

Zoning: R-10 w/ SRPOD

CAC: West

Drainage Basin: Bushy Branch

Acreage: **0.45** Number of Lots: **2**

Planner: Martha Lobo
Phone: (919) 996-2664

Applicant: A Squared LLC Phone: (919) 623-7719





City of Raleigh **Development Plans Review Center** One Exchange Plaza Raleigh, NC 27602 (919) 996-2626 www.raleighnc.gov

Case File / Name: S-5-17 / Pineland Trace Subdivision

General Location: The site is located on the east side of Pineland Circle, on the western-most

intersection of Pineland Circle and Western Boulevard, inside the city limits.

CAC: West

Nature of Case: Subdivision of a .46 acre parcel into 2 lots zoned Residential-10 (R-10)/Special

Residential Parking Overlay District (SRPOD)

Contact: Amber Farrelly, PE, B&F Consulting, Inc.

Design Adjustment: N/A

> **Administrative** N/A

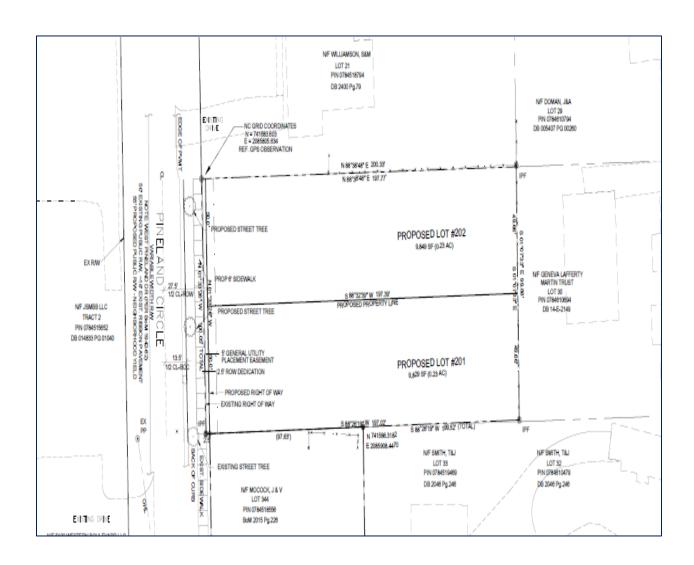
Alternate:

Pineland Trace Subdivision Location Map



1 S-5-17

S-5-17 Subdivision Map



SUBJECT: S-5-17 / Pineland Trace Subdivision

CROSS-

REFERENCE: N/A

LOCATION: The site is located on the east side of Pineland Circle, on the western-most

intersection of Pineland Circle and Western Boulevard, inside the city limits.

PIN(S): 0784-51-9604

REQUEST: This request is to approve the subdivision of a .46 acre parcel into 2 lots, zoned

Residential-10 (R-10)/Special Residential Parking Overlay District (SRPOD).

Overall units per acre is 4.45 (accounting for right of way dedication), based on a

maximum of 10 units per acre.

OFFICIAL ACTION: Approved with conditions

CONDITIONS OF APPROVAL:

Prior to issuance of a grading permit for the site:

(1) That in accordance with Part 10A Section 9.4.4. a surety equal to the cost of clearing, grubbing and reseeding a site, shall be paid to the City;

Prior to Planning Department authorization to record lots:

- (2) That ½ of a 55' right of way with a 5' general utility easement for the proposed or existing street along Pineland Circle, for approximately 100.05' is dedicated to the City of Raleigh;
- (3) That if the proposed public improvements are not installed and inspected by the city to be accepted for maintenance, a surety in the amount of 125% of the cost of construction for the 6' sidewalk and streetscape trees installed on Piineland Circle Road is to be paid to the Public Works Department in accordance with code section 8.1.3 of the UDO;
- (4) That a demolition permit be obtained for the existing single-family dwelling and the permit number is to be noted on the plat;
- (5) That a planting detail for the five streetscape trees, 40 ft. on center, adjacent to Pineland Drive, is approved in accordance with the standards set forth in the Raleigh Street Design Manual;

Prior to Issuance of a certificate of occupancy:

- (6) That in accordance with Part 10A Section 9.2.2. an impervious surface asbuilt survey shall be reviewed and accepted by the City, prior to final stormwater inspection approval;
- (7) That the street trees are installed and inspected on a per lot basis.

I hereby certify this administrative decision.

Signed: (Planning Director) Ker Bau (C. Day)

Staff Coordinator:

Martha Y. Lobo

SEE LAST PAGE FOR IMPORTANT INFORMATION ON THE NEXT STEP IN

THE SUBDIVISION PROCESS.

FINDINGS:

City Administration finds that this request, with the above conditions being met, conforms to the Unified Development Ordinance including Chapter 2, Article 2.2, Section 2.2.1. This approval is based on a preliminary plan dated 3/3/2017, owned by Ahepa Sir Walter Raleigh Chapter #10, submitted by B&F Consulting,

Inc.

ZONING:

ZONING

DISTRICTS:

Residential-10 (R-10)/Special Residential Parking Overlay District (SRPOD)

TREE

CONSERVATION:

The subject parcel is smaller than two acres. Compliance with UDO Article 9.1

Tree Conservation is therefore not required.

PHASING:

There is one phase in this development.

COMPREHENSIVE

PLAN:

GREENWAY:

There is no greenway on this site.

STREET

PLAN MAP:

Construction of the following streets is required by the Street Plan Map of the

Comprehensive Plan. Dedication of right-of-way is required.

Street Name	Designation	Exist R/W	Required R/W	Existing street (eop to eop)	Proposed street (boc to eop)	Slope Easement
Pineland Circle	Neighborhood Yield Street	50'	1/2 of 55'	18' ribbon pavement	1/2 of 27 boc'	N/A

A surety for the required improvements shall be provided in accordance with 8.1 of the UDO.

TRANSIT:

This site is presently within walking distance of the existing transit system, which

travels on Western Boulevard.

COMPREHENSIVE

PLAN: This site is located in the West CAC in an area designated for Moderate Density

Residential development.

SUBDIVISION STANDARDS:

LOT LAYOUT: The minimum lot size in Residential-10 (R-10)/Special Residential Parking

Overlay District (SRPOD) zoning district is 4,000 square feet. The minimum lot depth in this zoning district is 60' feet. The minimum lot width of an interior lot in this zoning district is 45' feet and the minimum lot width of a corner lot is 60' feet.

Lots in this development conform to these minimum standards.

PUBLIC UTILITIES: City water and sewer services are available. The subdivider is responsible for

installation of all lines necessary to provide service to this site.

SOLID WASTE: Individual lot service by the City is to be provided.

BLOCKS / LOTS /

ACCESS: Block perimeters, lot arrangement and access conform to Chapter 8 of the UDO.

STREETSCAPE

TYPE: The applicable streetscape is to be installed as per the Neighborhood Yield

Street detail. A tree impact permit must be obtained prior to building permit issuance for each lot. Two (2) street trees are required to be 3-inch caliper shade trees, planted on 40 foot spacing. Construction of a ½ of 27' street with a 6'

wide sidewalk is proposed.

PEDESTRIAN: Proposed sidewalk location conforms to City regulations. A 6' sidewalk is

required along the site frontage along Pineland Circle. Access to the public right

of way is provided in accordance with 8.3.4 of the UDO.

FLOOD HAZARD: There are no flood hazard areas on this site.

STORMWATER

MANAGEMENT: Subdivision is for single family lots and cumulatively less than 1 acre in size,

therefore under TC-2-16 amendment of 9.2.2.A of the UDO the lots zoned R-10 will be limited to 65% impervious with no additional stormwater controls required.

Surety:

In accordance with Part 10A Section 9.4.4. a surety equal to the cost of clearing, grubbing and reseeding a site, shall be paid to the City, prior to issuance of a

grading permit.

WETLANDS / RIPARIAN

BUFFERS: No wetland areas or riparian buffers are required on this site.

STREET NAMES: No new streets are being proposed with this development.

OTHER

REGULATIONS:

Developer shall meet all City requirements, including underground utility service, flood protection measures, and the soil erosion ordinance, unless specifically varied by this approval.

SUNSET DATES:

If significant construction has not taken place on a project after preliminary subdivision approval, that approval may "sunset" and be declared void, requiring re-approval before permits may be issued. To avoid allowing this preliminary approval to "sunset", the following must take place by the following dates:

3-Year Sunset Date: 4/17/2020

Record 100% of the land area approved.

WHAT NEXT?:

- MEET ALL CONDITIONS OF APPROVAL.
- <u>COMPLETE INFRASTRUCTURE CONSTRUCTION DRAWINGS FOR ANY PUBLIC IMPROVEMENTS.</u> Streets, Utility lines to be owned and maintained by the City and submits them to the Development Plans Review Center for approval.
- HAVE A REGISTERED SURVEYOR PREPARE FINAL PLATS FOR RECORDING. These also must be submitted to the Development Plans Review Center for authorization signature, prior to recording with the Wake County Register of Deeds.
- MEET THE REQUIREMENTS OF THE SUNSET THRESHOLDS AS NOTED ABOVE.

FACILITY FEES REIMBURSEMENT:

If oversized street construction takes place, or greenway or oversized public street right-of-way is conveyed to the public, the owner is responsible for application to the City for reimbursement allowed by Code. Reimbursement takes place twice a year in January and July; a written request must be filed with the Planning Department for greenway and street right-of-way; and in the Public Works Department for street construction; by the first working day in November and May each year.

Preliminary Subdivision Plan Application



Development Services Customer Service Center | 1 Exchange Plaza, Suite 400 | Raleigh, NC 27601 | 919-996-2495 | efax 919-996-1831 Litchford Satellite Office | 8320 – 130 Litchford Road | Raleigh, NC 27601 | 919-996-4200

When submitting plans, please check the appropriate review type and include the Plan Checklist document

Office Use Only: Transaction #	Pr	oject Coordinator		Team Le	eader
PRELIMINARY APPROVALS					
Subdivision *	Conventional Subdivi	sion	Compact Develop	ment	Conservative Subdivision
*May req	uire City Council appr	oval if in a Metro	Park Overlay or Hi	storic Overla	y District
If your project has been through	the Due Diligence pro	ocess, provide the	e transaction #:		
	G	ENERAL INFOR	RMATION		
Development Name Pinelar	nd Trace Subd	ivision			
Proposed Use Single Fam	ily Subdivision	(one lot into	o two lots)	L.	
Property Address(es) 169 Pin	eland Circle, Ra	leigh, NC			
Wake County Property Identifica	tion Number(s) for ea	ach parcel to which	ch these guidelines	will apply:	
PIN Recorded Deed 0784-51-9604	PIN	N Recorded Deed		PIN Recorded Deed	
What is your project type?	,			Ļ	
Single family	ownhouse	Subdivision in a r	non-residential zon	ing district	
Other (describe):					
	OWNER	/DEVELOPER	INFORMATION		
Company Name A Squared	I, LLC	Ow	ner/Developer Na	me A.J. S	Stillittano
Address 51 Kilmayne Dri	ve, Suite 100,	Cary, NC 2	7511		
Phone 919-623-7719	Email a	Email aj_stillittano@outlook.com Fax919-882-122		882-1225	
	CONSULTAN	IT/CONTACT P	ERSON FOR PLA	ANS	
Company Name B&F Cons	ulting, Inc.	Cor	ntact Name Amb	er Farrel	lly, PE
Address 2805 Tobermory	Lane, Raleigh	n, NC 27606)		
Phone 919-389-8102 Email amber.farrelly@bandfconsulting.com Fax 919-467-8827					

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DEVELOPMENT TYPE AND SITE DATE	TABLE (Applicable to	all developm	ents)
ZONING IN	FORMATION		
Zoning District(s) R-10			
If more than one district, provide the acreage of each: 0.46 a	С		
Overlay District?	,		
Inside City Limits? Yes No			
CUD (Conditional Use District) Case # Z-			
COA (Certificate of Appropriateness) Case #			
BOA (Board of Adjustment) Case # A-			
STORMWATER	RINFORMATION		
Existing Impervious Surface 1171 sf acres/sf	Flood Hazard Area	Yes	■ No
Proposed Impervious Surface 12790 sf acres/sf	Neuse River Buffer	☐ Yes	■ No
	Wetlands	☐ Yes	■ No
If in a Flood Hazard Area, provide the following:			
Alluvial Soils Flood Study	FEMA Map	Panel #	
NUMBER OF LO	OTS AND DENSITY		
Total # of Townhouse Lots: Detached 0	Attached ()		
Total # of Single Family Lots 2	Total # of All Lots 2		
Overall Unit(s)/Acre Densities Per Zoning Districts 4.34			
Total # of Open Space and/or Common Area Lots 0			,
SIGNATURE BLOCK (Appli	icable to all develop	ments)	
In filing this plan as the property owner(s), I/we do hereby agree a successors and assigns jointly and severally to construct all improvements and assigns approved by the City. I hereby designate B&F Consulting to serve as made administrative comments, to resubmit plans on my behalf, and to all I/we have read, acknowledge, and affirm that this project is confedevelopment use. Monoging Members	y agent regarding this app represent me in any pub prming to all application re	dications as show dication, to rece lic meeting regar	vn on this proposed ive and respond to rding this application.
A Squored, LLC		17	
Signature	Date		

WWW.RALEIGHNC.GOV

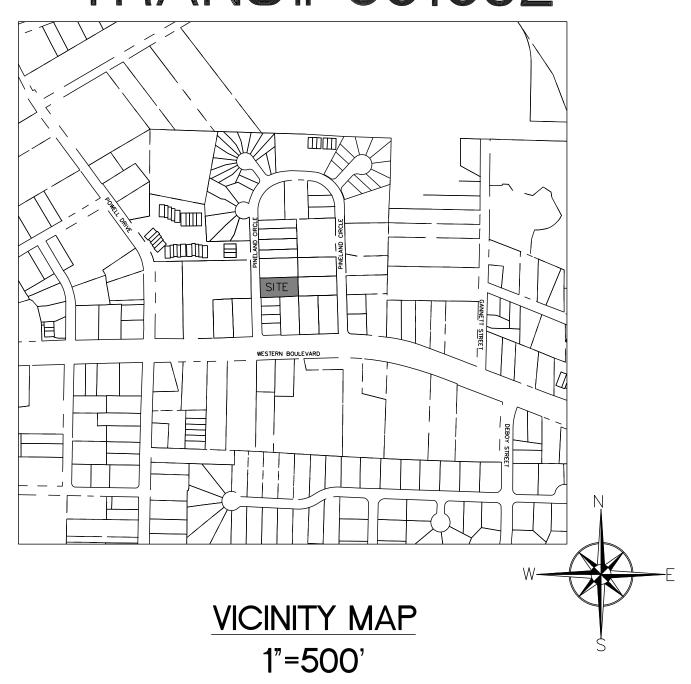
PAGE 2 OF 3

REVISION 03.11.16

PINELAND TRACE SUBDIVISION

RALEIGH, WAKE CO., NORTH CAROLINA SUBDIVISION PLANS PIN 0784-51-9604

> S-5-17 TRANS# 501682



developer:
A Squared, LLC
51 Kilmayne Drive, Suite 100
Cary, North Carolina 27511
919-623-7719

civil engineer: B&F Consulting, Inc. 2085 Tobermory Lane Raleigh, North Carolina 27606 919-618-0180

surveyor:
Sullivan Surveying
1143—D Executive Circle
Cary, North Carolina 27511
919—469—4738

SOLID WASTE COMPLIANCE STATEMENT:
Developers have reviewed and are in compliance with the requirements set forth in the SOLID WASTE DESIGN MANUAL.

Refuse containers will be rolled to the curb of the public right—of—way and serviced by City of Raleigh Solid Waste Services. Carts will be stored in garages or on 6'x6' concrete pad to side or rear of house.

INDEX

COVER SHEET	COVEF
EXISTING CONDITIONS AND SITE PLAN	N L-1
WITH LANDSCAPING TREES	
STORMWATER, GRADING AND DRAINA	GE L-2
UTILITY PLAN	L-3
DETAILS	

SUBMITTALS

FIRST SUBMITTAL	1/24/2017
SECOND SUBMITTAL	2/13/2017
APPROVAL SET	3/3/2017

TCA EXEMPTION: Per City UDO Section 9.1.2 — site is less than 2 acres CONSULTING
2805 Tobermory Lane
Raleigh, NC 27606
Phone No. (919) 618-0180
License No. C-2149



REVISIONS

NO.	DATE	DESCRIPTION

PROJECT INFORMATION

	PROJECT MANAGER:	RJB
	DRAWN BY:	AJF
	APPROVED BY:	RJB
	DRAWING NAME:	PINELAND-LOT20

PROJECT NAME

PINELAND TRACE
SUBDIVISION
S-5-17
TRANS #501682

PINELAND CIRCLE RALEIGH, N.C.

DEVELOPER

A SQUARED, LLC

51 KILMAYNE DRIVE SUITE 100 CARY, N.C. 27511

SHEET NAME

COVER SHEET

DRAWING SCALE 1"=500'

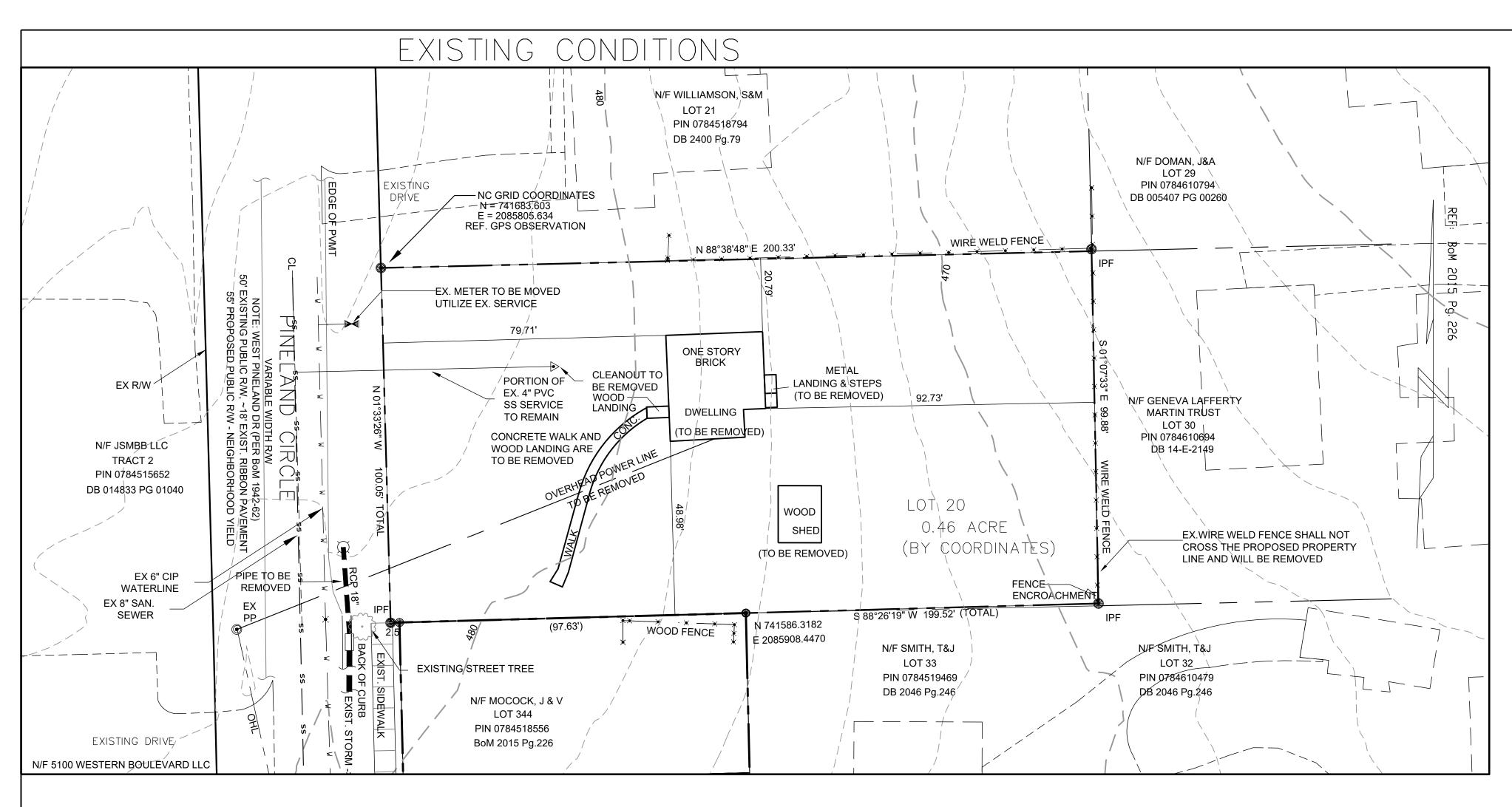
PLAN SET
PRELIMINARY PLANS

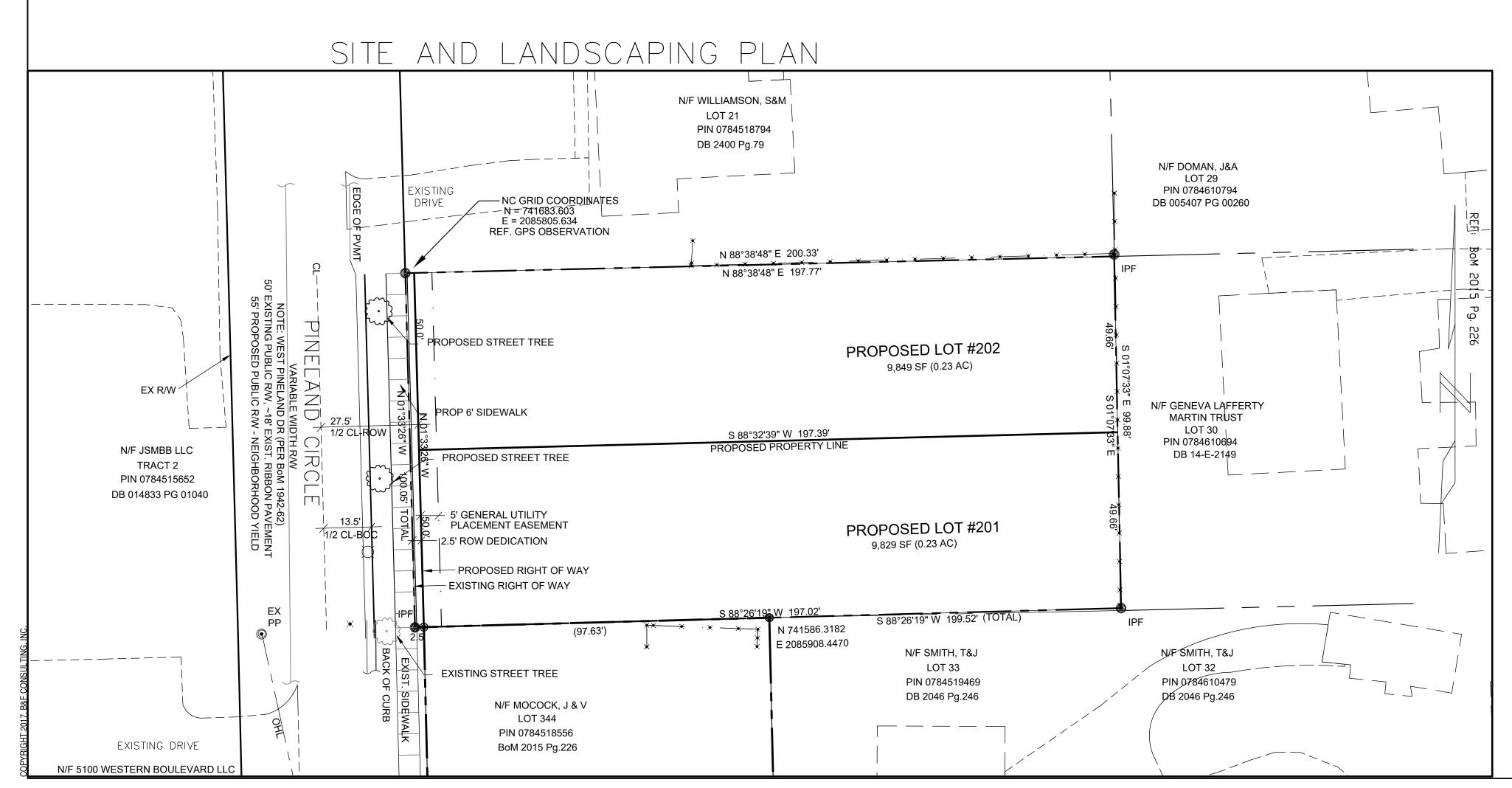
DATE 3-3-2017

SHEET NUMBER



RELEASED FOR CONSTRUCTION





EXISTING SYMBOL LEGEND: ● IRON PIPE FOUND

- O IRON PIPE SET
- CATCH BASIN
- X REINFORCED CONCRET PIPE
- ▲ SEWER CLEAN DUT
- ▼ WATER METER
 ⊙ UTILITY POLE

● UTILITY PU

* * * FENCE

GROUND DISTANCES.

RECORD INSTRUMENT.

EXISTING SURVEY NOTES:

1. ALL DISTANCES ARE HORIZONTAL

BENEFIT OF A TITLE SEARCH.

3. ALL IRONS FOUND ARE FLUSH WITH GROUND UNLESS OTHERWISE NOTED.

4. ANY DRAINAGEWAYS SHOWN HEREON AND/OR ADJACENT TO THIS SITE MAY CREATE ADDITIONAL BUFFERS CLAIMED BY THE STATE OF NORTH CAROLINA OR OTHER REGULATORY AGENCY.

5. METES AND BOUNDS REFLECT IRONS FOUND AND DIFFER FROM

2. THIS SURVEY DONE WITHOUT THE

SITE DATA

EXISTING LOT AREA 19,930 SF (0.46 ACRES) R/W DEDICATION ALONG PINELAND CIRCLE 250 SF TOTAL PROJECT AREA 19,680 SF

PROPOSED USE

EXISTING USE

CURRENT ZONING

OVERLAY DISTRICT

EXISTING IMPERVIOUS AREA

PROPOSED LOTS

PROPOSED LOT #201

SINGLE FAMILY RESIDENCE

R-10

1,171 SF (5.95%)

9,829 SF (0.23 AC)

PROPOSED LOT #201 9,829 SF (0.23 AC)
PROPOSED LOT #202 9,849 SF (0.23 AC)
OPEN SPACE REQUIRED 0 SF
OPEN SPACE PROVIDED 0 SF
TCA REQUIRED 0 SF
TCA PROVIDED 0 SF
MIN LOT SIZE PER ZONING 4,000 SF
MIN LOT SIZE PROVIDED 9,813 SF

MIN LOT WIDTH PROVIDED 50 FT INSIDE CITY LIMITS YES EXISTING WAKE COUNTY PIN NUMBER 0784-51-9604

RIVER BASIN NEUSE

NOTES

1. Boundary information taken from Sullivan Surveying.

2. Topographic information and adjacent property ownership taken from Wake County GIS.
3. Contractor shall verify the location of all existing utilities & shall be responsible for any damage resulting from his activities. Call utility locator service at least 48 hours prior to diggina

MIN LOT WIDTH PER ZONING

AVERAGE LOT SIZE

4. All construction shall conform to City of Raleigh and NCDOT standards & specifications.
5. Residential Infill Rules may apply to these proposed lots. Determination of compliance will be made upon issuance of residential building permits. (Section 2.2.7, UDO)

6. Driveway locations will be determined during site plan review.
7. Fences, walls and other structures are prohibited in drainage and utility easements—both public and private. Determination of compliance will be made upon issuance of residential building permits. (Section 7.2.8 UDO)

8. Any unused existing utility services shall be abandoned at the tap (main) and removed from ROW or easement per Public Utilities Handbook pgs 67 & 125.

9. All streets shall be public and turned over to the City of Raleigh for maintenance upon completion and acceptance of the improvements.

10. Any signage located on the site shall be approved by the City of Raleigh and shall be located outside of any sight triangles.

11. Any installation of a new fence will require review prior to the issuance of a Zoning

permit for each respective lot.

12. No changes may be made to the approved drawings without written permission from the

13. Erosion control plans shall be submitted prior to any grading on this site.

14. All proposed utilities shall be located underground.15. Contractor shall coordinate all work with all construction trades prior to beginning

construction.

16. Construction plans for public streets and utilities must be approved by the Public Works
Department and Public Utilities Department prior to recording of any plat for this

development.

17. The minimum corner clearance from the curb line of intersecting streets shall be at least 20' from the point of tangency. The radius of the driveway shall not encroach on the

minimum corner clearance.

18. No sight obstructing or partially obstructing wall, fence, foliage, berm, sign, parked vehicle or other object between the heights of two (2) feet and eight (8) feet above the

curb line elevation shall be placed within a sight triangle.

19. Objects that may be located in the sight triangle are items such as; hydrants, utility poles, utility junction boxes and traffic control devices provided these objects re located to

minimize visual obstruction.

20. Parking required by subdivision will be provided in their garages and on their own driveways.

On-Street parking groups are not specifically provided.

driveways. On—Street parking areas are not specifically provided.

21. Landscape contractor/owner of property will screen all above—ground utility devices with evergreen shrubs.

22. Condition of Approval — a Demolition Permit must be obtained for the existing single family dwelling & the permit number is to be noted on the plat prior to recordation.

23. Any new development activity subject to the requirements of UDO Sec 10.2.5. and 10.2.8. must meet the street type and streetscape standards of UDO Article 8.5 for existing streets

abutting the subject property.

24. Street trees are to be shade trees per UDO 12.2. and the development requires 1 tree per 40 ft of street frontage, so a total of 2 street trees are required for this development, with the third street tree being the existing tree at the corner of lot 322 on the south.

25. Driveways for each lot will have to be located at least 3.5' from an adjacent property line and the water main and sanitary sewer cleanout cannot be within the driveway. Residential driveways are to be constructed per RSDM Sections 6.5.2 and Table 6.5A. Plot plan criteria for residential driveways shall follow the requirements of RSDM Section 6.5.7.

26. Street trees are to be installed as per the Neighborhood Yield Street detail.
27. The right—of—way and easement dedication will be required to be recorded at subdivision approval and required prior to building permit.
28. A surety will be required for public improvements which are not complete prior to map

recordation. This is a City—maintained street which requires a 125% surety based on construction estimate.

29. Homes are anticipated to be spaced as per the new home lots to the South of this

project, and have coordinated with the postal carrier to service individual mailboxes for this development.

30. Existing block perimeter is 2,267 If and maximum allowed is 2,500 If.

PLANT LIST - STREET TREES

PLANT
TYPE BOTANICAL NAME COMMON NAME SIZE ROOT QTY

SHADE | Acer buergeranum | Trident Maple | 3" | B&B | 2

NOTES: 1. Street trees provided per City of Raleigh specifications at 1 tree/40 If.
2. Locations may be adjusted with the concurrence of the City for driveway placement.
3. Existing street tree at the corner of lot 344 will count for the "third tree"

GRAPHIC SCALE

(IN FEET)

1 inch = 20 ft.

CONSULTING
2805 Tobermory Lane
Raleigh, NC 27606
Phone No. (919) 618-0180
License No. C-2149



SURVEY DATA GATHERED BY OTHERS, THE SEAL ABOVE JUST REFERENCES THE ITEMS TO BE REMOVED AND THE SITE PLAN

REVISIONS

9,839 SF

45 FT

NO.	DATE	DESCRIPTION
\vdash		
\vdash		
\vdash		

PROJECT INFORMATION

	PROJECT MANAGER:	RJB
	DRAWN BY:	AJF
	APPROVED BY:	RJB
	DRAWING NAME:	PINELAND-LOT20

PROJECT NAME

PINELAND TRACE SUBDIVISION S-5-17 TRANS #501682

PINELAND CIRCLE RALEIGH, N.C.

DEVELOPER

A SQUARED, LLC

51 KILMAYNE DRIVE SUITE 100 CARY, N.C. 27511

SHEET NAME

EXISTING CONDITIONS AND SITE PLAN WITH LANDSCAPING TREES

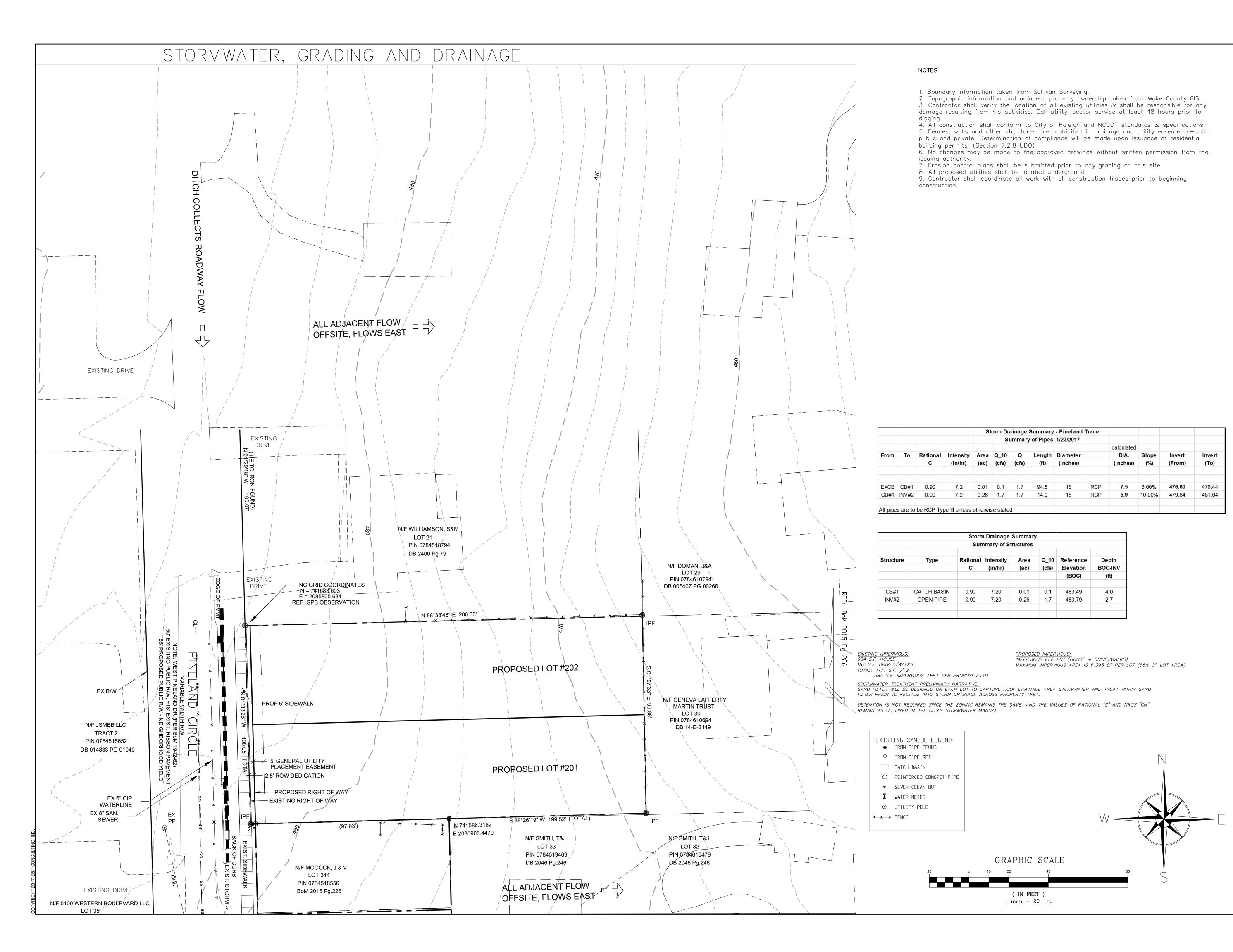
DRAWING SCALE 1"=20'

PLAN SET
PRELIMINARY PLANS

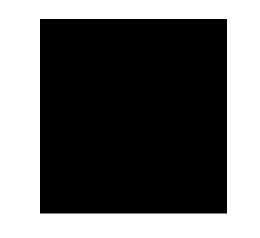
DATE 3-3-2017

SHEET NUMBER

FINAL DRAWING - NOT RELEASED FOR CONSTRUCTION



CONSULTING
2805 Tobermory Lane
Raleigh, NC 27606
Phone No. (919) 618-0180
License No. C-2149



REVISIONS

NO.	DATE	DESCRIPTION
		+

PROJECT INFORMATION

PROJECT MANAGER:	RJB
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PROJECT NAME

PINELAND TRACE SUBDIVISION S-5-17 TRANS #501682

PINELAND CIRCLE RALEIGH, N.C.

DEVELOPER

A SQUARED, LLC

51 KILMAYNE DRIVE SUITE 100 CARY, N.C. 27511

SHEET NAME

STORMWATER, GRADING AND DRAINAGE PLAN

DRAWING SCALE

1"=20'

PLAN SET

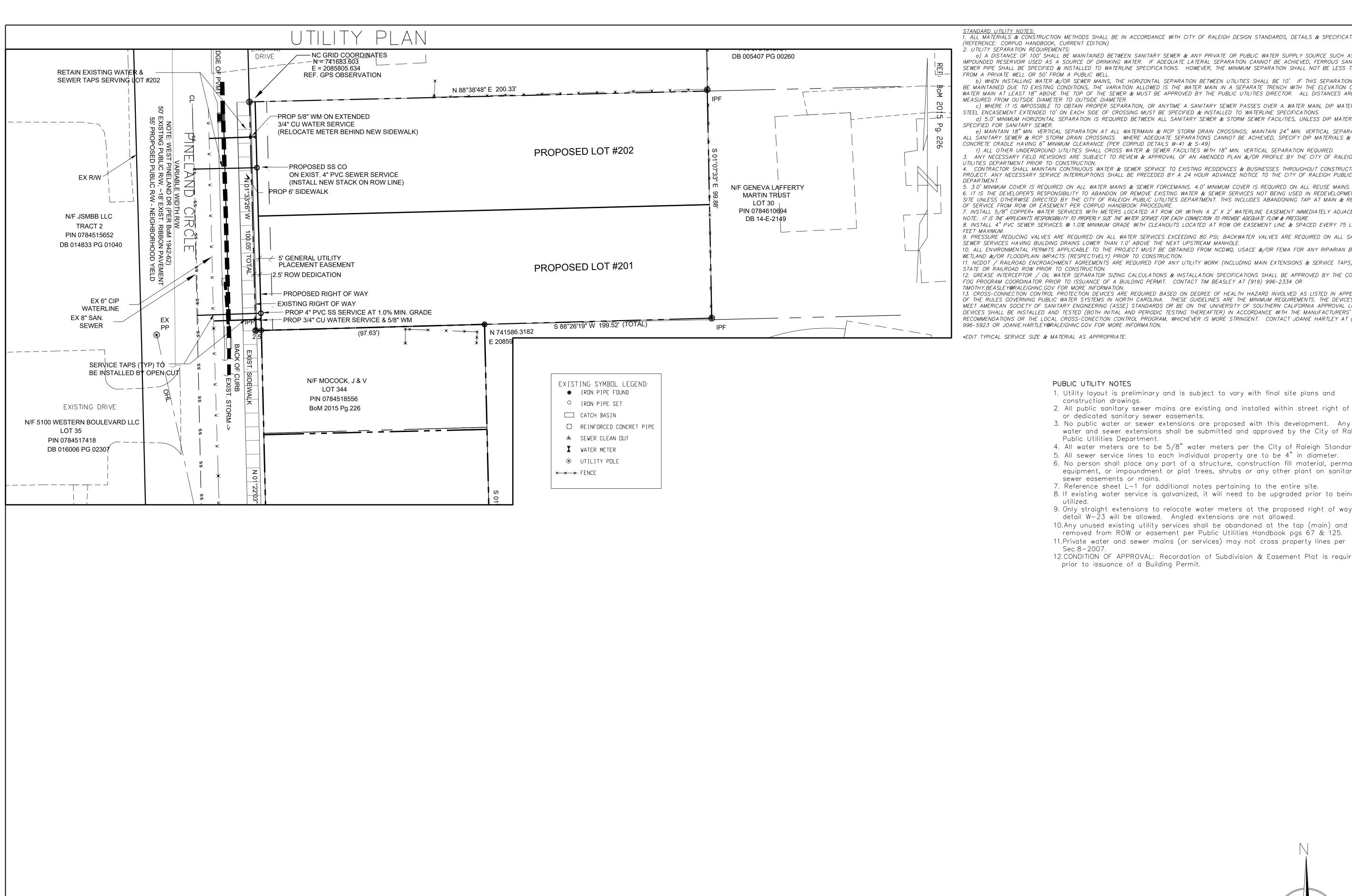
PRELIMINARY PLANS

DATE 3-3-2017

SHEET NUMBER

L-Z

FINAL DRAWING - NOT RELEASED FOR CONSTRUCTION



<u>STANDARD UTILITY NOTES:</u> 1. ALL MATERIALS & CONSTRUCTION METHODS SHALL BE IN ACCORDANCE WITH CITY OF RALEIGH DESIGN STANDARDS, DETAILS & SPECIFICATIONS REFERENCE: CORPUD HANDBOOK, CURRENT EDITION)

a) a distance of 100' shall be maintained between sanitary sewer & any private or public water supply source such as an IMPOUNDED RESERVOIR USED AS A SOURCE OF DRINKING WATER. IF ADEQUATE LATERAL SEPARATION CANNOT BE ACHIEVED, FERROUS SANITARY SEWER PIPE SHALL BE SPECIFIED & INSTALLED TO WATERLINE SPECIFICATIONS. HOWEVER, THE MINIMUM SEPARATION SHALL NOT BE LESS THAN 25' FROM A PRIVATE WELL OR 50' FROM A PUBLIC WELL. b) WHEN INSTALLING WATER &/OR SEWER MAINS, THE HORIZONTAL SEPARATION BETWEEN UTILITIES SHALL BE 10'. IF THIS SEPARATION CANNOT

BE MAINTAINED DUE TO EXISTING CONDITIONS, THE VARIATION ALLOWED IS THE WATER MAIN IN A SEPARATE TRENCH WITH THE ELEVATION OF THE WATER MAIN AT LEAST 18" ABOVE THE TOP OF THE SEWER & MUST BE APPROVED BY THE PUBLIC UTILITIES DIRECTOR. ALL DISTANCES ARE MEASURED FROM OUTSIDE DIAMETER TO OUTSIDE DIAMETER.

c) WHERE IT IS IMPOSSIBLE TO OBTAIN PROPER SEPARATION, OR ANYTIME A SANITARY SEWER PASSES OVER A WATER MAIN, DIP MATERIALS OR STEEL ENCASEMENT EXTENDED 10' ON EACH SIDE OF CROSSING MUST BE SPECIFIED & INSTALLED TO WATERLINE SPECIFICATIONS. d) 5.0' MINIMUM HORIZONTAL SEPARATION IS REQUIRED BETWEEN ALL SANITARY SEWER & STORM SEWER FACILITIES, UNLESS DIP MATERIAL IS

e) MAINTAIN 18" MIN. VERTICAL SEPARATION AT ALL WATERMAIN & RCP STORM DRAIN CROSSINGS; MAINTAIN 24" MIN. VERTICAL SEPARATION AT ALL SANITARY SEWER & RCP STORM DRAIN CROSSINGS. WHERE ADEQUATE SEPARATIONS CANNOT BE ACHIEVED, SPECIFY DIP MATERIALS & A CONCRETE CRADLE HAVING 6" MINIMUM CLEARANCE (PER CORPUD DETAILS W-41 & S-49) f) ALL OTHER UNDERGROUND UTILITIES SHALL CROSS WATER & SEWER FACILITIES WITH 18" MIN. VERTICAL SEPARATION REQUIRED.

ANY NECESSARY FIELD REVISIONS ARE SUBJECT TO REVIEW & APPROVAL OF AN AMENDED PLAN &/OR PROFILE BY THE CITY OF RALEIGH PUBLIC UTILITIES DEPARTMENT PRIOR TO CONSTRUCTION. . CONTRACTOR SHALL MAINTAIN CONTINUOUS WATER & SEWER SERVICE TO EXISTING RESIDENCES & BUSINESSES THROUGHOUT CONSTRUCTION OF PROJECT. ANY NECESSARY SERVICE INTERRUPTIONS SHALL BE PRECEDED BY A 24 HOUR ADVANCE NOTICE TO THE CITY OF RALEIGH PUBLIC UTILITIES

6. IT IS THE DEVELOPER'S RESPONSIBILITY TO ABANDON OR REMOVE EXISTING WATER & SEWER SERVICES NOT BEING USED IN REDEVELOPMENT OF A SITE UNLESS OTHERWISE DIRECTED BY THE CITY OF RALEIGH PUBLIC UTILITIES DEPARTMENT. THIS INCLUDES ABANDONING TAP AT MAIN & REMOVAL OF SERVICE FROM ROW OR EASEMENT PER CORPUD HANDBOOK PROCEDURE. 7. INSTALL 5/8" COPPER* WATER SERVICES WITH METERS LOCATED AT ROW OR WITHIN A 2'X 2' WATERLINE EASEMENT IMMEDIATELY ADJACENT. NOTE: IT IS THE APPLICANT'S RESPONSIBILITY TO PROPERLY SIZE THE WATER SERVICE FOR EACH CONNECTION TO PROVIDE ADEQUATE FLOW & PRESSURE. 8. INSTALL 4" PVC SEWER SERVICES @ 1.0% MINIMUM GRADE WITH CLEANOUTS LOCATED AT ROW OR EASEMENT LINE & SPACED EVERY 75 LINEAR

9. PRESSURE REDUCING VALVES ARE REQUIRED ON ALL WATER SERVICES EXCEEDING 80 PSI; BACKWATER VALVES ARE REQUIRED ON ALL SANITARY SEWER SERVICES HAVING BUILDING DRAINS LOWER THAN 1.0' ABOVE THE NEXT UPSTREAM MANHOLE. 10. ALL ENVIRONMENTAL PERMITS APPLICABLE TO THE PROJECT MUST BE OBTAINED FROM NCDWQ, USACE &/OR FEMA FOR ANY RIPARIAN BUFFER,

WETLAND &/OR FLOODPLAIN IMPACTS (RESPECTIVELY) PRIOR TO CONSTRUCTION. 11. NCDOT / RAILROAD ENCROACHMENT AGREEMENTS ARE REQUIRED FOR ANY UTILITY WORK (INCLUDING MAIN EXTENSIONS & SERVICE TAPS) WITHIN STATE OR RAILROAD ROW PRIOR TO CONSTRUCTION. 12. GREASE INTERCEPTOR / OIL WATER SEPARATOR SIZING CALCULATIONS & INSTALLATION SPECIFICATIONS SHALL BE APPROVED BY THE CORPUD

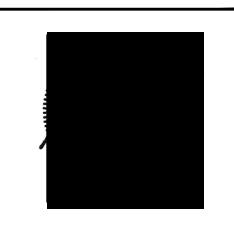
13. CROSS-CONNECTION CONTROL PROTECTION DEVICES ARE REQUIRED BASED ON DEGREE OF HEALTH HAZARD INVOLVED AS LISTED IN APPENDIX-B OF THE RULES GOVERNING PUBLIC WATER SYSTEMS IN NORTH CAROLINA. THESE GUIDELINES ARE THE MINIMUM REQUIREMENTS. THE DEVICES SHALL MEET AMERICAN SOCIETY OF SANITARY ENGINEERING (ASSE) STANDARDS OR BE ON THE UNIVERSITY OF SOUTHERN CALIFORNIA APPROVAL LIST. THE DEVICES SHALL BE INSTALLED AND TESTED (BOTH INITIAL AND PERIODIC TESTING THEREAFTER) IN ACCORDANCE WITH THE MANUFACTURERS' RECOMMENDATIONS OR THE LOCAL CROSS-CONECTION CONTROL PROGRAM, WHICHEVER IS MORE STRINGENT. CONTACT JOANIE HARTLEY AT (919) 996-5923 OR JOANIE.HARTLEY@RALEIGHNC.GOV FOR MORE INFORMATION.

*EDIT TYPICAL SERVICE SIZE & MATERIAL AS APPROPRIATE.

PUBLIC UTILITY NOTES

- 1. Utility layout is preliminary and is subject to vary with final site plans and construction drawings.
- 2. All public sanitary sewer mains are existing and installed within street right of ways
- or dedicated sanitary sewer easements. 3. No public water or sewer extensions are proposed with this development. Any public water and sewer extensions shall be submitted and approved by the City of Raleigh Public Utilities Department.
- 4. All water meters are to be 5/8" water meters per the City of Raleigh Standards. 5. All sewer service lines to each individual property are to be 4" in diameter.
- 6. No person shall place any part of a structure, construction fill material, permanent equipment, or impoundment or plat trees, shrubs or any other plant on sanitary sewer easements or mains.
- 7. Reference sheet L-1 for additional notes pertaining to the entire site. 8. If existing water service is galvanized, it will need to be upgraded prior to being
- 9. Only straight extensions to relocate water meters at the proposed right of way per
- detail W—23 will be allowed. Angled extensions are not allowed. 10. Any unused existing utility services shall be abandoned at the tap (main) and removed from ROW or easement per Public Utilities Handbook pgs 67 & 125. 11.Private water and sewer mains (or services) may not cross property lines per
- 12.CONDITION OF APPROVAL: Recordation of Subdivision & Easement Plat is required prior to issuance of a Building Permit.

2805 Tobermory Lane Raleigh, NC 27606 Phone No. (919) 618-0180 License No. C-2149



REVISIONS

NO.	DATE	DESCRIPTION
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PROJECT INFORMATION

PROJECT MANAGER:	RJB
DRAWN BY:	AJF
APPROVED BY:	RJB
DRAWING NAME:	PINELAND-LOT20

PROJECT NAME

PINELAND TRACE SUBDIVISION S-5-17 TRANS #501682

PINELAND CIRCLE RALEIGH, N.C.

DEVELOPER

A SQUARED, LLC

51 KILMAYNE DRIVE SUITE 100 CARY, N.C. 27511

SHEET NAME

UTILITY PLAN

DRAWING SCALE 1"=20'

PLAN SET

PRELIMINARY PLANS

DATE 3-3-2017

SHEET NUMBER

L-3 FINAL DRAWING - NOT

RELEASED FOR CONSTRUCTION

