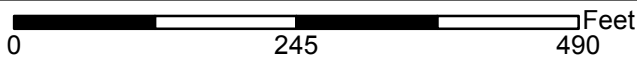
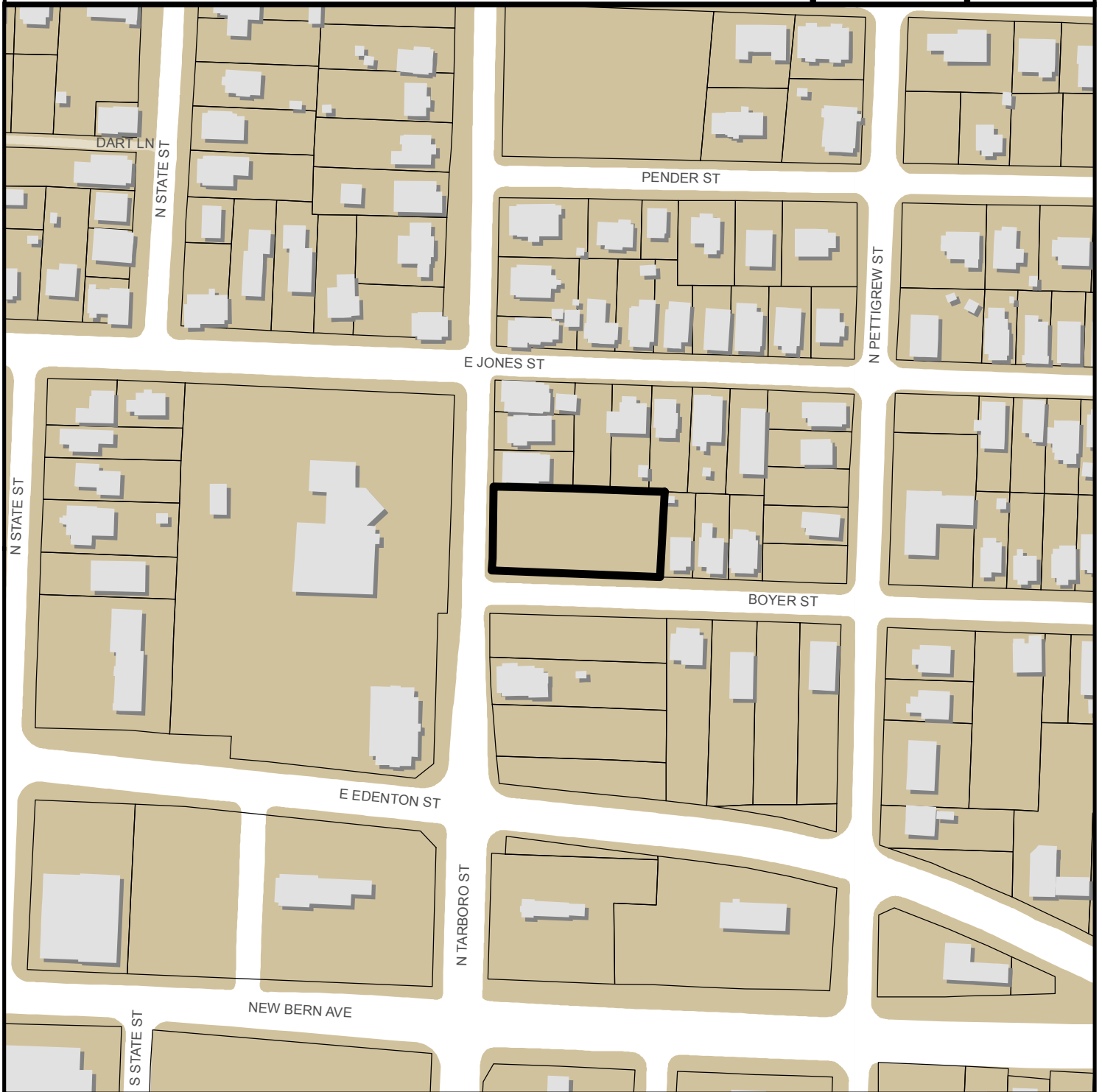


102 N. TARBORO STREET S-45-2017



Zoning: **R-10**
CAC: **North Central**
Drainage Basin: **Walnut Creek**
Acreage: **0.46**
Number of Lots: **4**

Planner: **Michael Walters**
Phone: **(919) 996-2636**

Applicant: **Randy Miller**
Phone: **(919) 465-1566**





Administrative Approval Action

**S-45-17, 102 N. Tarboro Street Subdivision
Transaction# 521386 / AA # 3698**

City of Raleigh
Development Services Department
One Exchange Plaza
Raleigh, NC 27602
(919) 996-2495
DS.help@raleighnc.gov
www.raleighnc.gov

LOCATION: This site is located on the east side of N. Tarboro Street, at the northeast corner of the intersection of N. Tarboro Street and Boyer Street. The address of the parent tract is 102 N. Tarboro Street.

REQUEST: Subdivision of a .461 acre tract zoned Residential-10 into four lots: Lot 1, 0.136 acres; lot 2, 0.103 acres; lot 3, 0.103 acres; and lot 4, 0.103 acres.

**DESIGN
ADJUSTMENT(S)/
ALTERNATES, ETC:** N/A

FINDINGS: City Administration finds that this request, with the below conditions of approval being met, conforms to the Unified Development Ordinance. This approval is based on a preliminary plan submitted by Thompson and Associates, P.A. (plan dated 8/17/17).

CONDITIONS OF APPROVAL and NEXT STEPS:

Note: *This document must be applied to the second sheet of all future submittals with the exception of final plats.*

PRIOR TO THE ISSUANCE OF ANY SITE PERMITS OR APPROVAL OF CONCURRENT REVIEW PROCESS, WHICHEVER IS APPLICABLE:

1. That a right-of-way obstruction permit must be obtained from Right-of-way Services prior to the commencement of any construction activities within the right-of-way.
2. That the landscape plan is revised to show the removal of the three street trees along N. Tarboro Street, also that the width between the sidewalk and curb along N. Tarboro St is confirmed and the plan revised if necessary;

PRIOR TO AUTHORIZATION TO RECORD LOTS:

1. That Concurrent Review Plans for public infrastructure and/or site grading shall be approved by the City of Raleigh, including obtaining stub permits, tree impact permit and a street lighting plan, if applicable.
2. The required right of way for proposed and/or existing streets shall be dedicated to the City of Raleigh and shown on the map approved for recordation.
3. Prior to lot recordation, a fee in lieu for three street trees along N. Tarboro Street must be paid to the City.
4. A 5' general utility easement and associated deed of easement shall be approved by the City and the location of the easement shall be shown on the map approved for recordation. The deed of easement shall be recorded at Wake County Register of Deeds within one (1) day of recordation of the recorded plat. A recorded copy of these documents must be provided to the Development Services Department within 14 days from authorization of lot recordation. If a recorded copy of



Administrative Approval Action

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the documents are not provided within this 14 day period, further recordings and building permit issuance may be withheld.

5. In accordance with Part 10A Section 8.1.10, a fee-in-lieu for 1' of sidewalk along N. Tarboro St. is paid to the City of Raleigh.
6. That In accordance with Part 10A Section 8.1.3, a public infrastructure surety for 6' sidewalk along Boyer St. and street trees along Boyer and N. Tarboro St. is provided to the City of Raleigh Development Services – Development Engineering program.
7. A final inspection of required tree conservation and right of way tree protection areas by Urban Forestry staff must be completed.
8. A tree impact permit must be obtained for the approved streetscape tree installation in the right of way.

EXPIRATION DATES: If significant construction has not taken place on a project after preliminary subdivision approval, that approval may "sunset" and be declared void, requiring re-approval before permits may be issued. To avoid allowing this preliminary approval to "sunset", the following must take place by the following dates:

3-Year Sunset Date: 11-8-2020
Record at least ½ of the land area approved.

5-Year Sunset Date: 11-8-2022
Record entire subdivision.

I hereby certify this administrative decision.

Signed:(Planning Dir./Designee) *Angie B. [Signature]* Date: 11/8/2017

Staff Coordinator: Michael Walters

INDEX OF SHEETS FOR 102 N. TARBORO ST.

- SHEET 1 EXISTING CONDITIONS/DEMOLITION PLAN
- SHEET 2 SUBDIVISION PLAN WITH UTILITIES
- SHEET 3 LANDSCAPE PLAN

SITE DATA

PIN 1713-29-1565
 SITE ADDRESS: 102 N. TARBORO ST. ST. RALEIGH, NC
 EXISTING ACREAGE: 0.461 ACRES (20,084 SF)
 AREA IN 2.5' R/W DEDICATION (BOYER AND TARBORO ST FRONTAGE):
 742 SF .017 AC

NET SITE AREA: 19,342 SF 0.444 AC

ZONED R-10
 EXISTING USE: VACANT
 PROPOSED USE: SINGLE FAMILY RESIDENTIAL SUBDIVISION

4 PROPOSED LOTS
 MIN. LOT SIZE (R-10): 4,000 SF
 SMALLEST PROPOSED LOT: 4,477 SF
 LARGEST PROPOSED LOT: 5,905 SF
 AVERAGE LOT SIZE: 4,835 SF
 DENSITY: (R-10) 10 DU PER ACRE
 PROPOSED DENSITY: 9.01 DU PER ACRE

MAX. HEIGHT (R-10): 40' (3) STORIES

EXISTING IMPERVIOUS SURFACE AREA: 11,340 SF 56.46%
 TO BE REMOVED

SITE IS NOT WITHIN FEMA 100 YEAR FLOOD PLAIN.
 SITE DOES NOT CONTAIN ANY WETLAND AREAS
 SITE CONTAINS NEUSE RIVER BUFFER AREAS
 ALL WORK AND MATERIALS SHALL CONFORM TO THE CITY OF RALEIGH
 STANDARDS AND SPECIFICATIONS.

Preliminary Subdivision Plan Application

DEVELOPMENT SERVICES DEPARTMENT

When submitting plans, please check the appropriate review type and include the Plan Checklist document.

Project Name: 102 N. TARBORO STREET RALEIGH, NC

Project Address: 102 N. TARBORO STREET RALEIGH, NC

Wake County Property Identification Number(s) for each parcel to which these guidelines will apply: 1713-29-1565

What is your project type?
 Single Family Townhouse Subdivision in a non-residential zoning district
 Other (describe):

Company Name: THOMPSON'S ASSOCIATES
 Contact Name: RALPH MILLER
 Address: 1149 EXECUTIVE CIRCLE SUITE D2 CARY, NC 27511
 Phone: 919-465-1566 Email: miller.raj@tasc.net Fax: 919-465-1586

WWW.RALEIGHNC.GOV REVISION 03.11.16

DEVELOPMENT TYPE AND SITE DATE TABLE (Applicable to all development)

ZONING INFORMATION

Zoning District: R-10

Overlay District? Yes No

Inside City Limits? Yes No

COA (Conditional Use District) Case # 2: N/A

COA (Certificate of Appropriateness) Case # 1: N/A

BOA (Board of Adjustment) Case # A: N/A

STORMWATER INFORMATION

Existing Impervious Surface: 0.36/11,340 acres/ft

Proposed Impervious Surface: 0.31/14,800 acres/ft

Flood Hazard Area: Yes No

Neuse River Buffer: Yes No

Wetlands: Yes No

NUMBER OF LOTS AND DENSITY

Total # of Townhouse Lots: Detached: 0 Attached: 0

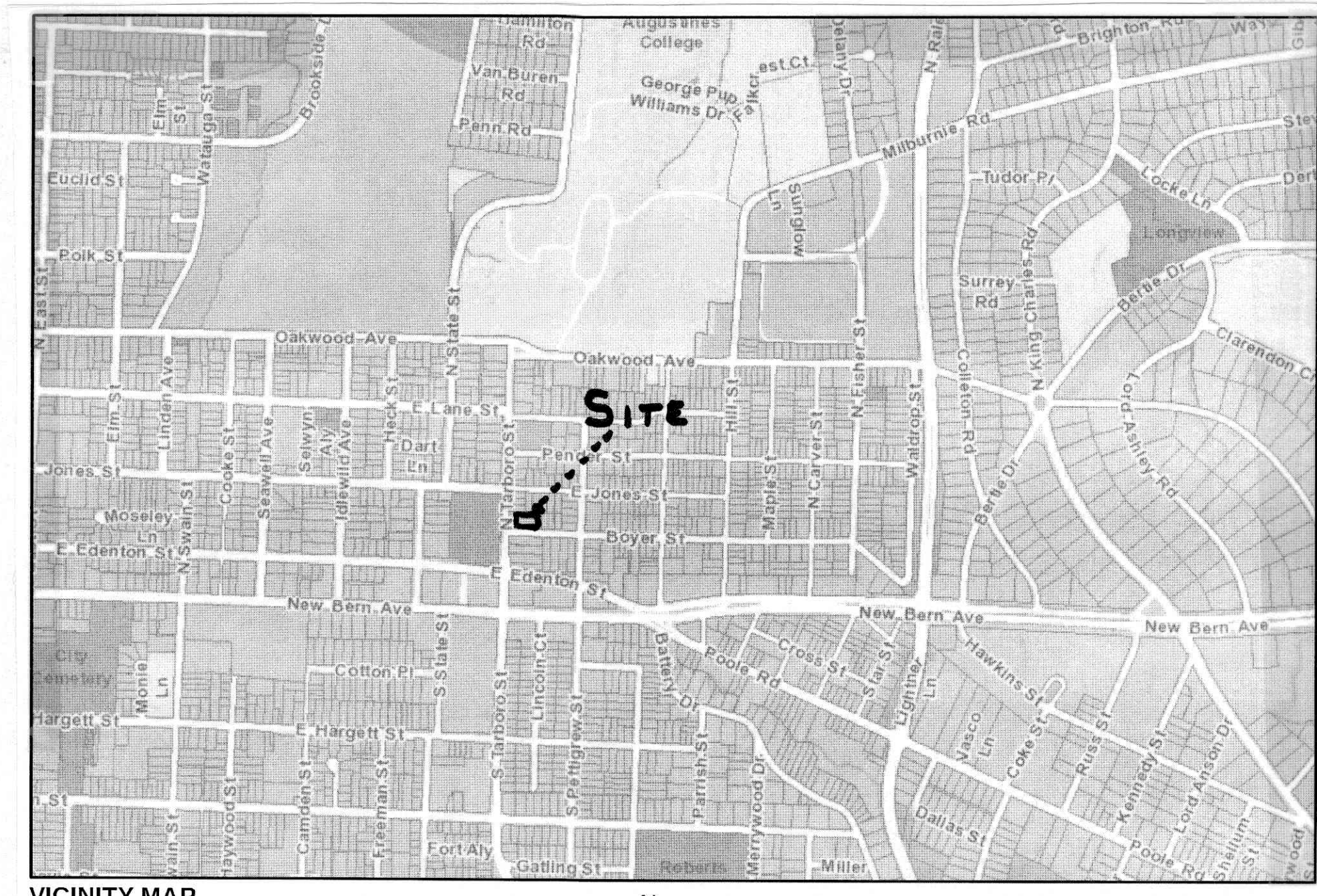
Total # of Single Family Lots: 4 Total # of All Lots: 4

Overall Units/Acre Density Per Zoning District: 9.01

Total # of Open Space and/or Common Area Lots: 0

Signature: [Signature] Date: 7/10/2017

WWW.RALEIGHNC.GOV REVISION 03.11.16



VICINITY MAP

Scale: 1 inch = 800 feet

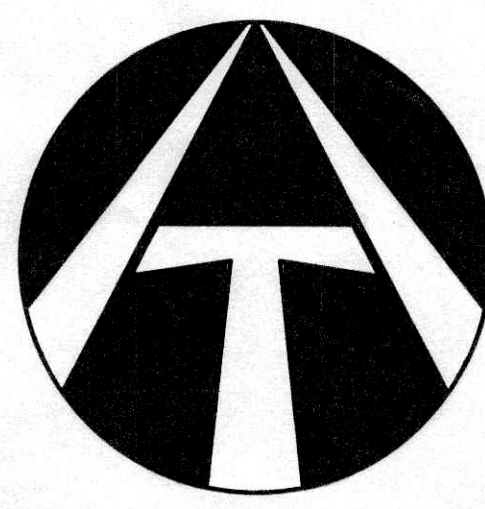
Disclaimer: Maps make every effort to produce and publish the most current and accurate information possible. However, the maps are produced for information purposes, and are NOT surveys. No warranties, expressed or implied, are provided for the data therein, its use or its interpretation.

PRELIMINARY SUBDIVISION PLAN FOR 102 N. TARBORO ST.

C.O.R. PROJECT # S-45-17
 TRANSACTION # 521386
 CITY OF RALEIGH, NORTH CAROLINA
 JULY 7, 2017
 REVISED: 8/17/17
 4 LOT CONVENTIONAL SUBDIVISION

STORMWATER NOTE:
 PROPOSED RESIDENTIAL SUBDIVISION IS LESS THAN 1 ACRE
 IN SIZE AND IS SUBJECT TO STORMWATER CONTROL REGULATIONS
 UNDER ARTICLE 9.2 OF THE UDO AS AMENDED BY TC-2-16.

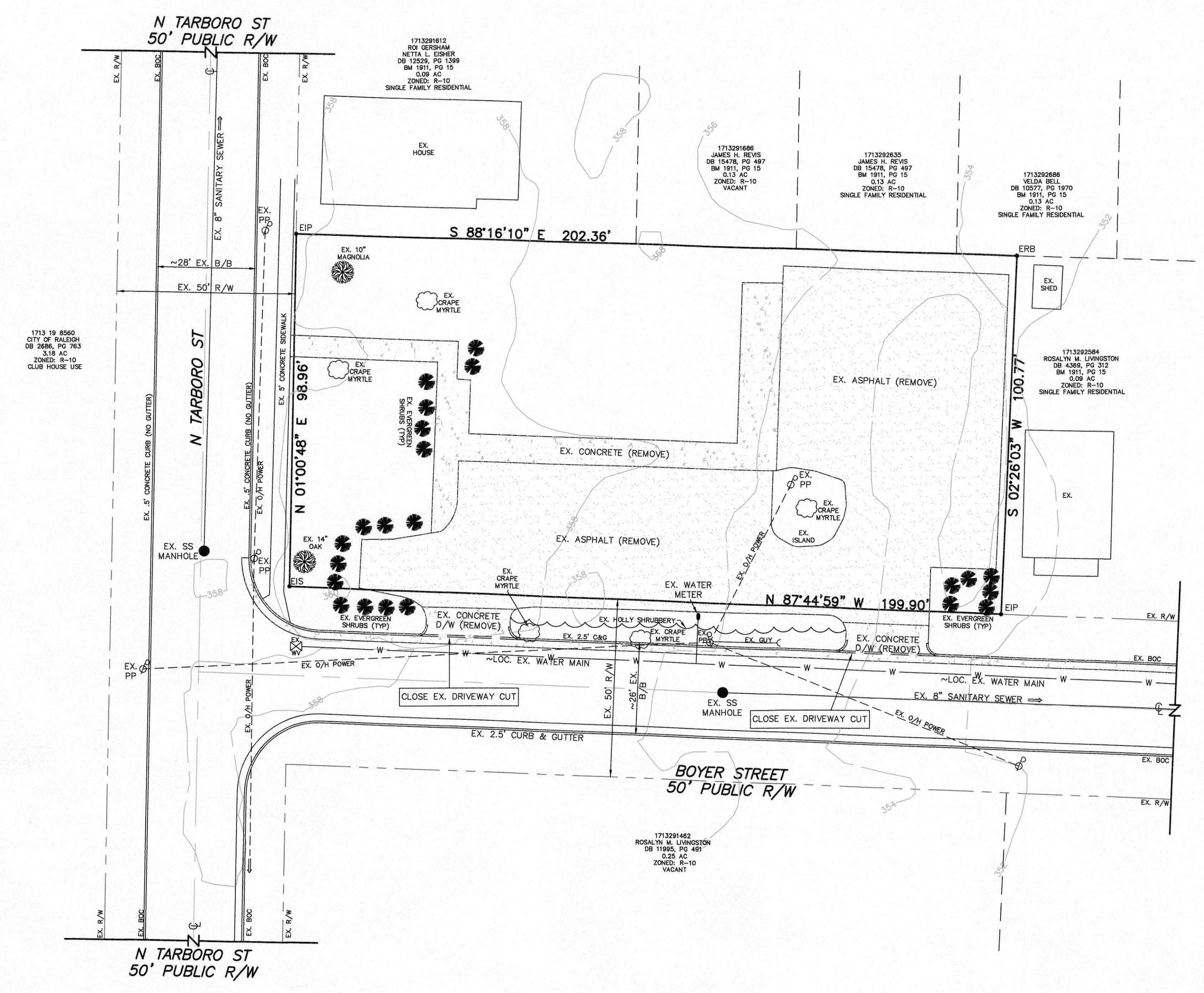
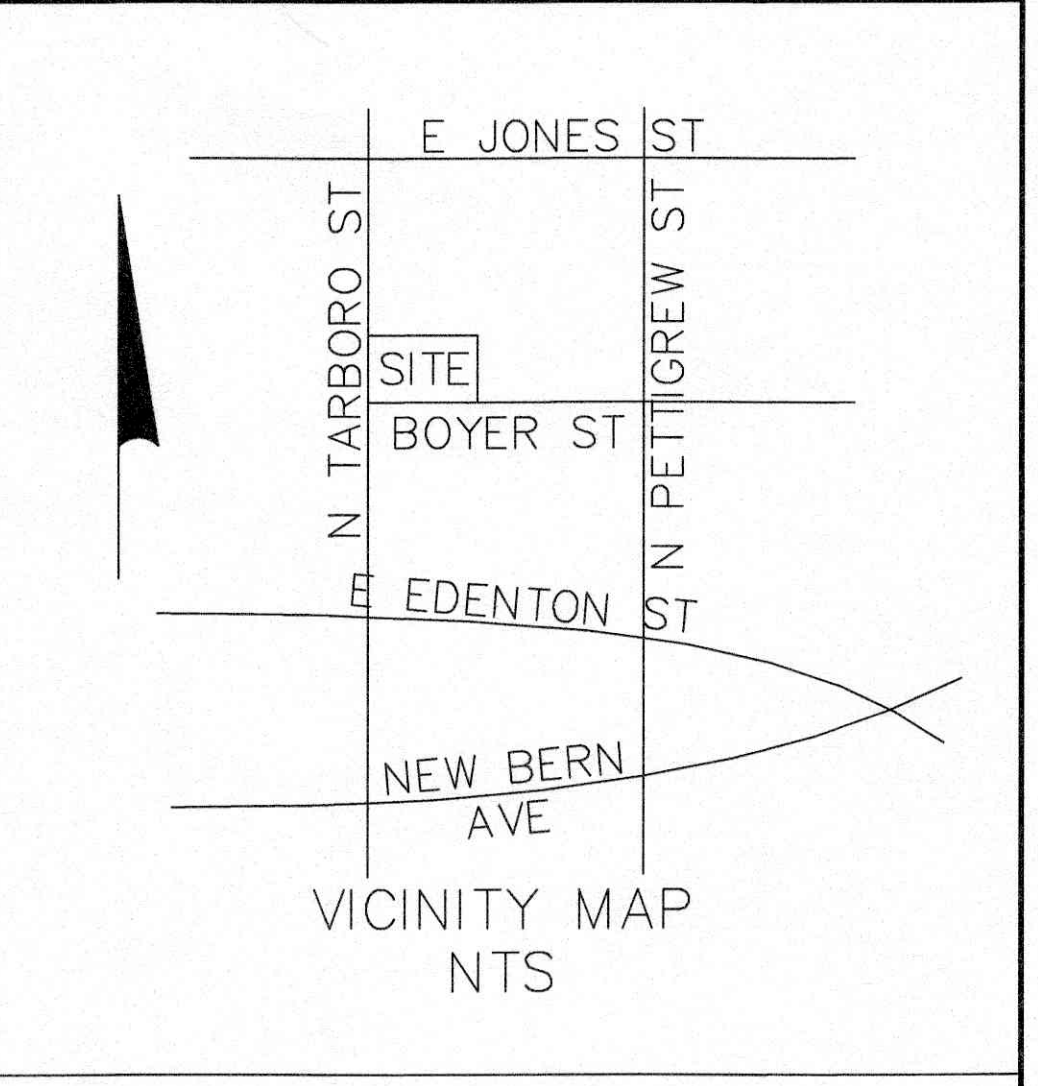
NOTE:
 ALL CONSTRUCTION & MATERIALS SHALL BE
 IN STRICT ACCORDANCE WITH ALL CITY OF
 RALEIGH AND NCDOT STANDARDS & SPECIFICATIONS.



CO. LIC # : C-0343
 THOMPSON and ASSOCIATES, P.A.
 1149 EXECUTIVE CIRCLE
 SUITE D UNIT 2
 CARY, NC 27511
 TEL. 919 465-1566 FAX 919 465-1585

**PRELIMINARY DRAWING
 DO NOT USE FOR CONSTRUCTION**

OWNER:
 DAYONG GAN
 503 ANNANDALE DR.
 CARY, NC 27511

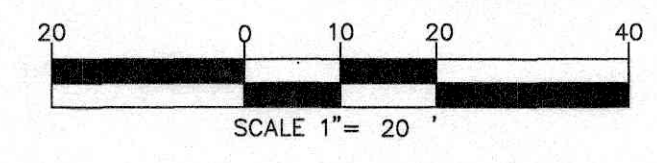


SURVEY INFORMATION BY THOMPSON AND ASSOCIATES TOPOGRAPHY FROM WAKE CO. GIS CONTOUR INTERVAL IS 2'

NOTES
 AREAS ARE BY COORDINATES.
 GRID BEARINGS AND COORDINATES ARE BY GPS OBSERVATIONS USING VRS.
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REFERENCES
 DEED BOOK 15253, PAGE 2009
 BOOK OF MAPS 1911, PAGE 15

LEGEND
 ● EIP = EXISTING IRON PIPE
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 ● EIS = EXISTING IRON STAKE
 ○ IPS = IRON PIPE SET
 ● EX. SANITARY SEWER MANHOLE
 ⊠ EX. WATER VALVE
 ■ EX. WATER METER
 ○ EX. POWER POLE
 C EX. GUY WIRE



PRELIMINARY DRAWING
FOR REVIEW ONLY

OWNER:
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 503 ANNANDALE DR.
 CARY, NC 27511

 THOMPSON & ASSOCIATES, PA 1149 EXECUTIVE CIRCLE SUITE D-2 CARY, NC 27511 (919) 465-1566 FAX (919) 465-1585 NC LIC# C-0343	RALEIGH TOWNSHIP		OWNER: DAYONG GAN
	WAKE COUNTY	NORTH CAROLINA	ZONED R-10
DATE 7/5/17	DRAWN MTH	JOB NO.	
SCALE 1" = 20'	SURVEYED GRW	BOYER-EXCOND	
REVISIONS 8/17/17	PIN 1713-29-1565		

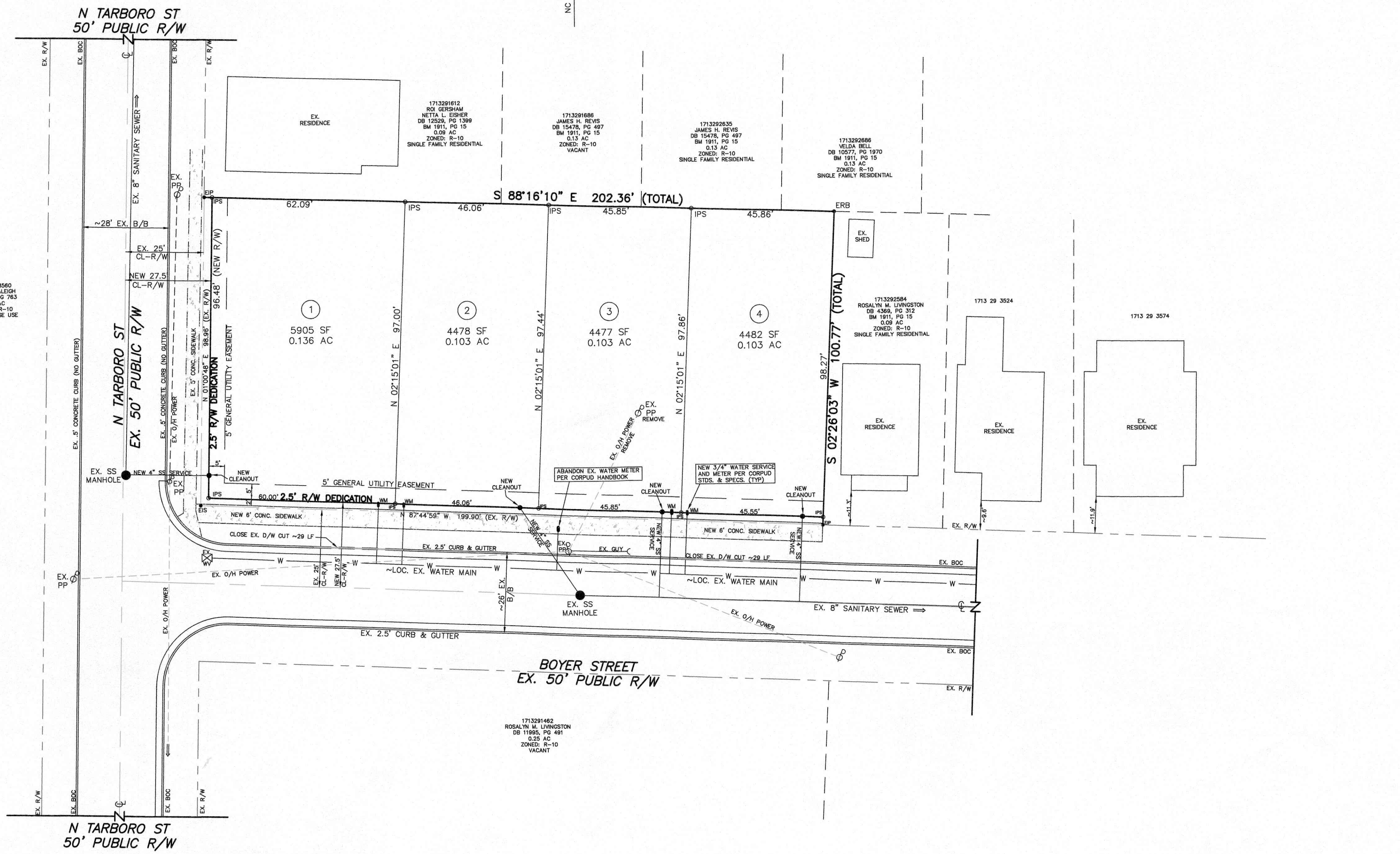
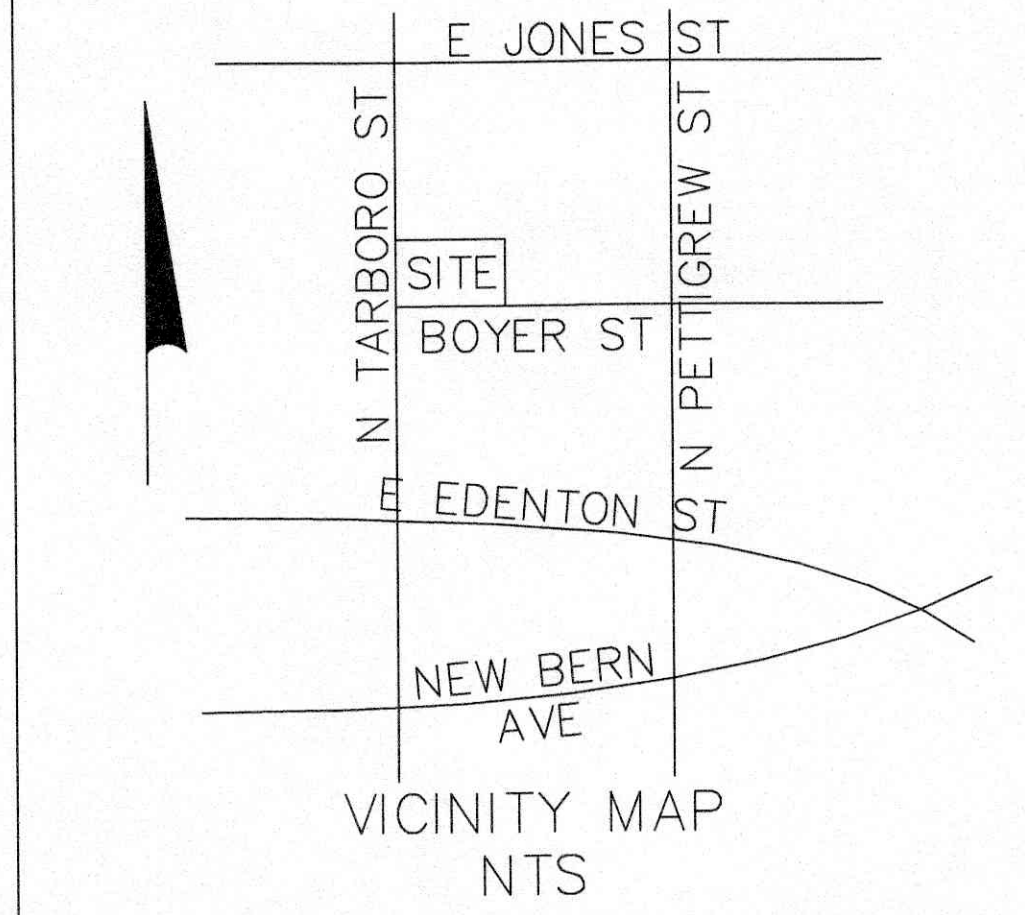
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UTILITY NOTE:
EX. WATER SERVICE AND METER TO BE ABANDONED.
4 NEW 3/4" WATER SERVICES AND METERS
4 NEW 4" PVC SANITARY SEWER SERVICES.

ALL NEW UTILITIES TO BE UNDERGROUND.

A FEE-IN-LIEU TO BE PAID FOR 98.96 LF OF 1' WIDE CONC. SIDEWALK (5' ALREADY EXISTING) & 3 REQUIRED STREET TREES. (N. TARBORO ST.)

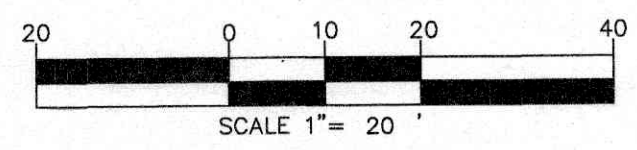
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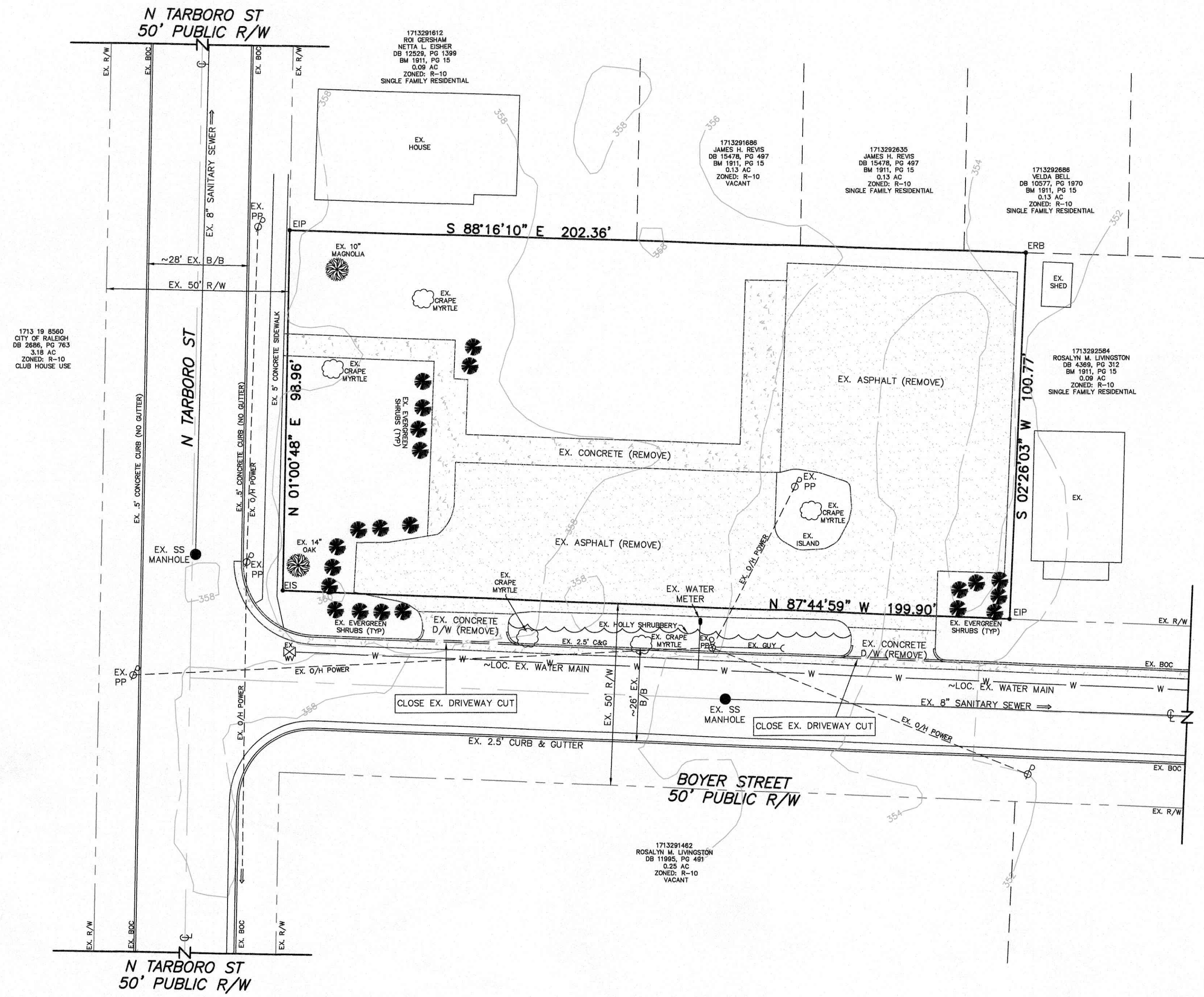
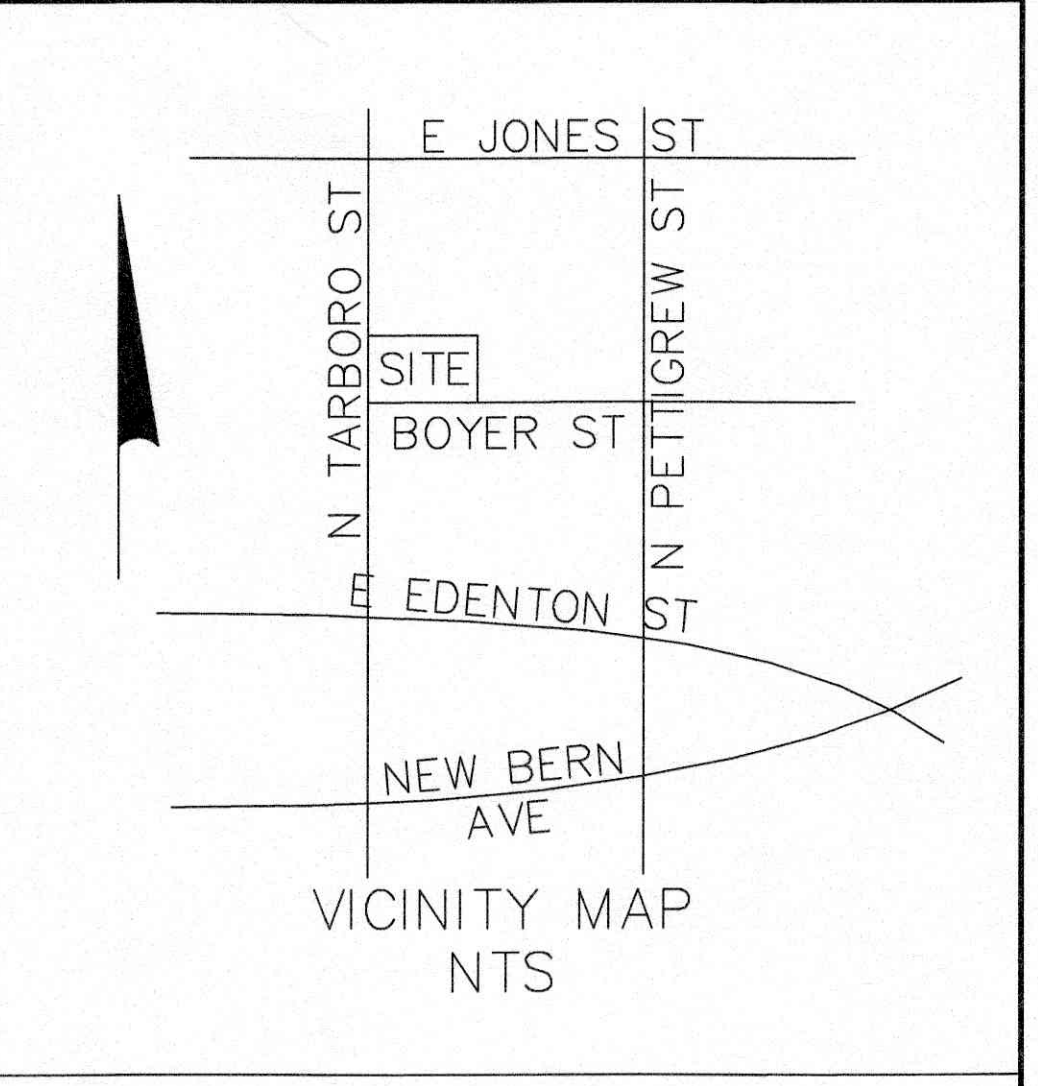
OWNER:
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503 ANNANDALE DR.
CARY, NC 27511

SHEET 2

**SUBDIVISION PLAN WITH UTILITIES
102 N. TARBORO ST.**

<p>THOMPSON & ASSOCIATES, PA 1149 EXECUTIVE CIRCLE SUITE D-2 CARY, NC 27511 (919) 465-1566 FAX (919) 465-1585 NC LIC# C-0343</p>	RALEIGH TOWNSHIP		OWNER: DAYONG GAN
	WAKE COUNTY	NORTH CAROLINA	ZONED R-10
	DATE 7/5/17	DRAWN MTH	JOB NO.
	SCALE 1" = 20'	SURVEYED GRW	BOYER-EXCOND
REVISIONS 8/17/17		PIN 1713-29-1565	

ENGINEERING SURVEYING LAND PLANNING

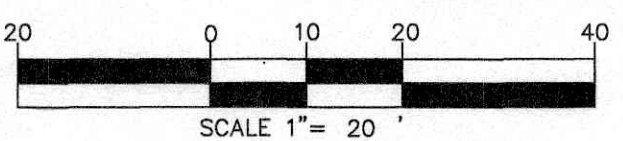


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PRELIMINARY DRAWING
FOR REVIEW ONLY

OWNER:
 DAYONG GAN
 503 ANNANDALE DR.
 CARY, NC 27511

EX. CONDITIONS PLAN 102 N. TARBORO ST.		SHEET 1	
<p>THOMPSON & ASSOCIATES, PA 1149 EXECUTIVE CIRCLE SUITE D-2 CARY, NC 27511 (919) 465-1566 FAX (919) 465-1585 NC LIC# C-0343</p>	RALEIGH TOWNSHIP OWNER: DAYONG GAN		
	WAKE COUNTY	NORTH CAROLINA	ZONED R-10
	DATE 7/5/17	DRAWN MTH	JOB NO.
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