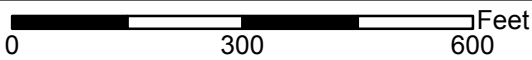
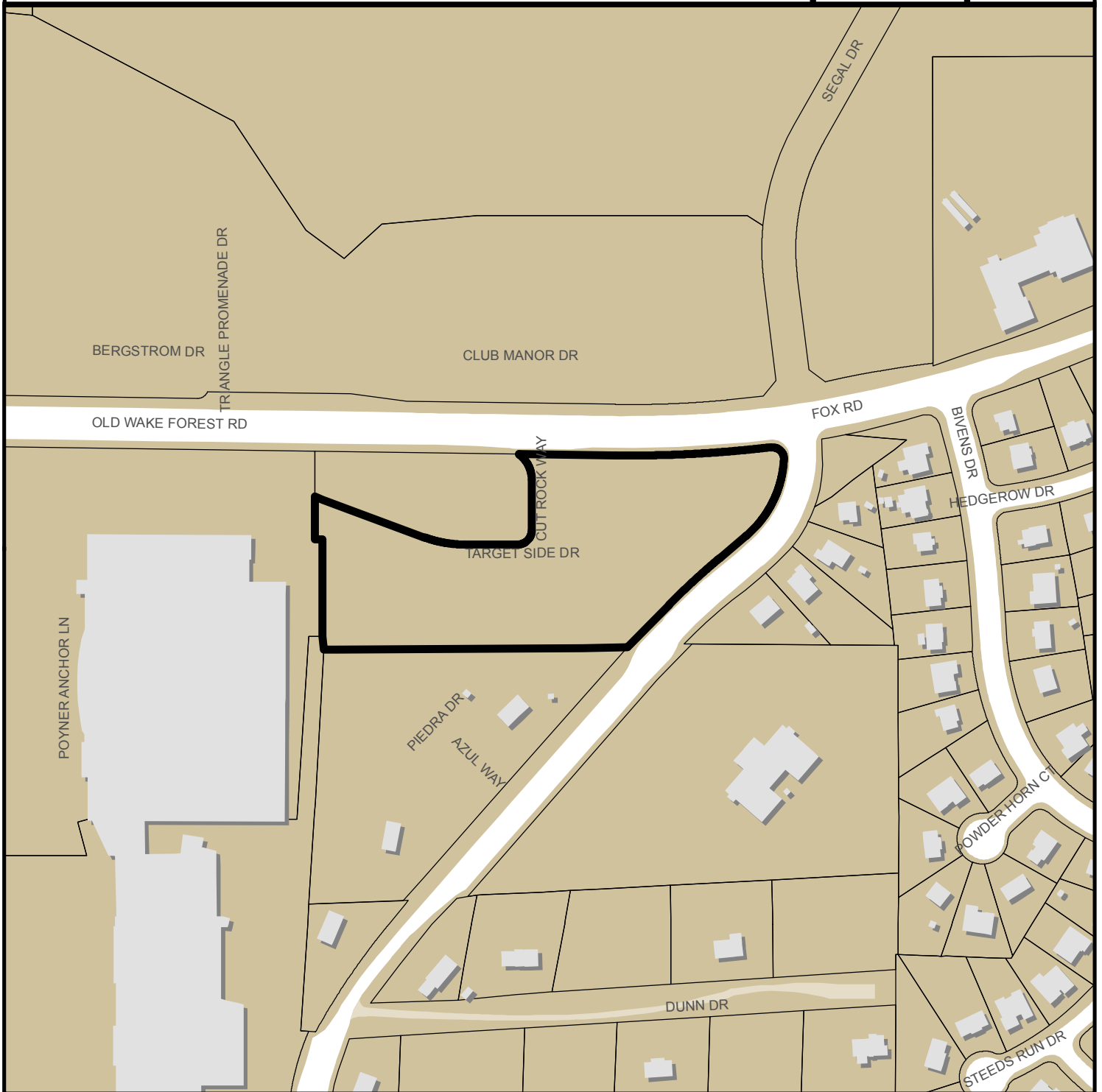


POYNER PLACE SUBDIVISION S-44-2017



Zoning: **CX-4-CU**
CAC: **Northeast**
Drainage Basin: **Perry Creek**
Acreage: **4.47**
Number of Lots: **2**

Planner: **Daniel Stegall**
Phone: **(919) 996-2712**

Applicant: **Andy Padiak**
Phone: **(919) 361-5000**





Administrative Approval Action

Poyner Place Subdivision: S-44-17,
Transaction# 520810, AA# 3706

City of Raleigh
Development Services Department
One Exchange Plaza
Raleigh, NC 27602
(919) 996-2495
DS.help@raleighnc.gov
www.raleighnc.gov

LOCATION: This site is located on the south side of Old Wake Forest Road and situated at the southwest corner of Fox Road and Old Wake Forest Road. The existing site consists of two parcels, the addresses and pin numbers are as follows: 8050 Target Side Drive/1727808635 and 8051 Target Side Drive/ 1727806705.

REQUEST: Subdivide a 4.47 acre tract zoned CX-4-CU to create Lot 11 and Lot 12. In addition to the subdivision the applicant is requesting to increase the size of existing adjacent Lot 10 from 1.16 acres to 1.30 acres on the same site thru recombination. Proposed Lot 11 is 1.70 acres and Lot 12 is 2.54 acres after right of way dedication.

DESIGN ADJUSTMENT(S)/ ALTERNATES, ETC:

One Design Adjustment has been approved by the Development Services Designee for this project, noted below.

1. A Design Adjustment waiving the block perimeter requirement (UDO Section 8.3) has been approved by the Public Works Director Designee due to the presence of existing buildings and private streets that prohibit additional public street access. A "Public Access Easement" between existing parcels exists to encourage inter connectivity between the parcels to promote connectivity is recorded on DB11587, PG1736. The described Public Access Easement encompasses the two private streets bordering the property and connect to Old Wake Forest road and Fox road respectively.

FINDINGS: City Administration finds that this request, with the below conditions of approval being met, conforms to the Unified Development Ordinance. This approval is based on a preliminary plan submitted by Andy Padiak of McAdams Company.

CONDITIONS OF APPROVAL and NEXT STEPS:

Note: *This document must be applied to the second sheet of all future submittals with the exception of final plats.*

PRIOR TO THE ISSUANCE OF ANY SITE PERMITS OR APPROVAL OF CONCURRENT REVIEW PROCESS, WHICHEVER IS APPLICABLE:

ENGINEERING

1. Required NCDOT encroachment and/or driveway permits must be approved and copies provided to Development Services – Development Engineering prior to concurrent review approval.
2. Next Step: A right-of-way obstruction permit must be obtained from Right-of-way Services prior to the commencement of any construction activities within the right-of-way.

STORMWATER

3. Lots 11 and 12 will be a part of the shared stormwater solution including lots 4, 6, 7, 10. Additionally lot 12 will have a sand filter to treat lot 12 for water quality before flowing into the existing wet pond located on lot 11.



Administrative Approval Action

Poyner Place Subdivision: S-44-17,
Transaction# 520810, AA# 3706

City of Raleigh
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(919) 996-2495
DS.help@raleighnc.gov
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4. Next Step: A stormwater control plan with a stormwater operations and maintenance manual and budget shall be approved by the Stormwater Engineer in compliance with Part 10A Chapter 9 of the Unified Development Ordinance.
5. Next Step: In accordance with Part 10A Section 9.4.4 of the Unified Development Ordinance, a surety equal to of the cost of clearing, grubbing and reseeding a site, shall be paid to the City.
6. Next Step: That a nitrogen offset payment must be made to a qualifying mitigation bank.

URBAN FORESTRY

7. Obtain required stub and tree impact permits from the City of Raleigh.

PRIOR TO AUTHORIZATION TO RECORD LOTS:

GENERAL

1. The City form document entitled Declaration of City of Raleigh Required City Code Provisions for Developments with Common Elements and Common Expenses shall be approved by the City and recorded with the county register of deeds office where the property is located and a copy of the recorded document shall be provided to the City by the end of the next business day following the recordation of the final plat; further recordings and building permit authorization will be withheld if the recorded document is not provided to the City.
2. Compliance of all zoning conditions under Z-5-01.

ENGINEERING

3. The required right of way for proposed and/or existing streets shall be dedicated to the City of Raleigh and shown on the map approved for recordation.
4. In accordance with Part 10A Section 8.1.10, a fee-in-lieu for 4.5' of additional pavement along the property frontage of Old Wake Forest Rd and 1' of public sidewalk for 850' is paid to the City of Raleigh.
5. Next Step: In accordance with Part 10A Section 8.1.3, a public infrastructure surety is provided to the City of Raleigh Development Services – Development Engineering program.

STORMWATER

6. Next Step: A payment equal to twenty-four percent (24%) of the estimated cost of constructing all stormwater control facilities shown on the development plans shall be paid by the developer to the City stormwater facility replacement fund.
7. Next Step: The City form document entitled Declaration of Maintenance Covenant and Grant of Protection Easement for Stormwater Control Facilities shall be approved by the City and recorded with the county register of deeds office.



Administrative Approval Action

Poyner Place Subdivision: S-44-17,
Transaction# 520810, AA# 3706

City of Raleigh
Development Services Department
One Exchange Plaza
Raleigh, NC 27602
(919) 996-2495
DS.help@raleighnc.gov
www.raleighnc.gov

8. Next Step: All stormwater control measures and means of transporting stormwater runoff to and from any nitrogen and stormwater runoff control measures shall be shown on all plats for recording as private drainage easements.
9. Next Step: In accordance with Part 10A Section 9.2.2, a surety equal to 125% of the cost of the construction of a stormwater device shall be paid to the Engineering Services Department

URBAN FORESTRY

10. Next Step: A fee-in-lieu will be paid for the street trees for 85' of frontage along Fox Rd.
11. A tree impact permit must be obtained for the approved streetscape tree installation in the right of way.

EXPIRATION DATES: If significant construction has not taken place on a project after preliminary subdivision approval, that approval may "sunset" and be declared void, requiring re-approval before permits may be issued. To avoid allowing this preliminary approval to "sunset", the following must take place by the following dates:

3-Year Sunset Date: 1-19-2021
Record entire subdivision.

I hereby certify this administrative decision.

Signed:(Planning Dir./Designee) *Daniel L. Stegall* Date: 1/19/2018

Staff Coordinator: Daniel L. Stegall

POYNER PLACE

PRELIMINARY SUBDIVISION PLAN

8050 TARGET SIDE DRIVE
 RALEIGH, NORTH CAROLINA
 CITY OF RALEIGH CASE #S-44-17
 TRANSACTION #520810
 PROJECT NUMBER: SPEC-17053
 DATE: DECEMBER 19, 2017

PRELIMINARY SUBDIVISION PLAN FOR:
 POYNER PLACE
 RALEIGH, NORTH CAROLINA
 PROJECT NUMBER: SPEC-17053
 TRANSACTION #: 520810

<p>FORM 1 PHONE NO. : 919-948-0989 Jun. 20 2017 03:33:04 P1</p> <p>Preliminary Subdivision Plan Application</p> <p>DEVELOPMENT SERVICES DEPARTMENT</p> <p>Development Services Customer Service Center 17053 Spec. Plan, Suite 401 Raleigh, NC 27601 919-996-2001 FAX 919-996-4823 Lickford Satellite Office 1020 - 131 Lickford Road Raleigh, NC 27611 919-996-4200</p> <p>When submitting plans, please check the appropriate review type and include the Plan Checklist document.</p> <p>Office Use Only: Transaction # _____ Project Coordinator _____ Team Leader _____</p> <p>PRELIMINARY APPROVALS</p> <p><input checked="" type="checkbox"/> Subdivision <input type="checkbox"/> Conventional Subdivision <input type="checkbox"/> Compact Development <input type="checkbox"/> Conservation Subdivision</p> <p>*May require City Council approval if it is a Metro Park Overlay or Historic Overlay District</p> <p>If your project has been through the Due Diligence process, provide the transaction #:</p> <p>GENERAL INFORMATION</p> <p>Development Name: Poyner Place Subdivision</p> <p>Proposed Use: Commercial</p> <p>Property Address(es): 8050 Target Side Drive</p> <p>Wake County Property Identification Number(s) for each parcel to which these guidelines will apply:</p> <p>Pin Recorded Deed: 172200035, 172200705</p> <p>What is your project type?</p> <p><input type="checkbox"/> Single Family <input type="checkbox"/> Townhouse <input checked="" type="checkbox"/> Subdivision in a non-residential zoning district</p> <p><input type="checkbox"/> Other (describe): _____</p> <p>OWNER/DEVELOPER INFORMATION</p> <p>Company Name: Eagles Enterprises, LLC Owner/Developer Name: Dilip Gandhi</p> <p>Address: 9201 Leesville Road, Raleigh NC 27613</p> <p>Phone: 919-810-5122 Email: gandhi10@msn.com</p> <p>Consultant/Contractor Name: McAdams Co Contact Name: Andy Padiak</p> <p>Address: 2905 Meridian Parkway, Durham NC 27713</p> <p>Phone: 919-475-5514 Email: padiak@mcadamsco.com</p> <p>PAGE 1 OF 3 WWW.RALEIGHNC.GOV REVISION 03.11.16</p>		<p>FORM 1 PHONE NO. : 919-948-0989 Jun. 20 2017 03:31:04 P2</p> <p>DEVELOPMENT TYPE AND SITE DATA TABLE (Applicable to all developments)</p> <p>ZONING INFORMATION</p> <p>Zoning District(s): CX-4-CU</p> <p>If more than one district, provide the acreage of each: 5.48 AC</p> <p>Overlay District? <input type="checkbox"/> Yes <input checked="" type="checkbox"/> No</p> <p>Inside City Limits? <input checked="" type="checkbox"/> Yes <input type="checkbox"/> No</p> <p>CUD (Conditional Use District) Case #: 5-01</p> <p>COA (Certificate of Appropriateness) Case #: N/A</p> <p>BOA (Board of Adjustment) Case #: N/A</p> <p>STORMWATER INFORMATION</p> <p>Existing Impervious Surface: 0.73 AC acres/ft Flood Hazard Area <input type="checkbox"/> Yes <input checked="" type="checkbox"/> No</p> <p>Proposed Impervious Surface: 1.64 AC acres/ft Noise River Buffer <input type="checkbox"/> Yes <input checked="" type="checkbox"/> No</p> <p>Wetlands <input type="checkbox"/> Yes <input checked="" type="checkbox"/> No</p> <p>If in a Flood Hazard Area, provide the following:</p> <p>Adapted Soil: _____ Flood Study: _____ FEMA Map Panel #: _____</p> <p>NUMBER OF LOTS AND DENSITY</p> <p>Total # of Townhouse Lots: Detached 0 Attached 0</p> <p>Total # of Single Family Lots: 0 Total # of All Lots: 3</p> <p>Overall Units/Acre Density Per Zoning District: N/A</p> <p>Total # of Open Space and/or Common Area Lots: N/A</p> <p>SIGNATURE BLOCK (Applicable to all developments)</p> <p>In filing this plan as the property owner(s), I/we do hereby agree and firmly bind ourselves, my/our heirs, executors, administrators, successors and assigns jointly and severally to construct all improvements and make all dedications as shown on this proposed subdivision plan as approved by the City.</p> <p>I hereby designate Andy Padiak to serve as my agent regarding this application, to receive and respond to administrative comments, to resubmit plans on my behalf, and to represent me in any public meeting regarding this application.</p> <p>I/we have read, acknowledge, and affirm that this project is conforming to all application requirements applicable with the proposed development(s).</p> <p><i>[Signature]</i> Date: 01/28/17</p> <p>Signature: _____ Date: _____</p> <p>PAGE 2 OF 3 WWW.RALEIGHNC.GOV REVISION 03.11.16</p>	
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SHEET INDEX

- C-1 EXISTING CONDITIONS
- C-2 OVERALL SUBDIVISION PLAN
- C-3 SUBDIVISION AND LANDSCAPE PLAN
- C-4 UTILITY, GRADING, AND STORM DRAINAGE PLAN
- D-1 SITE DETAILS
- D-2 SITE AND LANDSCAPE DETAILS
- SW-1 STORMWATER MANAGEMENT FACILITY DETAILS
- SW-2 LOT IMPERVIOUS ALLOCATION

OWNER:

GANDHI AT POYNER PLACE, LLC
9201 LEESVILLE ROAD, SUITE 201
RALEIGH, NORTH CAROLINA 27613
C/O DILIP GANDHI
PHONE NUMBER: 919-810-5122

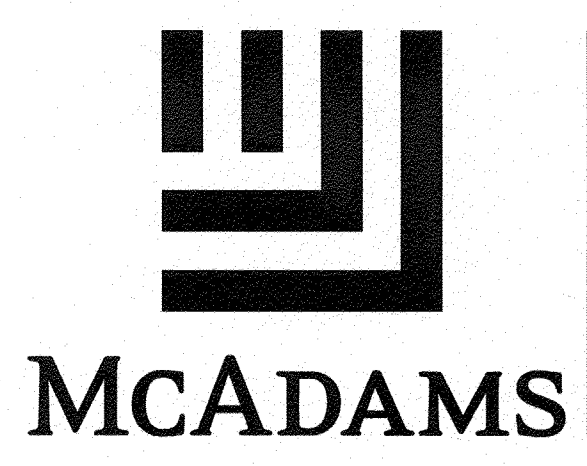
- NOTES:**
- THE MINIMUM CORNER CLEARANCE FROM THE CURB LINE OR EDGE OF PAVEMENT OF INTERSECTING STREETS SHALL BE AT LEAST TWENTY (20) FEET FROM THE INTERSECTION OF THE RIGHT-OF-WAY LINES, WHICHEVER IS GREATER. THE RADIUS OF THE DRIVEWAY SHALL NOT ENDOURGE ON THE MINIMUM CORNER CLEARANCE.
 - WITHIN THE AREA OF A DEFINED SIGHT TRIANGLE, THERE SHALL BE NO SIGHT OBSTRUCTING OR PARTLY OBSTRUCTING WALL, FENCE, SIGN, FOLIAGE, BERMING OR PARKED VEHICLES BETWEEN THE HEIGHTS OF TWENTY-FOUR (24) INCHES AND EIGHT (8) FEET ABOVE THE CURB ELEVATION OR THE NEAREST TRAVELED WAY, IF NO CURBING EXISTS.
 - ALL CONSTRUCTION SHALL BE IN STRICT ACCORDANCE WITH THE CITY OF RALEIGH AND/OR NCDOT STANDARDS AND SPECIFICATIONS.

SOLID WASTE INSPECTION STATEMENT

- THE DEVELOPER ACKNOWLEDGES THAT THEY HAVE REVIEWED AND ARE IN COMPLIANCE WITH THE REQUIREMENTS SET FORTH IN THE SOLID WASTE DESIGN MANUAL.
- SOLID WASTE COLLECTION INCLUDING RECYCLING TO BE HANDLED WITH NEW DUMPSTERS ONSITE.

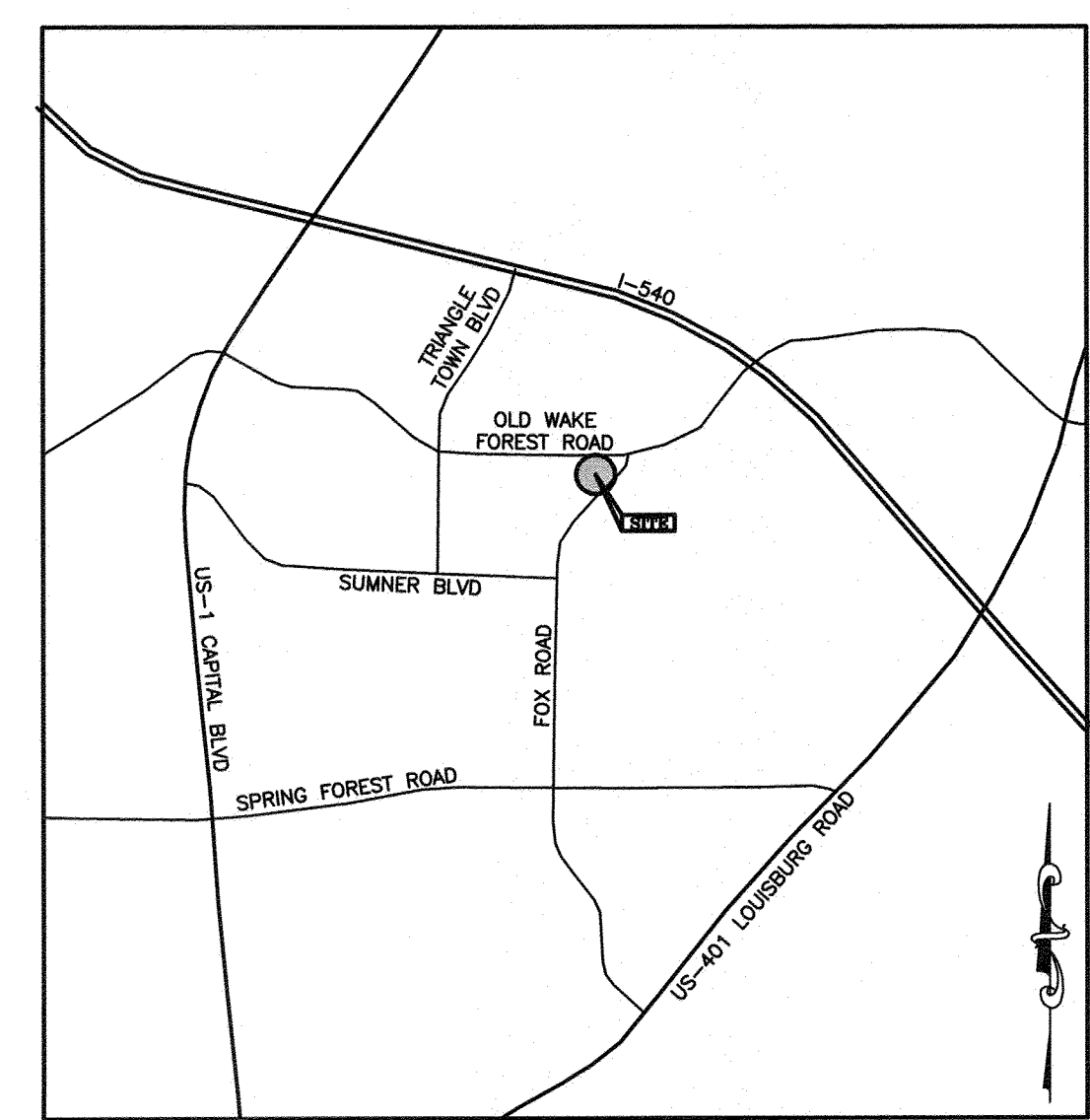
SEE CUD CASE # Z-5-01 FOR ALL ASSOCIATED CONDITIONS AND EXHIBITS

ALL CONSTRUCTION SHALL CONFORM WITH THE LATEST VERSION OF THE CITY OF RALEIGH STANDARDS AND SPECIFICATIONS.



THE JOHN R. McADAMS COMPANY, INC.

2905 Meridian Parkway
 Durham, North Carolina 27713
 License No.: C-0293
 (800) 733-5646 • McAdamsCo.com
 Contact: Andy Padiak
 Padiak@mcadamsco.com



VICINITY MAP
 1"=1,000'

ATTENTION CONTRACTORS

The Construction Contractor responsible for the extension of water, sewer, and/or reuse as approved in these plans, is responsible for contacting the Public Works Department at (919) 831-6810, and the Public Utilities Department at (919) 857-4540 at least twenty four hours prior to beginning any of their construction.

Failure to notify both City Departments in advance of beginning construction, will result in the issuance of monetary fines, and require reinstallation of any water or sewer facilities not inspected as a result of this notification failure.

Failure to call for inspection, install a Downstream Plug, have Permitted Plans on the Jobsite, or any other Violation of City of Raleigh Standards will result in a Fine and Possible Exclusion from future work in the City of Raleigh.



**Know what's below.
 Call before you dig.**

CONTRACTOR SHALL NOTIFY "NC811" (811) OR (1-800-632-4949) AT LEAST 3 FULL BUSINESS DAYS PRIOR TO BEGINNING CONSTRUCTION OR EXCAVATION TO HAVE EXISTING UTILITIES LOCATED. CONTRACTOR SHALL CONTACT ANY LOCAL UTILITIES THAT PROVIDE THEIR OWN LOCATOR SERVICES INDEPENDENT OF "NC811". REPORT ANY DISCREPANCIES TO THE ENGINEER IMMEDIATELY.

X:\Projects\SPEC\SPEC-17053\Users\Subdivision Plan\Current Drawings\SPEC17053-CSI.dwg, 12/19/2017 9:04:58 AM, Weaver, Lee

CURVE	RADIUS	ARC LENGTH	CHORD BEARING	CHORD LENGTH
C1	35.00'	51.89'	N 27°02'50" E	49.38'
C2	134.50'	14.49'	S 66°26'19" E	14.48'
C3	209.50'	74.28'	S 79°49'13" E	73.90'
C4	25.00'	39.27'	N 45°01'24" E	35.35'

LEGEND

- ⊙ EXISTING IRON PIPE
- ⊙ SANITARY SEWER MANHOLE
- ⊙ SANITARY SEWER CLEANOUT
- ⊙ WATER VALVE
- ⊙ WATER METER
- ⊙ FIRE HYDRANT
- ⊙ TELEPHONE PEDESTAL
- ⊙ TELEPHONE MANHOLE
- ⊙ ELECTRIC BOX
- ⊙ LIGHT POLE
- ⊙ POWER POLE
- ⊙ CURB INLET
- ⊙ STORM DRAINAGE MANHOLE
- ⊙ YARD INLET
- ⊙ FIRE CONNECTION
- ⊙ SIGN
- ⊙ WATER MANHOLE
- ⊙ FIBER OPTIC VAULT

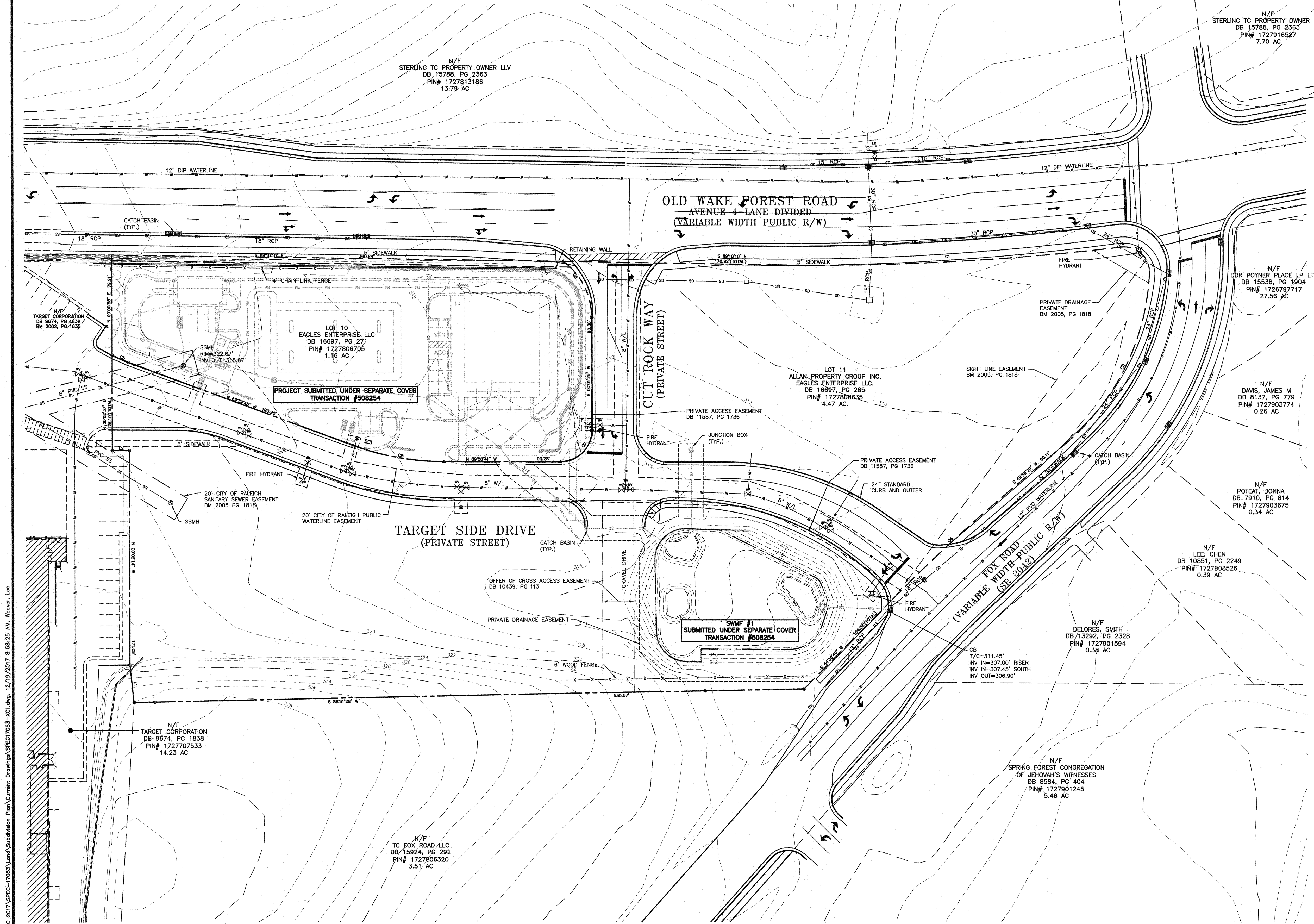
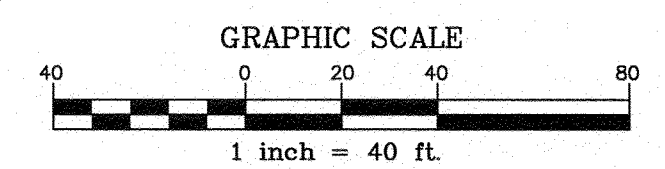
- SD STORM DRAIN PIPE
- W WATER LINE
- SS SANITARY SEWER LINE
- T TELEPHONE LINE
- G GAS LINE
- UE UNDERGROUND ELECTRIC
- X-X- FENCE LINE

GENERAL NOTES:

- EXISTING GRADING AND STORM DRAINAGE SHOWN ON LOT 10 AND THE STORM WATER MANAGEMENT FACILITY IS SUBMITTED UNDER TRANSACTION #508254.
- TOPOGRAPHIC INFORMATION TAKEN FROM SURVEY PERFORMED BY THE JOHN R. MCADAMS ON NOVEMBER 14, 2017; ADDITIONAL INFORMATION FROM WAKE COUNTY GIS AND BEST AVAILABLE SOURCES.
- BEARINGS FOR THIS SURVEY ARE BASED ON NC GRID NAD 83 COORDINATES.
- ALL DISTANCES ARE HORIZONTAL GROUND DISTANCES.
- FLOOD NOTE: THIS PROPERTY IS NOT LOCATED IN A SPECIAL FLOOD HAZARD ZONE. IT IS LOCATED IN ZONE "X" AS DEFINED BY F.E.M.A. F.I.R.M. COMMUNITY PANEL #3720172700J DATED MAY 2, 2006.
- UTILITY STATEMENT**
THE UNDERGROUND UTILITIES SHOWN HAVE BEEN LOCATED FROM FIELD SURVEY INFORMATION AND EXISTING DRAWINGS. THE SURVEYOR MAKES NO GUARANTEE THAT THE UNDERGROUND UTILITIES SHOWN COMPRISE ALL SUCH UTILITIES IN THE AREA, EITHER IN SERVICE OR ABANDONED. THE SURVEYOR FURTHER DOES NOT WARRANT THAT THE UNDERGROUND UTILITIES SHOWN ARE IN THE EXACT LOCATION INDICATED ALTHOUGH HE DOES CERTIFY THAT THEY ARE LOCATED AS ACCURATELY AS POSSIBLE FROM INFORMATION AVAILABLE. THE SURVEYOR HAS NOT PHYSICALLY LOCATED THE UNDERGROUND UTILITIES.

LINE	BEARING	DISTANCE
L1	N 06°14'51" W	30.07'
L2	N 89°57'23" W	13.73'

CURVE	RADIUS	ARC LENGTH	CHORD BEARING	CHORD LENGTH
C1	2066.00'	275.97'	N 86°59'28" E	275.76'
C2	20.00'	34.75'	S 47°02'49" E	30.54'
C3	190.00'	156.57'	S 26°19'58" W	152.18'
C4	1324.50'	122.70'	S 47°17'25" W	122.66'
C5	134.50'	14.49'	N 66°26'19" W	14.48'
C6	55.00'	51.93'	S 27°00'08" E	50.02'
C7	25.00'	39.27'	S 45°01'24" W	35.35'
C8	209.50'	74.28'	N 79°49'13" W	73.90'



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THE JOHN R. MCADAMS COMPANY, INC.
2906 Meridian Parkway
Durham, North Carolina 27713
License No.: C-0283
(800) 733-5646 • McAdamsCo.com



REVISIONS:

NO.	DATE	DESCRIPTION

OWNER:
GANDHI AT POYNER PLACE, LLC
9201 LEESVILLE ROAD, SUITE 201
RALEIGH, NORTH CAROLINA 27613

POYNER PLACE
PRELIMINARY SUBDIVISION PLAN
RALEIGH, NORTH CAROLINA

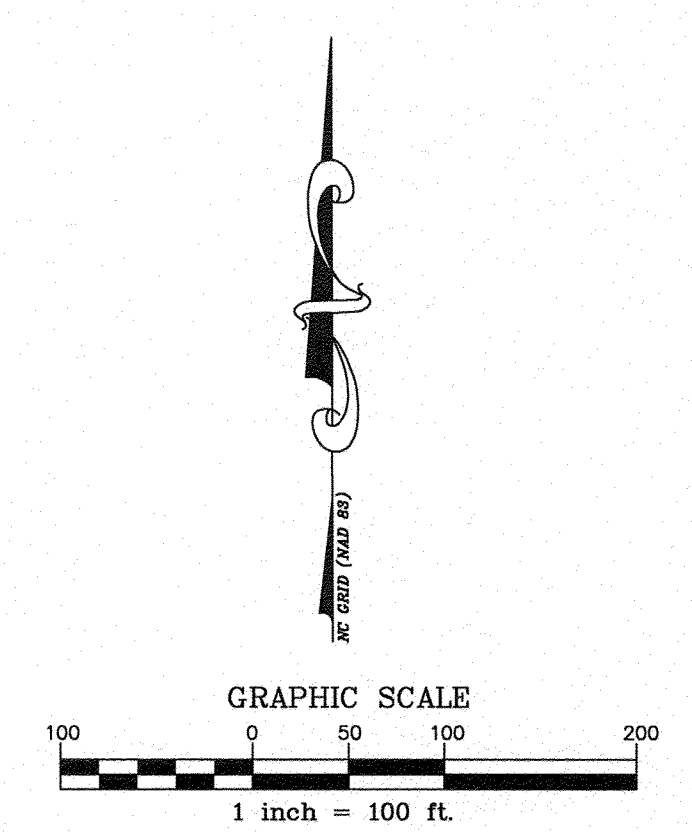
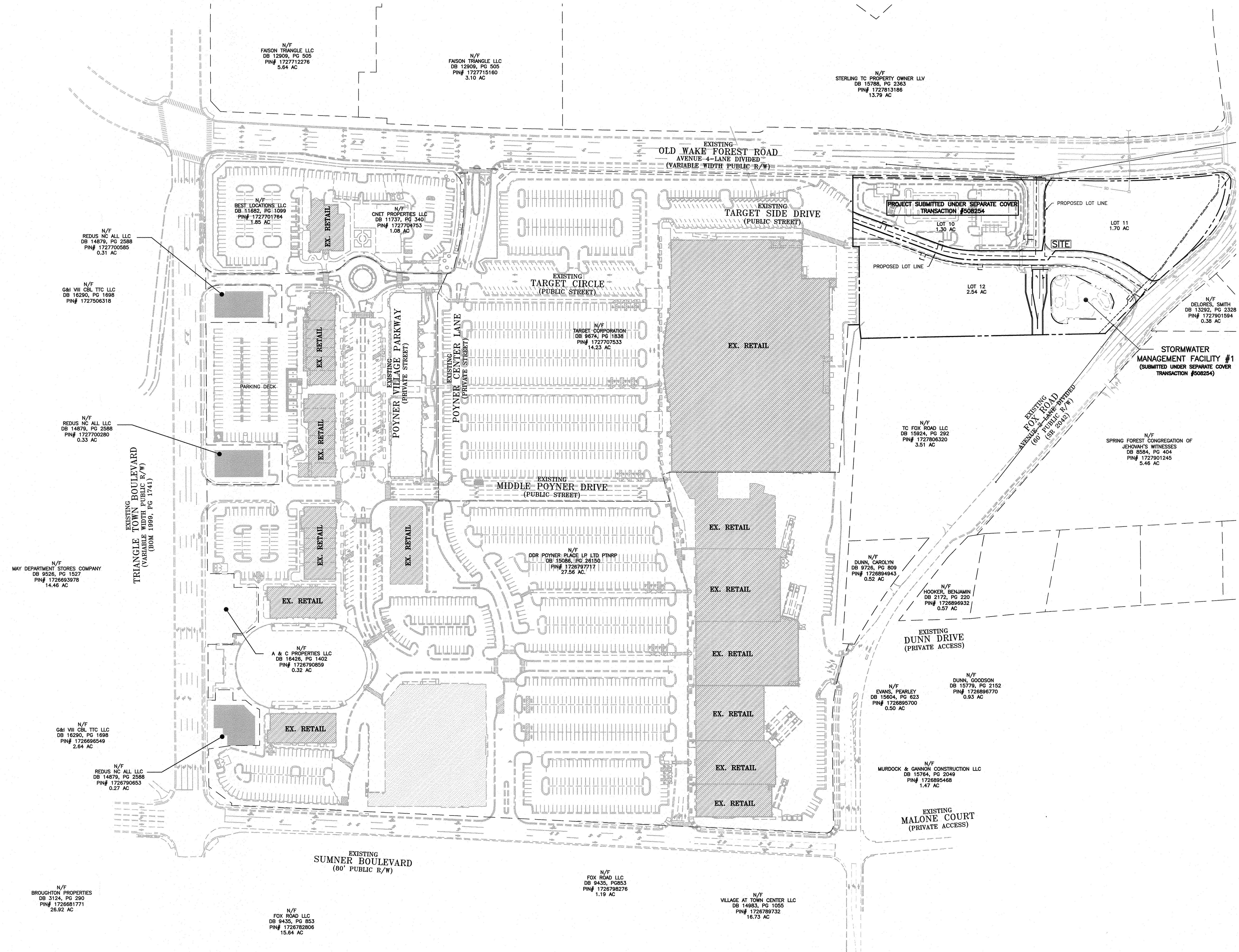
EXISTING CONDITIONS

PROJECT NO.	SPEC-17053
FILENAME	SPEC17053-DM1
CHECKED BY:	ARP
DRAWN BY:	JB
SCALE:	1"=40'
DATE:	12-19-17
SHEET NO.	C-1



PRELIMINARY DRAWING - NOT RELEASED FOR CONSTRUCTION

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THE JOHN R. McADAMS COMPANY, INC.
2906 Meridian Parkway
Durham, North Carolina 27713
License No.: C-0283
(800) 733-5646 • McAdamsCo.com



REVISIONS:

OWNER:
GANDHI AT POYNER PLACE, LLC
9201 LEESVILLE ROAD, SUITE 201
RALEIGH, NORTH CAROLINA 27613

POYNER PLACE PRELIMINARY SUBDIVISION PLAN RALEIGH, NORTH CAROLINA

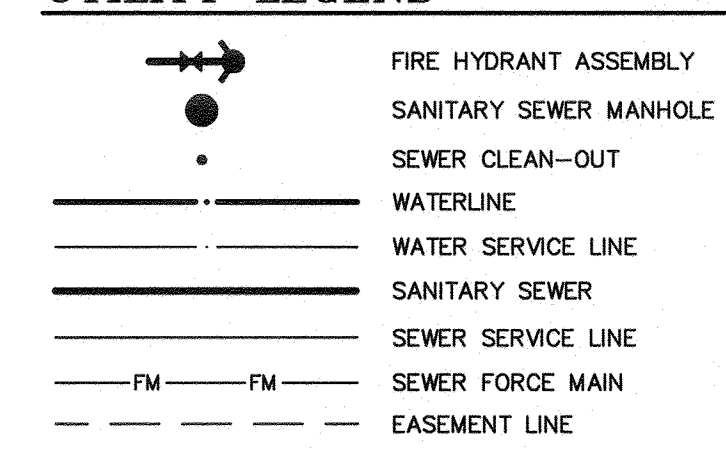
OVERALL SUBDIVISION PLAN

PROJECT NO. SPEC-17053
FILENAME: SPEC17053-OAS1
CHECKED BY: ARP
DRAWN BY: JB
SCALE: 1"=100'
DATE: 12-19-17
SHEET NO. C-2

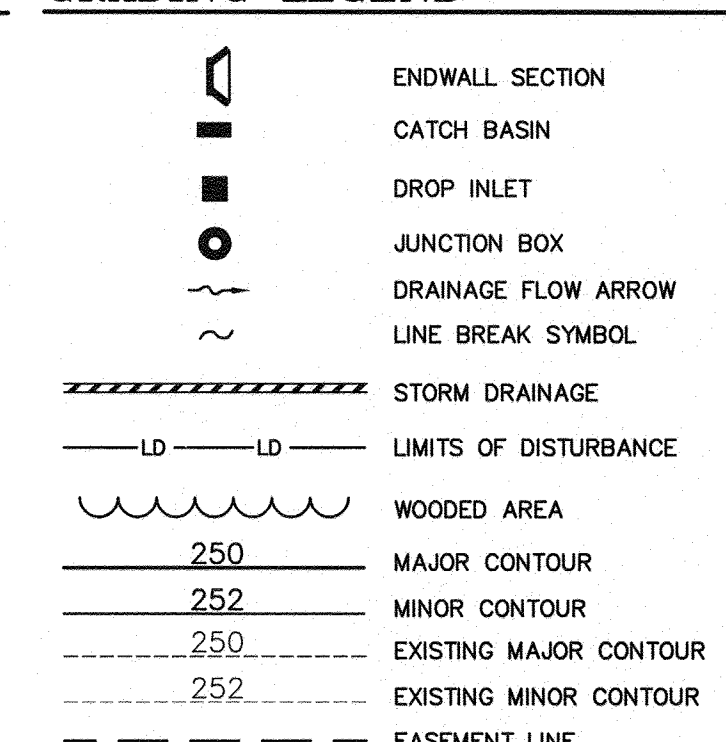


CURVE	RADIUS	ARC LENGTH	CHORD BEARING	CHORD LENGTH
C1	85.00'	51.88'	N 27°02'30" W	49.98'
C2	125.00'	14.48'	S 66°20'00" E	14.48'
C3	200.00'	74.28'	S 72°49'15" E	73.90'
C4	25.00'	39.27'	N 45°01'24" E	35.35'

UTILITY LEGEND



GRADING LEGEND



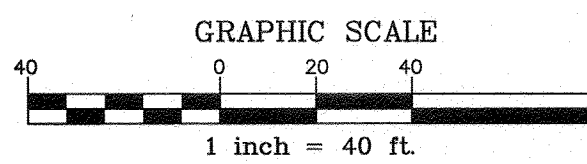
STORM DRAINAGE NOTES:

1. ALL STORM DRAINAGE PIPES SHOWN ARE TO BE CLASS III REINFORCED CONCRETE (RCP) UNLESS NOTED OTHERWISE.
2. ALL STORM DRAINAGE CONSTRUCTION SHALL BE IN ACCORDANCE WITH THE LATEST CITY OF RALEIGH STANDARDS.
3. ALL CONCRETE SHALL MEET A MINIMUM 3000 PSI COMPRESSIVE STRENGTH.
4. ALL PIPE IN STORM DRAIN STRUCTURES SHALL BE STRUCK EVEN WITH INSIDE WALL.
5. ALL PIPE JOINTS SHALL BE MADE WITH PREFORMED JOINT SEALER, WHICH CONFORMS TO AASHTO SPECIFICATION M-198 FOR TYPE B FLEXIBLE PLASTIC GASKETS UNLESS OTHERWISE NOTED.
6. THE INTERIOR SURFACES OF ALL STORM DRAINAGE STRUCTURES SHALL BE POINTED UP AND SMOOTHED TO AN ACCEPTABLE STANDARD USING MORTAR MIXED TO MANUFACTURER'S SPECIFICATIONS.
7. ALL BACKFILL SHALL BE NON-PLASTIC IN NATURE, FREE FROM ROOTS, VEGETATION MATTER, WASTE CONSTRUCTION MATERIAL OR OTHER OBJECTIONABLE MATERIAL. SAID MATERIAL SHALL BE CAPABLE OF BEING COMPACTED BY MECHANICAL MEANS AND SHALL HAVE NO TENDENCY TO FLOW OR BEHAVE IN A PLASTIC MANNER UNDER THE TAMPING BLOWS OR PROOF ROLLING.
8. MATERIALS DEEMED BY THE OWNER'S REPRESENTATIVE AS UNSUITABLE FOR BACKFILL PURPOSES SHALL BE REMOVED AND REPLACED WITH SUITABLE MATERIAL.
9. BACKFILLING OF TRENCHES SHALL BE ACCOMPLISHED IMMEDIATELY AFTER PIPE IS LAID. THE FILL AROUND THE PIPE SHALL BE THOROUGHLY COMPACTED TO 95% OF THE MAXIMUM DRY DENSITY OBTAINABLE WITH THE STANDARD PROCTOR TEST. THE TOP EIGHT (8) INCHES SHALL BE COMPACTED TO 100 PERCENT STANDARD PROCTOR.
10. UNDER NO CIRCUMSTANCES SHALL WATER BE ALLOWED TO RISE IN UNBACKFILLED TRENCHES AFTER PIPE HAS BEEN PLACED.
11. IF THE USE OF WAFFLE BOXES ARE ALLOWED AT THIS SITE, ALL PENETRATIONS FOR STORM DRAINAGE PIPES MUST BE MADE WITHIN THE STRUCTURAL INTEGRITY OF THE BOX AND NOT AT THE CORNERS WHERE THE STRUCTURAL INTEGRITY MAY BE COMPROMISED.

CITY OF RALEIGH PUBLIC UTILITIES STANDARD UTILITY NOTES (AS APPLICABLE)

1. ALL MATERIALS & CONSTRUCTION METHODS SHALL BE IN ACCORDANCE WITH CITY OF RALEIGH DESIGN STANDARDS, DETAILS & SPECIFICATIONS (REFERENCE: CORPUD HANDBOOK, CURRENT EDITION).
2. UTILITY SEPARATION REQUIREMENTS:
 - a) A DISTANCE OF 100' SHALL BE MAINTAINED BETWEEN SANITARY SEWER & ANY PRIVATE OR PUBLIC WATER SUPPLY SOURCE SUCH AS AN IMPOUNDED RESERVOIR USED AS A SOURCE OF DRINKING WATER. IF ADEQUATE LATERAL SEPARATION CANNOT BE ACHIEVED, FERROUS SANITARY SEWER PIPE SHALL BE SPECIFIED & INSTALLED TO WATERLINE SPECIFICATIONS. HOWEVER, THE MINIMUM SEPARATION SHALL NOT BE LESS THAN 25' FROM A PRIVATE WELL OR 50' FROM A PUBLIC WELL.
 - b) WHEN INSTALLING WATER &/OR SEWER MAINS, THE HORIZONTAL SEPARATION BETWEEN UTILITIES SHALL BE 10'. IF THIS SEPARATION CANNOT BE MAINTAINED DUE TO EXISTING CONDITIONS, THE VARIATION ALLOWED IS THE WATER MAIN IN A SEPARATE TRENCH WITH THE ELEVATION OF THE WATER MAIN AT LEAST 18" ABOVE THE TOP OF THE SEWER & MUST BE APPROVED BY THE PUBLIC UTILITIES DIRECTOR. ALL DISTANCES ARE MEASURED FROM OUTSIDE DIAMETER TO OUTSIDE DIAMETER.
 - c) WHERE IT IS IMPOSSIBLE TO OBTAIN PROPER SEPARATION, OR ANYTIME A SANITARY SEWER PASSES OVER A WATERMAIN, DIP MATERIALS OR STEEL ENCASEMENT EXTENDED 10' ON EACH SIDE OF CROSSING MUST BE SPECIFIED & INSTALLED TO WATERLINE SPECIFICATIONS.
 - d) 5.0' MINIMUM HORIZONTAL SEPARATION IS REQUIRED BETWEEN ALL SANITARY SEWER & STORM SEWER FACILITIES, UNLESS DIP MATERIAL IS SPECIFIED FOR SANITARY SEWER.
 - e) MAINTAIN 18" MIN. VERTICAL SEPARATION AT ALL WATERMAIN & RCP STORM DRAIN CROSSINGS; MAINTAIN 24" MIN. VERTICAL SEPARATION AT ALL SANITARY SEWER & RCP STORM DRAIN CROSSINGS. WHERE ADEQUATE SEPARATIONS CANNOT BE ACHIEVED, SPECIFY DIP MATERIALS & A CONCRETE CRADLE HAVING 6" MIN. CLEARANCE (PER CORPUD DETAILS W-41 & S-49).
 - f) ALL OTHER UNDERGROUND UTILITIES SHALL CROSS WATER & SEWER FACILITIES WITH 18" MIN. VERTICAL SEPARATION REQUIRED.
3. ANY NECESSARY FIELD REVISIONS ARE SUBJECT TO REVIEW & APPROVAL OF AN AMENDED PLAN &/OR PROFILE BY THE CITY OF RALEIGH PUBLIC UTILITIES DEPARTMENT PRIOR TO CONSTRUCTION.
4. CONTRACTOR SHALL MAINTAIN CONTINUOUS WATER & SEWER SERVICE TO EXISTING RESIDENCES & BUSINESSES THROUGHOUT CONSTRUCTION OF PROJECT. ANY NECESSARY SERVICE INTERRUPTIONS SHALL BE PRECEDED BY A 24 HOUR ADVANCE NOTICE TO THE CITY OF RALEIGH PUBLIC UTILITIES DEPARTMENT.
5. 3.0' MINIMUM COVER IS REQUIRED ON ALL WATER MAINS & SEWER FORCEMAINS. 4.0' MINIMUM COVER IS REQUIRED ON ALL REUSE MAINS.
6. IT IS THE DEVELOPER'S RESPONSIBILITY TO ABANDON OR REMOVE EXISTING WATER & SEWER SERVICES NOT BEING USED IN REDEVELOPMENT OF A SITE UNLESS OTHERWISE DIRECTED BY THE CITY OF RALEIGH PUBLIC UTILITIES DEPARTMENT. THIS INCLUDES ABANDONING TAP AT MAIN & REMOVAL OF SERVICE FROM ROW OR EASEMENT PER CORPUD HANDBOOK PROCEDURE.
7. INSTALL 3/4" COPPER* WATER SERVICES WITH METERS LOCATED AT ROW OR WITHIN A 2'x2' WATERLINE EASEMENT IMMEDIATELY ADJACENT. NOTE: IT IS THE APPLICANT'S RESPONSIBILITY TO PROPERLY SIZE THE WATER SERVICE FOR EACH CONNECTION TO PROVIDE ADEQUATE FLOW & PRESSURE.
8. INSTALL 4" PVC* SEWER SERVICES @ 1.0% MINIMUM GRADE WITH CLEANOUTS LOCATED AT ROW OR EASEMENT LINE & SPACED EVERY 75 LINEAR FEET MAXIMUM.
9. PRESSURE REDUCING VALVES ARE REQUIRED ON ALL WATER SERVICES EXCEEDING 80 PSI; BACKWATER VALVES ARE REQUIRED ON ALL SANITARY SEWER SERVICES HAVING BUILDING DRAINS LOWER THAN 1.0' ABOVE THE NEXT UPSTREAM MANHOLE.
10. ALL ENVIRONMENTAL PERMITS APPLICABLE TO THE PROJECT MUST BE OBTAINED FROM NCDWM, USACE &/OR FEMA FOR ANY RIPARIAN BUFFER, WETLAND &/OR FLOODPLAIN IMPACTS (RESPECTIVELY) PRIOR TO CONSTRUCTION.
11. NCDOT / RAILROAD ENCROACHMENT AGREEMENTS ARE REQUIRED FOR ANY UTILITY WORK (INCLUDING MAIN EXTENSIONS & SERVICE TAPS) WITHIN STATE OR RAILROAD ROW PRIOR TO CONSTRUCTION.
12. GREASE INTERCEPTOR / OIL WATER SEPARATOR SIZING CALCULATIONS & INSTALLATION SPECIFICATIONS SHALL BE APPROVED BY THE CORPUD FOG PROGRAM COORDINATOR PRIOR TO ISSUANCE OF A BUILDING PERMIT. CONTACT TIM BEASLEY AT (919) 996-2334 OR TIMOTHY.BEASLEY@RALEIGHNC.GOV FOR MORE INFORMATION.
13. CROSS-CONNECTION CONTROL PROTECTION DEVICES ARE REQUIRED BASED ON DEGREE OF HEALTH HAZARD INVOLVED AS LISTED IN APPENDIX-B OF THE RULES GOVERNING PUBLIC WATER SYSTEMS IN NORTH CAROLINA. THESE GUIDELINES ARE THE MINIMUM REQUIREMENTS. THE DEVICES SHALL MEET AMERICAN SOCIETY OF SANITARY ENGINEERING (ASSE) STANDARDS OR BE ON THE UNIVERSITY OF SOUTHERN CALIFORNIA APPROVAL LIST. THE DEVICES SHALL BE INSTALLED AND TESTED (BOTH INITIAL AND PERIODIC TESTING THEREAFTER) IN ACCORDANCE WITH THE MANUFACTURER'S RECOMMENDATIONS OR THE LOCAL CROSS-CONNECTION CONTROL PROGRAM, WHICHEVER IS MORE STRINGENT. CONTACT JOANIE HARTLEY AT (919) 996-5923 OR JOANIE.HARTLEY@RALEIGHNC.GOV FOR MORE INFORMATION.

NOTE: EXISTING GRADING AND STORM DRAINAGE SHOWN ON LOT 10 AND THE STORM WATER MANAGEMENT FACILITY IS SUBMITTED UNDER TRANSACTION #508254



PRELIMINARY DRAWING - NOT RELEASED FOR CONSTRUCTION

X:\Projects\SPEC\SPEC 2017\SPEC-17053\Land\Subdivision Plan\Current\Drawing\SPEC17053-01.dwg, 12/19/2017 8:56:48 AM, Wewers, Lee

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REVISIONS:

OWNER:
GANDHI AT POYNER PLACE, LLC
9201 LERSVILLE ROAD, SUITE 201
RALEIGH, NORTH CAROLINA 27613

**POYNER PLACE
PRELIMINARY SUBDIVISION PLAN
RALEIGH, NORTH CAROLINA**

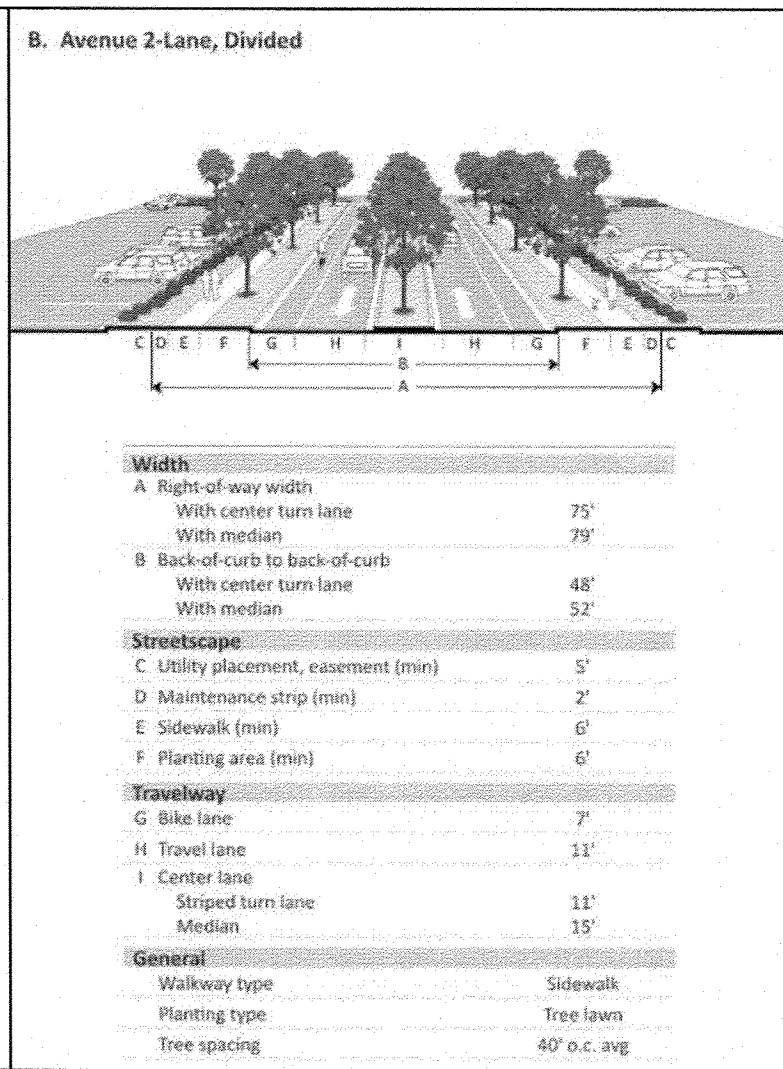
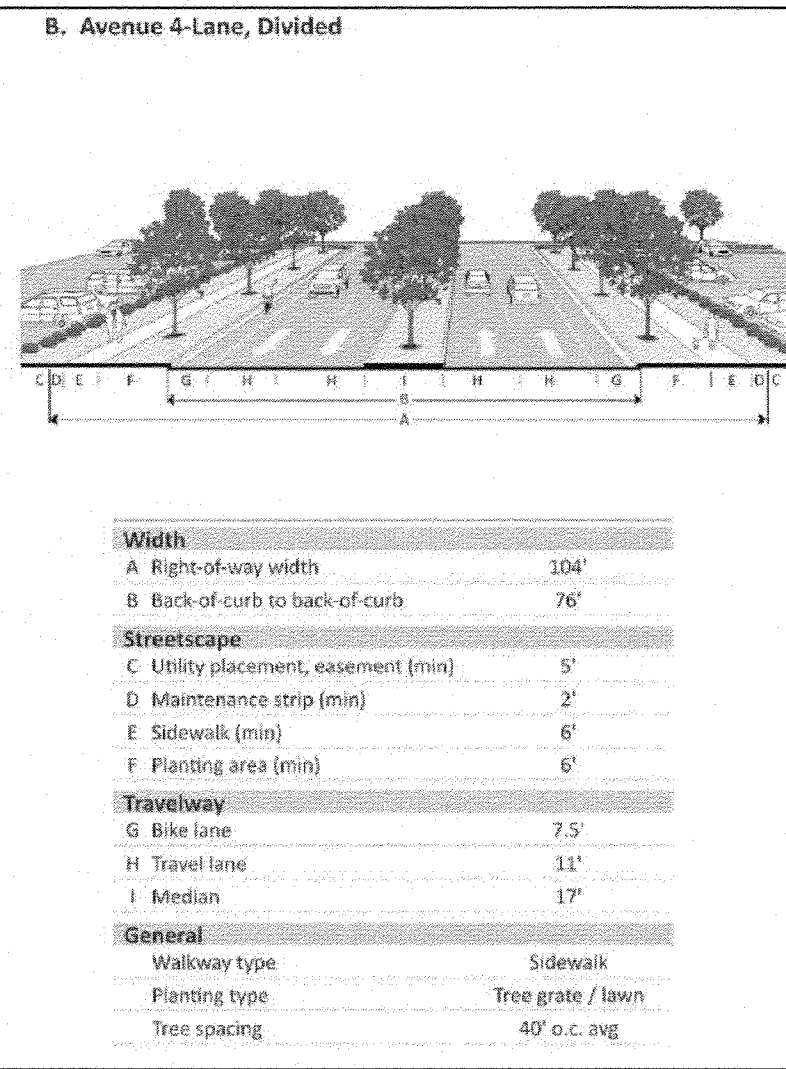
UTILITY, GRADING, AND STORM DRAINAGE PLAN

PROJECT NO.:	SPEC-17053
FILENAME:	SPEC17053-G1
CHECKED BY:	ARP
DRAWN BY:	JB
SCALE:	1"=40'
DATE:	12-19-17
SHEET NO.:	C-4



CURVE TABLE				
CURVE	RADIUS	ARC LENGTH	CHORD BEARING	CHORD LENGTH
C1	55.00'	51.88'	N 27°00'50" W	49.88'
C2	134.50'	14.49'	S 69°28'19" E	14.48'
C3	209.50'	74.28'	S 79°49'13" E	73.90'
C4	25.00'	39.27'	N 45°01'24" E	35.35'

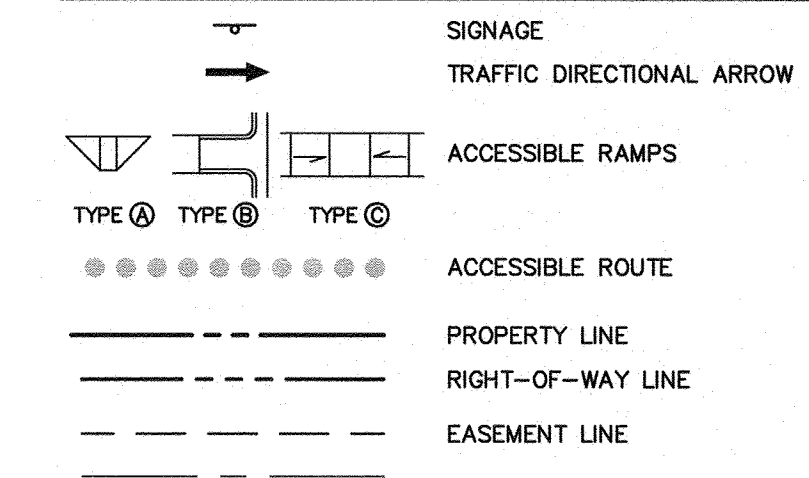
N/F
STERLING TC PROPERTY OWNER LLC
DB 15789, PG 2363
PIN# 1727813186
13.79 AC



PLANT SCHEDULE

TREES	CODE	QTY	COMMON NAME	BOTANICAL NAME	CAL	HGT	REMARKS
(11) ABA	ABA	11	Southern Sugar Maple	Acer barbatum	3"	10'	
(10) UPA	UPA	10	Princeton Lacebark Elm	Ulmus parvifolia 'Princeton'	3"	10'	
(11) WVR	WVR	11	Winter Red Holly	Ilex verticillata 'Winter Red'	36"	72"	C2 Yard
(42) LCPD	LCPD	42	Fringe Flower	Loropetalum chinense 'Ever Red'	36"	36"	C2 Yard

SITE LEGEND



SITE PLAN NOTES

- ALL CONSTRUCTION SHALL CONFORM TO THE LATEST CITY OF RALEIGH AND/OR NCDOT STANDARDS AND SPECIFICATIONS.
- ALL DIMENSIONS SHOWN ON SITE PLAN ARE TO FACE OF CURB UNLESS OTHERWISE NOTED.
- OCCUPATIONAL SAFETY AND HEALTH ADMINISTRATION (OSHA) STANDARDS FOR EXCAVATIONS EXCEEDING FIVE (5) FEET IN DEPTH. EXCAVATION EXCEEDING TWENTY (20) FEET IN DEPTH REQUIRES THE DESIGN OF A TRENCH SAFETY SYSTEM BY A REGISTERED PROFESSIONAL ENGINEER, PROVIDED BY CONTRACTOR RESPONSIBLE FOR EXCAVATION.
- EQUIPMENT AND PRODUCTS OTHER THAN THOSE SPECIFIED MAY BE USED PROVIDED APPROVAL HAS BEEN OBTAINED FROM THE OWNER IN WRITING PRIOR TO ORDERING OR INSTALLATION. THE CONTRACTOR SHALL WAIVE ANY CLAIM FOR ADDITIONAL COST RELATED TO THE SUBSTITUTION OF ALTERNATE EQUIPMENT.
- CONTRACTOR SHALL MAINTAIN AN "AS-BUILT" SET OF DRAWINGS TO RECORD THE EXACT LOCATION OF ALL PIPING PRIOR TO CONCEALMENT. DRAWINGS SHALL BE GIVEN TO THE ENGINEER UPON COMPLETION OF THE PROJECT WITH A COPY OF THE TRANSMITTAL LETTER TO THE OWNER.
- EXISTING IMPROVEMENTS DAMAGED DURING CONSTRUCTION SHALL BE REPLACED/RESTORED TO THEIR ORIGINAL CONDITION OR TO THE SATISFACTION OF THE OWNER BY THE CONTRACTOR RESPONSIBLE FOR THE DAMAGE.
- THE CONTRACTOR SHALL NOTE THAT THE DRAWINGS MAY NOT SHOW EVERY OFFSET, TRANSITION, FITTING, ETC. THAT MAY BE REQUIRED. THE CONTRACTOR SHALL INSTALL SUCH STANDARD APPURTENANCES AS REQUIRED TO CLOSELY FOLLOW THE GRADES AND ALIGNMENTS DEFINED ON THE PLANS.
- CONTRACTOR SHALL NOTIFY "NORTH CAROLINA ONE CALL" (811) AT LEAST 48 HOURS PRIOR TO BEGINNING CONSTRUCTION OR EXCAVATION TO HAVE EXISTING UTILITIES LOCATED. CONTRACTOR TO CONTACT ANY LOCAL UTILITIES THAT PROVIDE THEIR OWN LOCATOR SERVICES INDEPENDENT OF "NORTH CAROLINA ONE CALL". REPORT ANY DISCREPANCIES TO THE ENGINEER IMMEDIATELY.
- ALL DIMENSIONS AND GRADES SHOWN ON THE PLANS SHALL BE FIELD VERIFIED BY THE CONTRACTOR PRIOR TO CONSTRUCTION. CONTRACTOR SHALL NOTIFY THE ENGINEER IF ANY DISCREPANCIES EXIST PRIOR TO PROCEEDING WITH CONSTRUCTION FOR NECESSARY PLAN OR GRADE CHANGES. NO EXTRA COMPENSATION SHALL BE PAID TO CONTRACTOR FOR ANY WORK DONE DUE TO DIMENSIONS OR GRADES SHOWN INCORRECTLY ON THESE PLANS IF SUCH NOTIFICATION HAS NOT BEEN GIVEN.
- ACCESSIBLE PARKING SHALL MEET THE REQUIREMENTS OF 2012 NC513C SECTION 1106.

SITE DATA

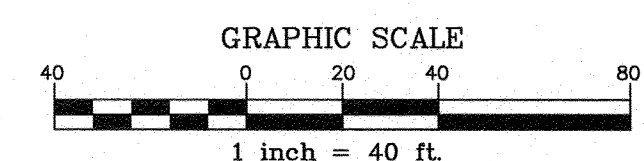
OWNER	
OWNER	GHANDI AT POYNER PLACE LLC 9201 LEESVILLE ROAD, SUITE 201 RALEIGH, NC 27613
PARCEL	PIN: 1727808635, 1727806705
EXISTING ZONING	CX-4-CU
EXISTING USE	VACANT
RIVER BASIN	NEUSE
EXISTING PARCEL AREA	LOT 10: 1.16 AC LOT 11: 4.47 AC
PROPOSED PARCEL AREA (LESS R/W DEDICATION)	LOT 10: 1.30 AC LOT 11: 1.70 AC NEW LOT 12: 2.54 AC
TREE SAVE	REQUIRED: .0432 AC (10%) PROPOSED: 0.00 AC (0%) NO TREES ON SITE

LANDSCAPE CALCULATIONS

STREET TREES	
OLD WAKE FOREST ROAD:	384 LF
TREES REQUIRED:	10 (1/40 LF)
TREES PROVIDED:	10
STREET PROTECTIVE YARD (C2)	
FOX ROAD:	348 LF
TREES REQUIRED:	14 (4/100 LF)
TREES PROVIDED:	14 (3 MET W/FEE-IN-LIEU)
SHRUBS REQUIRED:	53 (15/100 LF) - MIN 3' HT. AT INSTALL
SHRUBS PROVIDED:	53
AREA REQUIRED:	5,220 SF (AVERAGE 15' WIDTH)
AREA PROVIDED:	5,220 SF (SEE HATCHED AREA)

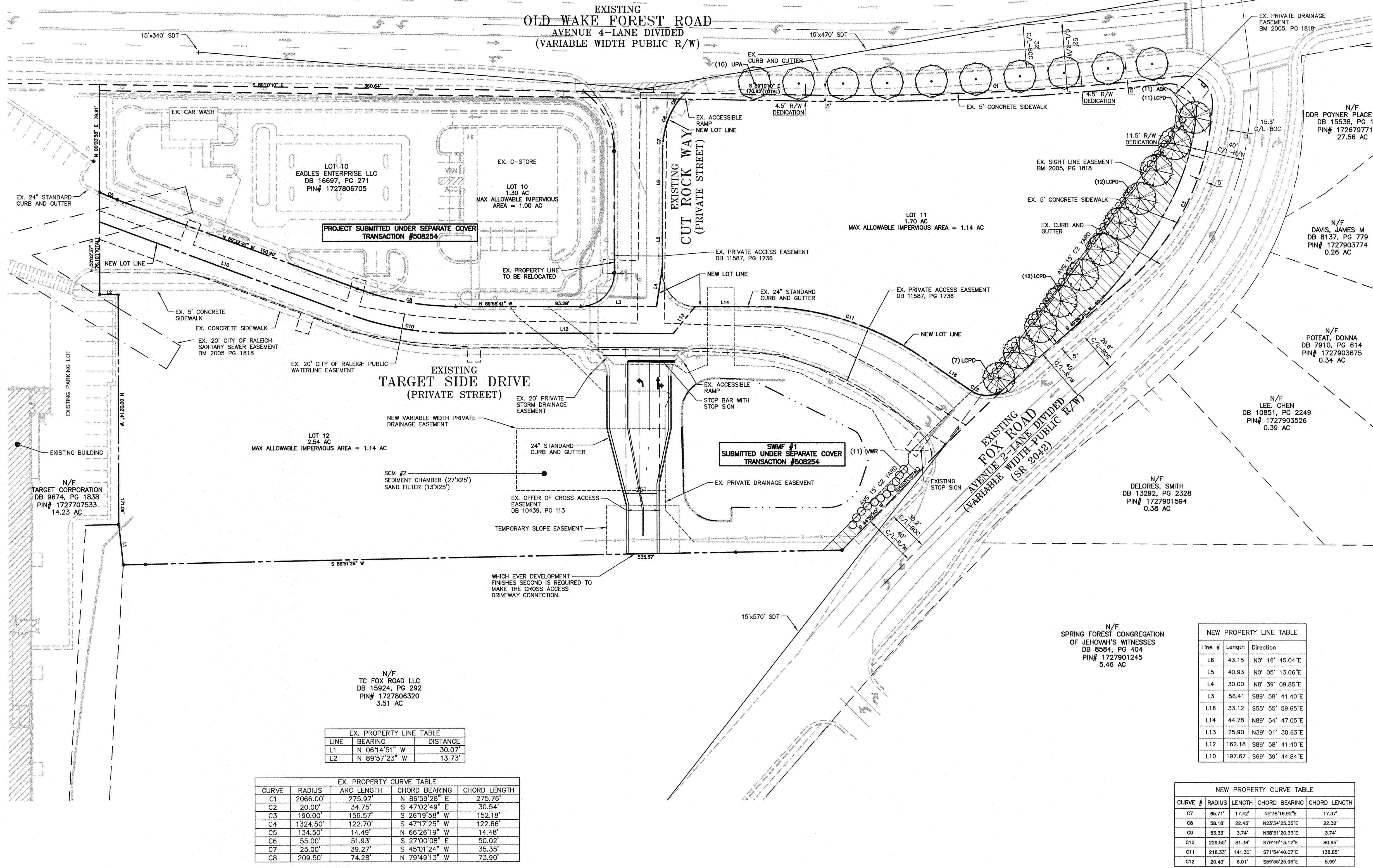
NOTES:

- PEDESTRIAN LIGHT FIXTURES WITHIN PEDESTRIAN AREAS, I.E. ALONG SIDEWALKS SHALL BE NO HIGHER THAN 15 FEET.
- ALONG FOX ROAD ADJACENT TO SWMF #1 A FEE-IN-LIEU FOR THE REQUIRED C-2 YARD SHALL BE PROVIDED FOR A TOTAL STREET FRONTAGE LENGTH OF 85 LF.
- NO TREES SHALL BE PLANTED WITHIN 10' OF A FIRE HYDRANT (AT MATURE GROWTH).
- NO TREES SHALL BE PLANTED WITHIN 20' OF A PARKING LOT LIGHT FIXTURE.
- ALL TREES LOCATED WITHIN A SIGHT DISTANCE TRIANGLE SHALL BE LIMBED TO A MINIMUM 8' ABOVE FINISHED GRADE.
- STREET TREES SHALL BE INSTALLED AND MAINTAINED IN ACCORDANCE WITH THE REQUIREMENTS OF CHAPTER 2 OF THE RALEIGH CITY TREE MANUAL.



PRELIMINARY DRAWING - NOT RELEASED FOR CONSTRUCTION

EXISTING OLD WAKE FOREST ROAD AVENUE 4-LANE DIVIDED (VARIABLE WIDTH PUBLIC R/W)



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RALEIGH, NORTH CAROLINA
27613

PROJECT NO. SPEC-17053
FILENAME: SPEC17053-S1

POYNER PLACE
PRELIMINARY SUBDIVISION PLAN
RALEIGH, NORTH CAROLINA
SUBDIVISION AND LANDSCAPE PLAN

CHECKED BY: ARP
DRAWN BY: JB
SCALE: 1"=40'
DATE: 12-19-17
SHEET NO. C-3

