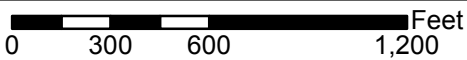
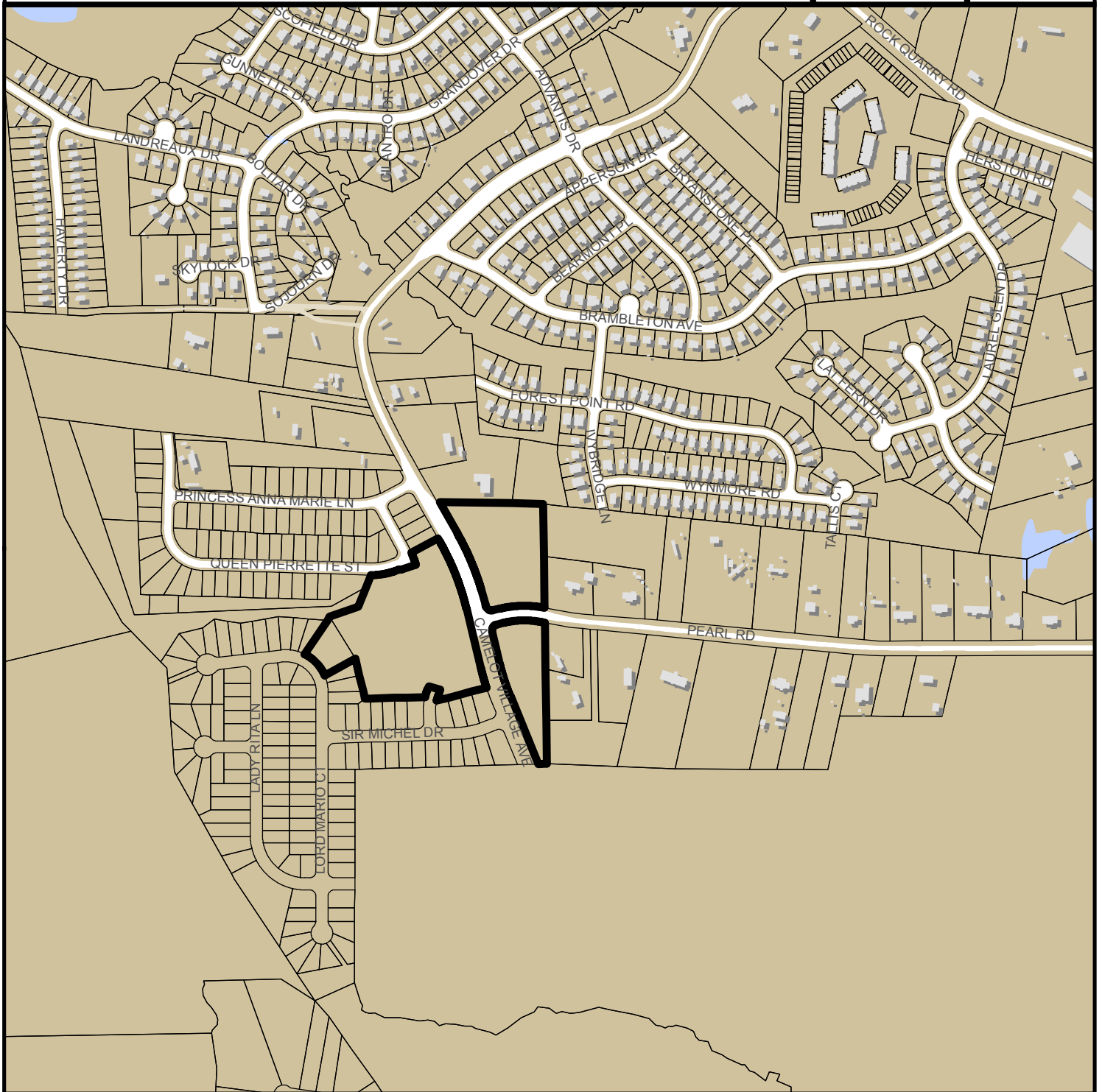


# CAMELOT VILLAGE II SUBDIVISION S-48-2017



Zoning: **R-10-CU & NX-3-CU**

CAC: **South**

Drainage Basin: **Big Branch**

Acreage: **11.72**

Number of Lots: **84**

Planner: **Michael Walters**

Phone: **(919) 996-2636**

Applicant: **Howard Moye**

Phone: **(919) 669-7650**





# Administrative Approval Action

AA# 3824 / S-48-17, Camelot Village II  
Transaction# 524315

City of Raleigh  
Development Services Department  
One Exchange Plaza  
Raleigh, NC 27602  
(919) 996-2495  
DS.help@raleighnc.gov  
www.raleighnc.gov

## STORMWATER

2. A 100-year floodplain analysis for the flood prone soils shall be submitted and approved by the Engineering Services Department prior to the issuance of a mass grading permit or other site permit, whichever comes first.
3. The State of North Carolina shall approve any proposed disturbance within the riparian buffer prior to the issuance of a mass grading permit or other site permit, whichever comes first.
4. A stormwater control plan with a stormwater operations and maintenance manual and budget shall be approved by the Stormwater Engineer in compliance with Part 10A Chapter 9 of the Unified Development Ordinance.
5. In accordance with Part 10A Section 9.4.4 of the Unified Development Ordinance, a surety equal to of the cost of clearing, grubbing and reseeding a site, shall be paid to the City.
6. A buydown payment for Nitrogen offset mitigation fees must be paid to a qualified mitigation bank.

## URBAN FORESTRY

7. Next Step: Prior to the issuance of a mass grading permit or other site permit, whichever comes first, submit a final tree conservation plan with a permit approved by Urban Forestry staff that includes metes and bounds descriptions of all tree conservation areas and tree protection fencing as required.
8. Next Step: Tree protection fence must be located in the field and inspected by Urban Forestry staff prior to the issuance of a mass grading permit or other site permit, whichever comes first.

## PRIOR TO AUTHORIZATION TO RECORD LOTS:

## GENERAL

1. The City form document entitled Declaration of City of Raleigh Required City Code Provisions for Developments with Common Elements and Common Expenses shall be approved by the City and recorded with the county register of deeds office where the property is located and a copy of the recorded document shall be provided to the City by the end of the next business day following the recordation of the final plat; further recordings and building permit authorization will be withheld if the recorded document is not provided to the City.
2. Street names for this development shall be approved by the Raleigh GIS Division and by Wake County.
3. Next Step: Concurrent Review Plans for public infrastructure and site grading shall be approved by the City of Raleigh, including obtaining stub permits, tree impact permit and a street lighting plan, if applicable.



# Administrative Approval Action

AA# 3824 / S-48-17, Camelot Village II  
Transaction# 524315

City of Raleigh  
Development Services Department  
One Exchange Plaza  
Raleigh, NC 27602  
(919) 996-2495  
DS.help@raleighnc.gov  
www.raleighnc.gov

## ENGINEERING

4. The required right of way for proposed and/or existing streets shall be dedicated to the City of Raleigh and shown on the map approved for recordation.
5. A 5' general utility easement and associated deed of easement shall be approved by the City and the location of the easement shall be shown on the map approved for recordation. The deed of easement shall be recorded at Wake County Register of Deeds within one (1) day of recordation of the recorded plat. A recorded copy of these documents must be provided to the Development Services Department within 14 days from authorization of lot recordation. If a recorded copy of the documents is not provided within this 14 day period, further recordings and building permit issuance may be withheld.
6. In accordance with Part 10A Section 8.1.10, a fee-in-lieu for 1' of sidewalk in the locations of existing 5' sidewalks shall be paid to the City of Raleigh.
7. Next Step: In accordance with Part 10A Section 8.1.3, a public infrastructure surety is provided to the City of Raleigh Development Services – Development Engineering program.

## PUBLIC UTILITIES

8. Infrastructure Construction Plans (concurrent submittal) must be approved by the City of Raleigh Public Utilities Department for all public water, public sewer and/or private sewer extensions
9. For the portion of property on the east side of Camelot Village Avenue which is outside the City limits, a Petition for Annexation into the City limits shall be submitted in accordance with City Council policy for extension of utility service to properties currently outside of the City limits. This voluntary annexation in no way obligates the City to extend utility services to the property.

## STORMWATER

10. A payment equal to twenty-four percent (24%) of the estimated cost of constructing all stormwater control facilities shown on the development plans shall be paid by the developer to the City stormwater facility replacement fund.
11. The flood prone areas, as approved by the City Stormwater Engineer and shown on the preliminary plan, shall be shown on the recorded map.
12. That the following note be shown on all maps for recording: A minimum finished floor elevation will be required for all lots along the floodplain boundary;
13. The City form document entitled Declaration of Maintenance Covenant and Grant of Protection Easement for Stormwater Control Facilities shall be approved by the City and recorded with the county register of deeds office.
14. All stormwater control measures and means of transporting stormwater runoff to and from any nitrogen and stormwater runoff control measures shall be shown on all plats for recording as private drainage easements.



**Administrative  
Approval Action**  
AA# 3824 / S-48-17, Camelot Village II  
Transaction# 524315

City of Raleigh  
Development Services Department  
One Exchange Plaza  
Raleigh, NC 27602  
(919) 996-2495  
DS.help@raleighnc.gov  
www.raleighnc.gov

15. The riparian buffers, in accordance with the preliminary plan and the State of North Carolina regulations, shall be shown on plats for recording along with a note stating: "The areas shown on the recorded plat identified as Neuse River Riparian Buffer shall be maintained in their natural or mitigated condition, No person or entity shall fill, grade, excavate, or perform any other land-disturbing activities; nor cut, remove, or harm any vegetation; nor construct any structures nor add any additional impervious surface, nor allow animal grazing or water or any other agricultural use on such protected areas without written authorization from the state of North Carolina in accordance with the Riparian Buffer Protection Rules (15A NCAC 2B.0233 or .0259)."
16. In accordance with Part 10A Section 9.2.2, a surety equal to 125% of the cost of the construction of a stormwater device shall be paid to the Engineering Services Department

**URBAN FORESTRY**

17. Next Step: A tree conservation map in compliance with Chapter 9 of the Unified Development Ordinance shall be recorded with metes and bound showing the designated Tree Conservation Areas.
18. A tree impact permit must be obtained for the approved streetscape tree installation in the right of way.

**PRIOR TO BUILDING PERMIT ISSUANCE:**

19. Prior to building permit issuance for any townhouse lot within this development, specific preliminary site plans shall be submitted for review and approval thru the administrative site review process.

**EXPIRATION DATES:** If significant construction has not taken place on a project after preliminary subdivision approval, that approval may "sunset" and be declared void, requiring re-approval before permits may be issued. To avoid allowing this preliminary approval to "sunset", the following must take place by the following dates:

**3-Year Sunset Date: 7-25-2021**  
Record at least ½ of the land area approved.

**5-Year Sunset Date: 7-25-2023**  
Record entire subdivision.

I hereby certify this administrative decision.

Signed: (Planning Dir./Designee) *Angie Bily Tok* Date: 7/25/2018

Staff Coordinator: Michael Walters

# CAMELOT VILLAGE II

## PRELIMINARY SUBDIVISION - CONVENTIONAL PEARL ROAD AND CAMELOT VILLAGE AVENUE RALEIGH, NORTH CAROLINA TRANSACTION #524315 S-48-17

### SUBMITTALS

FIRST SUBMITTAL	7/28/2017
SECOND SUBMITTAL	2/6/2018
THIRD SUBMITTAL	4/25/2018
FOURTH SUBMITTAL	5/22/2018

### INDEX

COVER SHEET	
EXISTING CONDITIONS	L-1
PRELIMINARY SUBDIVISION PLAN	L-2
LOTING PLAN	L-2.1
LANDSCAPE PLAN	L-3
TREE CONSERVATION PLAN	L-4
TREE CONSERVATION PLAN	L-5
DETAILS	L-6
DETAILS	L-7
PRELIMINARY STORMWATER PLAN	C-1
PRELIMINARY GRADING PLAN	C-2
PRELIMINARY UTILITIES PLAN	C-3

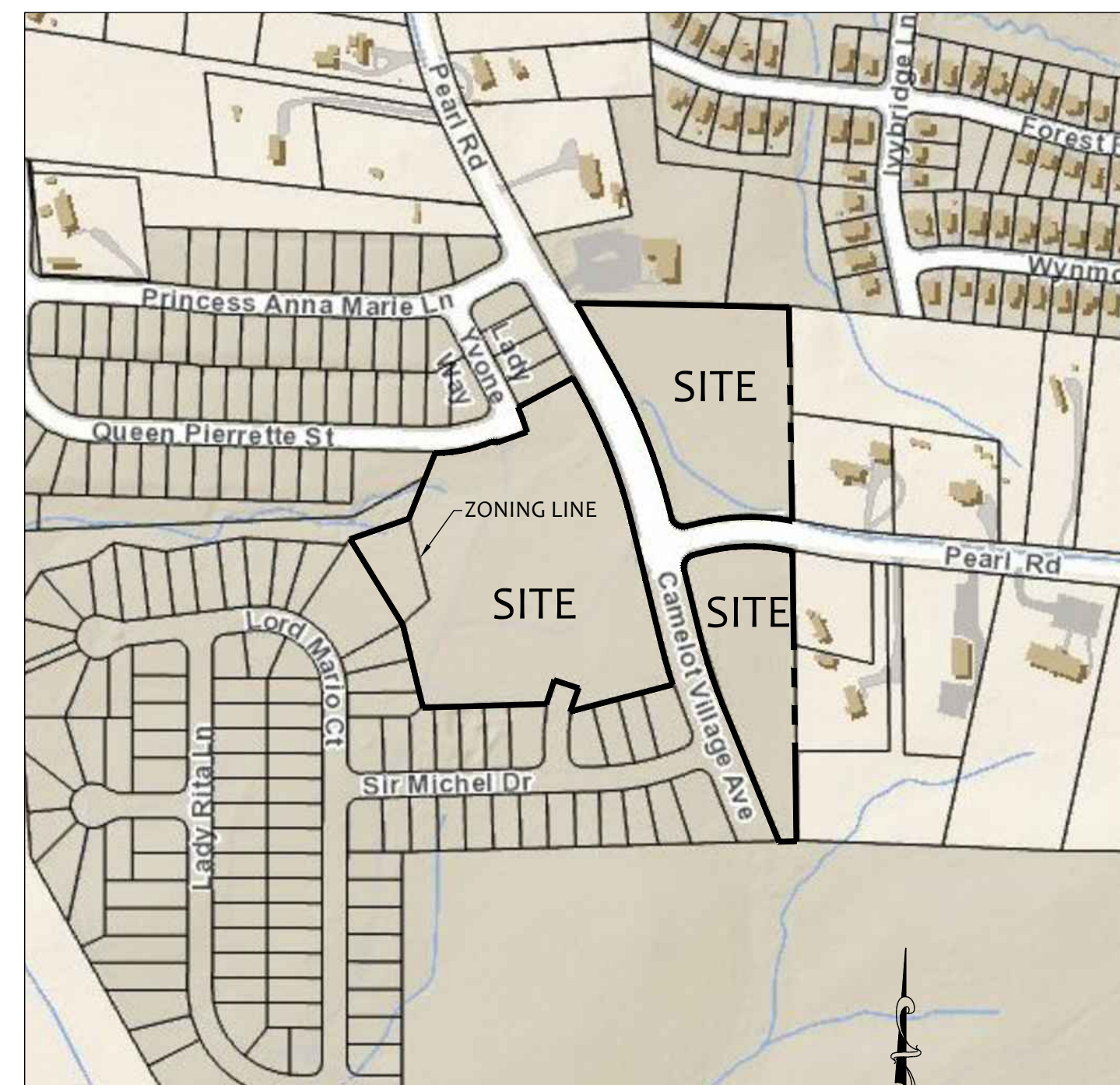
developer:  
Camelot Development, LLC  
PO Box 20667  
Raleigh, North Carolina 27619  
(919) 844-7888

landscape architect:  
Tony M. Tate Landscape Architecture P.A.  
5011 Southpark Drive, Suite 200  
Durham, North Carolina 27713  
(919) 484-8880

consulting engineers:  
Jones & Cnossen Engineering  
221 N. Salem Street, Suite 200  
Apex, NC 27502

SITE DATA	
TOTAL SITE AREA	11.55 AC
PROPOSED USE	SINGLE FAMILY AND TOWNHOMES
ZONING	R-10-CU (ZONING CASE# Z-42-16), NX-3-CU
CURRENT USE	VACANT
EXISTING LOTS	3
TOTAL LOTS PROPOSED	88
81 RESIDENTIAL LOTS	
7 HOA/COMMON AREA LOTS	
AMENITY SPACE REQUIRES	28,836 S.F.
PROPOSED AMENITY SPACE	29,700 S.F.
TCA REQUIRED	1.16 AC (10%)
TCA PROVIDED	1.16 AC (10.04%)
INSIDE CITY LIMITS	YES
PROPOSED DENSITY	7.01 DU/AC
WAKE COUNTY PINS	1731-07-7826, 1730-10-6338, 1731-08-2074
RIVER BASIN	NEUSE

**We have elected to not show buildings and driveways at this time. We understand that the owner(s) of each parcel, block, street, or development will have to submit the subdivided townhome lot as an SR (Site Review) which means going through preliminary review for each one and this will become a condition of approval.**



VICINITY MAP

SCALE: 1"=300'

NOTE: NO PHASING IS BEING PROPOSED WITH THIS PRELIMINARY PLAN.

### Preliminary Subdivision Plan Application



Development Services Customer Service Center | 1 Exchange Plaza, Suite 400 | Raleigh, NC 27601 | 919-996-2495 | cfax 919-996-1831  
Litchford Satellite Office | 8320 - 130 Litchford Road | Raleigh, NC 27601 | 919-996-4200

When submitting plans, please check the appropriate review type and include the Plan Checklist document.

Office Use Only: Transaction #	Project Coordinator	Team Leader
<b>PRELIMINARY APPROVALS</b>		
<input checked="" type="checkbox"/> Subdivision *	<input checked="" type="checkbox"/> Conventional Subdivision	<input type="checkbox"/> Compact Development
<input type="checkbox"/> Conservative Subdivision		
*May require City Council approval if in a Metro Park Overlay or Historic Overlay District		
If your project has been through the Due Diligence process, provide the transaction #:		
<b>GENERAL INFORMATION</b>		
Development Name <b>Camelot Village II</b>		
Proposed Use <b>Single Family Detached and Townhome Neighborhood</b>		
Property Address(es) <b>4772 QUEEN PIERRETTE ST, 4328 PEARL RD, 4313 PEARL RD</b>		
Wake County Property Identification Number(s) for each parcel to which these guidelines will apply:		
PIN Recorded Deed 1731-08-2074	PIN Recorded Deed 1731-07-7826	PIN Recorded Deed 1731-08-6338
What is your project type?		
<input checked="" type="checkbox"/> Single family		
<input checked="" type="checkbox"/> Townhouse		
<input type="checkbox"/> Subdivision in a non-residential zoning district		
<input type="checkbox"/> Other (describe):		
<b>OWNER/DEVELOPER INFORMATION</b>		
Company Name <b>Camelot Development, LLC</b>		Owner/Developer Name <b>Howard Moye</b>
Address <b>P.O. Box 20667, Raleigh, N.C. 27619</b>		
Phone <b>919-844-7888</b>	Email <b>hmoyeiii@nc.rr.com</b>	Fax <b>919-844-6690</b>
<b>CONSULTANT/CONTACT PERSON FOR PLANS</b>		
Company Name <b>Tony M. Tate Landscape Architecture, PA</b>		Contact Name <b>Pamela Porter, PLA</b>
Address <b>5011 Southpark Drive Durham, NC 27713</b>		
Phone <b>919-484-8880</b>	Email <b>pam@tmtla.com</b>	Fax <b>919-484-8881</b>

PAGE 1 OF 3

WWW.RALEIGHNC.GOV

REVISION 03.11.16

#### CONDITIONS OF ZONING CASE Z-42-16

- The Apartment Building Type per Section 1.4.1.D is prohibited.
- A transit easement has been recorded in Wake County BM2009 Page 32. If transit has been implemented or is planned to be implemented within 180 days of the issuance of a building permit for new development and if requested by the City of Raleigh in writing, the above referenced transit easement shall be improved with the following prior to issuance of the first certificate of occupancy on the property:
  - a 15'x20' cement pad; a 30' cement landing zone between the back of curb and sidewalk,
  - an ADA-accessible transit waiting shelter with bench, and
  - a litter container.

#### CONDITIONS OF ZONING CASE Z-35-03

- Re-imbusement for future right-of-way dedication shall remain at R-4 values for the entire property
- Open-air stormwater detention facilities shall be screened with evergreen vegetation planted at 5' on center, 18" height at time of planting.
- Total dwelling units shall be limited to 211 units maximum.

#### ZONING CONDITIONS SPECIFIC TO NX (FORMALLY NB) PORTION OF SITE:

- Allowed uses shall be limited to:
  - office, agency and studio of a professional or business agent or political, labor, or service association
  - eating establishment of any type
  - food store - retail, which includes convenience items
  - residential dwellings and accessory uses
  - day care facility
- Outdoor lighting shall be full cut-off and directed away from residential properties.
- Building height shall not exceed 30'.
- Roofs, with an exception of the convenience store canopy, shall be pitched minimum 5:12.
- Ground high profile signs shall be prohibited.
- Residential density shall be limited to 6 DU/AC maximum.
- At the time of site plan submittal the applicant shall provide a copy of the development plan to the South Citizens Advisory Committee.
- All non-residential buildings shall comply with the Unity of Development standards.
- No reduction in the required Transitional Protective Yards adjacent to residential uses shall be allowed.

DEVELOPMENT TYPE AND SITE DATE TABLE (Applicable to all developments)	
<b>ZONING INFORMATION</b>	
Zoning District(s) <b>R-10-CU, NX-3-CU</b>	
If more than one district, provide the acreage of each:	
Overlay District?	<input type="checkbox"/> Yes <input checked="" type="checkbox"/> No
Inside City Limits?	<input checked="" type="checkbox"/> Yes <input type="checkbox"/> No
CUD (Conditional Use District) Case #	<b>Z-16-42</b>
COA (Certificate of Appropriateness) Case #	
BOA (Board of Adjustment) Case #	<b>A-</b>
<b>STORMWATER INFORMATION</b>	
Existing Impervious Surface	0 acres/sf
Proposed Impervious Surface	acres/sf
Flood Hazard Area	<input checked="" type="checkbox"/> Yes * <input type="checkbox"/> No
Neuse River Buffer	<input checked="" type="checkbox"/> Yes <input type="checkbox"/> No
Wetlands	<input type="checkbox"/> Yes <input checked="" type="checkbox"/> No
If in a Flood Hazard Area, provide the following: * Flood Hazard Soils ONLY - no floodplain.	
Alluvial Soils	Flood Study
	FEMA Map Panel #
<b>NUMBER OF LOTS AND DENSITY</b>	
Total # of Townhouse Lots: Detached	Attached <b>68</b>
Total # of Single Family Lots <b>13</b>	Total # of All Lots <b>81 (88 INC. POND AND HOA LOTS)</b>
Overall Unit(s)/Acre Densities Per Zoning Districts <b>81 units /11.55 AC = 7.01 DU/AC</b>	
Total # of Open Space and/or Common Area Lots	
<b>SIGNATURE BLOCK (Applicable to all developments)</b>	
In filing this plan as the property owner(s), I/we do hereby agree and firmly bind ourselves, my/our heirs, executors, administrators, successors and assigns jointly and severally to construct all improvements and make all dedications as shown on this proposed subdivision plan as approved by the City.	
I hereby designate <b>Pamela Porter, PLA</b> to serve as my agent regarding this application, to receive and respond to administrative comments, to resubmit plans on my behalf, and to represent me in any public meeting regarding this application.	
I/we have read, acknowledge, and affirm that this project is conforming to all application requirements applicable with the proposed development use.	
Signature	Date <b>7-6-17</b>
Signature	Date

PAGE 2 OF 3

WWW.RALEIGHNC.GOV

REVISION 03.11.16

#### REVISIONS:

2/6/18	
4/25/18	
5/22/18	

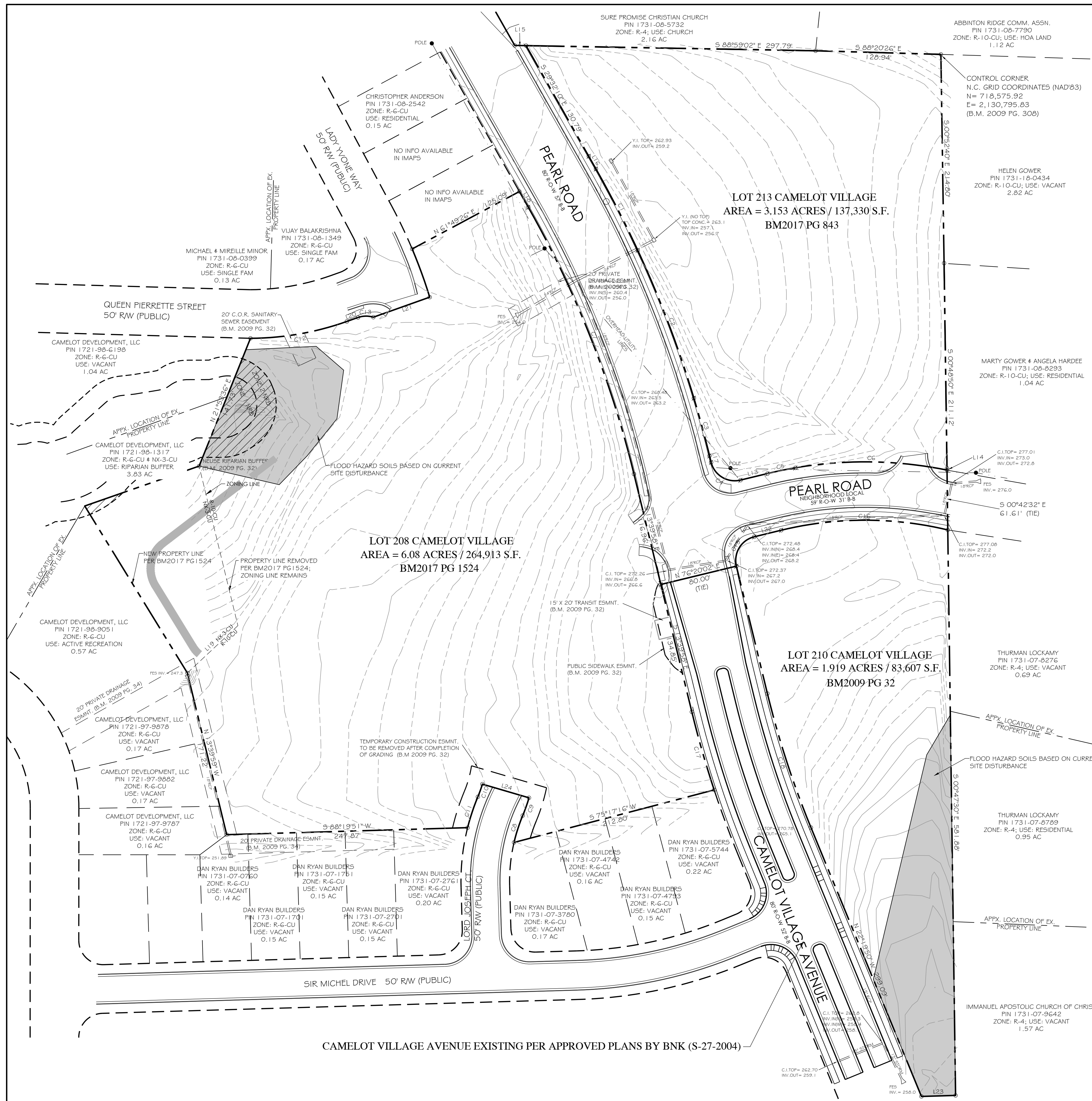
COVER  
CAMELOT VILLAGE II  
Camelot Development, LLC 312 West Millbrook Rd  
Suite 13, Raleigh, North Carolina 27619

SCALE:  
1" = 100'-0"  
DRAWN BY:  
PMP  
PROJECT #  
16136  
DATE:

SHEET  
COVER  
OF

TRANSACTION #524315

TONY M. TATE LANDSCAPE ARCHITECTURE, PA  
5011 SOUTH PARK DRIVE, STE. 200 - DURHAM, NC 27713  
p: (919) 484-8880 f: (919) 484-8881 e: tony@tmtla.com



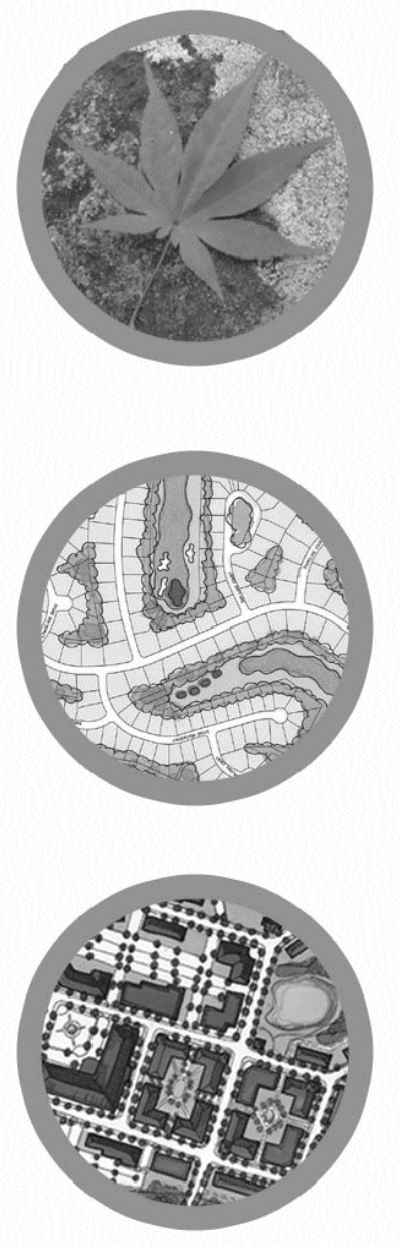
**SITE DATA**

TOTAL SITE AREA	11.55 AC
ZONING	R-10-CU (ZONING CASE# Z-42-16) NX-3-CU
FEMA MAP	#3720172300J DATED 05/02/06
WAKE COUNTY PIN	1731-07-7826 1731-08-6338 1731-08-2074
RIVER BASIN	NEUSE

- NOTES:**
- Boundary and topographic information taken from survey by Elingburg Land Surveying.
  - There are streams located off-site with stream buffer located on-site. No wetlands exist on this site.
  - No floodplains exist on this site per FEMA FIRM panel #3720173100J dated May 2, 2006.
  - Adjacent ownership information taken from Wake County GIS.

**LEGEND**

	STREAM BUFFER
	EXISTING TOPO
	FLOOD HAZARD SOILS (BASED ON GIS INFORMATION AND ACTUAL EXISTING SITE DISTURBANCE)



**TONY M. TATE LANDSCAPE ARCHITECTURE, PA**  
 5011 SOUTHPARK DRIVE, STE. 200 - DURHAM, NC 27713  
 p: (919) 484-8880 f: (919) 484-8881 e: tony@tmta.com

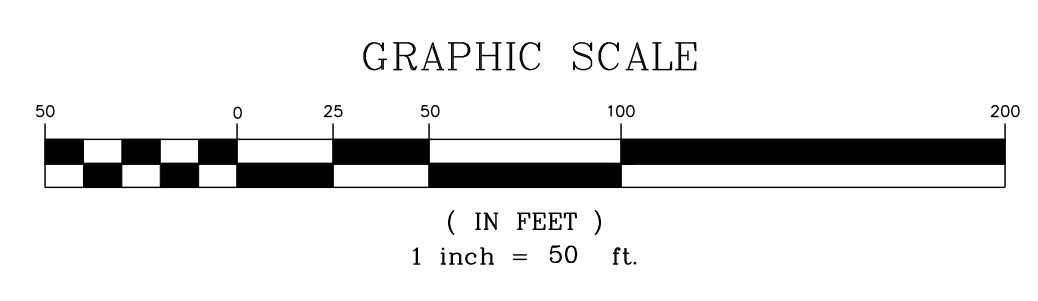
**REVISIONS:**

2/6/18	
4/25/18	
5/22/18	

**EXISTING CONDITIONS**  
**CAMELOT VILLAGE II**  
 Camelot Development, LLC 312 West Millbrook Rd  
 Suite 13, Raleigh, North Carolina 27619

**TRANSACTION #524315**

SCALE:  
 1" = 50'  
 DRAWN BY:  
 PMP  
 PROJECT #  
 16136  
 DATE:



SHEET  
**L-1**  
 OF

**ATTENTION CONTRACTORS**

THE CONSTRUCTION CONTRACTOR RESPONSIBLE FOR THE EXTENSION OF THE WATER AND SEWER, AS APPROVED IN THESE PLANS, IS RESPONSIBLE FOR CONTACTING THE PUBLIC WORKS DEPARTMENT AT 516-2159, AND THE PUBLIC UTILITIES DEPARTMENT AT 996-4540, AT LEAST TWENTY FOUR HOURS PRIOR TO BEGINNING ANY OF THEIR CONSTRUCTION.

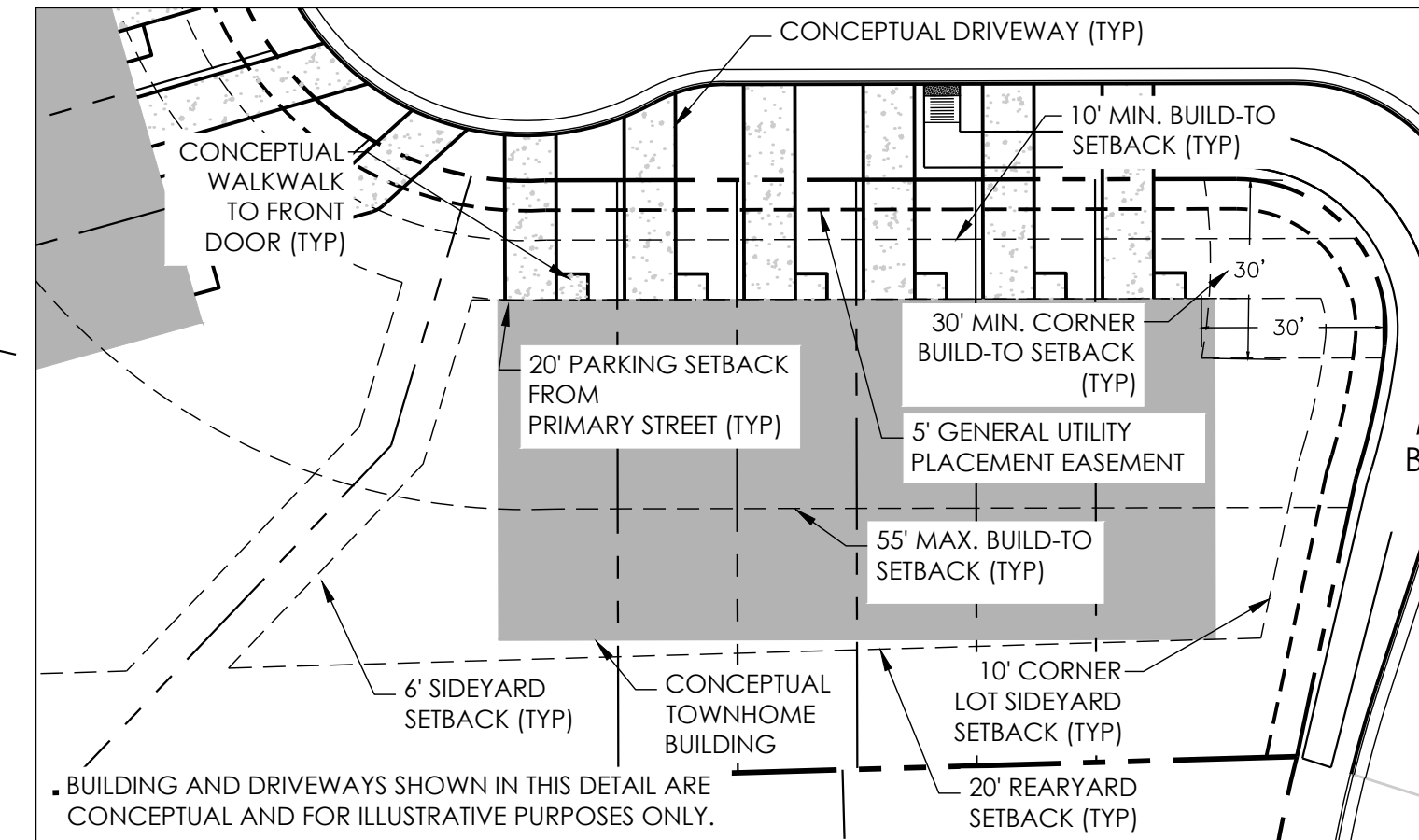
FAILURE TO NOTIFY BOTH CITY DEPARTMENTS IN ADVANCE OF BEGINNING CONSTRUCTION WILL RESULT IN THE ISSUANCE OF MONETARY FINES AND REQUIRE REINSTALLATION OF ANY WATER OR SEWER FACILITIES NOT INSPECTED AS A RESULT OF THIS NOTIFICATION FAILURE.

FAILURE TO CALL FOR INSPECTION, INSTALL A DOWNSTEAM PLUG, HAVE PERMITTED PLANS ON JOB SITE, OR ANY OTHER VIOLATION OF CITY OF RALEIGH STANDARDS WILL RESULT IN A FINE AND POSSIBLE EXCLUSION FROM FUTURE WORK IN THE CITY OF RALEIGH.

SITE DATA	
TOTAL AREA	11.55 ACRES
EXISTING ZONING	R-10-CU (Z-42-16), NX-3-CU
EXISTING USE	SINGLE FAMILY - VACANT
PROPOSED USE	SINGLE FAMILY AND TOWNHOMES (81 TOTAL LOTS) (13 SFD LOTS) (68 TH LOTS)
PARKING REQUIRED FOR TOWNHOMES *	151 SPACES
PARKING ON TOWNHOME LOTS	136 SPACES
REQUIRED TOWNHOME PARKING PROVIDED	15 SPACES
IN PARKING LOTS	7 SPACES
MIN. VISITOR PARKING REQUIRED FOR TOWNHOMES	7 SPACES
1 VISITOR SPACE PER 10 TH UNITS (68 UNITS)	
HANDICAP SPACES (VAN ACCESSIBLE) - 1	
PARKING PROVIDED FOR TOWNHOMES	158 SPACES
136 SPACES PROVIDED ON THE LOTS	
15 SPACES PROVIDED IN A PARKING LOT	
7 VISITOR SPACES PROVIDED IN A PARKING LOT (22 TOTAL SPACES PROVIDED IN PARKING LOTS)	
MINIMUM BICYCLE PARKING REQUIRED	
SHORT-TERM: 1 SPACE PER 20 UNITS	
70 UNITS/20 = 3.5 SPACES (4 SPACES MIN.)	
SHORT-TERM BICYCLE PARKING PROVIDED	4 SPACES
LONG-TERM: NONE REQUIRED	
OUTDOOR AMENITY AREA (TOWNHOMES ONLY)	
10% OF SITE ACREAGE	
298,355 S.F. X 10% = 29,836 S.F. REQUIRED	
= 29,700 S.F. PROVIDED	
TREE CONSERVATION AREA	
10% OF NET SITE ACREAGE	
11.55 AC X 10% = 1.16 AC REQUIRED	
= 1.16 AC PROVIDED	
WATERSHED	NEUSE
INSIDE CITY LIMITS	YES
PINS	1731-07-7826, 1730-10-86338 1731-08-2074, 1721-98-9051 (PORTION)
DENSITY	7.19 DU/AC
TOWNHOME NET AREAS:	
LOTS 14-25 - 25,453 S.F.	LOTS 58-60 - 7,201 S.F.
LOTS 26-39 - 32,776 S.F.	LOTS 61-81 - 57,383 S.F.
LOTS 40-57 - 42,018 S.F.	

TOWNHOME BUILD-TO	
STREET A: 89%	
LORD JOSEPH COURT: 87%	
STREET B: 75%	

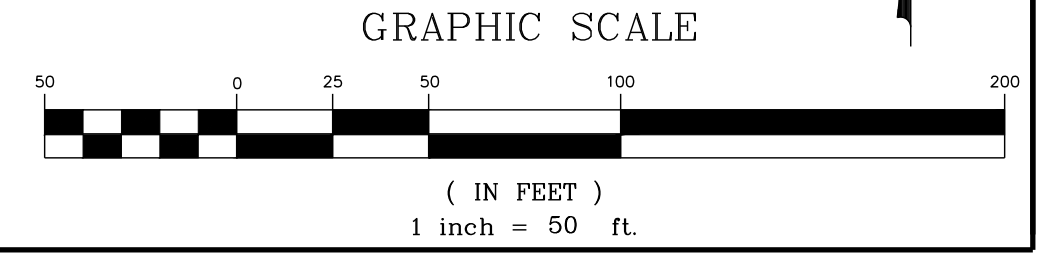
- NOTES
- Boundary and field topographic information taken from file by Elinburg Land Surveying.
  - The site does not contain any floodplains per FEMA Flood Mapping #3720172300 dated 05/02/06.
  - Contractor shall verify the location of all existing utilities and shall be responsible for any damage resulting from his activities. Call utility locator service at least 48 hours prior to digging.
  - All construction shall be in accordance with all City of Raleigh standards and specifications.
  - All construction shall conform to all state and local standards and specifications and code requirements. Notify designer of any discrepancies. If discrepancies are found the more stringent requirements will prevail.
  - All utilities shall be located underground.
  - No changes may be made to the approved drawings without written permission from the issuing authority.
  - Do not scale the drawings. Digital information is provided for construction drawings.
  - Contractor shall coordinate all work with all construction trades prior to start of construction.
  - All dimensions are references from back-of-curb to back-of-curb.
  - Erosion control plans shall be approved prior to any grading on this site.
  - Boundary information shall be field verified by Professional Surveyor before construction staking begins.
  - All parking spaces shall be surfaced with 6" abc and 2" of 1-2 asphalt. Drive aisles for parking lots shall be surfaced with 8" abc and 2.5" of 1-2 asphalt.
  - Note that within landscaped areas surrounding building, the grades shown on the grading sheet are "Top of Mulch" or "Top of Topsoil." Contractor shall ensure positive finished drainage (min. 2%) from all building areas and coordinate with the landscape plan to leave subgrade low enough to maintain the spots as finished grade.
  - The minimum corner clearance from the curb line of intersecting streets shall be at least 20 feet from the point of tangency.
  - Retaining walls to be designed by others.
  - Prior to the issuance of the Certificate of Occupancy the Owner shall record the site easement as shown. There shall be no site obstructing or party obstructing wall, fence, sign, foliage, berming, or parked vehicles between the heights of twenty four (24) inches and eight (8) feet above the curb line elevation or the nearest traveled way if no curbing exists.
  - Within the sight triangles shown on this plan, no obstruction between two (2) feet and eight (8) feet in height above the curb line elevation or the nearest traveled way, if no curbing exists.
  - All necessary HVAC units will be located at locations indicated.
  - The existing lot lines shall be removed prior to building permit issuance.
  - Proposed right of way dedication shall be recorded prior to the issuance of a C.O.
  - A final plat indicating right of way dedication, cross access easements and any other public easements shall be recorded.
  - Single family lots on Pearl Road and Camelot Village Avenue shall share driveways. Driveways shall be 10' apart (centerline to centerline) per the Raleigh UDO and will be shown on plans during SR (Site Review).
  - Solid waste-Standard 96 gallon residential roll out carts shall serve the single family lots. Dumpsters are being provided for the townhome lots.
  - Since building footprints are unknown at time of ASP Review, a variance for lot 66 may need to be submitted at time of building permit if the building cannot meet the front and/or rear setback as a result of meeting the 30' corner build-to setback requirement as outlined in the Raleigh UDO.



TYPICAL SETBACKS AND BUILD-TO LINES (1" = 30')

**LEGEND**

	STREAM BUFFER		OUTDOOR AMENITY AREA
	FLOOD HAZARD SOILS (BASED ON GIS INFORMATION AND ACTUAL EXISTING SITE DISTURBANCE)		TREE CONSERVATION AREA



REVISIONS:

2/6/18	
4/25/18	
5/22/18	

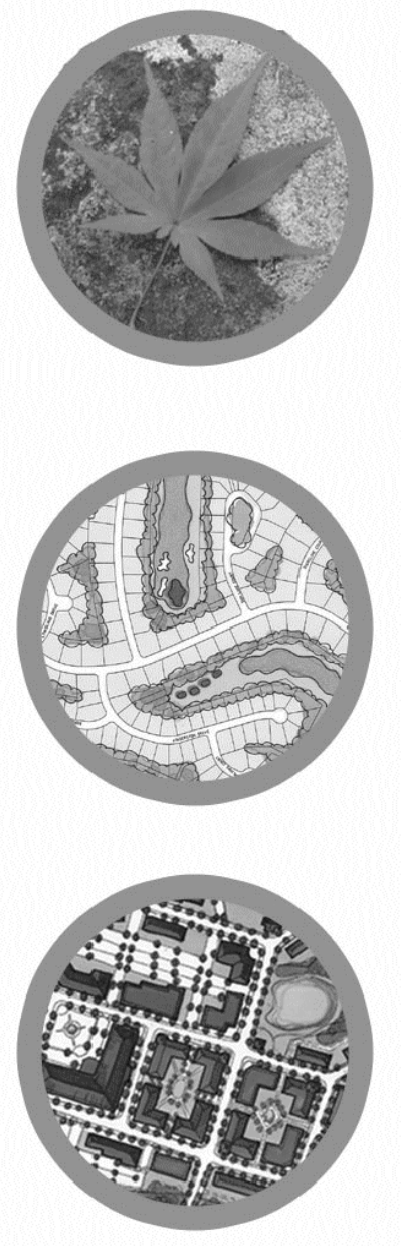
SITE PLAN  
**CAMELOT VILLAGE II**  
 Camelot Development, LLC 312 West Millbrook Rd  
 Suite 103, Raleigh, North Carolina 27619

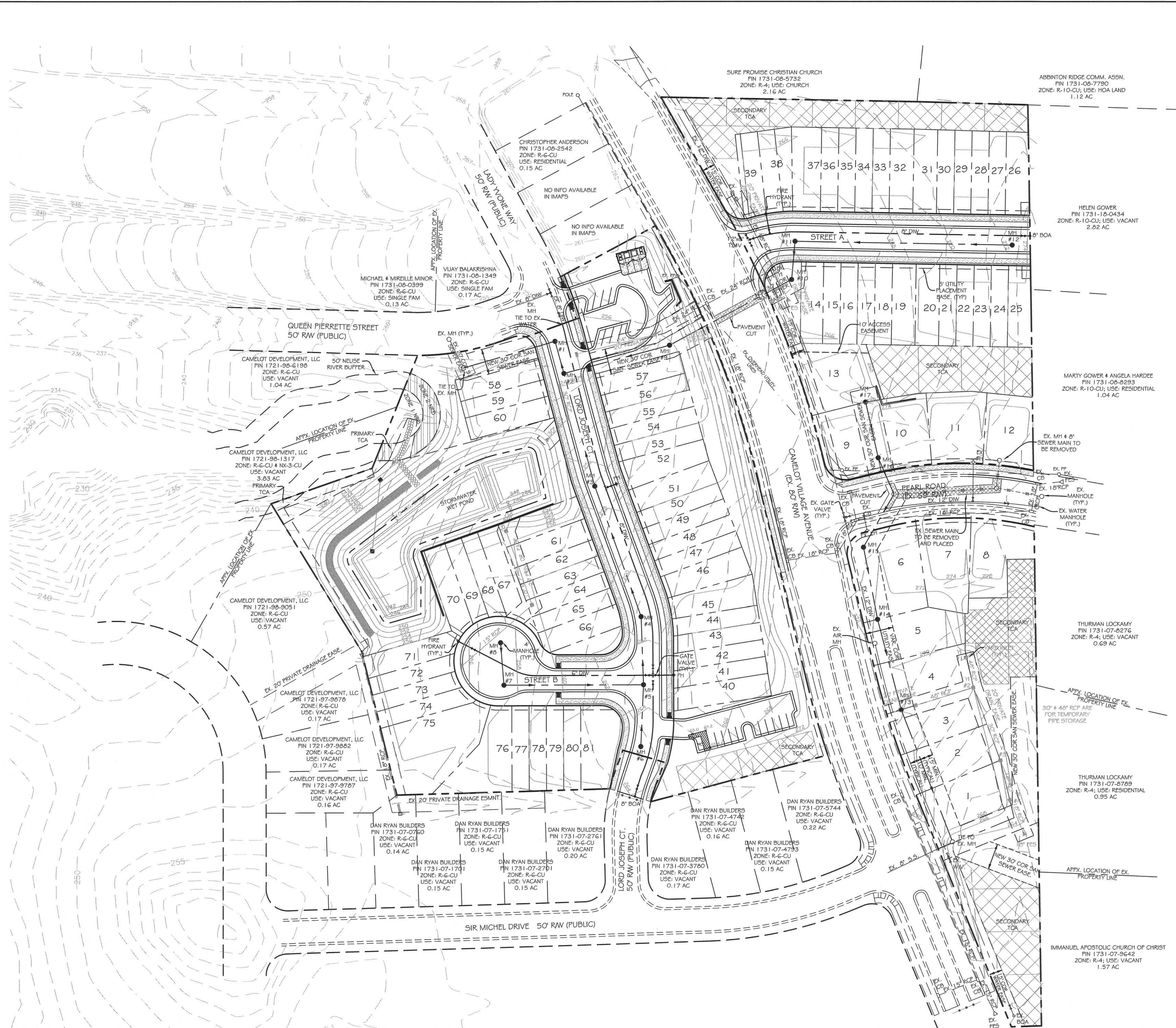
SCALE:  
 1" = 50'  
 DRAWN BY:  
 PMP  
 PROJECT #  
 16136  
 DATE:

SHEET  
**L-2**  
 OF

TRANSACTION #524315

TONY M. TATE LANDSCAPE ARCHITECTURE, PA  
 5011 SOUTH PARK DRIVE, STE. 200 - DURHAM, NC 27713  
 P: (919) 484-8880 F: (919) 484-8881 E: tony@tmtla.com





- STANDARD UTILITY NOTES:**
- ALL MATERIALS & CONSTRUCTION METHODS SHALL BE IN ACCORDANCE WITH CITY OF RALEIGH DESIGN STANDARDS, DETAILS & SPECIFICATIONS REFERENCE CORPUD HANDBOOK, CURRENT EDITION).
  - UTILITY SEPARATION REQUIREMENTS:
    - a. A DISTANCE OF 100' SHALL BE MAINTAINED BETWEEN SANITARY SEWER & ANY PRIVATE OR PUBLIC WATER SUPPLY SOURCE SUCH AS AN IMPOUNDED RESERVOIR USED AS A SOURCE OF DRINKING WATER. IF ADEQUATE LATERAL SEPARATION CANNOT BE ACHIEVED, FERROUS SANITARY SEWER PIPE SHALL BE SPECIFIED & INSTALLED TO WATERLINE SPECIFICATIONS. HOWEVER, THE MINIMUM SEPARATION SHALL NOT BE LESS THAN 25' FROM A PRIVATE WELL OR 50' FROM A PUBLIC WELL.
    - b. WHEN INSTALLING WATER, WASTE, OR SEWER MAINS, THE HORIZONTAL SEPARATION BETWEEN UTILITIES SHALL BE 10'. IF THIS SEPARATION CANNOT BE MAINTAINED DUE TO EXISTING CONDITIONS, THE VARIATION ALLOWED IS THE WATER MAIN IN A SEPARATE TRENCH WITH THE ELEVATION OF THE WATER MAIN AT LEAST 18" ABOVE THE TOP OF THE SEWER & MUST BE APPROVED BY THE PUBLIC UTILITIES DIRECTOR. ALL DISTANCES ARE MEASURED FROM OUTSIDE DIAMETER TO OUTSIDE DIAMETER.
    - c. WHERE IT IS IMPOSSIBLE TO OBTAIN PROPER SEPARATION, OR ANYTIME A SANITARY SEWER PASSES OVER A WATERMAIN, DIP MATERIALS OR STEEL ENCASUREMENT EXTENDED 10' ON EACH SIDE OF CROSSING MUST BE SPECIFIED & INSTALLED TO WATERLINE SPECIFICATIONS.
    - d. 5.0' MINIMUM HORIZONTAL SEPARATION IS REQUIRED BETWEEN ALL SANITARY SEWER & STORM SEWER FACILITIES, UNLESS DIP MATERIAL IS SPECIFIED FOR SANITARY SEWER.
    - e. MAINTAIN 18" MIN. VERTICAL SEPARATION AT ALL SANITARY SEWER & RCP STORM DRAIN CROSSINGS; MAINTAIN 24" MIN. VERTICAL SEPARATION AT ALL SANITARY SEWER & RCP STORM DRAIN CROSSINGS, WHERE ADEQUATE SEPARATIONS CANNOT BE ACHIEVED, SPECIFY DIP MATERIALS & A CONCRETE CRADLE HAVING 6" MIN. CLEARANCE (PER CORPUD DETAILS W-41 & 5-49).
    - f. ALL OTHER UNDERGROUND UTILITIES SHALL CROSS WATER & SEWER FACILITIES WITH 18" MIN. VERTICAL SEPARATION REQUIRED.
  - ANY NECESSARY FIELD REVISIONS ARE SUBJECT TO REVIEW & APPROVAL OF AN AMENDED PLAN FOR PROFILE BY THE CITY OF RALEIGH PUBLIC UTILITIES DEPARTMENT PRIOR TO CONSTRUCTION.
  - CONTRACTOR SHALL MAINTAIN CONTINUOUS WATER & SEWER SERVICE TO EXISTING RESIDENCES & BUSINESSES THROUGHOUT CONSTRUCTION OF PROJECT. ANY NECESSARY SERVICE DISRUPTIONS SHALL BE PRECEDED BY A 24 HOUR ADVANCE NOTICE TO THE CITY OF RALEIGH PUBLIC UTILITIES DEPARTMENT.
  - 3.0' MINIMUM COVER IS REQUIRED ON ALL WATER MAINS & SEWER FORCE MAINS. 4.0' MINIMUM COVER IS REQUIRED ON ALL REUSE MAINS.
  - IT IS THE DEVELOPER'S RESPONSIBILITY TO ABANDON OR REMOVE EXISTING WATER & SEWER SERVICES NOT BEING USED IN REDEVELOPMENT OF A SITE UNLESS DIRECTED BY THE CITY OF RALEIGH PUBLIC UTILITIES DEPARTMENT. THIS INCLUDES ABANDONING TAP AT MAIN & REMOVAL OF SERVICE FROM ROW OR EASEMENT PER CORPUD HANDBOOK PROCEDURE.
  - INSTALL 3/4" COPPER WATER SERVICES WITH METERS AT THE STREET ROW. NOTE: IT IS THE APPLICANT'S RESPONSIBILITY TO PROPERLY SIZE THE WATER SERVICE FOR EACH CONNECTION TO PROVIDE ADEQUATE FLOW & PRESSURE.
  - INSTALL 6" PVC SEWER SERVICES AT 1.0% MINIMUM GRADE AT THE STREET ROW.
  - PRESSURE REDUCING VALVES ARE REQUIRED ON ALL WATER SERVICES EXCEEDING 80 PSF. BACKWATER VALVES ARE REQUIRED ON ALL SANITARY SEWER SERVICES HAVING BUILDING DRAINS LOWER THAN 1.0' ABOVE THE NEXT UPSTREAM MANHOLE.
  - ALL ENVIRONMENTAL PERMITS APPLICABLE TO THE PROJECT MUST BE OBTAINED FROM NCDWQ, USACE FOR ANY RIPARIAN BUFFER, WETLAND WORK FLOODPLAIN IMPACTS RESPECTIVELY PRIOR TO CONSTRUCTION.
  - NCDOT ENCROACHMENT AGREEMENTS ARE REQUIRED FOR ANY UTILITY WORK (INCLUDING MAIN EXTENSIONS & SERVICE TAPS) WITHIN STATE ROW PRIOR TO CONSTRUCTION.
  - GREASE INTERCEPTOR / OIL WATER SEPARATOR SIZING CALCULATIONS & INSTALLATION SPECIFICATIONS SHALL BE APPROVED BY THE CORPUD FOG PROGRAM COORDINATOR PRIOR TO ISSUANCE OF A BUILDING PERMIT. CONTACT TIM BEASLEY AT (919) 996-2354 OR TIMOTHY.BEASLEY@RALEIGHNC.GOV FOR MORE INFORMATION.
  - CROSS-CONNECTION CONTROL PROTECTION DEVICES ARE REQUIRED BASED ON DEGREE OF HEALTH HAZARD INVOLVED AS LISTED IN APPENDIX-B OF THE RULES GOVERNING PUBLIC WATER SYSTEMS IN NORTH CAROLINA. THESE GUIDELINES ARE THE MINIMUM REQUIREMENTS. THE DEVICES SHALL MEET AMERICAN SOCIETY OF SANITARY ENGINEERING (ASSE) STANDARDS OR BE ON THE UNIVERSITY OF SOUTHERN CALIFORNIA APPROVAL LIST. THE DEVICES SHALL BE INSTALLED AND TESTED (BOTH INITIAL AND PERIODIC TESTING THEREAFTER) IN ACCORDANCE WITH THE MANUFACTURER'S RECOMMENDATIONS OR THE LOCAL CROSS-CONNECTION CONTROL PROGRAM, WHICHEVER IS MORE STRINGENT. CONTACT JOANIE HARTLEY AT (919) 996-5923 OR JOANIE.HARTLEY@RALEIGHNC.GOV FOR MORE INFORMATION.

- NOTES:**
- ALL MATERIALS AND METHODS OF CONSTRUCTION SHALL BE IN ACCORDANCE WITH CITY OF RALEIGH STANDARDS AND SPECIFICATIONS.
  - BOUNDARY, TOPOGRAPHIC AND EXISTING CONDITIONS INFORMATION WAS TAKEN FROM A DIGITAL FILE PROVIDED BY ELLINGBURG LAND SURVEY COMPANY.
  - NO FEMA MAPPED FLOOD PLAINS EXIST ON THIS SITE PER FEMA MAP NO. 3720173100J DATED MAY 2, 2006.
  - THE SITE HAS BEEN REVIEWED FOR WETLANDS, NEUSE RIVER BUFFERS AND CREEKS BY ENVIRONMENTAL SERVICES, INC. AND JURISDICTIONAL FEATURES ARE SHOWN HEREON.
  - INDIVIDUAL WATER METER SERVICES SHALL BE USED FOR THE SINGLE FAMILY LOTS.
  - GANG WATER METER ASSEMBLIES SHALL BE USED FOR THE TOWNHOME UNITS.
  - INDIVIDUAL SEWER SERVICES SHALL BE USED FOR SINGLE FAMILY LOTS AND TOWNHOME UNITS.
  - ALL SEWER AND WATER INFORMATION SHOWN HEREON IS APPROXIMATE. FINAL LOCATIONS SHALL BE PROVIDED ON THE CONSTRUCTION DRAWINGS.
  - CONTRACTOR SHALL COORDINATE THE LOCATION OF WATER AND SEWER SERVICES TO THE TOWNHOME BUILDINGS WITH THE PLUMBING CONTRACTOR AND BUILDING PLANS.
  - CONTRACTOR SHALL NOTIFY NORTH CAROLINA ONE-CALL (1-800-632-4949) TO LOCATE ALL EXISTING UTILITIES PRIOR TO BEGINNING CONSTRUCTION.

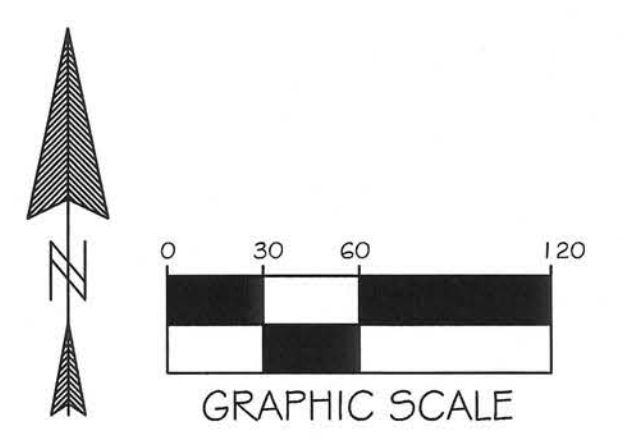
**ATTENTION CONTRACTORS**

THE CONSTRUCTION CONTRACTOR RESPONSIBLE FOR THE EXTENSION OF THE WATER AND SEWER, AS APPROVED IN THESE PLANS, IS RESPONSIBLE FOR CONTACTING THE PUBLIC WORKS DEPARTMENT AT 516-2159, AND THE PUBLIC UTILITIES DEPARTMENT AT 996-4540, AT LEAST TWENTY-FOUR HOURS PRIOR TO BEGINNING ANY OF THEIR CONSTRUCTION.

FAILURE TO NOTIFY BOTH CITY DEPARTMENTS IN ADVANCE OF BEGINNING CONSTRUCTION WILL RESULT IN THE ISSUANCE OF MONETARY FINES AND REQUIRE REINSTALLATION OF ANY WATER OR SEWER FACILITIES NOT INSPECTED AS A RESULT OF THIS NOTIFICATION FAILURE.

FAILURE TO CALL FOR INSPECTION, INSTALL A DOWNSTREAM PLUG, HAVE PERMITTED PLANS ON JOB SITE, OR ANY OTHER VIOLATION OF CITY OF RALEIGH STANDARDS WILL RESULT IN A FINE AND POSSIBLE EXCLUSION FROM FUTURE WORK IN THE CITY OF RALEIGH.

**PRELIMINARY PLANS  
NOT FOR CONSTRUCTION**



221 N. SALEM ST.  
SUITE 001  
PO BOX 1062  
APEX, NC 27502  
Office: 919-387-1174  
Registration: P-0151  
www.jonescrossen.com

SCALE	1"=60'	BRAND	PDC
DATE	JULY 25, 2017		
REVISION	02/02/18	1st CYCLE REVIEW	
	04/23/18	2nd CYCLE REVIEW	
	05/25/18	3rd CYCLE REVIEW	
SHEET	C-3		
PROJECT	1640		



**ATTENTION CONTRACTORS**

THE CONSTRUCTION CONTRACTOR RESPONSIBLE FOR THE EXTENSION OF THE WATER AND SEWER, AS APPROVED IN THESE PLANS, IS RESPONSIBLE FOR CONTACTING THE PUBLIC WORKS DEPARTMENT AT 516-2159, AND THE PUBLIC UTILITIES DEPARTMENT AT 996-4540, AT LEAST TWENTY FOUR HOURS PRIOR TO BEGINNING ANY OF THEIR CONSTRUCTION.

FAILURE TO NOTIFY BOTH CITY DEPARTMENTS IN ADVANCE OF BEGINNING CONSTRUCTION WILL RESULT IN THE ISSUANCE OF MONETARY FINES AND REQUIRE REINSTALLATION OF ANY WATER OR SEWER FACILITIES NOT INSPECTED AS A RESULT OF THIS NOTIFICATION FAILURE.

FAILURE TO CALL FOR INSPECTION, INSTALL A DOWNSIDE PLUG, HAVE PERMITTED PLANS ON JOB SITE, OR ANY OTHER VIOLATION OF CITY OF RALEIGH STANDARDS WILL RESULT IN A FINE AND POSSIBLE EXCLUSION FROM FUTURE WORK IN THE CITY OF RALEIGH.

**GENERAL PLANTING NOTES:**

- All lawn areas to be seeded with "Rebel IV", Confederate Plus, or LESCO Tall Turf Type fescue.
- All mulch to be double shredded hardwood. No pine straw mulch adjacent to structures.
- Plant material on this site must be installed in conformance with the general planting notes and details on this plan or to the standards of the City of Raleigh Code of Ordinances.
- All plants shall be in accordance with the latest edition of the American Association of Nurserymen.
- Owners shall maintain all plant beds and plant material in good health, and any dead, unhealthy, or missing plants shall be replaced with locally adapted vegetation which conforms to the initial planting standards of the landscape ordinance.
- The Landscape Contractor is responsible for locating any underground utilities prior to beginning work.
- The Landscape Contractor is responsible for any damage to underground utilities, site features or structures.
- The Landscape Contractor is responsible for all required permits and licenses to perform the required work.
- All plant beds shall be treated with a pre-emergent weed control (i.e. Treflan).
- All Plants shall be vigorous, healthy material free from pests and disease.
- All street trees located within a sight triangle shall be kept limbed up to a height of 6' for visibility.
- Understory trees shall be planted under overhead power lines at a rate of 1 tree every 20 linear feet.
- Street trees along the northern side of Pearl Road (along lots 9-12) shall be located in a 6' street tree easement. The width between the existing back of curb and proposed 6' wide sidewalk is 2.17' which is too narrow for trees to be planted.
- Street trees shall be located as to not conflict with driveways, overhead power lines, stop signs, traffic signs, and other infrastructure per the chart below (p. 16 of the City of Raleigh Tree Manual).

**SCOPE OF WORK:**

Furnish all labor, materials, and equipment required or indicated by the drawings and specifications to complete the work including installation of all trees, shrubs, groundcover, annuals, seed, sod and mulch.

**MATERIALS AND WORK:**

The selection of all materials and the execution of all work required under the contract shall be subject to approval by the owner. The owner shall have the right to reject and all materials and any and all work, which in his opinion, does not meet the requirements of the contract.

**PLANT MATERIALS:**

All plant materials shall be nursery grown, freshly dug in the field, naturally shaped, well branched, fully foliated when in leaf with fully developed root systems. Trees must be self supporting, with straight trunks and leaders in tact. All plants must be free of disease, insect infestation or their eggs and shall have been grown in climatic conditions similar to those of the project site.

**PLANT SIZE:**

Specified sizes indicates the minimum allowable size at planting. Where container and height/spreads are indicated for a single species, both size requirements shall be met. When only plant height or spread are indicated, container size shall be based on AAN standards.

**ORGANIC MATTER:**

Aged manure, compost or pine bark fines, at the option of the contractor, material shall be air dried, finely shredded and suitable for horticultural purposes and shall contain no more than 35% moisture content by weight.

**PINE BARK MULCH:**

All pine bark mulch shall be clean, double ground, fine textured nugget mulch with minimal amounts of sawwood content.

**TURF AREAS:**

Prior to any seeding or sod application, verify that all trenching and land disturbing activities have been completed. Ensure all areas are free of stones, large soil clods and any other construction debris.

**Table 1. Guidelines for Proximity from Center of Tree to Infrastructure**




Minimum Distance from Walks, Curbs and Utilities	
Sidewalk	2'
Back of curb	2'
Driveways	10'
Structures	10'
Manholes and catch basins	10'
Fire hydrants	10'
Water meters and other utility boxes	5'
Traffic signs	10'
Stop signs	30'
Light poles	20'
Other trees	15'

**Table 1. Continued**

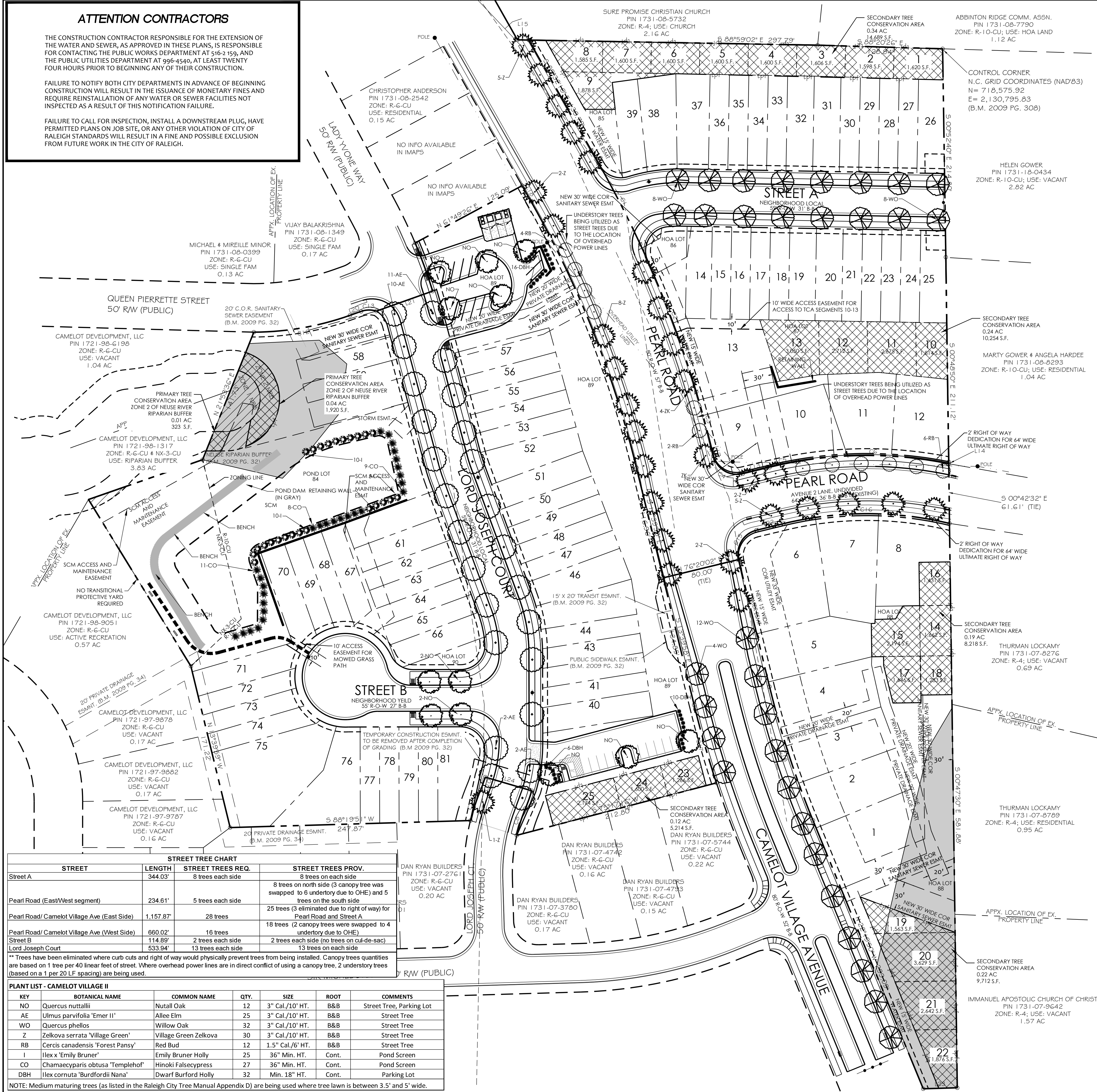
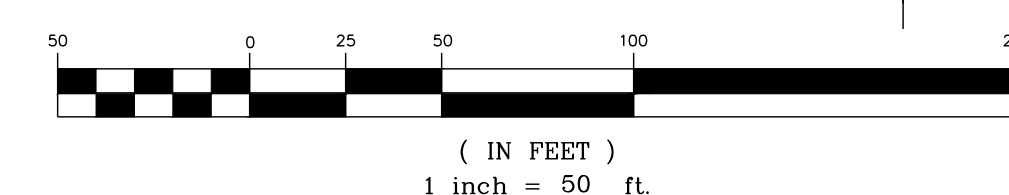
Buried Utility Lines that Traverse the Planting Strip	
Water & sewer	10'
Sewer easements	Planting prohibited
All other services	10'

**CHART: STREET TREE PROXIMITY TO INFRASTRUCTURE FROM CITY OF RALEIGH TREE MANUAL**

**LEGEND**

-  TREE CONSERVATION AREA
-  STREAM BUFFER
-  FLOOD HAZARD SOILS (BASED ON GIS INFORMATION AND ACTUAL EXISTING SITE DISTURBANCE)

**GRAPHIC SCALE**



**STREET TREE CHART**

STREET	LENGTH	STREET TREES REQ.	STREET TREES PROV.
Street A	344.03'	8 trees each side	8 trees on each side
Pearl Road (East/West segment)	234.61'	5 trees each side	8 trees on north side (3 canopy tree was swapped to 6 understory due to OHE) and 5 trees on the south side
Pearl Road/ CAMELOT Village Ave (East Side)	1,157.87'	28 trees	25 trees (3 eliminated due to right of way) for Pearl Road and Street A
Pearl Road/ CAMELOT Village Ave (West Side)	660.02'	16 trees	18 trees (2 canopy trees were swapped to 4 understory due to OHE)
Street B	114.89'	2 trees each side	2 trees each side (no trees on outside-sac)
Lord Joseph Court	533.94'	13 trees each side	13 trees on each side

\*\* Trees have been eliminated where curb cuts and right of way would physically prevent trees from being installed. Canopy tree quantities are based on 1 tree per 40 linear feet of street. Where overhead power lines are in direct conflict of using a canopy tree, 2 understory trees (based on a 1 per 20 LF spacing) are being used.

**PLANT LIST - CAMELOT VILLAGE II**

KEY	BOTANICAL NAME	COMMON NAME	QTY.	SIZE	ROOT	COMMENTS
NO	Quercus nuttallii	Nuttall Oak	12	3" Cal./10' HT.	B&B	Street Tree, Parking Lot
AE	Ulmus parvifolia 'Emer II'	Allee Elm	25	3" Cal./10' HT.	B&B	Street Tree
WO	Quercus phellos	Willow Oak	32	3" Cal./10' HT.	B&B	Street Tree
Z	Zelkova serrata 'Village Green'	Village Green Zelkova	30	3" Cal./10' HT.	B&B	Street Tree
RB	Cercis canadensis 'Forest Pansy'	Red Bud	12	1.5" Cal./6' HT.	B&B	Street Tree
I	Ilex 'Emily Bruner'	Emily Bruner Holly	25	36" Min. HT.	Cont.	Pond Screen
CO	Chamaecyparis obtusa 'Templehof'	Hinoki Falsecypress	27	36" Min. HT.	Cont.	Pond Screen
DBH	Ilex cornuta 'Burfordii Nana'	Dwarf Burford Holly	32	Min. 18" HT.	Cont.	Parking Lot

NOTE: Medium maturing trees (as listed in the Raleigh City Tree Manual Appendix D) are being used where tree lawn is between 3.5' and 5' wide.



**TONY M. TATE LANDSCAPE ARCHITECTURE, PA**  
5011 SOUTH PARK DRIVE, STE. 200 - DURHAM, NC 27713  
p: (919) 484-8880 f: (919) 484-8881 e: tony@tmtla.com

**REVISIONS:**

2/6/18	
4/25/18	
5/22/18	

LANDSCAPE PLAN  
**CAMELOT VILLAGE II**  
CAMELOT Development, LLC 312 West Millbrook Rd  
Suite 103, Raleigh, North Carolina 27619

**TRANSACTION #524315**

SCALE:  
1" = 50'  
DRAWN BY:  
PMP  
PROJECT #  
16136  
DATE:

SHEET  
**L-3**  
OF