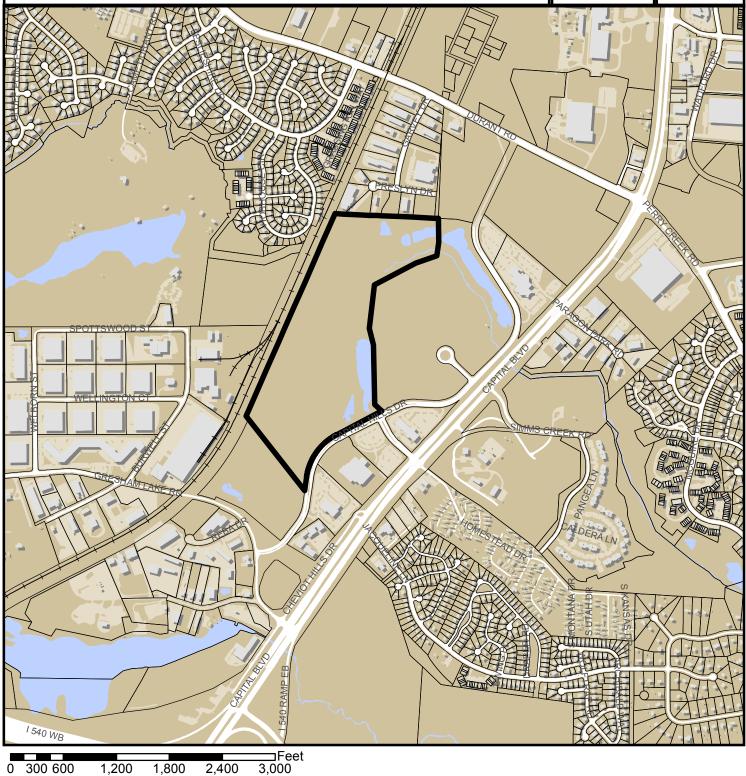
THE SUMMIT CHURCH S-4-2017







Zoning: IX-3 CAC: North

Drainage Basin: Perry Creek

Acreage: 69.94 Number of Lots: 2

Planner: **Daniel Stegall** (919) 996-2712 Phone:

Rggie Oakley (919) 383-7100 Applicant: Phone:





City of Raleigh **Development Plans Review Center**

One Exchange Plaza Raleigh, NC 27602 (919) 996-2626 www.raleighnc.gov

Preliminary Subdivision and Administrative Site Review

Case File / Name: S-4-17. The Summit Church Subdivision and SR-84-16. The Summit Church

General Location: The site is located on the north side of Capital Hills Drive, east of the intersection

of Gresham Lake road and Capital Hills Drive, inside the city limits.

CAC: North

Nature of Case: Subdivision of a 69.94 acre parcel into two lots zoned IX-3 for the purpose of

creating a public street thru the parent parcel and establishing a section of additional street right-of-way. The resultant two lots will be an open lot and one for the proposed church (civic building) with the associated site plan. The 65,900 square foot church will be on a 68.29 acre lot. Both lots are inside the city limits.

Lot A – an open lot on 1.65 acres.

Lot B – proposed 65,900 square foot church on a 68.29 acre lot.

Contact: Jonathan Allen, CALYX Engineers and Consultants

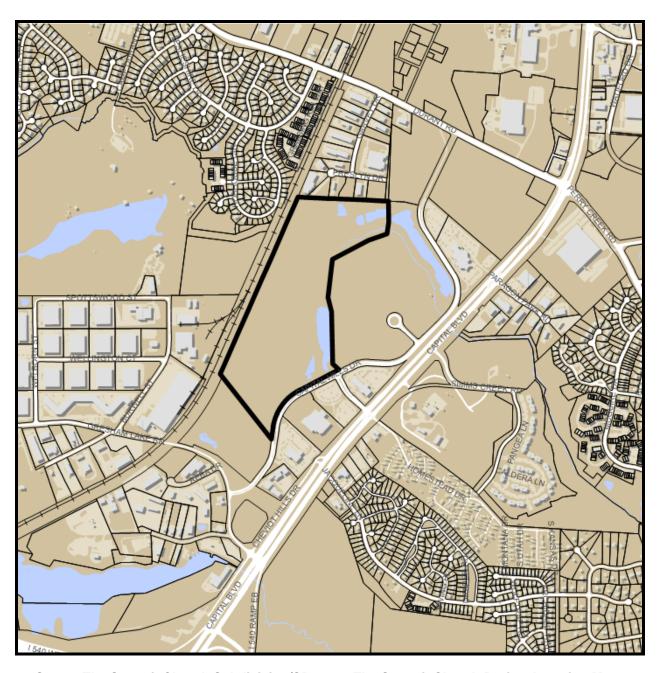
Design Adjustment: Two Design Adjustments have been approved by the Public Works Director as

follows:

Approval of an alternative streetscape cross section as an existing existing 10' asphalt greenway prevents street trees from being installed inside the right of way. Street trees are to be allowed outside of the right of way along Capital Hills Drive. (Raleigh Street Design Manual 5.18.2 A

The 4,000 ft. Block Perimeter requirement is being waived due to existing infrastructure (CSX Railroad right of way, stream buffers, and existing tree conservation areas). As part of this project approximately 560' of new public street is proposed into the site potentially reducing the block perimeter required for future development. (8.3.6)

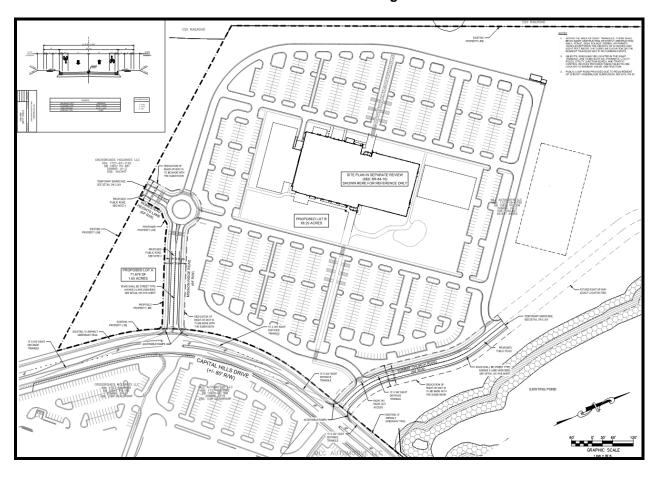
Administrative NA Alternate:

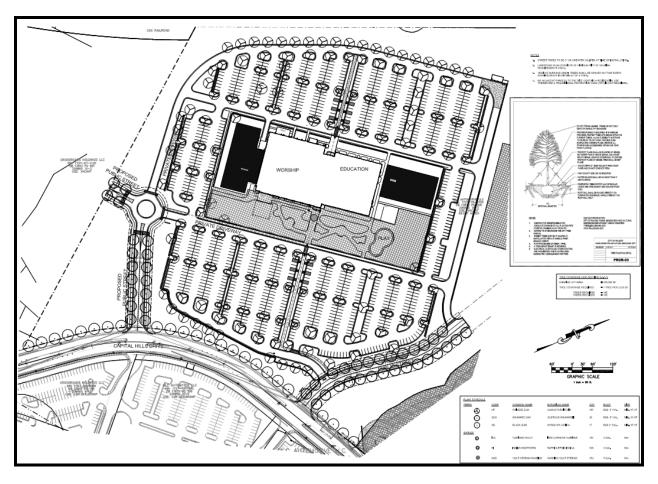


S-4-17, The Summit Church Subdivision/SR-84-16 The Summit Church Project Location Map



S-4-17 / SR-84-16 Existing lot





S-4-17 / SR-84-16 Preliminary Subdivision and Site Review Layout

Design Adjustment Staff Response



Date completed Application received Staff Supports Transaction Number SR-84-2016 Transaction Number 491203	er Section 10.2.18.C of the Unified Development Ordinance, the De ith the heads of other City Departments regarding the review of the esignee, shall approve, approve with conditions or deny the reques ampleted application. Additional time may be necessary if a munic a detailed engineering study is submitted in conjunction with the	ne request. The Development : st, but must do so within 60 da cipal or state entity is incorpora	Services Director, or ys of the receipt of a
Staff SUPPORTS the Design Adjustment based upon the findings in these applicable code: UDO Art. 8.3 Blocks, Lots, Access UDO Art. 8.4 New Streets	Project Name The Summit Church	Date completed Application	received 5/10/2017
✓ UDO Art. 8.3 Blocks, Lots, Access ✓ UDO Art. 8.4 New Streets	Case Number SR-84-2016	Transaction Number 491203	
	☐ UDO Art. 8.3 Blocks, Lots, Access ☐ UDO Art. 8.5 Existing Streets ☐ Ra DEPARTMENT REPRESENTATIVE SIGNATURE ☐ Dev. Services Planner ☐ Development Engineering Kathran Blard ☐ Engineering Services ☐ Public Utilities Findings: Staff is in support of this request for a design adjustment	OO Art. 8.4 New Streets sleigh Street Design Manua DEPARTMENT City Planning Transportation PRCR	Other REPRESENTATIVE SIGNATURE
	evelopment Services Director or Designee Action	hitch is being developed by The South Connection in public street is being construct roel. The continuation of this new Jon to Preslyn Drive, Garvey Drive Carrey	with Conditions Deny

with the hea Director may of a complet	10.2.18.C of the Unified Do ods of other City departme y approve, approve with o ted application. Additiona a detailed engineering sto	ints regarding the review onditions or deny the req I time may be necessary i	of the request. uest, but must d a municipal or	The Development Se o so within 60 days o state entity is incorp	rvices of the receipt
The S	ct Name iummit Church-Capital Hil Number:	ls Campus	Date Comp	e Number	ecelved:
SR-84	4-2016		491203		
No No	DEPARTMENT	REPRESENTATIVE SIGNATURE	Di	PARTMENT	REPRESENTATIVE SIGNATURE
	Dev. Services Planner:			City Planning:	
MEND	Dev. Services Eng: Engineering Services:	Kathryn Beard KCB	N 27	Transportation:	Many-Ann-Metcall-Zacut A
DEPARTMENT RESPONSE/RECOMMENDATION B SS					
Developm Approve Authorized *The Developm	(=	New Mercular Conditions Condition	HIE, PE NAOHR	Deny S	5/5/2017 Date de next to signature.
Authorized The Develope	Approve Signature ment Services Director may a	A With Conditions ** Kenwar of Proceedings of Proceedings of Procedure of Procedu	NHE; PE NPOR his/her stead. Ple	Sase print name and titl	
Approve Authorized The Develope Appeal of ti	Approv	WESTURE OF THE STATE OF THE STA	NHE; PE NPOR his/her stead. Ple	Sase print name and titl	

SUBJECT: S-4-17, The Summit Church Subdivision

SR-84-16, The Summit Church SR

CROSS-

REFERENCE: Transaction # 500077 (Subdivision)

Transaction # 491203 (Site Plan)

S-94-07 Cheviot Assemblage Subdivision

LOCATION: The site is located on the north side of Capital Hills Drive, east of the intersection

of Gresham Lake road and Capital Hills Drive, inside the city limits.

PIN: 1727780705

REQUEST: The subdivision of a 69.94 acre parcel into two lots zoned IX-3 and approval of a

site plan for a 65,900 square foot church (civic building) on lot B, a 68.29 acre lot,

all inside the city limits.

Lot A – an open lot on 1.65 acres.

Lot B – a proposed 65,900 square foot gross church on a 68.29 acre lot.

OFFICIAL ACTION: Approval with conditions

CONDITIONS OF APPROVAL:

Prior to issuance of a mass grading permit for the site:

1. That in accordance with Part 10A Section 9.4.4, a surety equal to of the cost of clearing, grubbing and reseeding a site, shall be paid to the City;

Prior to approval of a concurrent review of Final Site Review and Infrastructure construction plans, or whichever is applicable:

- That construction plans showing compliance with the shared stormwater devices be submitted and approved by the Public Works Department;
- 3. That a final tree conservation plan with permit be approved by the Forestry Specialist for the proposed tree conservation areas being provided for conformance with UDO section 7.1.2.D.4. The plan must show metes and bounds descriptions of all tree conservation areas, and tree protection fence around all tree conservation areas;
- 4. That the final site plan be revised to show a C-3 yard along parking in the NW corner, and that the two parking islands on the north side of the parking area are shown to contain shade trees demonstrating compliance to 7.1.7 A-D of the Unified Development Ordinance;

- That the final site plan be revised to show a detail of dumpster enclosure demonstrating compliance to sections2.5 c 3, and C-9 of the City of Raleigh Solid Waste manual;
- 6. That the contractor shall obtain a Right-of-Way Obstruction Permit from Right-of-way Services for any work which requires the temporary closure of a streets, travel lanes, parking spaces or sidewalks;
- 7. That as street lighting is required on all public streets, lighting plans are required to be included in the infrastructure construction plan set;

Prior to Planning Department authorization to record lots:

- 8. That Infrastructure Construction Plans are approved by the City of Raleigh, including obtaining stub permits, tree impact permit and a street lighting plan;
- 9. That a zoning permit be obtained for the planting of the street trees along Capital Hills Drive;
- 10. That all stormwater control measures and means of transporting stormwater runoff to and from any nitrogen and stormwater runoff control measures shall be shown on all plats for recording as private drainage easements and the plats shall contain the following note: "All private storm drainage easements & stormwater measures will be maintained by the property owners association";
- 11. That the flood prone areas, as approved by the City Stormwater Engineer, and as shown on the preliminary plan shall be shown on the recorded map;
- 12. That riparian buffers, in accordance with the preliminary plan and the State of North Carolina regulations, shall be shown on plats for recording along with a note stating "The areas shown on the recorded plat identified as Neuse River Riparian Buffer shall be maintained in their natural or mitigated condition, No person or entity shall fill, grad, excavate, or perform any other land-disturbing activities; nor cut, remove, or harm any vegetation; nor construct any structures nor add any additional impervious surface, nor allow animal grazing or water or any other agricultural use on such protected areas without written authorization from NC Division of Water Quality in accordance with the Riparian Buffer Protection Rules (15A NCAC 2B.0233 or .0259)":
- 13. That a tree impact permit for all trees proposed inside of the right of way is to be obtained from the City of Raleigh;
- 14. That street names be approved by the City and Wake County for the proposed streets within this subdivision;
- 15. That in accordance with Part 10A Section 8.1.3, a surety equal to 125% of the cost of development related improvements, including streetscape trees on Street A and Street B, is paid to the City;

Prior to issuance of building permits:

- 16. That all conditions of subdivision approval for S-4-17 are met and the subdivision is recorded with the Wake County Register of Deeds;
- 17. That concurrent plan review for the site be approved;
- 18. That final plans show all proposed outdoor lighting meeting the standards of Section 7.4 of the Unified Development Ordinance;
- 19. That all mechanical equipment must be located and shown on the plan meeting the screening standards of section 7.2.5 of the Unified Development Ordinance;
- 20. That the approved additional tree conservation area being provided in accordance with UDO section 7.1.2.D.4 be recorded with the Wake County Register of Deeds and a copy of the recorded map be provided to the City;
- 21. That a zoning permit be obtained to insure compliance of all landscaping and designated parking.

I hereby certify this adr	ninistrative decision.
Signed:(Planning Dir.)	Kenneth Bower Date: 7/14/17
Staff Coordinator:	Michael Walters
	SEE LAST PAGE FOR IMPORTANT INFORMATION ON THE NEXT STEP IN THE SUBDIVISION PROCESS.
FINDINGS:	City Administration finds that this request, with the above conditions being met, conforms to the Unified Development Ordinance including Chapter 2, Article 2.2, Sections 2.2.5, and 2.2.6. This approval is based on a preliminary subdivision plan (S-4-17) dated 05/19/2017, and a preliminary site plan (SR-84-16) dated 6/7/2017, owned by The Summit Church, both submitted by Jonathan Allen, CALYX Engineers and Consultants

ZONING:

ZONING DISTRICTS:

IX-3 Ordinance 310ZC698 Effective 5/20/14.

SETBACKS /

HEIGHT: Civic Buildings in the IX zoning district require a 10' primary and side street

setback, and 0'/6' side and rear setbacks. These minimum standards are met

with this development plan. No building is closer than 5' to a street.

OPEN SPACE: This Church site is required to provide an outdoor amenity area in accordance

with section 3.2.7. 10% or 6.99 acres required. 7.54 acres are provided.

TREE

CONSERVATION: Tree Conservation areas were recorded previously as part the original

subdivision (S-94-07 Cheviot Assemblage Subdivision) and thus additional TCA

is not required for the proposed subdivision.

However, required parking for the proposed site plan (SR-84-16) is exceeded by 150% (UDO 7.1.2.D.4) thus 5% additional TCA is being provided to meet code

requirements. The additional 5% tree conservation required = 152,329.32

square feet; provided = 154,639.19 square feet or 3.55 acres.

PHASING: There is one phase in this development.

COMPREHENSIVE

PLAN:

GREENWAY: There is existing dedicated greenway on this site. (BM 2009, pg. 1121-1130)

STREET

PLAN MAP: Dedication of right-of-way and construction of the following streets are required

by the Street Plan Map of the Comprehensive Plan. Proposed street(s) are

classified as shown below.

Street Name	Designation	Exist R/W	Required R/W	Existing street (b to b)	Proposed street (b to b)	Slope Easement
Capital Hills	Avenue 2-					NA
Drive	Lane, Divided					
Proposed Street A	Neighborhood Street - Avenue, 2- lane undivided		36' b-b street section in a 64' right- of-way and bike lanes		36' b to b	NA
Proposed Street B	Neighborhood Street - Avenue, 2- lane undivided		36' b-b street section in a 64' right- of-way and bike lanes		36' b to b	NA

A surety for the required improvements shall be provided in accordance with 8.1 of the UDO.

TRANSIT: This site is presently not served by the existing transit system.

COMPREHENSIVE

PLAN: This site is located in the North Citizen's Advisory Council in an area designated

as Office and Residential Mixed Use.

SITE PLAN STANDARDS:

Zoning District:	IX-3	<u>2.1</u> , <u>3.1</u>
Overlay District:	NA	<u>5.1</u>
Parking:	Vehicle Required = 1 space/ 4 seats = 450 spaces Proposed = 1,057 spaces. Required parking on proposed site (SR-84-16) is > 150% (UDO 7.1.2.D.4) and condition is met by providing 5% additional TCA. Bicycle = NA	7.1.2
Streetscape:	The applicable streetscape is commercial for both proposed streets. The streetscape for Capital Hills Drive (alternative streetscape cross section) is met via an approved design adjustment allowing street trees outside of the public right of way. Construction of a 6' tree lawn with a 6' wide sidewalk is proposed along both sides of each proposed street.	<u>8.5</u>
Setbacks/Frontage:	Primary Street = 5' Side Street = 5' Side lot = 0 or 6' Rear = 0 or 6'	<u>3.4, 3.2, 2.2</u>
Neighborhood Transitions:	Upper northwest section adjacent to RR, residential use and (R-6) zoning – Existing 50' Neuse river riparian Buffer and TCA. The balance of the site does not require transitions.	3.5
Transitional Protective Yards:	Upper northwest section adjacent to RR, residential use and (R-6) zoning – Existing 50' Neuse river riparian Buffer and TCA. The balance of the site has no yards required.	7.2.4
Stormwater:	The subdivision for this site is a further subdivision of a parcel created in Cheviot Assemblage [which has a shared stormwater management solution] This site will adhere to the conditions for stormwater management of the original and detail out the new	9.2

	allocation for the new lots being created.	
Tree Conservation:	Tree Conservation areas were recorded previously as part the original subdivision (S-94-07 Cheviot Assemblage Subdivision), in accordance with Article 9.1. However, 5% additional tree conservation area is being provided with this site plan because parking is being provided in excess of 150% of the required (UDO 7.1.2.D.4). The additional 5% tree conservation required = 152,329.32 square feet; 154,639.19 square feet or 3.55 acres provided.	9.1
Other:	Dedicated greenway Area, BM 2009, pg.1121-1130	

SUBDIVISION STANDARDS:

LOT LAYOUT: The minimum lot size in IX zoning district for an Open Lot is 5,000 square feet.

The minimum lot width for an Open Lot in this zoning district is 50 feet. Lots in

this development conform to these minimum standards.

PUBLIC UTILITIES: City water and sewer services are available. The subdivider is responsible for

installation of all lines necessary to provide service to this site.

SOLID WASTE: Individual lot service is approved for private service dumpsters for any future

development.

BLOCKS / LOTS /

ACCESS: Block Perimeter requirement is being met via an approved design adjustment.

A fee for street signs is required in accordance with the Raleigh Street Design Manual. Note the subdivision associated with this development proposal does create one new street bisecting the parent parcel and also establishes a section of street right-of-way within the tract which is to be constructed. The remainder of that street alignment/extension will be determined in the future with additional

development.

STREETSCAPE

TYPE: The applicable streetscape is commercial for both proposed streets. The

streetscape for Capital Hills Drive (alternative streetscape cross section) is met via an approved design adjustment allowing street trees outside of the public right of way. Construction of a 6' tree lawn with a 6' wide sidewalk is proposed

along both sides of each proposed street.

PEDESTRIAN: Proposed sidewalk locations conform to City regulations. A sidewalk is required

along both sides of each of the proposed streets. Access to the public right of way in addition to internal connection requirements is provided in accordance

with 8.3.4 of the UDO.

FLOOD HAZARD: There are flood hazard areas on this site.

STORMWATER

MANAGEMENT: This subdivision is a further subdivision of a parcel created in Cheviot

Assemblage [which has a shared stormwater management solution]

This subdivision will adhere to the conditions for stormwater management of the

original and detail out the new allocation for the new lots being created.

WETLANDS / RIPARIAN

BUFFERS: Neuse River riparian buffers are required on this site.

STREET NAMES: Two new streets are being proposed with this development. Fees for street signs

are required in accordance with the Raleigh Street Design Manual.

OTHER

REGULATIONS: Developer shall meet all City requirements, including underground utility service,

flood protection measures, and the soil erosion ordinance, unless specifically

varied by this approval.

SUNSET DATES:

Expiration Dates for the Administrative Subdivision:

If significant construction has not taken place on a project after preliminary subdivision approval, that approval may "sunset" and be declared void, requiring re-approval before permits may be issued. To avoid allowing this preliminary approval to "sunset", the following must take place by the following dates:

3-Year Sunset Date: 7-12-2020

Record entire subdivision.

Expiration Dates for Administrative Site Review:

The expiration provisions of UDO Section 10.2.8 E, including the ability to request extensions in the expiration date, apply to this site plan. If significant construction has not taken place on a project after administrative site review approval, that approval may expire and be declared void, requiring re-approval before permits may be issued. To avoid allowing this plan approval to expire the following must take place by the following dates:

3-Year Expiration Date: 7-12-2020

Obtain a valid building permit for the total area of the project, or a phase of the project.

4-Year Completion Date:

Within four years after issuance of the first building permit for the site plan, the construction of the entire site plan must be completed unless an applicant has been granted vested rights. Failure to complete construction within this specified time frame shall automatically void the approved site plan for which no building permits have been issued.

WHAT NEXT?:

- MEET ALL CONDITIONS OF APPROVAL.
- COMPLETE INFRASTRUCTURE CONSTRUCTION DRAWINGS FOR ANY <u>PUBLIC IMPROVEMENTS</u> Streets, Utility lines to be owned and maintained by the City. and submit them to the Development Plans Review Center for approval.
- HAVE A REGISTERED SURVEYOR PREPARE FINAL PLATS FOR RECORDING. These also must be submitted to the Development Plans Review Center for authorization signature prior to recording with the Wake County Register of Deeds.
- MEET THE REQUIREMENTS OF THE SUNSET THRESHOLDS AS NOTED ABOVE.

THE SUMMIT CHURCH - CAPITAL HILLS CAMPUS

PRELIMINARY SUBDIVISION DRAWINGS CITY OF RALEIGH, WAKE COUNTY, NORTH CAROLINA

General Notes:

1. All construction shall be in accordance with the City of Raleigh standards and specifications.

2. The contractor shall be solely responsible for trench safety during all phases of construction.

3. The location and size of existing utilities as shown is approximate only. The contractor is responsible for horizontally and vertically locating and protecting all public or private utilities that lie in or adjacent to the construction site. The Contractor is fully responsible for notifying all utility owners in accordance with NC General Statue - Chapter 87, Article 8, The Underground Damage Prevention Act.

4. The contractor shall salvage and protect all existing power poles, signs, manholes, telephone risers, water valves, etc. during all construction phases. The contractor shall repair, at his own expense, any existing utilities damaged during construction.

5.Traffic design/control on public streets shall be in conformance with the traffic control plan, the Raleigh Street Design Manual, the "Manual of Uniform Traffic Control Devices," and as further directed by City and State Inspectors.

6. Any discrepancies found between the drawings and specifications and site conditions or any inconsistencies or ambiguities in drawings or specifications shall be immediately reported to the engineer, in writing, who shall promptly address such inconsistencies or ambiguities.

Work done by the Contractor after his discovery of such discrepancies, inconsistencies, or ambiguities shall be done at the contractor's risk.

7.Contractor is responsible for verifying all required permits and approvals prior to commencing construction

8.All areas shall be graded for positive drainage, and as shown on these plans. The contractor shall maintain adequate site drainage during all phases of construction. The contractor shall use silt fences (or other methods approved by the engineer and applicable municipality) as required to prevent silt and construction debris from flowing onto adjacent properties. Contractor shall comply with all applicable federal, state, or local erosion, conservation, and siltation ordinances. Contractor shall remove all temporary erosion control devices upon completion of permanent drainage facilities and the establishment of a stand of grass or other growth to prevent erosion and with approval of the erosion control inspector

9. The Contractor shall clear and grub the site and place, compact, and moisture condition all fill per the project geotechnical engineer's specifications. The fill material to be used shall be approved by the Geotechnical Engineer prior to placement.

10.Materials used to construct embankments for any purpose, backfill around drainage structures, or in utility trenches for any other depression requiring fill or backfill shall be compacted to 95% of maximum density as determined by the modified proctor test as set out in ASTM Standard D-968. The contractor shall, prior to any operations involving filling or backfilling, submit the results of the proctor test together with a certification that the soil tested is representative of the materials to be used on the project. Tests shall be conducted by a certified materials' testing laboratory and the certifications made by a licensed professional engineer representing the laboratory.

11. Proposed contours and gutter gradients are approximate. Proposed spot elevations and roadway profiles/super-elevations/typical sections are to be used in case of discrepancy.

12. The contractor shall verify and coordinate all dimensions shown, including the horizontal and vertical location of curb inlets and grate inlets

and all utilities crossing the storm sewer. 13.All distances shown represent horizontal ground distances.

14.Rim elevations are given as top of curb for Catch Basins, top of grate for Drop Inlets, and top of cover for Junction Boxes.

15.Storm Sewer (RCP) shall be constructed to the following classes (unless otherwise noted):

Cover less than 10 feet - Class C or D bedding, Class III walls Cover 10 feet to 15 feet - Class B bedding, Class III walls

determined from field exposure of the relevant line.

Cover greater than 15 feet - Class B bedding Class IV walls 16.All curb joints shall extend through the curb. Minimum length of offset joints at radius points is 1.5 feet. All joints shall be sealed with joint sealant.

20. No portion of the subject property is in a special flood hazard area as mapped by FEMA and shown on FIRM map number 3720172700 J. (Effective

17.All handicap ramping, striping, and pavement markings shall conform to ADA requirements and the "North Carolina State Building Code, Vol. 1-C Accessibility Code."

18. Existing Water and sewer main/service sizes adjacent to the property are to be verified by the contractor prior to the start of construction. The project engineer has shown sizes based on as-built plans from the Property Owner, however, exact size/dimension can only be

19.Before starting any construction of improvements within any City street or highway Right-of-Way,

the following procedures should be undertaken: City Right-of-Way-Contact local authority's traffic engineering department for information on detours, open cutting of streets or for any construction within Right-of-Way.

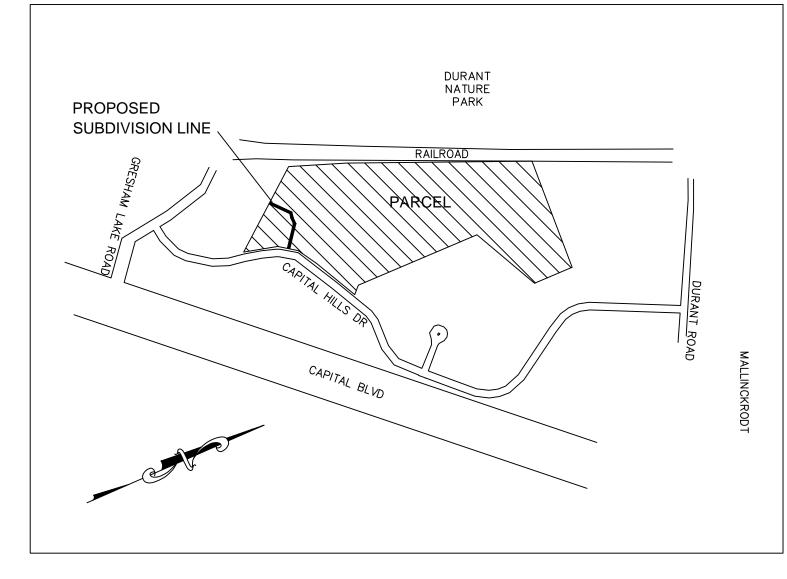
SOLID WASTE

Date May 2nd, 2006).

THE CITY OF RALEIGH SOLID WASTE COLLECTION DESIGN MANUAL, VERSION 2.1. DATED JANUARY 14, 2005, HAS BEEN REVIEWED IN CONJUNCTION WITH THIS SITE PLAN. SEE SHEET C-200 SITE PLAN FOR ADDITIONAL INFORMATION.

This note shall apply to each and every sheet in this set.

The Engineer does not guarantee that all existing facilities such as pipelines, electrical lines, conduit, telephone cable, service connections, or other facilities are shown on the Plans. It shall be the Contractor's responsibility to have all utilities located by their respective owners, field mark the utility locations, and protect all such existing facilities prior to beginning construction. The Contractor is fully responsible for notifying all utility owners in accordance with NC General Statute - Chapter 87, Article 8, The Underground Damage Prevention Act.



VICINITY MAP (1" = 1,000')

DEVELOPER

THE SUMMIT CHURCH 2335 PRESIDENTIAL DRIVE, SUITE 114 DURHAM, NORTH CAROLINA 27703 CONTACT: REGGIE OAKLEY roakley@summitrdu.com (919) 383-7100

ARCHITECT

LS3P ASSOCIATES, LTD 434 FAYETTEVILLE STREET. SUITE 1700 RALEIGH, NORTH CAROLINA 27601 CONTACT: MEGAN BOWLES meganbowles@ls3p.com (919) 829-2700

ENGINEER

CALYX ENGINEERS & CONSULTANTS

6750 TRYON ROAD CARY, NORTH CAROLINA 27518 **CONTACT: JONATHAN ALLEN** jallen@calyxengineers.com (919) 851-1912

TRANS. NO.: 500077



_			nange Plaza, Suite 400 Raleigh, O Litchford Road Raleigh, NC 2		•
When submitting p	lans, please cl	neck the appropri	ate review type and includ	de the Plan C	hecklist document.
Office Use Only: Transaction #		Project Coordinator		Team L	eader
		PRELIMINA	ARY APPROVALS		
■ Subdivision *	Conventiona	Subdivision	Compact Develop	ment	Conservative Subdivision
*May req	uire City Cour	ncil approval if in a	a Metro Park Overlay or H	istoric Overla	ay District
If your project has been through	the Due Dilig	ence process, pro	ovide the transaction #:	475048	
		GENERAL	INFORMATION		
Development Name Summit	t Church				
Proposed Use Place of Wo	rship				
Property Address(es) 3941 C	apital Hills	Drive			
Wake County Property Identification Number(s) for each parcel to which these guidelines will apply:					
PIN Recorded Deed PIN Recording 1727780705		ed Deed	PIN Recorded Deed		PIN Recorded Deed
What is your project type? Single family Other (describe):	Fownhouse	Subdivisi	on in a non-residential zoı	ning district	
	C	WNER/DEVEL	OPER INFORMATION		
Company Name The Summ	it Church		Owner/Developer Na	me Regg	jie Oakley
Address 2335 Presidentia	l Drive, Su	ite 114, Durh	nam, NC 27703	1	
Phone 919-383-7100		Email roakley@summit.rdu.com		Fax	
	CONS	SULTANT/CON	TACT PERSON FOR PL	ANS	
Company Name CALYX En	gineers +	Consultants	Contact Name Jona	athan Alle	n
	d, Cary, No	27518		1	
Address 6750 Tryon Road Phone 919-858-1831			calyxengineers.com		

DEVELOPMENT TYPE AND SITE DATE TABLE (Applicable to all developments) ZONING INFORMATION Zoning District(s) IX-3 If more than one district, provide the acreage of each: N/A Overlay District? Yes No CUD (Conditional Use District) Case # Z- N/A COA (Certificate of Appropriateness) Case # N/A BOA (Board of Adjustment) Case # A- N/A STORMWATER INFORMATION Existing Impervious Surface 0 Flood Hazard Area Proposed Impervious Surface 12.87/560,80(acres/sf Neuse River Buffer ☐ No Yes If in a Flood Hazard Area, provide the following Alluvial Soils Flood Study FEMA Map Panel # **NUMBER OF LOTS AND DENSITY** Total # of Townhouse Lots: Detached N/A Total # of Single Family Lots N/A Total # of All Lots 2 Overall Unit(s)/Acre Densities Per Zoning Districts N/A Total # of Open Space and/or Common Area Lots N/A SIGNATURE BLOCK (Applicable to all developments) In filing this plan as the property owner(s), I/we do hereby agree and firmly bind ourselves, my/our heirs, executors, administrators, successors and assigns jointly and severally to construct all improvements and make all dedications as shown on this proposed I hereby designate CALYX Engineers to serve as my agent regarding this application, to receive and respond to administrative comments, to resubmit plans on my behalf, and to represent me in any public meeting regarding this application. I/we have read, acknowledge, and affirm that this project is conforming to all application requirements applicable with the proposed Signature Signature **REVISION 03.11.16** WWW.RALEIGHNC.GOV PAGE 2 OF 3

INDEX OF SHEETS

COVER

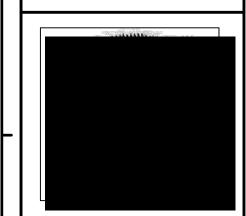
EXISTING CONDITIONS

SITE PLAN

ROUNDABOUT DETAIL PLAN

GRADING & STORMWATER PLAN UTILITY PLAN

LANDSCAPE PLAN



PROJECT NO: 2016095.00 RAWN BY: SEE PLAN 01-13-2017

COVER

