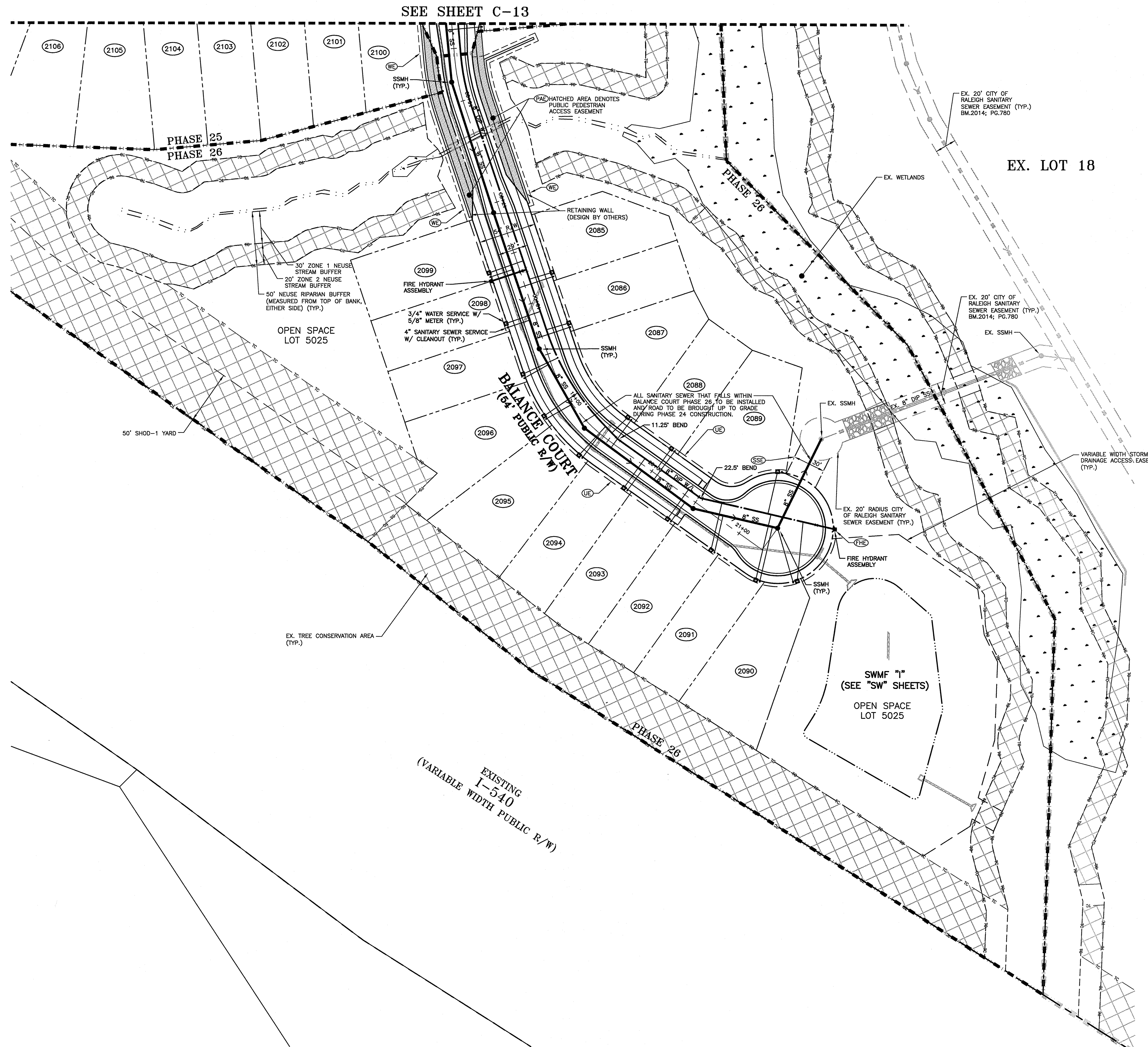
5401 NORTH LOT - 22
PRELIMINARY SUBDIVISION
RALEIGH, NORTH CAROLINA
UTILITY PLAN - AREA "A"

PROJECT NO. CRC-16020
FILENAME: CRC16020-PS-U1
CHECKED BY: JGM
DRAWN BY: CNS
SCALE: 1" = 50'
DATE: 06-26-2018
SHEET NO. **C-13**



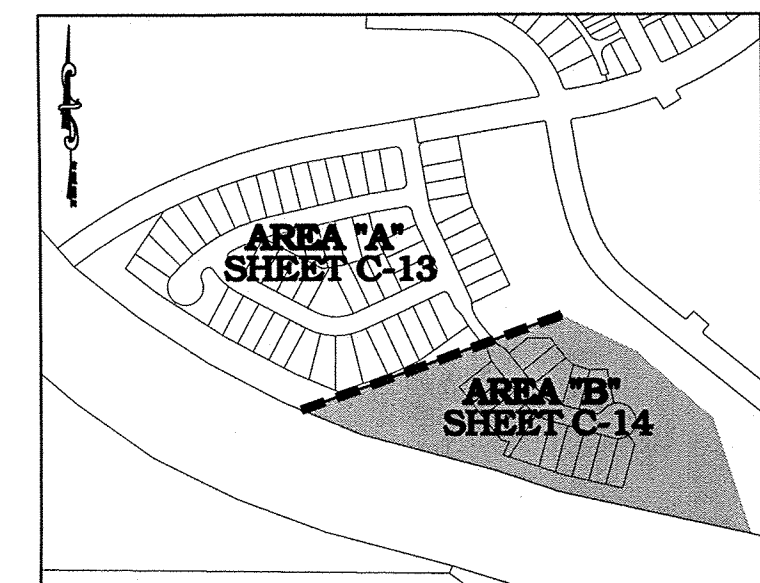
PRELIMINARY DRAWING - NOT RELEASED FOR CONSTRUCTION

X:\Projects\CRC-16020\Land\Construction Drawings\CRC16020-Preliminary Subdivision-UI.dwg, 6/29/2018 4:55:31 PM, Schmitt, Chris



EASEMENT LEGEND:

- (DE) PUBLIC STORM DRAINAGE EASEMENT
- (PRDE) PRIVATE STORM DRAINAGE EASEMENT
- (FHE) 3'-3' CITY OF RALEIGH UTILITY EASEMENT CENTERED ON FIRE HYDRANT
- (SDTE) SIGHT DISTANCE TRIANGLE EASEMENT
- (WE) RETAINING WALL MAINTENANCE EASEMENT
- (SSE) CITY OF RALEIGH SANITARY SEWER EASEMENT
- (UE) 3' CITY OF RALEIGH UTILITY EASEMENT
- (PAE) PUBLIC PEDESTRIAN ACCESS EASEMENT

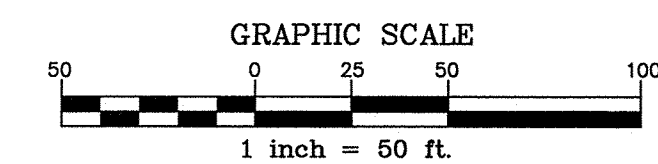


INDEX MAP

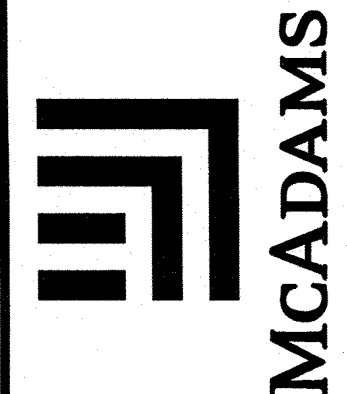
SEE SHEET C-2 FOR ALL PROJECT, SITE, GRADING, STORM DRAINAGE AND UTILITY NOTES

UTILITY LEGEND

- FIRE HYDRANT ASSEMBLY
- WATER METER
- WATER VALVE
- POST INDICATOR VALVE
- VALVE IN MANHOLE
- METER & VAULT
- BACKFLOW PREVENTER
- REDUCER
- PLUG
- BLOW-OFF ASSEMBLY
- SANITARY SEWER MANHOLE
- SEWER CLEAN-OUT
- GREASE TRAP
- SEWER FLOW DIRECTION ARROW
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- UTILITY SLEEVE
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- SEWER SERVICE LINE
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- GAS LINE
- OVERHEAD UTILITY
- UNDERGROUND ELECTRIC
- TELEPHONE
- EASEMENT LINE
- EXISTING TREE CONSERVATION AREA



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2905 Meridian Parkway
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License No.: C-0289
(800) 755-8646 # McAdamsCo.com



REVISIONS:

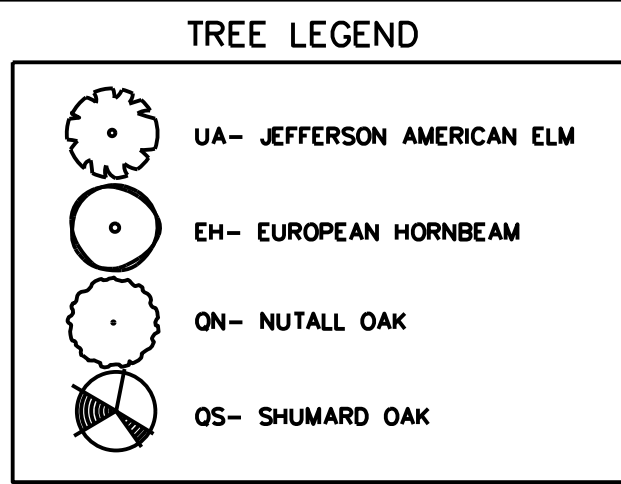
OWNER:
ELD-5401 NORTH, LLC
C/O ENGQUIST-LEVEL DEVELOPMENT, LLC
7500 PECUE LANE
BATON ROUGE, LOUISIANA 70809
(225) 338-6120

5401 NORTH LOT - 22
PRELIMINARY SUBDIVISION
RALEIGH, NORTH CAROLINA
UTILITY PLAN - AREA "B"

PROJECT No. CRC-16020
FILENAME: CRC16020-PS-UI
CHECKED BY: JGM
DRAWN BY: CNS
SCALE: 1" = 50'
DATE: 06-26-2018
SHEET No. **C-14**



| PLANT LIST - 5401 North Street Tree Plant List | | | | | | |
|--|-----------------------------|------------------------|------|------|------|----------|
| KEY | BOTANICAL NAME | COMMON NAME | SIZE | ROOT | QTY. | COMMENTS |
| UA | Ulmus americana "Jefferson" | Jefferson American Elm | 4" | B&B | 35 | |
| QN | Quercus nuttalli | Nuttall Oak | 4" | B&B | 43 | |
| QS | Quercus shumardii | Shumard Oak | 4" | B&B | 39 | |
| EH | Carpinus betulus | European Hornbeam | 4" | B&B | 32 | |



LANDSCAPE CALCULATIONS

| Street Name | Linear Footage | Req'd Street Trees | Provided Street Trees |
|--------------------|----------------|--------------------|-----------------------|
| Beckom Street | 826 | 41 | 43 |
| Abundance Avenue | 643 | 32 | 32 |
| Enlightenment Road | 698 | 35 | 35 |
| Balance Court | 781 | 39 | 39 |

*LINEAR FOOTAGE IS AVERAGE OF USABLE TREE LAWN (EXCLUDING SIGHT TRIANGLES) ON BOTH SIDES OF THE STREET DIVIDED BY 2. REQ'D TREE CALCULATION: LF/40*2.

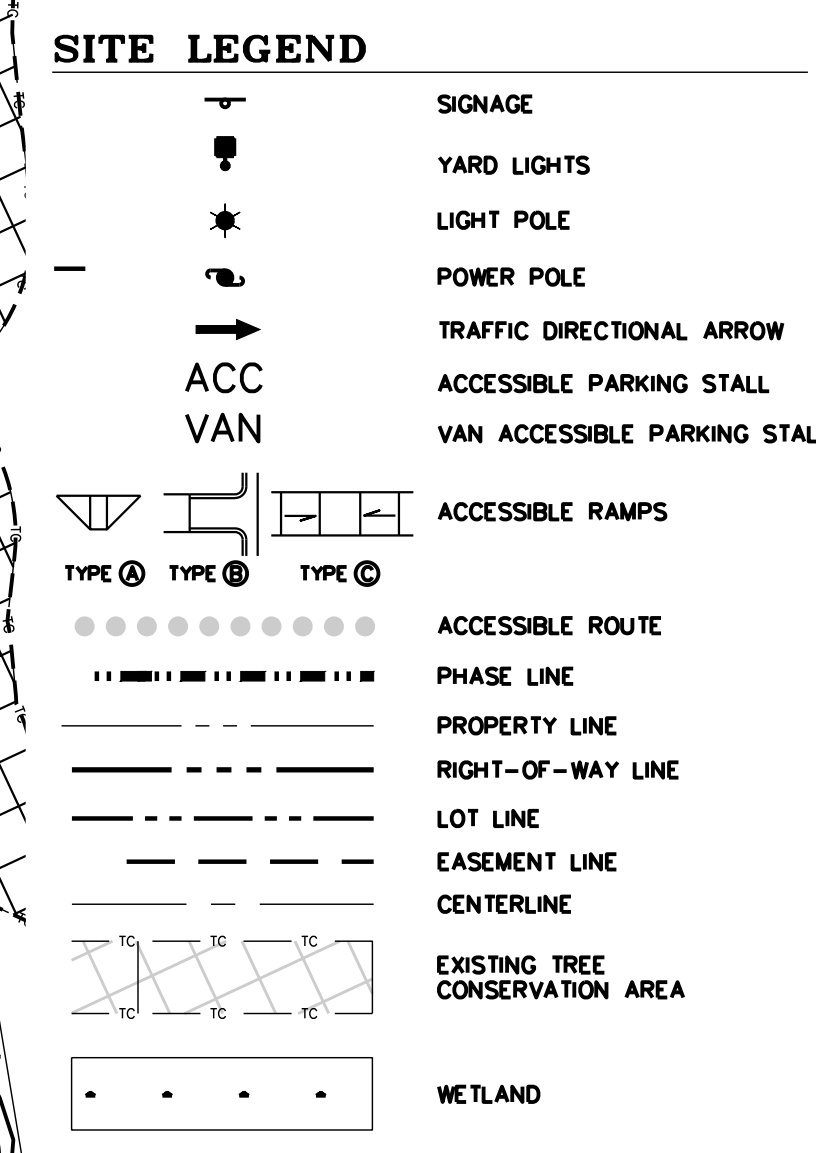
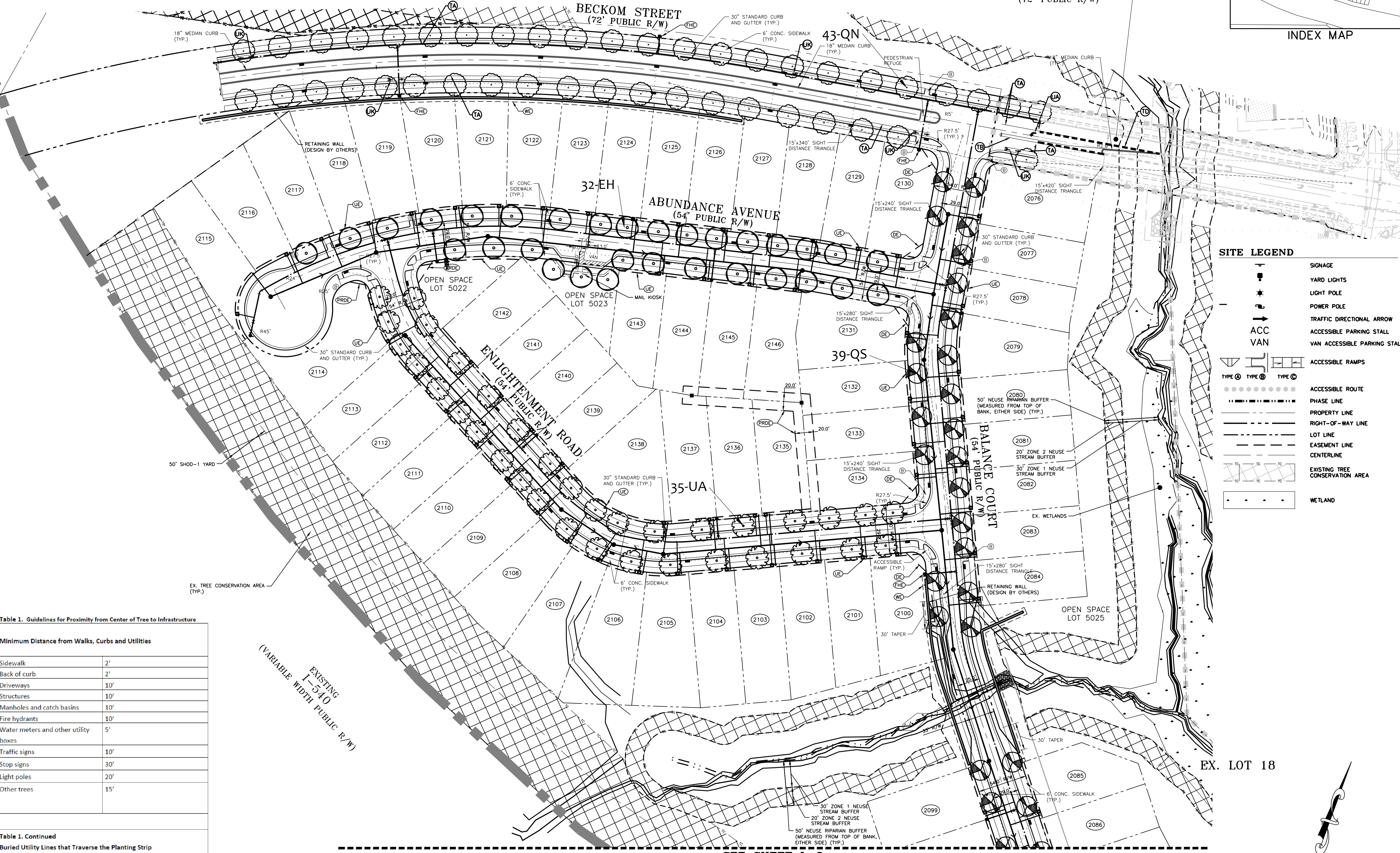
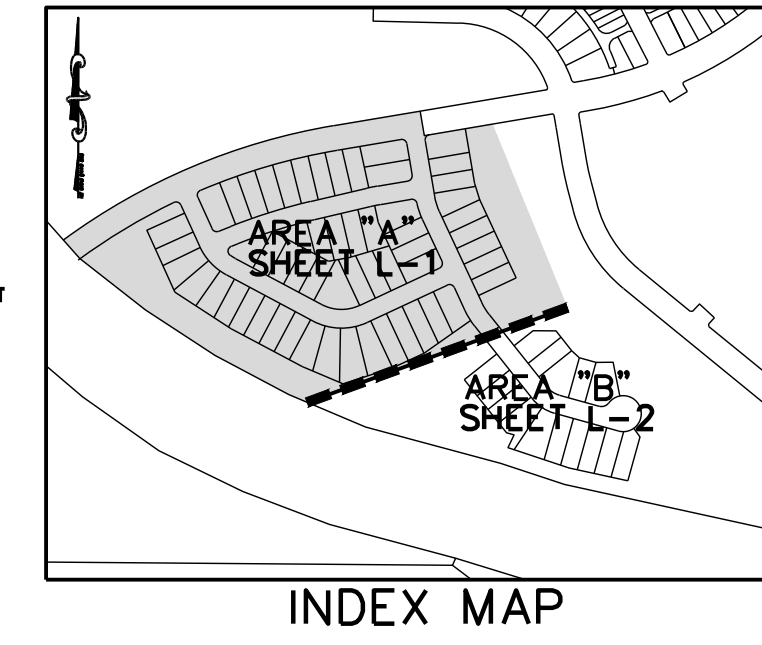
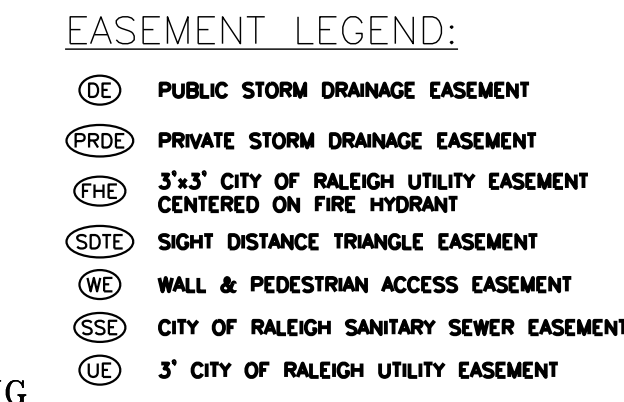


Table 1. Guidelines for Proximity from Center of Tree to Infrastructure

| Minimum Distance from Walks, Curbs and Utilities | |
|--|-----|
| Sidewalk | 2' |
| Back of curb | 2' |
| Driveways | 10' |
| Structures | 10' |
| Manholes and catch basins | 10' |
| Fire hydrants | 10' |
| Water meters and other utility boxes | 5' |
| Traffic signs | 10' |
| Stop signs | 30' |
| Light poles | 20' |
| Other trees | 15' |

Table 1. Continued

| Buried Utility Lines that Traverse the Planting Strip | |
|---|---------------------|
| Water & sewer | 10' |
| Sewer easements | Planting prohibited |
| All other services | 10' |

REVISIONS:

- COR Comments - 11/27/17
- COR Comments - 3/5/18

Lot 22 Landscape Plan "Area A"
5401 North-Lot 22
 7740 Midtown Market Avenue
 Raleigh, NC

SCALE:
 1"=50'
 DRAWN BY:
 CDR
 PROJECT #
 06045
 DATE:
 8/21/17

SHEET
L-1
 OF 3



TONY M. TATE LANDSCAPE ARCHITECTURE, PA
 5011 SOUTH PARK DRIVE, STE. 200 - DURHAM, NC 27713
 P: (919) 484-8880 F: (919) 484-8881 E: tony@tmtla.com

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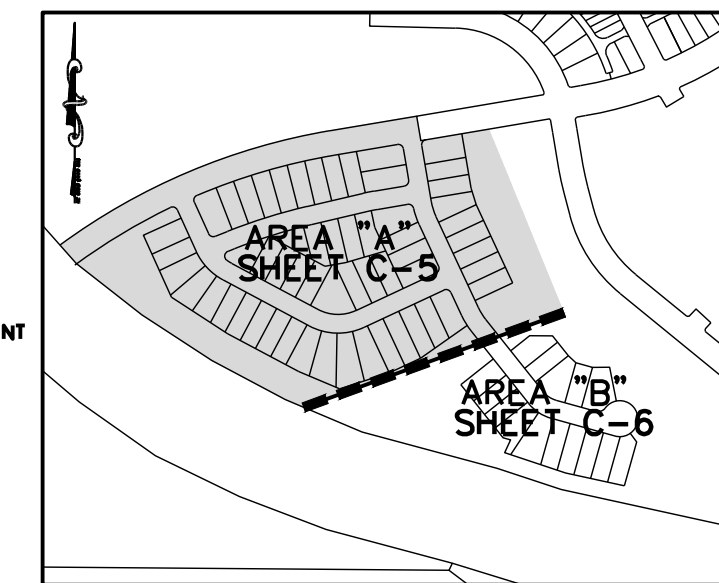
LANDSCAPE CALCULATIONS

| Street Name | Linear Footage | Req'd Street Trees | Provided Street Trees |
|--------------------|----------------|--------------------|-----------------------|
| Beckom Street | 826 | 41 | 41 |
| Abundance Avenue | 533 | 27 | 28 |
| Enlightenment Road | 761 | 38 | 39 |
| Balance Court | 781 | 39 | 42 |

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EASEMENT LEGEND:

- Ⓢ PUBLIC STORM DRAINAGE EASEMENT
- Ⓟ PRIVATE STORM DRAINAGE EASEMENT
- Ⓢ 3"x3" CITY OF RALEIGH UTILITY EASEMENT CENTERED ON FIRE HYDRANT
- Ⓢ SIGHT DISTANCE TRIANGLE EASEMENT
- Ⓢ WALL & PEDESTRIAN ACCESS EASEMENT
- Ⓢ CITY OF RALEIGH SANITARY SEWER EASEMENT
- Ⓢ 3' CITY OF RALEIGH UTILITY EASEMENT



INDEX MAP

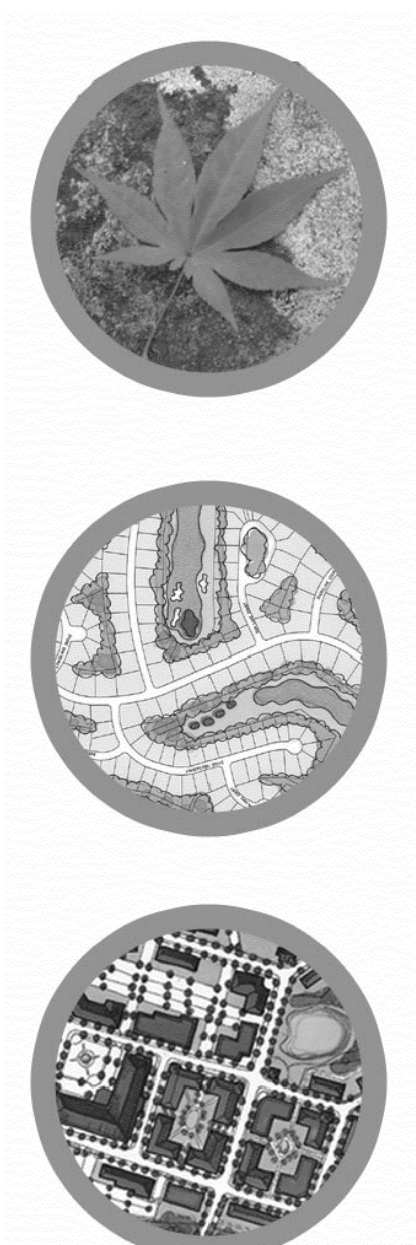
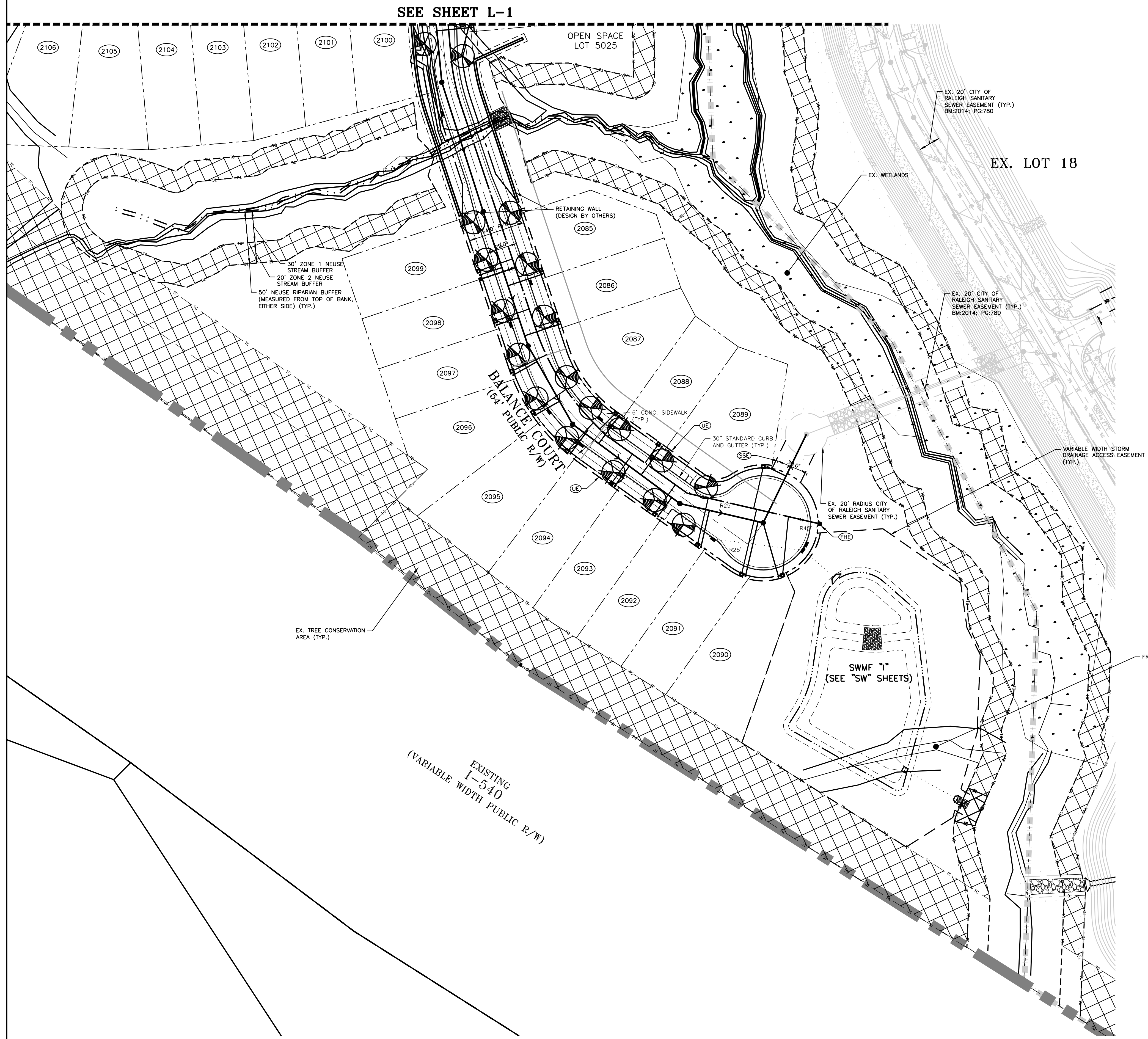
SEE SHEET C-2 FOR ALL PROJECT, SITE, GRADING, STORM DRAINAGE AND UTILITY NOTES

SITE LEGEND

- Ⓢ SIGNAGE
- Ⓢ YARD LIGHTS
- Ⓢ LIGHT POLE
- Ⓢ POWER POLE
- Ⓢ TRAFFIC DIRECTIONAL ARROW
- Ⓢ ACCESSIBLE PARKING STALL
- Ⓢ VAN ACCESSIBLE PARKING STALL
- Ⓢ ACCESSIBLE RAMPS
- Ⓢ PHASE LINE
- Ⓢ PROPERTY LINE
- Ⓢ RIGHT-OF-WAY LINE
- Ⓢ LOT LINE
- Ⓢ EASEMENT LINE
- Ⓢ CENTERLINE
- Ⓢ EXISTING TREE CONSERVATION AREA
- Ⓢ WETLAND

TREE LEGEND

- Ⓢ UA- JEFFERSON AMERICAN ELM
- Ⓢ EH- EUROPEAN HORNBEAM
- Ⓢ QN- NUTTALL OAK
- Ⓢ QS- SHUMARD OAK



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REVISIONS:

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| COR Comments - 3/5/18 |
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Lot 22 Landscape Plan "Area B"
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SCALE:
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SHEET
L-2
 OF 3