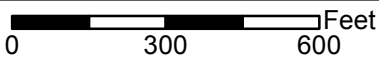
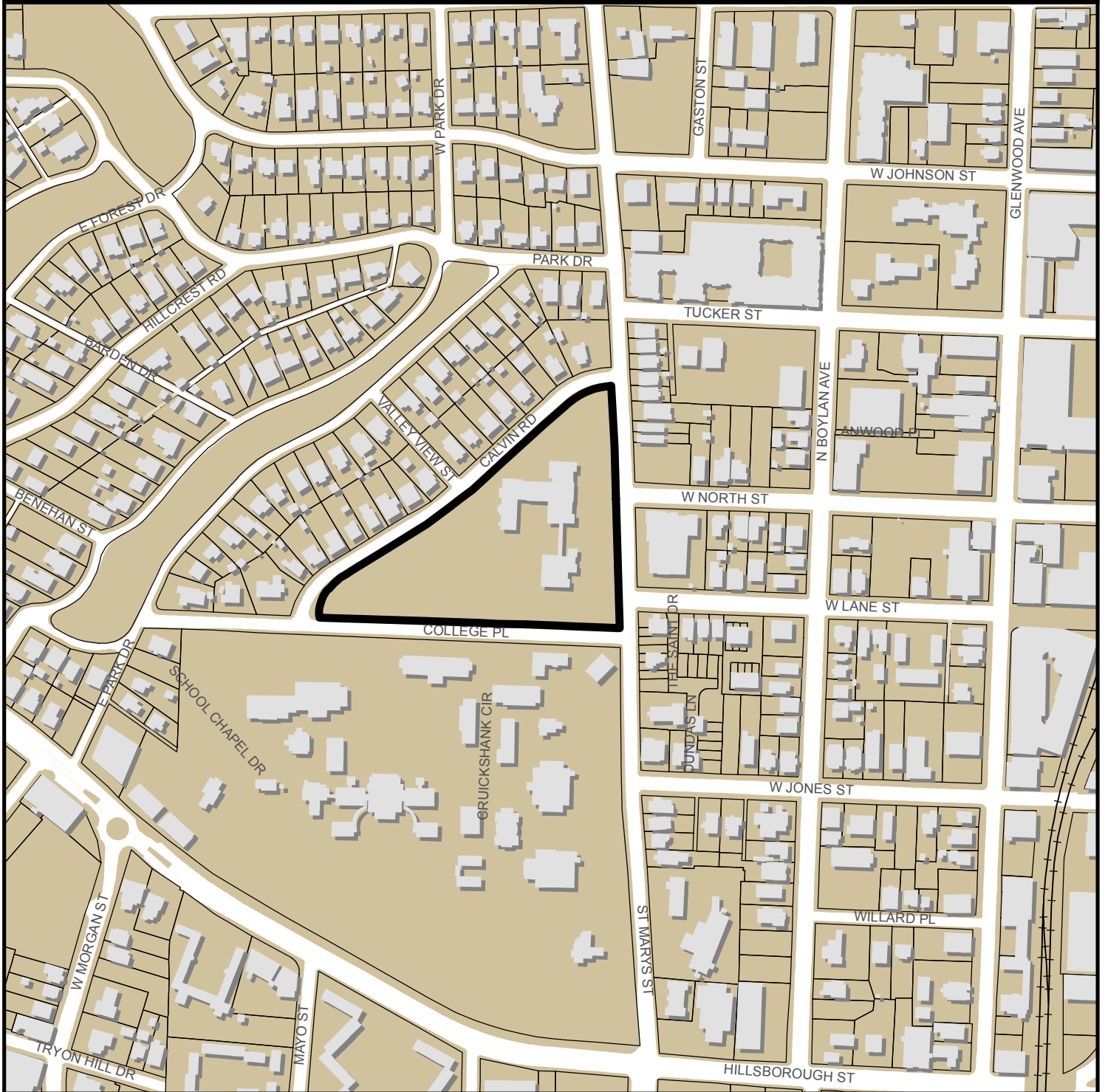


WILEY ELEMENTARY RENOVATION SR-107-2017



Zoning: **R-10, NCOD**
CAC: **Hillsborough**
Drainage Basin: **Pigeon House**
Acreage: **6.47**
Sq. Ft.: **99,628**

Planner: **Daniel Stegall**
Phone: **(919) 996-2712**
Applicant: **Larry Ragland**
Phone: **(919) 424-3749**





Administrative Approval Action

Wiley Elementary Renovation: SR-107-17, DA 44-2018
Transaction# 539647, AA# 3809

City of Raleigh
Development Services Department
One Exchange Plaza
Raleigh, NC 27602
(919) 996-2495
DS.help@raleighnc.gov
www.raleighnc.gov

LOCATION: This site is located on the westside of St. Mary's Street, north of College Place and east of Calvin Road. The address of the site is 301 St. Mary's Street and the PIN number is 1704.30.2723.

REQUEST: Wake County Board of Education is proposing to renovate an existing 55,990 squarefoot school building by adding 43,638 square foot of space in addition to site improvements. The site is zoned Residential-10 and is located in the Cameron Park Transition of a Neighborhood Conservation Overlay District.

**DESIGN
ADJUSTMENT(S)/
ALTERNATES, ETC:**

This Design Adjustment requires a waiver of specific public improvements required by the City as defined within General Statute 160A-307.1, unless required for safe ingress and egress to the City street system. Additionally, Wiley Elementary School was designated as a contributing structure within the Cameron Park National Register of Historic Places and improvements in the right-of-way which could create an adverse affect on the historic aspect of the school property are also to be waived along Calvin Road, St. Mary's Street and College Place. Waivers approved for new 6' sidewalk, shoulder construction; no fee-in-lieu required for 1' sidewalk where 5' currently exists; no right-of-way or 5' utility placement easement dedication required; no street trees installed within the Calvin Street right-of-way.

FINDINGS: City Administration finds that this request, with the below conditions of approval being met, conforms to the Unified Development Ordinance. This approval is based on a preliminary plan submitted by Larry Ragland of Dewberry Engineers, Incorporated.

CONDITIONS OF APPROVAL and NEXT STEPS:

Note: *This document must be applied to the second sheet of all future submittals with the exception of final plats.*

PRIOR TO THE ISSUANCE OF ANY SITE PERMITS OR APPROVAL OF CONCURRENT REVIEW PROCESS, WHICHEVER IS APPLICABLE:

ENGINEERING

1. Next Step: A right-of-way obstruction permit must be obtained from Right-of-way Services prior to the commencement of any construction activities within the right-of-way.

STORMWATER

2. Next Step: A stormwater control plan with a stormwater operations and maintenance manual and budget shall be approved by the Stormwater Engineer in compliance with Part 10A Chapter 9 of the Unified Development Ordinance.



Administrative Approval Action

Wiley Elementary Renovation: SR-107-17, DA 44-2018
Transaction# 539647, AA# 3809

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URBAN FORESTRY

3. Obtain required stub and tree impact permits from the City of Raleigh.
4. Next Step: Prior to the issuance of a mass grading permit or other site permit, whichever comes first, submit a final tree conservation plan with a permit approved by Urban Forestry staff that includes metes and bounds descriptions of all tree conservation areas and tree protection fencing as required.
5. Next Step: Tree protection fence must be located in the field and inspected by Urban Forestry staff prior to the issuance of a mass grading permit or other site permit, whichever comes first.

PRIOR TO ISSUANCE OF BUILDING PERMITS:

GENERAL

6. A Final Plat shall be recorded with the Wake County Register of Deeds office for all Subdivisions, Right of Way and/or Easement Dedications, and Tree Save Areas.
7. Provide fire flow analysis.

ENGINEERING

8. Next Step: A right-of-way obstruction permit must be obtained from Right-of-way Services prior to the commencement of any construction activities within the right-of-way.

STORMWATER

9. Next Step: The developer shall pay to the City a stormwater facility replacement fund payment equal to twenty-four percent (24%) of the estimated cost of constructing all stormwater control facilities shown on the development plans.
10. Next Step: All stormwater control measures and means of transporting stormwater runoff to and from any nitrogen and stormwater runoff control measures shall be shown on all plats for recording as private drainage easements.
11. Next Step: In accordance with Part 10A Section 9.2.2, a surety equal to 125% of the cost of the construction of a stormwater device shall be paid to the Engineering Services Department.

URBAN FORESTRY

12. A final inspection of required tree conservation and right of way tree protection areas by Urban Forestry staff must be completed.
13. A tree impact permit must be obtained for the approved streetscape tree installation in the right of way.



Administrative Approval Action

Wiley Elementary Renovation: SR-107-17, DA 44-2018
Transaction# 539647, AA# 3809

City of Raleigh
Development Services Department
One Exchange Plaza
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PRIOR TO ISSUANCE OF BUILDING OCCUPANCY PERMIT:

14. All Water, Sanitary Sewer and Reuse facilities shall be installed, inspected, tested and accepted by the City of Raleigh Public Utilities Department for operations and maintenance.
15. Next Step: Required public right-of-way infrastructure improvements shall be, at a minimum, sufficiently completed to provide the necessary, safe emergency and vehicular access.
16. Next Step: Required underground storm drainage improvements shall be completed and as-built plan(s) and certification(s) reviewed and accepted by the City of Raleigh Development Services – Development Engineering program.
17. Next Step: All street lights and street signs required as part of the development approval are installed.
18. Next Step: Copies of certified inspection reports for alleys and internal access ways are submitted to the City of Raleigh Development Services – Development Engineering program.
19. Next Step: As-built drawings and associated forms for all Stormwater devices are accepted by the Engineering Services Department
20. Next Step: Final inspection of all required Tree Conservation and right of way tree protection areas by Urban Forestry Staff.

EXPIRATION DATES: The expiration provisions of UDO Section 10.2.8 E, including the ability to request extensions in the expiration date, apply to this site plan. If significant construction has not taken place on a project after administrative site review approval, that approval may expire and be declared void, requiring re-approval before permits may be issued. To avoid allowing this plan approval to expire the following must take place by the following dates:

3-Year Expiration Date: 6-1-2021

Obtain a valid building permit for the total area of the project, or a phase of the project.

4-Year Completion Date:

Within four years after issuance of the first building permit for the site plan, the construction of the entire site plan must be completed unless an applicant has been granted vested rights. Failure to complete construction within this specified time frame shall automatically void the approved site plan for which no building permits have been issued.

I hereby certify this administrative decision.

Signed: (Planning Dir./Designee) *Daniel L. Stegall* Date: 6/1/2018

Staff Coordinator: Daniel L. Stegall

Design Adjustment Staff Response



**DEVELOPMENT
SERVICES
DEPARTMENT**

Per Section 10.2.18.C of the Unified Development Ordinance, the Development Services Director, or designee, shall consult with the heads of other City Departments regarding the review of the request. The Development Services Director, or designee, shall approve, approve with conditions or deny the request, but must do so within 60 days of the receipt of a completed application. Additional time may be necessary if a municipal or state entity is incorporated in the review process or if a detailed engineering study is submitted in conjunction with the request.

PROJECT	Project Name	Wiley Elementary School	
	Development Case Number	SR-107-2017	
	Transaction Number	539697	
	Design Adjustment Number	DA - 44 - 2018	
Staff recommendation based upon the findings in the applicable code(s):			
<input type="checkbox"/> UDO Art. 8.3 Blocks, Lots, Access		<input checked="" type="checkbox"/> UDO Art. 8.5 Existing Streets	
<input type="checkbox"/> UDO Art. 8.4 New Streets		<input type="checkbox"/> Raleigh Street Design Manual	
Staff SUPPORTS <input checked="" type="checkbox"/> DOES NOT SUPPORT <input type="checkbox"/> the design adjustment request.			
DEPARTMENTS			
<input type="checkbox"/> Dev. Services Planner		<input type="checkbox"/> City Planning	
<input checked="" type="checkbox"/> Development Engineering <i>KLP 5/23/18</i>		<input type="checkbox"/> Transportation	
<input type="checkbox"/> Engineering Services		<input type="checkbox"/> Parks & Recreation and Cult. Res.	
<input type="checkbox"/> Public Utilities			
STAFF RESPONSE	CONDITIONS:		
	<p>Wiley Elementary School has submitted a design adjustment to request a waiver from installing public improvements in the right-of-way along the school frontages on College Place, St. Mary's Street and Calvin Road. This school is within the Cameron Park Historic District which was placed on the National Historic Register on July 29, 1985. The site plan submitted will not require right-of-way improvements or right-of-way and easement dedications to bring the school within the City Unified Development Ordinance (UDO) code requirements which was effective in September 2013. Due to legislation effective in August 1, 2017, General Statute (G.S.)160A-307 states as follows:</p> <p>The City may only require street improvements related to schools that are required for safe ingress and egress to the municipal street system and that are physically connected to a driveway on the school site. The cost of any improvements to the municipal street system pursuant to this section shall be reimbursed by the City. The City will not be responsible for right-of-way improvement costs which are not required by the City.</p>		
Development Services Director or Designee Action: <input checked="" type="checkbox"/> APPROVE <input type="checkbox"/> APPROVE WITH CONDITIONS <input type="checkbox"/> DENY			

Authorized Signature

KENNETH W. RITCHIE, PE, MPP
ENGINEERING AND INFRASTRUCTURE MANAGER

6/1/2018

*The Development Services Director may authorize a designee to sign in his/her stead. Please print name and title next to signature. Appeal of the decision from the Development Services Director, or his or her designee, shall be made in writing within 30 days to the Board of Adjustment (see Section 10.2.18.C3b).

Staff Response

Article 8.5 Existing Streets



**DEVELOPMENT
SERVICES
DEPARTMENT**

- A. The requested design adjustment meets the intent of this Article;
YES NO
- B. The requested design adjustment conforms with the Comprehensive Plan and adopted City plans;
YES NO
- C. The requested design adjustment does not increase congestion or compromise safety;
YES NO
- D. The requested design adjustment does not create additional maintenance responsibilities for the City; and
YES NO
- E. The requested design adjustment has been designed and certified by a Professional Engineer.
YES NO

STAFF FINDINGS

The existing streets surrounding this site are defined by the UDO as follows: Calvin Road- Neighborhood Yield, St. Mary's Street - Avenue, 2-lane Undivided, and College Place - Neighborhood Street. These streets are not to be widened based on being a contributing structure to the Cameron Park National Register of Historic Places and to prevent any adverse effect on the identified historic property. The following improvements are to be waived based on the restriction of improvements due to the historic statutory requirements of the NC State Historic Preservation Office and being subject to applicable federal and / or state cultural resources protection laws and the General Statutes that have been in effect since August 1, 2017.

-No new 6' sidewalk construction, street tree installation or grass planting strips as required per the UDO for Calvin Road or St. Mary's Street. Sidewalk exists on the north side of Calvin Road and by providing connective crosswalks across Calvin Road from the intersections with College Place and St. Mary's Street, a necessary safe ingress / egress will be provided as per G.S. 160A-307.1.

-No 1' sidewalk fee-in-lieu to be paid to meet the UDO 6' sidewalk requirement. The existing 5' sidewalks to remain on College Place, St. Mary's Street or Calvin Road as per historic designation established preceding the UDO.

-No right-of-way or 5' utility placement easement dedication to be required on St. Mary's Street, Calvin Road or College Place as per G.S. 160A-307.1.

-No street trees to be installed within the right-of-way along Calvin Road, College Place or St. Mary's Street. The 6' sidewalk is to be waived therefore no street trees between the sidewalk and back of curb are to be installed. This will maintain consistent historic and architectural integrity as referenced in the Secretary of the Interior Standards of Rehabilitation.

Design Adjustment Application



DEVELOPMENT SERVICES DEPARTMENT

The purpose of this request is to seek a Design Adjustment from the Development Services Director, or designee, for a specific project only and, if granted, may be approved with special conditions and provisions. This application and all further action shall be consistent with Section 10.2.18 in the Unified Development Ordinance (UDO). The consideration and decision of this request shall be based solely on the conformance of the findings, as outlined in Sec. 8.3.6, Sec. 8.4.1.E and Sec. 8.5.1.G of the UDO or the Raleigh Street Design Manual.

PROJECT	Project Name Wiley Elementary School (301 St. Mary's Street, Raleigh)	
	Case Number SR-107-2017	
	Transaction Number 539647	
OWNER	Name Wake County Board of Education	
	Address c/o WCPSS - FD+C Bldg 1551 Rock Quarry Road	City Raleigh
	State NC	Zip Code 27610 Phone 919-588-3602
CONTACT	Name Matt West, PE	Firm Dewberry Engineers, Inc.
	Address 2610 Wycliff Road, Suite 410	City Raleigh
	State NC	Zip Code 27607 Phone 919.424.3770
REQUEST	I am seeking a Design Adjustment from the requirements set forth in the following:	
	<input type="checkbox"/> UDO Art. 8.3 Blocks, Lots, Access	- See page 2 for findings
	<input type="checkbox"/> UDO Art. 8.4 New Streets	- See page 3 for findings
	<input checked="" type="checkbox"/> UDO Art. 8.5 Existing Streets	- See page 4 for findings
	<input checked="" type="checkbox"/> Raleigh Street Design Manual	- See page 5 for findings
	Provide details about the request; (please attach a memorandum if additional space is needed):	
Request Design Adjustments for existing school site included in NC Historic Register. Documentation provided establishing site is in NC Historic Register and site should be exempt from meeting some new Raleigh UDO requirements: (RSDM= Raleigh Street Design Manual; UDO = Raleigh Unified Development Ordinance) RSDM 4.3.1/UDO 8.4.4.A per RSDM 5.1.3. - Request 5' wide utility placement easement & new R/W dedication for Calvin Road, Saint Mary's Street, & College Road fronting Wiley Elementary School be waived. RSDM 5.3.4 - retain existing 5' wide sidewalks, and waive fee-in-lieu for 6' sidewalk for Calvin Road, Saint Mary's Street, & College Road fronting Wiley Elementary School. UDO 8.5.1.E/UDO 8.5.1.G - Request waiver from Fee in lieu for Street Trees that cannot be planted in R/W at this site if above waivers are granted.		

It is the responsibility of the applicant to provide all pertinent information needed for the consideration of this request. Applicant must be the Property Owner.

By signing this document, I hereby acknowledge the information on this application is, to my knowledge, accurate.

[Signature]
 Owner/Owner's Representative Signature

4/17/18
 Date

CHECKLIST

Signed Design Adjustment Application	<input checked="" type="checkbox"/> Included
Page(s) addressing required findings	<input checked="" type="checkbox"/> Included
Plan(s) and support documentation	<input checked="" type="checkbox"/> Included
Notary page (page 6) filled out; Must be signed by property owner	<input checked="" type="checkbox"/> Included
First Class stamped and addressed envelopes with completed notification letter	<input checked="" type="checkbox"/> Included

Submit all documentation, with the exception of the required addressed envelopes and letters to designadjustments@raleighnc.gov.

Deliver the addressed envelopes and letters to:
 Development Services, Development Engineering
 One Exchange Plaza, Suite 500
 Raleigh NC, 27601

[Signature]
Mr. Desormeaux, Jr.
 Asst. Superintendent for Facilities,
 WCPSS, for and on behalf of the
 Wake County Board of Education,
 pursuant to duly delegated authority.

For Office Use Only	RECEIVED DATE:	DA -
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Article 8.5 Existing Streets

Administrative Design Adjustment Findings



DEVELOPMENT
SERVICES
DEPARTMENT

The Development Services Director may in accordance with *Sec. 10.2.18*, approve a design adjustment, subject to all of the following findings. Describe how each item is met:

A. The requested design adjustment meets the intent of this Article;

The requested design adjustment maintains existing pedestrian and vehicular circulation in an historic district of the City, and avoids unnecessary disruption of existing neighborhood infrastructure, while maintaining public safety and functional requirements of the existing walks and streets.

B. The requested design adjustment conforms with the Comprehensive Plan and adopted City plans;

The design adjustment conforms with Comprehensive Plan goals of preservation of historic neighborhood character when possible. This waiver would be in direct support of Policy UD 5.4, Policy UD 5.5, Policy HP 1.1, and Policy HP 1.2 as they pertain to existing historic properties.

C. The requested design adjustment does not increase congestion or compromise safety;

There is no known history of congestion or safety issues for existing streets in this neighborhood. The school enrollment is not being increased and existing traffic conditions would not be adversely affected.

D. The requested design adjustment does not create additional maintenance responsibilities for the City; and

No additional maintenance responsibilities are contemplated, since this requested waiver would have no changes to existing streets being proposed.

E. The requested design adjustment has been designed and certified by a Professional Engineer.

Yes

Raleigh Street Design Manual

Administrative Design Adjustment Findings



DEVELOPMENT
SERVICES
DEPARTMENT

The Development Services Director may in accordance with *Sec. 10.2.18*, approve a design adjustment, subject to all of the following findings. Describe how each item is met:

- A. The requested design adjustment meets the intent of the Raleigh Street Design Manual;
The requested design adjustment maintains existing pedestrian and vehicular circulation in an historic district of the City, and avoids unnecessary disruption of existing neighborhood infrastructure, while maintaining public safety and functional requirements of the existing walks and streets.
- B. The requested design adjustment conforms with the Comprehensive Plan and adopted City plans;
The design adjustment conforms with Comprehensive Plan goals of preservation of historic neighborhood character when possible. This waiver would be in direct support of Policy UD 5.4, Policy UD 5.5, Policy HP 1.1, and Policy HP 1.2 as they pertain to existing historic properties.
- C. The requested design adjustment does not increase congestion or compromise safety;
There is no known history of congestion or safety issues for existing streets in this neighborhood. The school enrollment is not being increased and existing traffic conditions would not be adversely affected.
- D. The requested design adjustment does not create additional maintenance responsibilities for the City; and
No additional maintenance responsibilities are contemplated, since this requested waiver would have no changes to existing streets being proposed.
- E. The requested design adjustment has been designed and certified by a Professional Engineer.

Yes

Individual Acknowledgement



DEVELOPMENT
SERVICES
DEPARTMENT

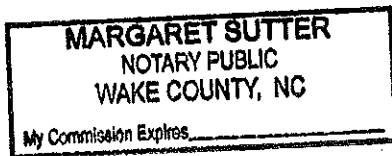
STATE OF NORTH CAROLINA
COUNTY OF WAKE

INDIVIDUAL

I, MARGARET SUTTER, a Notary Public do hereby certify that
M.J. DESORMEAUX, JR. personally appeared before me this day and
acknowledged the due execution of the forgoing instrument.

This the 17th day of APRIL, 2018.

(SEAL)



Notary Public

Margaret Sutter

My Commission Expires: 5/7/2022

§ 160A-307.1. Limitation on city requirements for street improvements related to schools

A city may only require street improvements related to schools that are required for safe ingress and egress to the municipal street system and that are physically connected to a driveway on the school site. The required improvements shall not exceed those required pursuant to G.S. 136-18(29). G.S. 160A-307 shall not apply to schools. A city may only require street improvements related to schools as provided in G.S. 160A-372. The cost of any improvements to the municipal street system pursuant to this section shall be reimbursed by the city. Any agreement between a school and a city to make improvements to the municipal street system shall not include a requirement for acquisition of right-of-way by the school, unless the school is owned by an entity that has eminent domain power. Any right-of-way costs incurred by a school for required improvements pursuant to this section shall be reimbursed by the city. The term "school," as used in this section, means any facility engaged in the educational instruction of children in any grade or combination of grades from kindergarten through the twelfth grade at which attendance satisfies the compulsory attendance law and includes charter schools authorized under G.S. 115C-218.5.

Credits

Added by S.L. 2017-57, § 34.6A(b), eff. Aug. 1, 2017.

N.C.G.S.A. § 160A-307.1, NC ST § 160A-307.1

The statutes and Constitution are current through the end of the 2017 Regular Session, including 2018-1, of the General Assembly.

N.C.G.S. § 160A-307.1

**

N.C.G.S. § 136-18

(29) The Department of Transportation may establish policies and adopt rules about the size, location, direction of traffic flow, and the construction of driveway connections into any street or highway which is a part of the State Highway System. The Department of Transportation may require the construction and public dedication of acceleration and deceleration lanes, and traffic storage lanes and medians by others for the driveway connections into any United States route, or North Carolina route, and on any secondary road route with an average daily traffic volume of 4,000 vehicles per day or more.

**

§ 160A-307. Curb cut regulations

Currentness

A city may by ordinance regulate the size, location, direction of traffic flow, and manner of construction of driveway connections into any street or alley. The ordinance may require the construction or reimbursement of the cost of construction and public dedication of medians, acceleration and deceleration lanes, and traffic storage lanes for driveway connections into any street or alley if:

- (1) The need for such improvements is reasonably attributable to the traffic using the driveway; and
- (2) The improvements serve the traffic of the driveway.

No street or alley under the control of the Department of Transportation may be improved without the consent of the Department of Transportation. However, if there is a conflict between the written driveway regulations of the Department of Transportation and the related driveway improvements required by the city, the more stringent requirement shall apply.

Credits

Added by Laws 1971, c. 698, § 1. Amended by Laws 1987, c. 747, § 16.

N.C.G.S.A. § 160A-307, NC ST § 160A-307

The statutes and Constitution are current through the end of the 2017 Regular Session, including 2018-1, of the General Assembly.

N.C.G.S. § 160A-307



State Historic Preservation Office
NATURAL AND CULTURAL RESOURCES

The Secretary of the Interior's Standards for Rehabilitation

The Secretary of the Interior is responsible for establishing standards for all national preservation programs under Departmental authority and for advising Federal agencies on the preservation of historic properties listed or eligible for listing in the National Register of Historic Places.

The Standards for Rehabilitation, a section of the Secretary's Standards for Historic Preservation Projects, address the most prevalent preservation treatment today: rehabilitation. Rehabilitation is defined as the process of returning a property to a state of utility, through repair or alteration, which makes possible an efficient contemporary use while preserving those portions and features of the property which are significant to its historic, architectural, and cultural values.

The Secretary of the Interior's Standards for Rehabilitation



The Standards that follow were originally published in 1977 and revised in 1990 as part of Department of the Interior regulations (36 CFR Part 67, Historic Preservation Certifications). They pertain to historic buildings of all materials, construction types, sizes, and occupancy and encompass the exterior and the interior of historic buildings. The Standards also encompass related landscape features and the building's site and environment as well as attached, adjacent or related new construction.

The Standards are to be applied to specific rehabilitation projects in a reasonable manner, taking into consideration economic and technical feasibility.

1. A property shall be used for its historic purpose or be placed in a new use that requires minimal change to the defining characteristics of the building and its site and environment.
2. The historic character of a property shall be retained and preserved. The removal of historic materials or alteration of features and spaces that characterize a property shall be avoided.
3. Each property shall be recognized as a physical record of its time, place, and use. Changes that create a false sense of historical development, such as adding conjectural features or architectural elements from other buildings, shall not be undertaken.
4. Most properties change over time; those changes that have acquired historic significance in their own right shall be retained and preserved.
5. Distinctive features, finishes, and construction techniques or examples of craftsmanship that characterize a property shall be preserved.
6. Deteriorated historic features shall be repaired rather than replaced. Where the severity of deterioration requires replacement of a distinctive feature, the new feature shall match the old in design, color, texture, and other visual qualities and, where possible, materials. Replacement of missing features shall be substantiated by documentary, physical, or pictorial evidence.

7. Chemical or physical treatments, such as sandblasting, that cause damage to historic materials shall not be used. The surface cleaning of structures, if appropriate, shall be undertaken using the gentlest means possible.

8. Significant archeological resources affected by a project shall be protected and preserved. If such resources must be disturbed, mitigation measures shall be undertaken.

9. New additions, exterior alterations, or related new construction shall not destroy historic materials that characterize the property. The new work shall be differentiated from the old and shall be compatible with the massing, size, scale, and architectural features to protect the historic integrity of the property and its environment.

10. New additions and adjacent or related new construction shall be undertaken in such a manner that if removed in the future, the essential form and integrity of the historic property and its environment would be unimpaired.

Note: To be eligible for Federal tax incentives, a rehabilitation project must meet all ten Standards. The application of these Standards to rehabilitation projects is to be the same as under the previous version so that a project previously acceptable would continue to be acceptable under these Standards.

Certain treatments, if improperly applied, or certain materials by their physical properties, may cause or accelerate physical deterioration of historic buildings. Inappropriate physical treatments include, but are not limited to: improper repainting techniques; improper exterior masonry cleaning methods; or improper introduction of insulation where damage to historic fabric would result. In almost all situations, use of these materials and treatments will result in denial of certification. In addition, every effort should be made to ensure that the new materials and workmanship are compatible with the materials and workmanship of the historic property.

Guidelines to help property owners, developers, and Federal managers apply the Secretary of the Interior's Standards for Rehabilitation are available from the National Park Service, State Historic Preservation Offices, or from the Government Printing Office. For more information write: National Park Service, Preservation Assistance Division-424, P.O. Box 37127, Washington, D.C. 20013-7127.

Link to **Federal Historic Preservation Tax Credits**, posted by the National Park Service. Includes illustrated guidelines for rehabilitating historic buildings.

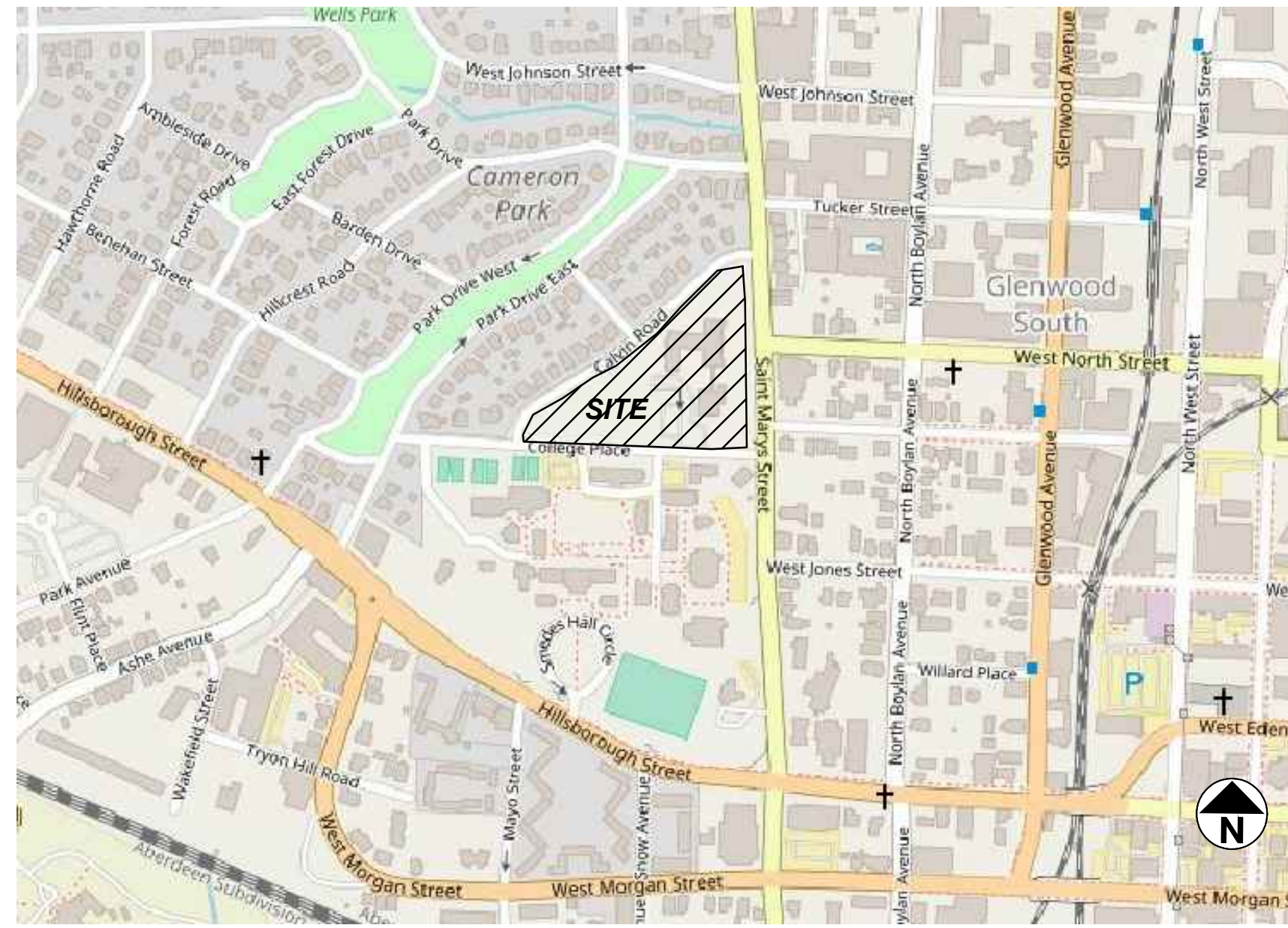
[Historic Preservation Tax Credits Page](#)

[Historic Building Restorations in North Carolina Page](#)

[N.C. State Historic Preservation Office Home Page](#)

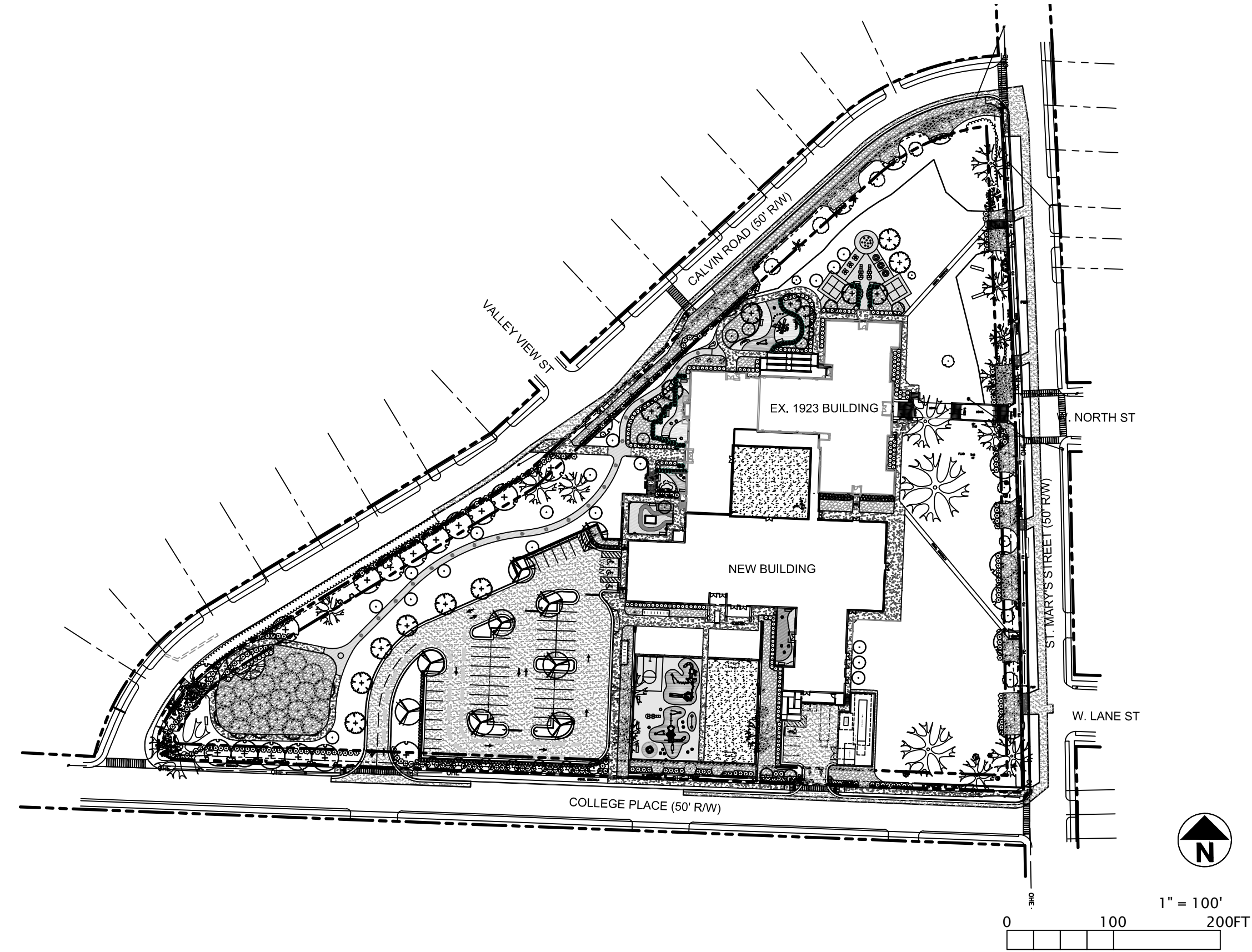
[Office of Archives and History Home Page](#)

HPO HOME SERVICES HPO STAFF ARCHAEOLOGY NATIONAL REGISTER SURVEYS
RESTORATIONS TAX CREDITS COMMISSIONS PUBLICATIONS FEATURES LINKS



VICINITY MAP

SCALE: 1" = 500'



SHEET INDEX

SHEET #	SHEET TITLE
C001	COVER SHEET & NOTES
C101	EXISTING CONDITIONS
C201	DEMOLITION PLAN
C301	SITE PLAN (OVERALL)
C302	SITE PLAN WEST
C303	SITE PLAN EAST
C304	ROADWAY PLAN
C305	ROADWAY PLAN
C306	ROADWAY PLAN
C404	GRADING & DRAINAGE PLAN (OVERALL)
C405	GRADING & DRAINAGE PLAN WEST
C406	GRADING & DRAINAGE PLAN EAST
C501	UTILITY PLAN WEST
C502	UTILITY PLAN EAST
LP101	TREE CONSERVATION PLAN
LP102	LANDSCAPE PLAN (OVERALL)
LP103	LANDSCAPE PLAN WEST
LP104	LANDSCAPE PLAN EAST
A300	BUILDING ELEVATIONS

WILEY ELEMENTARY RENOVATION

ADMINISTRATIVE SITE REVIEW

4TH SUBMITTAL SET

MAY 31, 2018

OWNER INFORMATION:

WAKE COUNTY BOARD OF EDUCATION
1429 ROCK QUARRY ROAD, SUITE 116
RALEIGH, NC 27610

TRANSACTION NUMBER: 539647

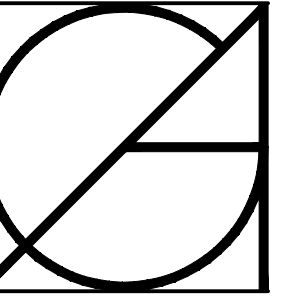
SR-107-17

USE INFORMATION:

PER CITY OF RALEIGH U.D.O. SECTION 6.3.1.D.2.A THROUGH 6.3.1.D.2.F

- A) CONFIRMED WCPSS INSTRUCTION STANDARDS ARE APPROVED BY NC STATE BOARD OF EDUCATION
- B) ENROLLMENT OF 500 STUDENTS x 500 SF = 250,000 SF (5.74 AC). SITE IS 6.47 ACRES IN SIZE.
- C) CONFIRMED, N/A.
- D) CONFIRMED BY TIA TO BE BELOW LEVEL D SERVICE.
- E) NO ABUTTING RESIDENTIAL USE.
- F) TYPE C PROTECTIVE YARDS COMPLIED WITH.

NOTICE: THESE DOCUMENTS ARE INSTRUMENTS OF SERVICE AND AS SUCH REMAIN THE PROPERTY OF THE ARCHITECT. PUBLISHED OR USED IN ANY MANNER WITHOUT THE ARCHITECT'S WRITTEN APPROVAL.



GÜREL ARCHITECTURE

11408 EXECUTIVE CIRCLE
CARY, NORTH CAROLINA 27511
TEL: 919.461.1717 F: 919.461.1716



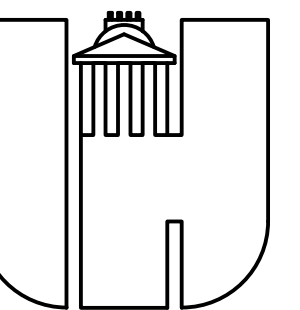
Dewberry Engineers Inc.
Dewberry Engineers Inc.
2610 WYCLIFF ROAD
SUITE 410
RALEIGH, NC 27607
PHONE: 919.881.9639
FAX: 919.881.9923
NCBELS #F-0929



ADDITIONS AND RENOVATIONS

WILEY ELEMENTARY

301 ST. MARY'S STREET
RALEIGH, NC 27603



WAKE COUNTY PUBLIC SCHOOL SYSTEM

RALEIGH, NORTH CAROLINA

COVER SHEET & NOTES

RESPONSE TO CYCLE 1 03.06.2018

RESPONSE TO CYCLE 2 04.18.2018

RESPONSE TO CYCLE 3 05.31.2018

ASR SUBMITTAL

DATE: 05.05.2018

JOB NO: 50087895

DRAWN BY: JR

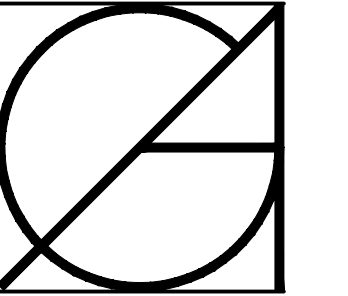
CHECKED BY: DP

APPROVED: LJR

NO: C001

Administrative Site Review Application (for UDO Districts only)		DEVELOPMENT SERVICES DEPARTMENT								
Development Services Customer Service Center 1 Exchange Plaza, Suite 400 Raleigh, NC 27601 919-996-2495 ext 919-996-1831 Litchford Satellite Office: 10329 - 139 Litchford Road Raleigh, NC 27601 919-996-4200										
When submitting plans, please check the appropriate building type and include the Plan Checklist document.										
<table border="1" style="width: 100%; border-collapse: collapse;"> <tr> <th style="width: 50%;">BUILDING TYPE</th> <th style="width: 50%;">FOR OFFICE USE ONLY</th> </tr> <tr> <td> <input type="checkbox"/> Detached <input type="checkbox"/> Attached <input type="checkbox"/> Apartment <input type="checkbox"/> Townhouse </td> <td> Transaction Number Assigned Project Coordinator Assigned Team Leader </td> </tr> </table>		BUILDING TYPE	FOR OFFICE USE ONLY	<input type="checkbox"/> Detached <input type="checkbox"/> Attached <input type="checkbox"/> Apartment <input type="checkbox"/> Townhouse	Transaction Number Assigned Project Coordinator Assigned Team Leader	<table border="1" style="width: 100%; border-collapse: collapse;"> <tr> <td><input checked="" type="checkbox"/> General</td> <td><input type="checkbox"/> Mixed Use</td> <td><input type="checkbox"/> Open Lot</td> </tr> </table>		<input checked="" type="checkbox"/> General	<input type="checkbox"/> Mixed Use	<input type="checkbox"/> Open Lot
BUILDING TYPE	FOR OFFICE USE ONLY									
<input type="checkbox"/> Detached <input type="checkbox"/> Attached <input type="checkbox"/> Apartment <input type="checkbox"/> Townhouse	Transaction Number Assigned Project Coordinator Assigned Team Leader									
<input checked="" type="checkbox"/> General	<input type="checkbox"/> Mixed Use	<input type="checkbox"/> Open Lot								
Has your project previously been through the Due Diligence or Schematic Plan Review process? If yes, provide the transaction #										
GENERAL INFORMATION										
Development Name: Wiley Elementary School										
Zoning District: R-10	Overlay District (if applicable): Cameron Park Transition	Inside City Limits? <input checked="" type="checkbox"/> Yes <input type="checkbox"/> No								
Proposed Use: Public Elementary School										
Property Address(es): 301 St Marys Street		Major Street Location: St Marys Street								
Wake County Property Identification Number(s) for each parcel to which these guidelines will apply:										
P.I.N. 1704.30.2723	P.I.N.	P.I.N.	P.I.N.							
What is your project type? <input type="checkbox"/> Apartment <input type="checkbox"/> Elderly Facilities <input type="checkbox"/> Hospitals <input type="checkbox"/> Hotels/Motels <input type="checkbox"/> Office <input type="checkbox"/> Mixed Residential <input type="checkbox"/> Non-Residential Condo <input type="checkbox"/> School <input type="checkbox"/> Shopping Center <input type="checkbox"/> Banks <input type="checkbox"/> Industrial Building <input type="checkbox"/> Duplex <input type="checkbox"/> Telecommunication Tower <input type="checkbox"/> Religious Institutions <input type="checkbox"/> Residential Condo <input type="checkbox"/> Retail <input type="checkbox"/> Cottage Court <input type="checkbox"/> Other: If other, please describe:										
WORK SCOPE Per City Code Section 10.2.B.D.1, summarize the project work scope. For additions, changes of use, or occupancy (per Chapter 6 of the UDO), indicate impacts on parking requirements. Restoration of existing buildings, new building additions, some site modifications, new storm drainage in right of way, no change in use or occupancy										
DESIGN ADJUSTMENT OR ADMIN ALTERNATE Per City Code Chapter 8, summarize if your project requires either a design adjustment, or Section 10 - Alternate Administrative AE N/A										
CLIENT/DEVELOPER/OWNER Company: Wake County Board of Education Name: AnnaMaria Taylor Address: 1429 Rock Quarry Road, Suite 116 Raleigh, NC 27610 Phone: 919.588.3602 Email: amtaylor@wcpss.net Fax: 919.856.8172										
CONSULTANT (Contact Person for Plans) Company: Dewberry Engineers Inc. Name: Larry J. Ragland Address: 2610 Wycliff Road, Suite 410 Raleigh, Nc 27606 Phone: 919.424.3749 Email: lragland@dewberry.com Fax: 919.881.9923										
PAGE 1 OF 3		WWW.RALEIGHNC.GOV REVISION 05.13.16								

DEVELOPMENT TYPE & SITE DATA TABLE (Applicable to all developments)	
Zoning Information	Building Information
Zoning District(s) R-10	Proposed building use(s) Elementary School
If more than one district, provide the acreage of each: N/A	Existing Building(s) sq. ft. gross 55,990 SF
Overlay District: Cameron Park Transition	Proposed Building(s) sq. ft. gross 43,638 SF
Total Site Acres Inside City Limits <input checked="" type="checkbox"/> Yes <input type="checkbox"/> No 6.47 AC Total	Total sq. ft. gross (existing & proposed) 99,628 SF
Off street parking: Required 49 Provided 62	Proposed height of building(s) 29'-4"
CDA (Certificate of Appropriateness) case # N/A	# of stories 2 (n/w)
BOA (Board of Adjustment) case # A-N/A	Ceiling height of 1 st floor 9'-4" to 22'-8"
CUO (Conditional Use District) case # 2 - N/A	
Stormwater Information	
Existing Impervious Surface 2.66 AC acres/square feet	Flood Hazard Area <input type="checkbox"/> Yes <input checked="" type="checkbox"/> No
Proposed Impervious Surface 3.01 AC acres/square feet	If Yes, please provide:
Neuse River Buffer <input type="checkbox"/> Yes <input checked="" type="checkbox"/> No	Alluvial Soils FEMA Map Panel #
Wetlands <input type="checkbox"/> Yes <input checked="" type="checkbox"/> No	Flood Study
FOR RESIDENTIAL DEVELOPMENTS	
1. Total # Of Apartment, Condominium or Residential Units N/A	5. Bedroom Units: 1br 2br 3br 4br or more N/A
2. Total # Of Congregate Care Or Life Care Dwelling Units N/A	6. Infill Development 2.27 N/A
3. Total Number of Hotel Units N/A	7. Open Space (only) or Amenity N/A
4. Overall Total # Of Dwelling Units (1-6 Above) N/A	8. Is your project a cottage court? <input type="checkbox"/> Yes <input checked="" type="checkbox"/> No
SIGNATURE BLOCK (Applicable to all developments)	
In filing this plan as the property owner(s), I/we do hereby agree and firmly bind ourselves, my/our heirs, executors, administrators, successors and assigns jointly and severally to construct all improvements and make all dedications as shown on this proposed development plan as approved by the City.	
I hereby designate Larry J. Ragland, RLA to serve as my agent regarding this application, to receive and respond to administrative comments, to resubmit plans on my behalf and to represent me in any public meeting regarding this application.	
I/we have read, acknowledge and affirm that this project is conforming to all application requirements applicable with the proposed development use.	
Signed: William C Hartley	Date: 3-6-18
Printed Name: WILLIAM C HARTLEY	
Signed: _____	Date: _____
Printed Name: _____	
PAGE 2 OF 3	
WWW.RALEIGHNC.GOV REVISION 05.13.16	



GÜREL ARCHITECTURE

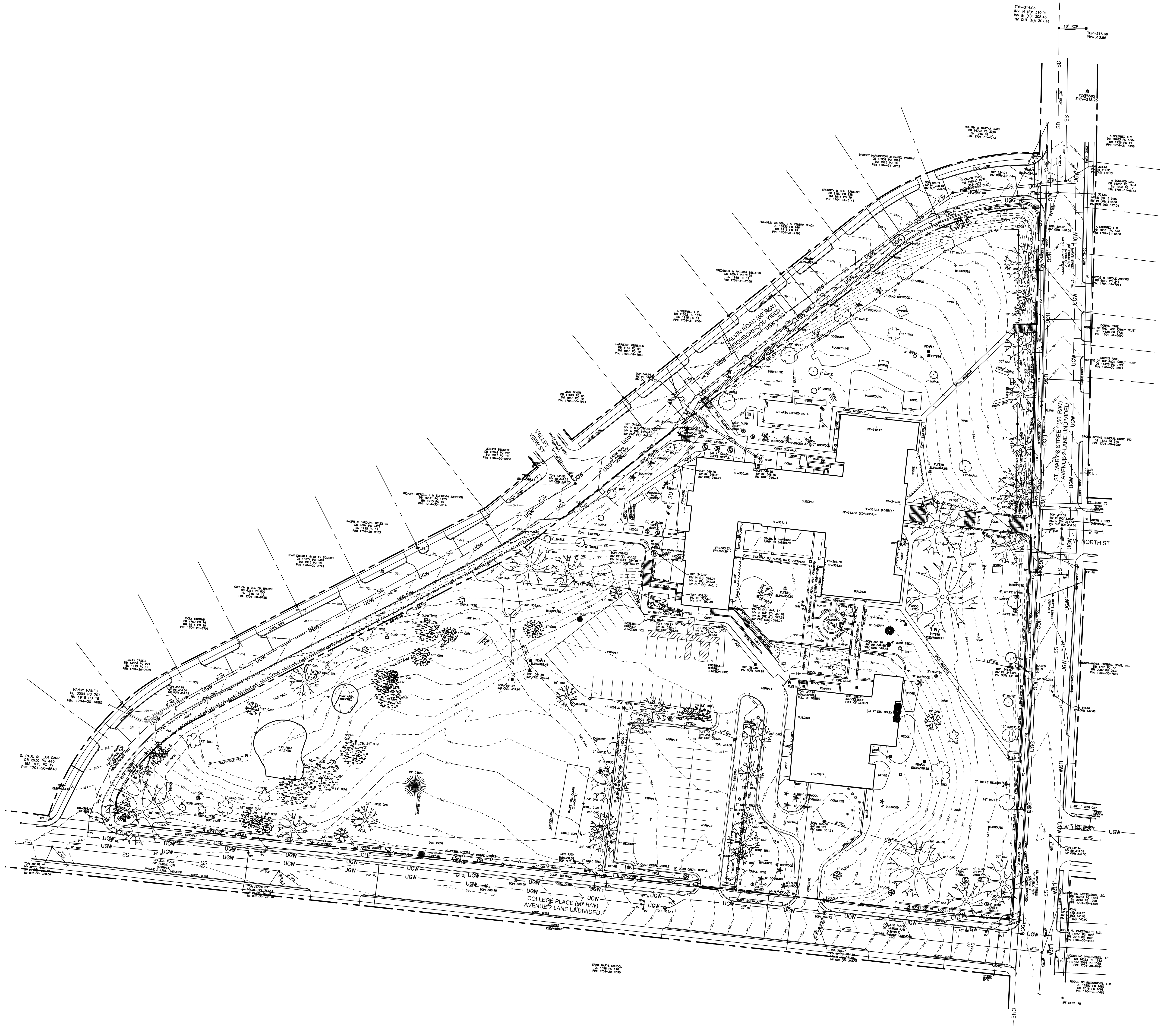
11408 EXECUTIVE CIRCLE
CARY, NORTH CAROLINA 27511
T: 919-461-1717 F: 919-466-1716



Dewberry
Dewberry Engineers Inc.
2610 WYCLIFF ROAD
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RALEIGH, NC 27607
PHONE: 919.881.9939
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NCBELS #F-0929

TOPOGRAPHIC SURVEY NOTES:

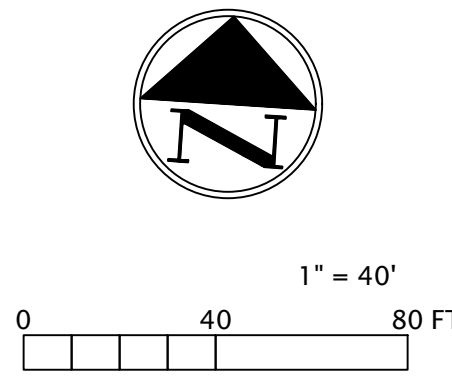
- THIS TOPOGRAPHIC SURVEY IS BASED ON SURVEYS PERFORMED BY DEWBERRY ENGINEERS INC. BETWEEN JANUARY 17, 2017 AND MARCH 23, 2017.
- HORIZONTAL CONTROL (NAD83) AND VERTICAL CONTROL (NAVD88) ESTABLISHED BY GPS OBSERVATIONS AND COMPUTED USING NORTH CAROLINA GEODETIC SOCIETY VIRTUAL REFERENCE STATION SERVICE (VRS). GRID COORDINATED WERE HELD ON POINT #2.
- #1 N: 740893.96 E: 8103616.34 EL: 335.12 (600 NAL)
#2 N: 740450.82 E: 2103618.16 EL: 343.07 (600 NAL)
- NORTH ARROW IS GRID NORTH AND ALL DISTANCES ARE GROUND DISTANCES.
- LOCATIONS OF UTILITIES SHOWN ON THIS SURVEY WERE DETERMINED BY OBSERVED EVIDENCE, LOCATION OF ABOVE GROUND UTILITY APPURTENANCES, AND UTILITY MARKINGS (PAINT, ETC.) PROVIDED BY NC811 WITHIN ROAD RIGHT OF WAYS AND ACCURATE OUTSIDE OF RIGHT OF WAYS. THESE MARKINGS WERE OBSERVED DURING THE COURSE OF THIS SURVEY, WERE FIELD LOCATED, ARE SHOWN FOR INFORMATIONAL PURPOSES, AND SHOULD BE FIELD VERIFIED IF CRITICAL. UNDERGROUND UTILITIES NOT SHOWN, MAY EXIST. STORM SEWER AND SANITARY SEWER DATA HAS BEEN COLLECTED FROM THE RIM OF THE MANHOLE WITHOUT ENTERING THE STRUCTURE. PIPE SIZES AND TYPES SHOULD BE CONSIDERED APPROXIMATE AND BE FIELD VERIFIED IF CRITICAL STRUCTURES LABELED "VALT", IF ANY, INDICATE A SUBSTRUCTURE WITH LIMITED VISUAL ACCESS AND INVERT INFORMATION.



LEGEND

●	DROP INLET
▲	FIRE HYDRANT
△	SURVEY CONTROL
⊕	IRON ROD FOUND
⊙	NAIL FOUND
⊖	UTILITY PEDESTAL
⊕	CABLE TV BOX
⊖	ELECTRIC METER
⊕	ELECTRIC TRANSFORMER
⊖	BELLARD
⊕	GUY WIRE
⊖	MONUMENT FOUND
⊕	POWER POLE
⊖	STORM DRAIN MANHOLE
⊕	CLEANOUT
⊖	GEOTECH TEST HOLE
⊕	BUSH
⊖	DROP INLET GRATE
⊕	UTILITY MARKER POST
⊖	LIGHT POLE
⊕	HANDICAP PARKING
⊖	IRON PIPE FOUND
⊕	UTILITY HANDHOLE
⊖	POST
⊕	SANITARY SEWER MANHOLE
⊖	SILO
⊕	ROAD MARKING
⊖	WATER MANHOLE
⊕	WATER VALVE
⊖	YARD INLET GRATE
⊕	GAS METER
⊖	APPROX. DIRECTION OF UNDERGROUND UTILITY DRAIN/WATER/UNKN
⊕	CHAINLINK FENCE
⊖	GAS LINE
⊕	RIP RAP
⊖	PROPERTY LINE
⊕	UNDERGROUND ELECTRIC
⊖	DIVERSE ELECTRIC
⊕	WATER LINE
⊖	FIBER OPTIC LINE
⊕	FENCE
⊖	CRIB
⊕	STORM DRAIN
⊖	SANITARY SEWER

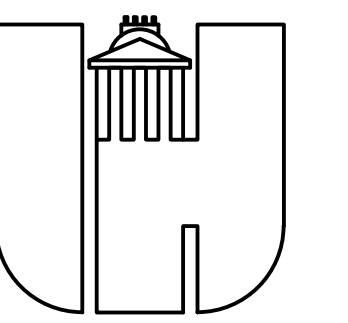
NOTE: EXISTING OFF-SITE SIDEWALKS AND RIGHT-OF-WAY LOCATED FROM USING WAKE COUNTY GIS AND PHOTOGRAPHY.



ADDITIONS AND RENOVATIONS

WILEY ELEMENTARY

301 ST. MARY'S STREET
RALEIGH, NC 27603



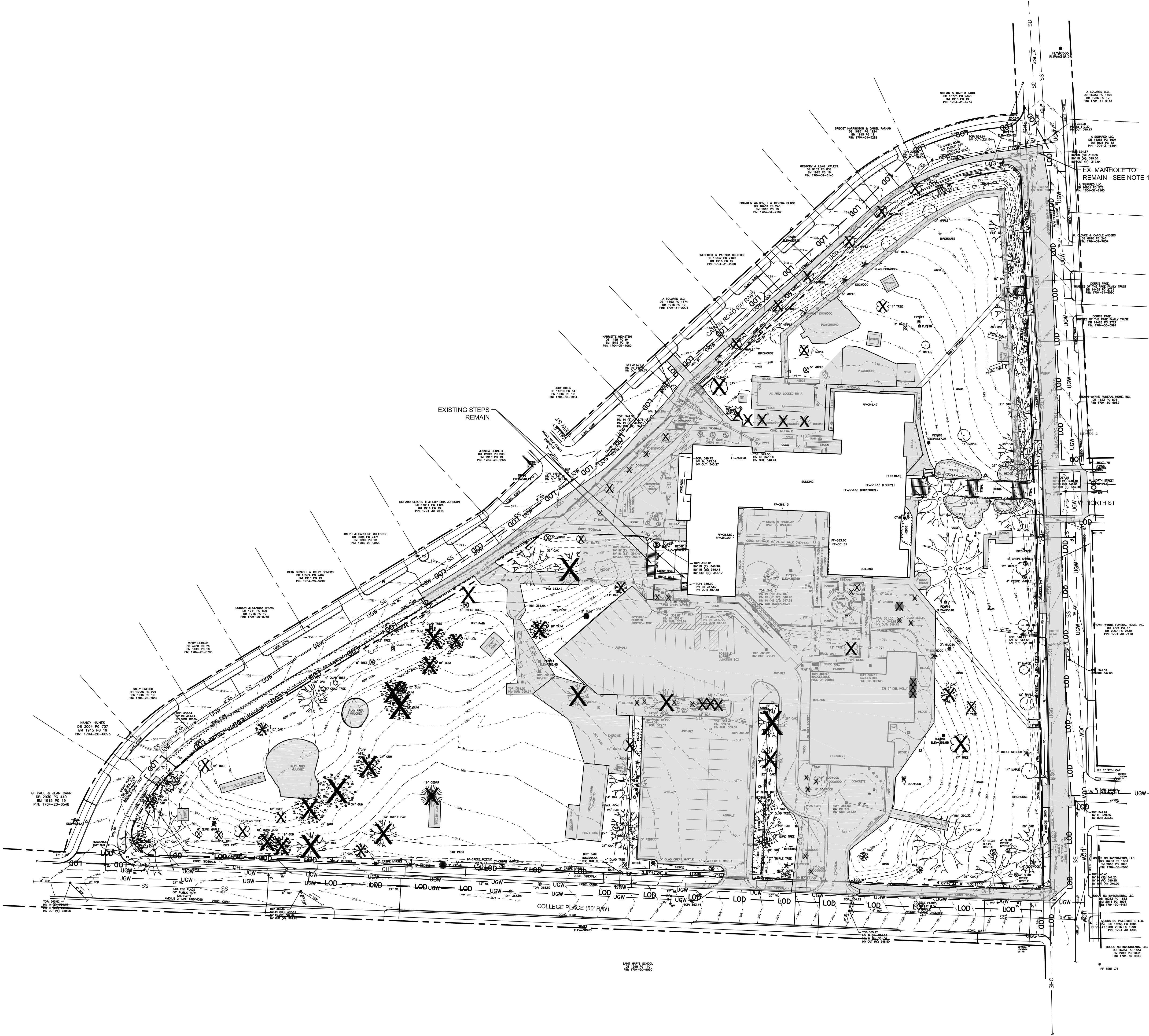
WAKE COUNTY PUBLIC SCHOOL SYSTEM
RALEIGH, NORTH CAROLINA

EXISTING CONDITIONS

RESPONSE TO CYCLE 1 03.06.2018
RESPONSE TO CYCLE 2 04.18.2018
RESPONSE TO CYCLE 3 05.31.2018

ASR SUBMITTAL
DATE: 05.05.2018
JOB NO: 50087865
DRAWN BY: JR
CHECKED BY: DP
APPROVED: LJR

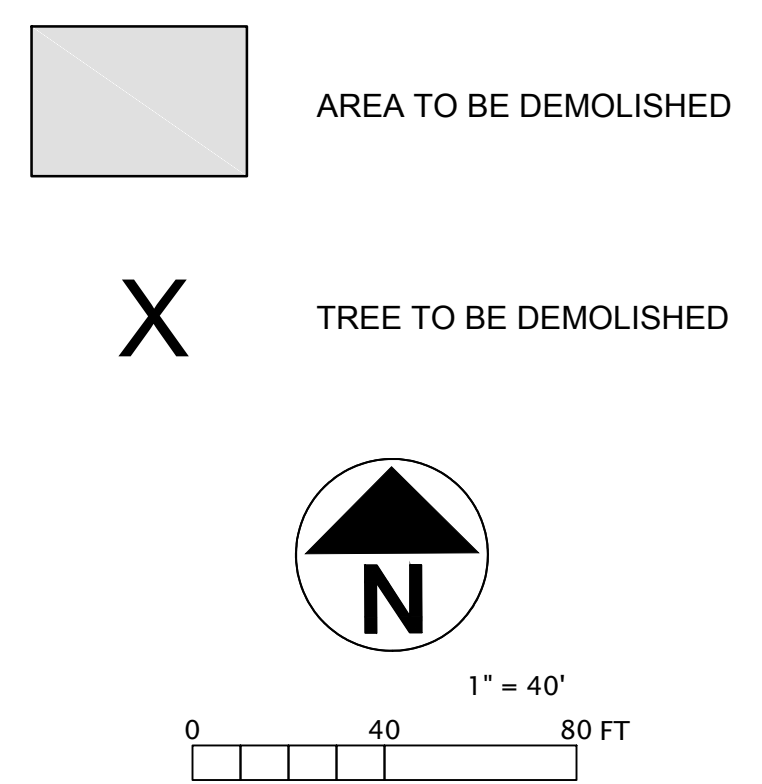
NO: C101



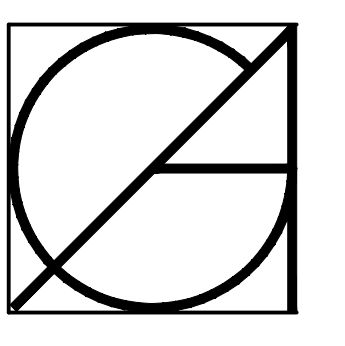
DEMOLITION NOTES: (FOR SITE DEMOLITION ONLY)

- EXISTING STORM DRAINAGE:** FROM EXISTING MANHOLE AT THE INTERSECTION OF ST. MARY'S STREET AND CALVIN ROAD, REMOVE, AND DISPOSE OF ALL UPSTREAM STORM DRAIN PIPING, STRUCTURES, FOOTINGS, GRATE & FRAMES, ROOF DRAIN COLLECTION PIPING, CONDENSER DRAINS, AND ANY STORM WATER CONVEYANCE ASSOCIATED WITH THE EXISTING STORM DRAINAGE SYSTEM.
- SIGNAGE:** RECYCLE AS APPROPRIATE.
- EXISTING PAVEMENT:** ASPHALT PAVING AND STONE BASE, CONCRETE CURB & GUTTER, CONCRETE AND BRICK WALKS, AND GRAVEL SURFACES INDICATED FOR DEMOLITION SHALL BE REMOVED AND LEGALLY DISPOSED OF OFF-SITE AT AN APPROVED LAND FILL AREA PROPERLY PERMITTED FOR SUCH DISPOSAL. ASPHALT SHOULD BE RECYCLED FOR FUTURE USE IF POSSIBLE.
- EXISTING SHRUBS & TREES:** EXISTING SHRUBS AND TREES DESIGNATED ON THE DRAWINGS TO BE REMOVED SHALL BE LEGALLY DISPOSED OF OFF-SITE AT AN APPROVED LOCATION. SMALL BRUSH, LIMBS, AND BRANCHES SHALL BE SHREDDED ON-SITE FOR MULCH AND STOCKPILED FOR USE ON THIS PROJECT. LARGER WOOD PRODUCTS SHALL BE REMOVED FROM THE SITE. ALL TREE STUMPS AND ROOTS LARGER THAN 2" DIAMETER MUST BE COMPLETELY REMOVED TO A MINIMUM OF 30" BELOW THE PROPOSED FINISHED GRADE ELEVATION.
- EXISTING SITE BENCHES & TRASH RECEPTACLES:** REMOVE ALL SITE BENCHES AND TRASH RECEPTACLES IN CONSTRUCTION AFFECTED AREA AND DELIVER TO THE OWNER FOR STORAGE AND/OR FUTURE USE. EVERY EFFORT SHOULD BE MADE TO PRESERVE THE FUNCTIONALITY AND USEFULNESS OF THE EQUIPMENT WHEN REMOVING.
- EXISTING CHAIN-LINK FENCING:** RECYCLE AS APPROPRIATE.

DEMOLITION LEGEND



NOTICE: THESE DOCUMENTS ARE INSTRUMENTS OF SERVICE AND AS SUCH REMAIN THE PROPERTY OF THE ARCHITECT. IF THE ARCHITECT'S WRITTEN APPROVAL



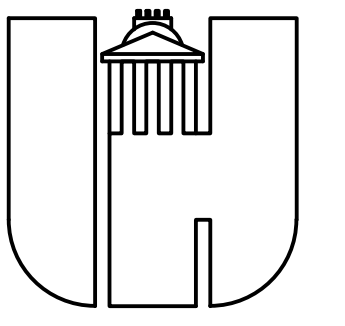
GÜREL
ARCHITECTURE
1145B EXECUTIVE CIRCLE
CARY, NORTH CAROLINA 27511
1.919.468.1717 F.919.468.1716

Dewberry
Dewberry Engineers Inc.
2810 WYCLIFF ROAD
SUITE 410
RALEIGH, NC 27607
PHONE: 919.881.9639
FAX: 919.881.9623
NCBSLS #F-0529

ADDITIONS AND RENOVATIONS

WILEY
ELEMENTARY

301 ST. MARY'S STREET
RALEIGH, NC 27603



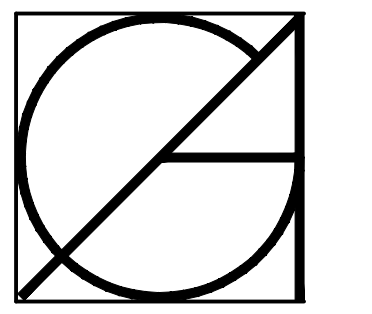
WAKE COUNTY
PUBLIC SCHOOL SYSTEM
RALEIGH, NORTH CAROLINA

SITE
DEMOLITION
PLAN

RESPONSE TO CYCLE 1 03.06.2018
RESPONSE TO CYCLE 2 04.18.2018
RESPONSE TO CYCLE 3 05.31.2018

ASR SUBMITTAL
DATE: 05.05.2018
JOB NO: 50087805
DRAWN BY: JR
CHECKED BY: DP
APPROVED: LJR

NO: C201



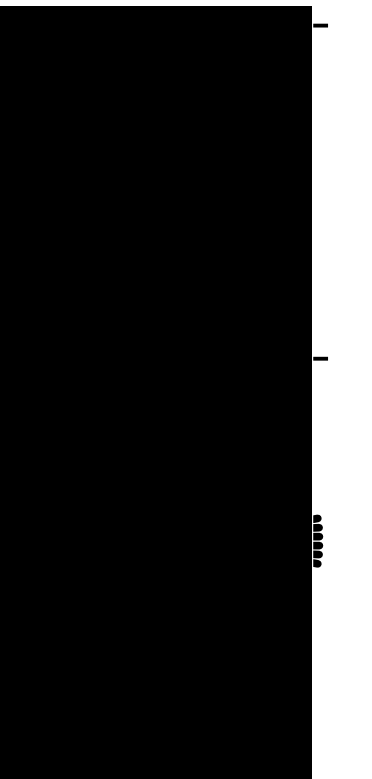
GÜREL ARCHITECTURE

1145B EXECUTIVE CIRCLE
CARY, NORTH CAROLINA 27511
T: 919-468-1717 F: 919-468-1716



Dewberry

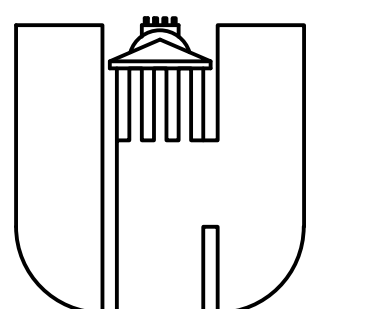
Dewberry Engineers Inc.
3019 WYCLIFF ROAD
SUITE 410
RALEIGH, NC 27607
PHONE: 919-881-9639
FAX: 919-881-9623
NCBELS #F-5929



ADDITIONS AND RENOVATIONS

WILEY ELEMENTARY

301 ST. MARY'S STREET
RALEIGH, NC 27603



WAKE COUNTY PUBLIC SCHOOL SYSTEM

RALEIGH, NORTH CAROLINA

SITE PLAN (WEST)

RESPONSE TO CYCLE 1 03.06.2018
RESPONSE TO CYCLE 2 04.18.2018
RESPONSE TO CYCLE 3 05.31.2018

ASR SUBMITTAL

DATE: 05.05.2018

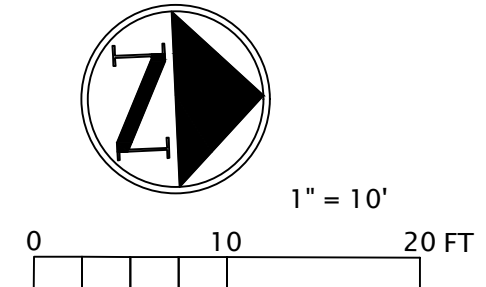
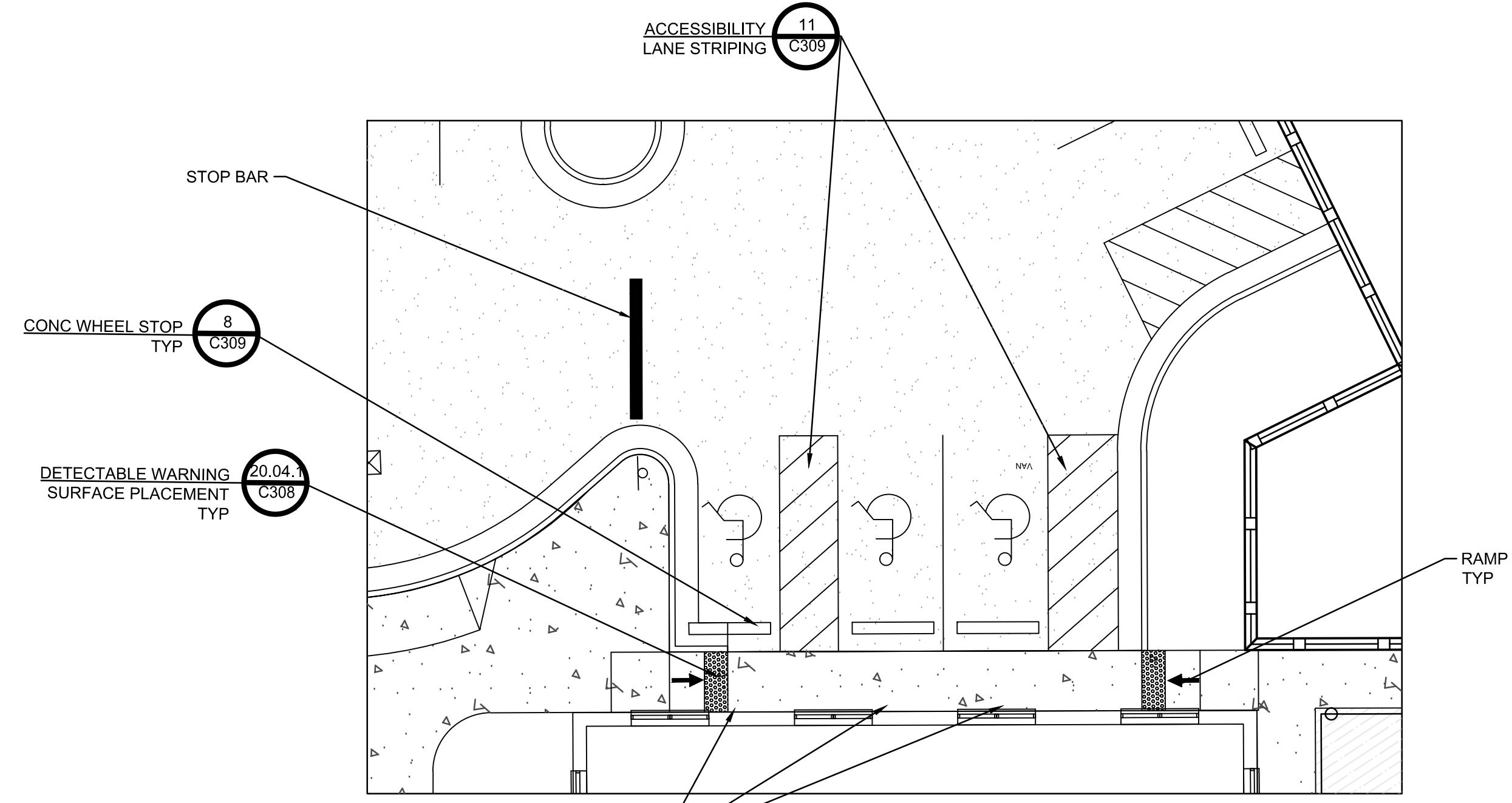
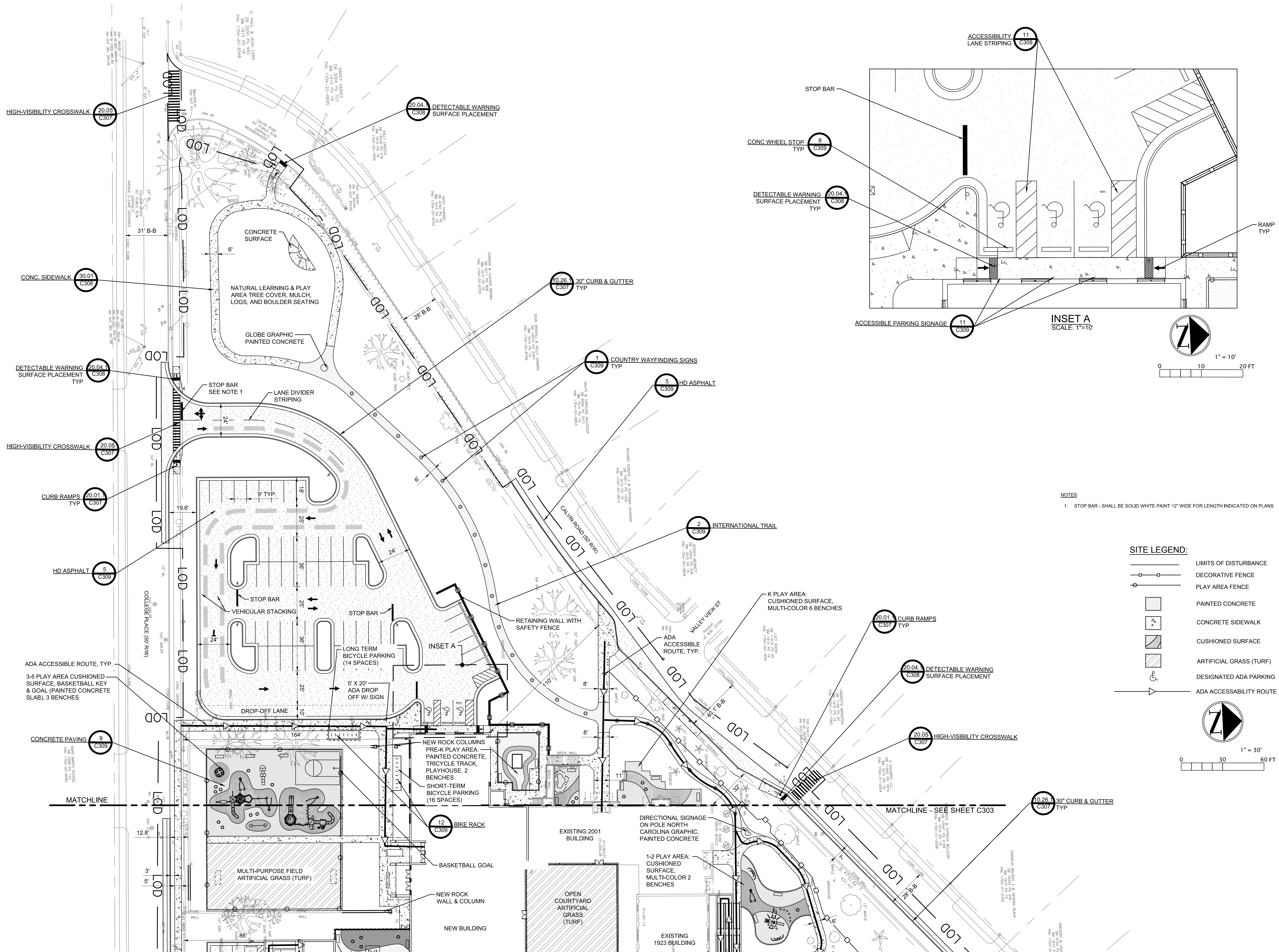
JOB NO: 50067805

DRAWN BY: JR

CHECKED BY: DP

APPROVED: LJR

NO: C302

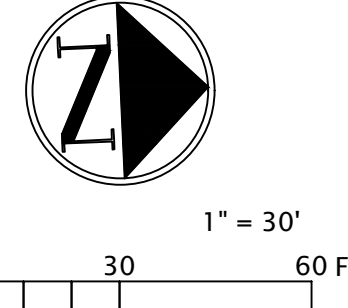


NOTES:

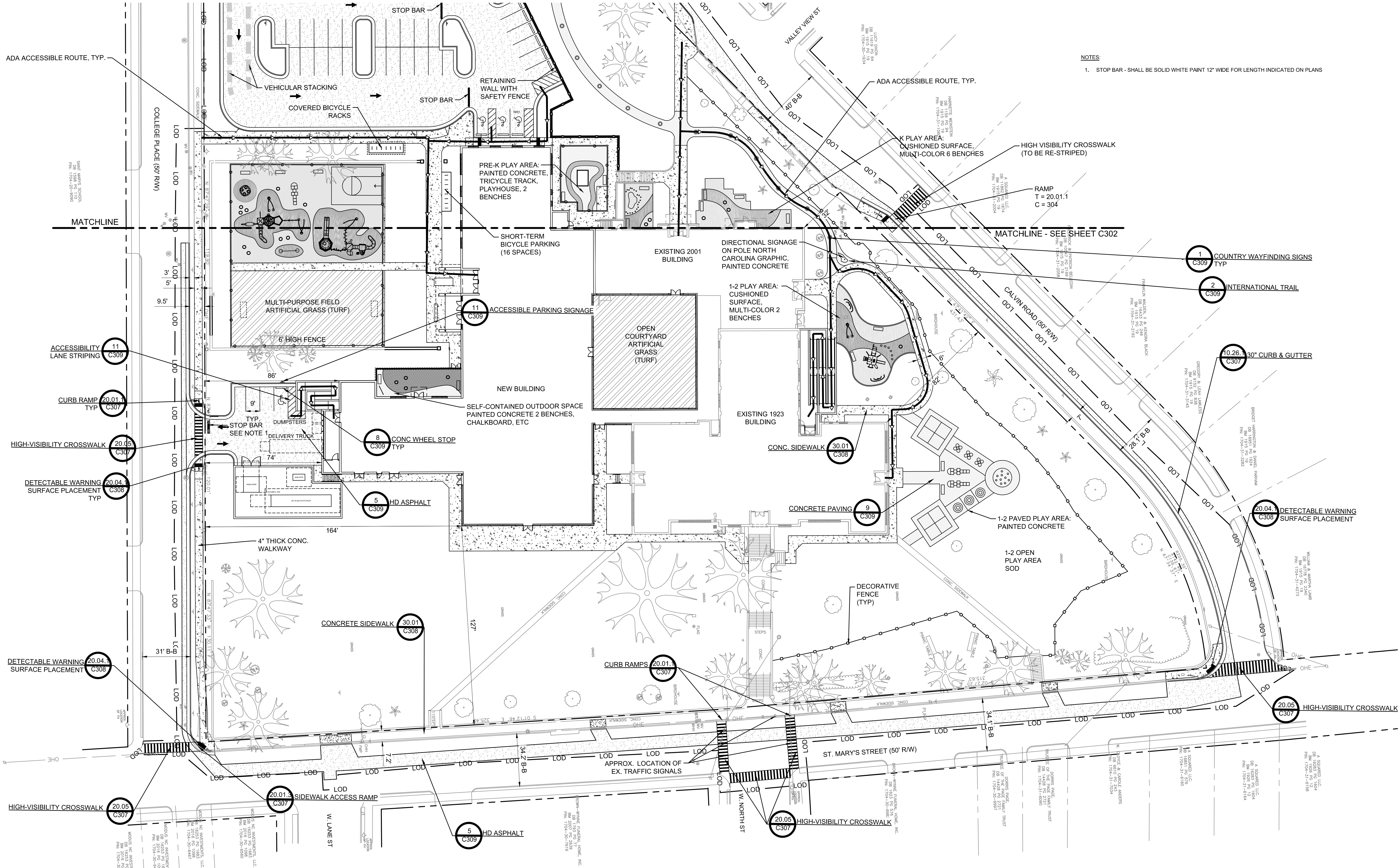
1. STOP BAR - SHALL BE SOLID WHITE PAINT 12" WIDE FOR LENGTH INDICATED ON PLANS

SITE LEGEND:

- LIMITS OF DISTURBANCE
- DECORATIVE FENCE
- PLAY AREA FENCE
- PAINTED CONCRETE
- CONCRETE SIDEWALK
- CUSHIONED SURFACE
- ARTIFICIAL GRASS (TURF)
- ⊕ DESIGNATED ADA PARKING
- ADA ACCESSIBILITY ROUTE



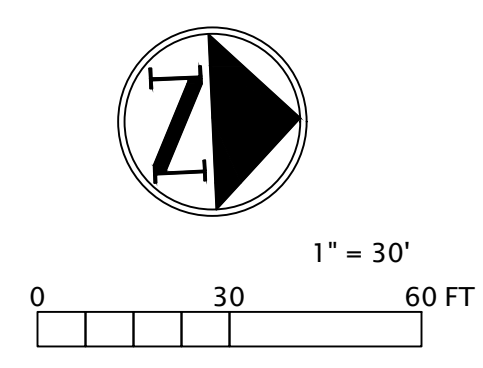
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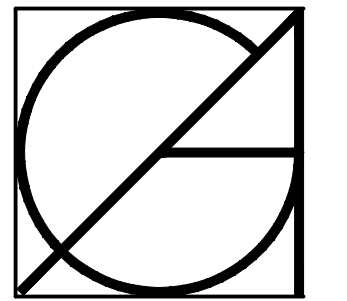
NOTES:
 1. STOP BAR - SHALL BE SOLID WHITE PAINT 12" WIDE FOR LENGTH INDICATED ON PLANS

SITE LEGEND:

	LIMITS OF DISTURBANCE
	DECORATIVE FENCE
	PLAY AREA FENCE
	PAINTED CONCRETE
	CONCRETE SIDEWALK
	CUSHIONED SURFACE
	ARTIFICIAL GRASS (TURF)
	DESIGNATED ADA PARKING
	ADA ACCESSIBILITY ROUTE

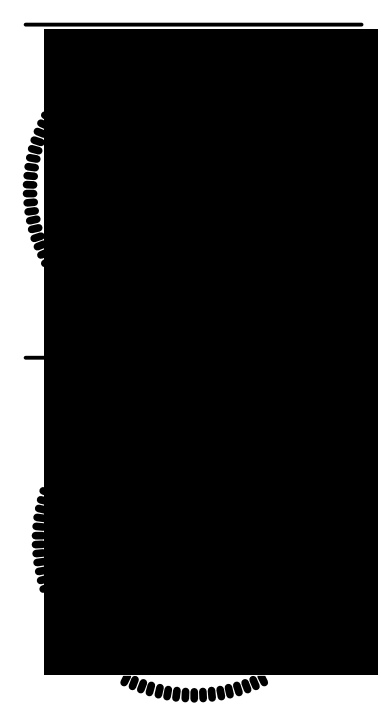


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GÜREL ARCHITECTURE
 1145B EXECUTIVE CIRCLE
 CARY, NORTH CAROLINA 27511
 T: 919-462-1717 F: 919-462-1716

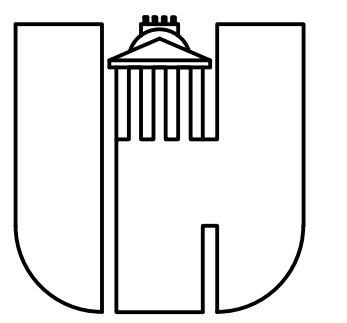
Dewberry
 Dewberry Engineers Inc.
 2610 WYCLIFF ROAD
 SUITE 410
 RALEIGH, NC 27607
 PHONE: 919-881-9999
 FAX: 919-881-9929
 NCBELS #F-0929



ADDITIONS AND RENOVATIONS

WILEY ELEMENTARY

301 ST. MARY'S STREET
 RALEIGH, NC 27603



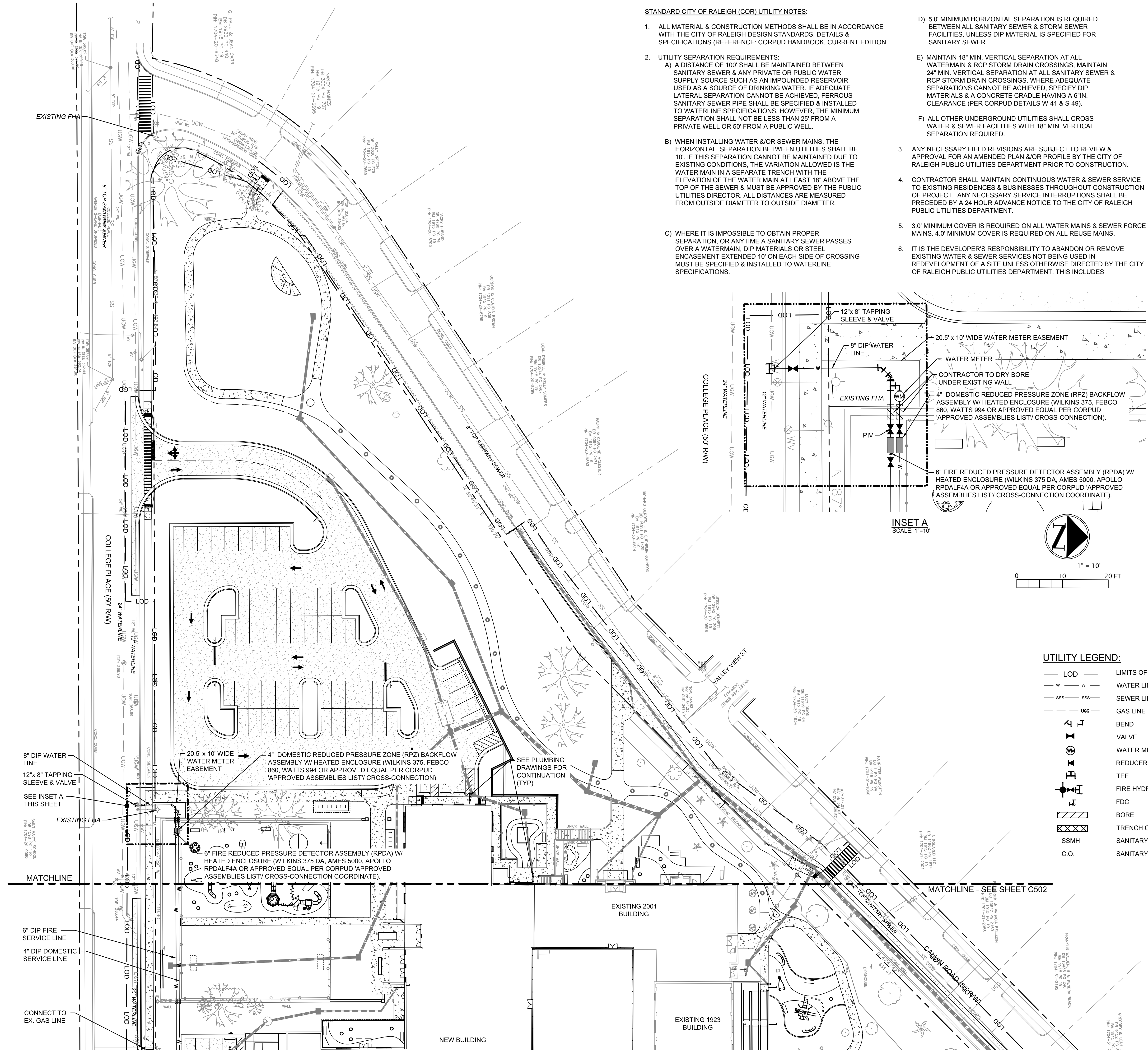
WAKE COUNTY PUBLIC SCHOOL SYSTEM
 RALEIGH, NORTH CAROLINA

SITE PLAN (EAST)

RESPONSE TO CYCLE 1 03.06.2018
 RESPONSE TO CYCLE 2 04.18.2018
 RESPONSE TO CYCLE 3 05.31.2018

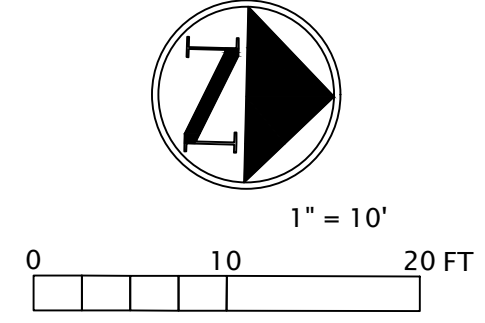
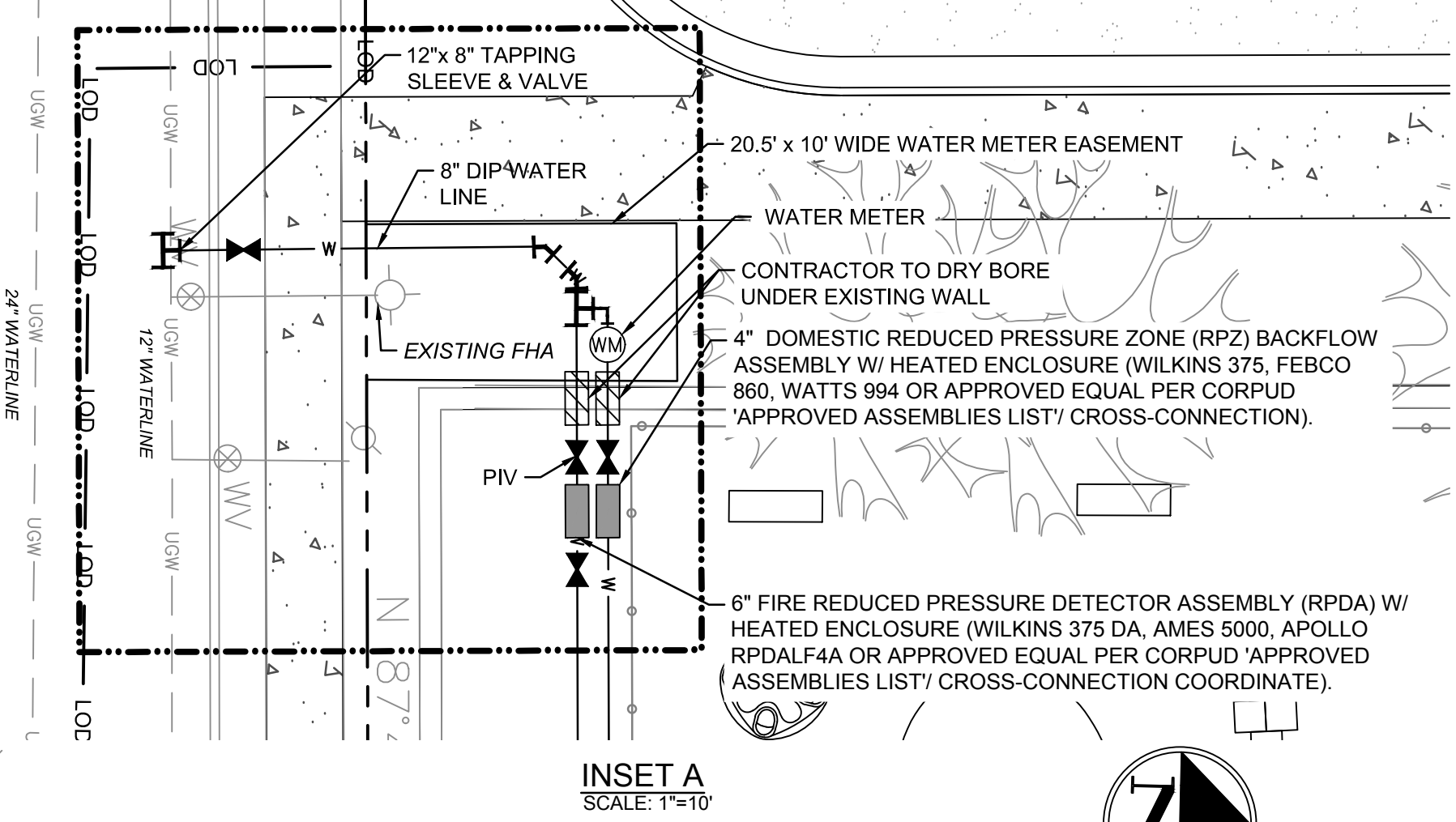
ASR SUBMITTAL
 DATE: 05.05.2018
 JOB NO: 50067865
 DRAWN BY: JR
 CHECKED BY: DP
 APPROVED: LJR

NO: C303



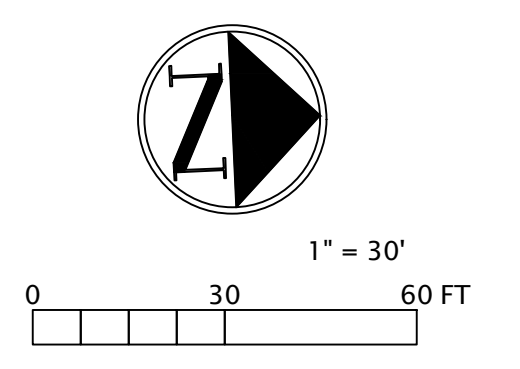
STANDARD CITY OF RALEIGH (COR) UTILITY NOTES:

- ALL MATERIAL & CONSTRUCTION METHODS SHALL BE IN ACCORDANCE WITH THE CITY OF RALEIGH DESIGN STANDARDS, DETAILS & SPECIFICATIONS (REFERENCE: CORPUD HANDBOOK, CURRENT EDITION).
- UTILITY SEPARATION REQUIREMENTS:
 - A DISTANCE OF 100' SHALL BE MAINTAINED BETWEEN SANITARY SEWER & ANY PRIVATE OR PUBLIC WATER SUPPLY SOURCE SUCH AS AN IMPOUNDED RESERVOIR USED AS A SOURCE OF DRINKING WATER. IF ADEQUATE LATERAL SEPARATION CANNOT BE ACHIEVED, FERROUS SANITARY SEWER PIPE SHALL BE SPECIFIED & INSTALLED TO WATERLINE SPECIFICATIONS. HOWEVER, THE MINIMUM SEPARATION SHALL NOT BE LESS THAN 25' FROM A PRIVATE WELL OR 50' FROM A PUBLIC WELL.
 - WHEN INSTALLING WATER &/OR SEWER MAINS, THE HORIZONTAL SEPARATION BETWEEN UTILITIES SHALL BE 10'. IF THIS SEPARATION CANNOT BE MAINTAINED DUE TO EXISTING CONDITIONS, THE VARIATION ALLOWED IS THE WATER MAIN IN A SEPARATE TRENCH WITH THE ELEVATION OF THE WATER MAIN AT LEAST 18" ABOVE THE TOP OF THE SEWER & MUST BE APPROVED BY THE PUBLIC UTILITIES DIRECTOR. ALL DISTANCES ARE MEASURED FROM OUTSIDE DIAMETER TO OUTSIDE DIAMETER.
 - WHERE IT IS IMPOSSIBLE TO OBTAIN PROPER SEPARATION, OR ANYTIME A SANITARY SEWER PASSES OVER A WATERMAIN, DIP MATERIALS OR STEEL ENCASUREMENT EXTENDED 10' ON EACH SIDE OF CROSSING MUST BE SPECIFIED & INSTALLED TO WATERLINE SPECIFICATIONS.
- ANY NECESSARY FIELD REVISIONS ARE SUBJECT TO REVIEW & APPROVAL FOR AN AMENDED PLAN &/OR PROFILE BY THE CITY OF RALEIGH PUBLIC UTILITIES DEPARTMENT PRIOR TO CONSTRUCTION.
- CONTRACTOR SHALL MAINTAIN CONTINUOUS WATER & SEWER SERVICE TO EXISTING RESIDENCES & BUSINESSES THROUGHOUT CONSTRUCTION OF PROJECT. ANY NECESSARY SERVICE INTERRUPTIONS SHALL BE PRECEDED BY A 24 HOUR ADVANCE NOTICE TO THE CITY OF RALEIGH PUBLIC UTILITIES DEPARTMENT.
- 3.0' MINIMUM COVER IS REQUIRED ON ALL WATER MAINS & SEWER FORCE MAINS. 4.0' MINIMUM COVER IS REQUIRED ON ALL REUSE MAINS.
- IT IS THE DEVELOPER'S RESPONSIBILITY TO ABANDON OR REMOVE EXISTING WATER & SEWER SERVICES NOT BEING USED IN REDEVELOPMENT OF A SITE UNLESS OTHERWISE DIRECTED BY THE CITY OF RALEIGH PUBLIC UTILITIES DEPARTMENT. THIS INCLUDES:
 - 5.0' MINIMUM HORIZONTAL SEPARATION IS REQUIRED BETWEEN ALL SANITARY SEWER & STORM SEWER FACILITIES, UNLESS DIP MATERIAL IS SPECIFIED FOR SANITARY SEWER.
 - MAINTAIN 18" MIN. VERTICAL SEPARATION AT ALL WATERMAIN & RCP STORM DRAIN CROSSINGS; MAINTAIN 24" MIN. VERTICAL SEPARATION AT ALL SANITARY SEWER & RCP STORM DRAIN CROSSINGS, WHERE ADEQUATE SEPARATIONS CANNOT BE ACHIEVED, SPECIFY DIP MATERIALS & A CONCRETE CRADLE HAVING A 6"IN. CLEARANCE (PER CORPUD DETAILS W-41 & S-49).
 - ALL OTHER UNDERGROUND UTILITIES SHALL CROSS WATER & SEWER FACILITIES WITH 18" MIN. VERTICAL SEPARATION REQUIRED.



UTILITY LEGEND:

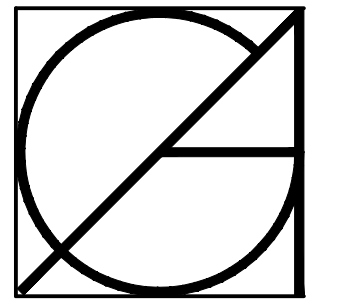
— LOD —	LIMITS OF DISTURBANCE
— W — W —	WATER LINE
— SSS — SSS —	SEWER LINE
— GSS — GSS —	GAS LINE
⌋	BEND
⊕	VALVE
⊙	WATER METER
⊘	REDUCER
⊕	TEE
⊕	FIRE HYDRANT ASSEMBLY
⊕	FDC
⊕	BORE
⊕	TRENCH CUT
⊕	SSMH
C.O.	SANITARY SEWER CLEANOUT



UTILITY NOTES:

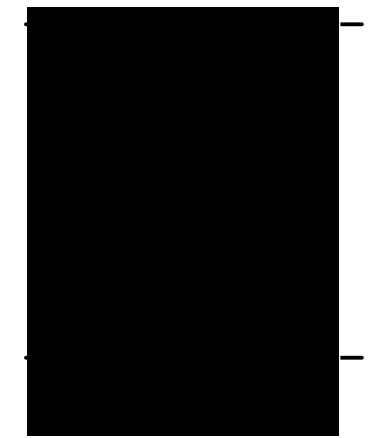
- ALL CONSTRUCTION AND MATERIAL SHALL BE IN ACCORDANCE WITH STANDARDS AND SPECIFICATIONS OF THE CITY OF RALEIGH.
- CONTRACTOR SHALL CONTACT NC ONE-CALL AT 1-800-632-4949 FOR UTILITY LOCATIONS PRIOR TO CONSTRUCTION. CONTRACTOR SHALL ALSO NOTIFY THE CITY OF RALEIGH PRIOR TO COMMENCING WORK.
- THE LOCATION AND ELEVATION OF EXISTING UTILITIES SHOWN ARE APPROXIMATE. CONTRACTOR SHALL FIELD-LOCATE ALL EXISTING UTILITIES (SHOWN AND NOT SHOWN) PRIOR TO CONSTRUCTION. THE CONTRACTOR SHALL IMMEDIATELY REPORT ALL FINDINGS TO ENGINEER SO ANY UTILITY CONFLICTS CAN BE RESOLVED. ANY DAMAGE TO EXISTING UTILITIES INCURRED DURING FIELD-VERIFICATION AND CONSTRUCTION IS THE RESPONSIBILITY OF THE CONTRACTOR AND IS TO BE REPAIRED AT THE CONTRACTORS EXPENSE.
- CONTRACTOR TO MAINTAIN EXISTING SEWER SERVICE AND CONNECTIONS AT ALL TIMES, UNLESS OTHERWISE APPROVED BY THE OWNER. ANY DAMAGED CONNECTIONS SHALL BE REPLACED AT NO ADDITIONAL COST TO THE OWNER.
- CONTRACTOR TO PROVIDE NEW SANITARY SEWER SERVICE CONNECTIONS AS SHOWN. ALL WORK SHALL BE CONDUCTED IN ACCORDANCE WITH CITY OF RALEIGH STANDARDS AND SPECIFICATIONS AND/OR NORTH CAROLINA PLUMBING CODE.
- CONTRACTOR SHALL REPAIR ALL CURB, GUTTERS, SIDEWALKS AND ROADWAY DAMAGED DURING CONSTRUCTION.
- CONTRACTOR TO COORDINATE CONNECTION OF SEWER SERVICE LINES TO CLEANOUT (AS SHOWN) 5 FEET FROM FACE OF BUILDING BY PLUMBING CONTRACTOR. CONTRACTOR SHALL FIELD ADJUST AS NECESSARY TO INSTALL NEW GREASE INTERCEPTOR AND ASSOCIATED FITTING AND PIPING. ALL WORK TO CONFORM TO CITY OF RALEIGH, STATE AND PLUMBING BUILDING CODE STANDARDS AND SPECIFICATIONS.
- GAS LINE FOR NEW NEW MECHANICAL EQUIPMENT TO BE CONNECTED TO EXISTING GAS SERVICE LOCATED ON WEST SIDE OF THE BUILDING AND BE ROUTED ALONG THE BUILDING/ ROOF TO SERVE THE EQUIPMENT. FINAL ROUTE PROVIDED BY UTILITY PROVIDER (PSNC), NATURAL GAS DESIGN AND INSTALLATION IS PROVIDED BY OTHERS AND NOT PART OF THIS CONTRACT. SEE BUILDING AND MECHANICAL PLANS FOR ADDITIONAL INFORMATION.

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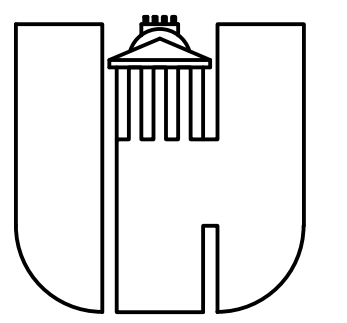
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 NCBELS #F-0929



ADDITIONS AND RENOVATIONS

WILEY ELEMENTARY

301 ST. MARY'S STREET
 RALEIGH, NC 27603



WAKE COUNTY PUBLIC SCHOOL SYSTEM
 RALEIGH, NORTH CAROLINA

UTILITY PLAN WEST

RESPONSE TO CYCLE 1 03.06.2018
 RESPONSE TO CYCLE 2 04.18.2018
 RESPONSE TO CYCLE 3 05.31.2018

ASR SUBMITTAL
 DATE: 05.05.2018
 JOB NO: 50067865
 DRAWN BY: JR
 CHECKED BY: DP
 APPROVED: HW

NO: C501

UTILITY NOTES:

- ALL CONSTRUCTION AND MATERIAL SHALL BE IN ACCORDANCE WITH STANDARDS AND SPECIFICATIONS OF THE CITY OF RALEIGH.
- CONTRACTOR SHALL CONTACT NC ONE-CALL AT 1-800-632-4949 FOR UTILITY LOCATIONS PRIOR TO CONSTRUCTION. CONTRACTOR SHALL ALSO NOTIFY THE CITY OF RALEIGH PRIOR TO COMMENCING WORK.
- THE LOCATION AND ELEVATION OF EXISTING UTILITIES SHOWN ARE APPROXIMATE. CONTRACTOR SHALL FIELD-LOCATE ALL EXISTING UTILITIES (SHOWN AND NOT SHOWN) PRIOR TO CONSTRUCTION. THE CONTRACTOR SHALL IMMEDIATELY REPORT ALL FINDINGS TO ENGINEER SO ANY UTILITY CONFLICTS CAN BE RESOLVED. ANY DAMAGE TO EXISTING UTILITIES INCURRED DURING FIELD-VERIFICATION AND CONSTRUCTION IS THE RESPONSIBILITY OF THE CONTRACTOR AND IS TO BE REPAIRED AT THE CONTRACTORS EXPENSE.
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- GAS LINE FOR NEW NEW MECHANICAL EQUIPMENT TO BE CONNECTED TO EXISTING GAS SERVICE LOCATED ON WEST SIDE OF THE BUILDING AND BE ROUTED ALONG THE BUILDING/ ROOF TO SERVE THE EQUIPMENT. FINAL ROUTE PROVIDED BY UTILITY PROVIDER (PNSC). NATURAL GAS DESIGN AND INSTALLATION IS PROVIDED BY OTHERS AND NOT PART OF THIS CONTRACT. SEE BUILDING AND MECHANICAL PLANS FOR ADDITIONAL INFORMATION.

STANDARD CITY OF RALEIGH (COR) UTILITY NOTES:

- ALL MATERIAL & CONSTRUCTION METHODS SHALL BE IN ACCORDANCE WITH THE CITY OF RALEIGH DESIGN STANDARDS, DETAILS & SPECIFICATIONS (REFERENCE: CORPUD HANDBOOK, CURRENT EDITION).
- UTILITY SEPARATION REQUIREMENTS:
 - A DISTANCE OF 100" SHALL BE MAINTAINED BETWEEN SANITARY SEWER & ANY PRIVATE OR PUBLIC WATER SUPPLY SOURCE SUCH AS AN IMPOUNDED RESERVOIR USED AS A SOURCE OF DRINKING WATER. IF ADEQUATE LATERAL SEPARATION CANNOT BE ACHIEVED, FERROUS SANITARY SEWER PIPE SHALL BE SPECIFIED & INSTALLED TO WATERLINE SPECIFICATIONS. HOWEVER, THE MINIMUM SEPARATION SHALL NOT BE LESS THAN 25" FROM A PRIVATE WELL OR 50" FROM A PUBLIC WELL.
 - WHEN INSTALLING WATER &/OR SEWER MAINS, THE HORIZONTAL SEPARATION BETWEEN UTILITIES SHALL BE 10". IF THIS SEPARATION CANNOT BE MAINTAINED DUE TO EXISTING CONDITIONS, THE VARIATION ALLOWED IS THE WATER MAIN IN A SEPARATE TRENCH WITH THE ELEVATION OF THE WATER MAIN AT LEAST 18" ABOVE THE TOP OF THE SEWER & MUST BE APPROVED BY THE PUBLIC UTILITIES DIRECTOR. ALL DISTANCES ARE MEASURED FROM OUTSIDE DIAMETER TO OUTSIDE DIAMETER.

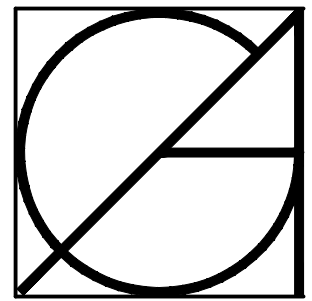
- WHERE IT IS IMPOSSIBLE TO OBTAIN PROPER SEPARATION, OR ANYTIME A SANITARY SEWER PASSES OVER A WATERMAIN, DIP MATERIALS OR STEEL ENCASMENT EXTENDED 10" ON EACH SIDE OF CROSSING MUST BE SPECIFIED & INSTALLED TO WATERLINE SPECIFICATIONS.
- 5.0' MINIMUM HORIZONTAL SEPARATION IS REQUIRED BETWEEN ALL SANITARY SEWER & STORM SEWER FACILITIES, UNLESS DIP MATERIAL IS SPECIFIED FOR SANITARY SEWER.
- MAINTAIN 18" MIN. VERTICAL SEPARATION AT ALL WATERMAIN & RCP STORM DRAIN CROSSINGS; MAINTAIN 24" MIN. VERTICAL SEPARATION AT ALL SANITARY SEWER & RCP STORM DRAIN CROSSINGS. WHERE ADEQUATE SEPARATIONS CANNOT BE ACHIEVED, SPECIFY DIP MATERIALS & A CONCRETE CRADLE HAVING A 6" IN. CLEARANCE (PER CORPUD DETAILS W-41 & S-49).
- ALL OTHER UNDERGROUND UTILITIES SHALL CROSS WATER & SEWER FACILITIES WITH 18" MIN. VERTICAL SEPARATION REQUIRED.

- ANY NECESSARY FIELD REVISIONS ARE SUBJECT TO REVIEW & APPROVAL FOR AN AMENDED PLAN &/OR PROFILE BY THE CITY OF RALEIGH PUBLIC UTILITIES DEPARTMENT PRIOR TO CONSTRUCTION.
- CONTRACTOR SHALL MAINTAIN CONTINUOUS WATER & SEWER SERVICE TO EXISTING RESIDENCES & BUSINESSES THROUGHOUT CONSTRUCTION OF PROJECT. ANY NECESSARY SERVICE INTERRUPTIONS SHALL BE PRECEDED BY A 24 HOUR ADVANCE NOTICE TO THE CITY OF RALEIGH PUBLIC UTILITIES DEPARTMENT.
- 3.0' MINIMUM COVER IS REQUIRED ON ALL WATER MAINS & SEWER FORCE MAINS. 4.0' MINIMUM COVER IS REQUIRED ON ALL REUSE MAINS.
- IT IS THE DEVELOPER'S RESPONSIBILITY TO ABANDON OR REMOVE EXISTING WATER & SEWER SERVICES NOT BEING USED IN REDEVELOPMENT OF A SITE UNLESS OTHERWISE DIRECTED BY THE CITY OF RALEIGH PUBLIC UTILITIES DEPARTMENT. THIS INCLUDES ABANDONING TAP AT MAIN & REMOVAL OF SERVICE FROM ROW OR EASEMENT PER CORPUD HANDBOOK PROCEDURE.
- INSTALL 4" PVC SEWER SERVICES @ 1.0% MINIMUM GRADE WITH CLEANOUTS SPACED EVERY 75 LINEAR FEET MAXIMUM.
- PRESSURE REDUCING VALVES ARE REQUIRED ON ALL WATER SERVICES EXCEEDING 80 PSI.

- ALL ENVIRONMENTAL PERMITS APPLICABLE TO THE PROJECT MUST BE OBTAINED FROM NCDWQ, USACE &/OR FEMA FOR ANY RIPARIAN BUFFER, WETLAND &/OR FLOODPLAIN IMPACTS (RESPECTIVELY) PRIOR TO CONSTRUCTION.
- GREASE INTERCEPTOR / OIL WATER SEPARATOR SIZING CALCULATIONS & INSTALLATION SPECIFICATIONS SHALL BE APPROVED BY THE CORPUD FOG PROGRAM COORDINATOR PRIOR TO ISSUANCE OF A BUILDING PERMIT. CONTACT STEPHEN CALVERLEY AT (919) 996-2334 OR STEPHEN.CALVERLEY@RALEIGHNC.GOV FOR MORE INFORMATION.
- CROSS-CONNECTION CONTROL PROTECTION DEVICES ARE REQUIRED BASED ON DEGREE OF HEALTH HAZARD INVOLVED AS LISTED IN APPENDIX B OF THE RULES GOVERNING PUBLIC WATER SYSTEMS IN NORTH CAROLINA. THESE GUIDELINES ARE THE MINIMUM REQUIREMENTS. THE DEVICES SHALL MEET AMERICAN SOCIETY OF SANITARY ENGINEERING (ASSE) STANDARDS OR BE ON THE UNIVERSITY OF SOUTHERN CALIFORNIA APPROVAL LIST. THE DEVICES SHALL BE INSTALLED AND TESTED (BOTH INITIAL AND PERIODIC TESTING THEREAFTER) IN ACCORDANCE WITH THE MANUFACTURER'S RECOMMENDATIONS OR THE LOCAL CROSS-CONNECTION CONTROL PROGRAM, WHICHEVER IS MORE STRINGENT. CONTACT JOANIE HARTLEY AT (919) 996-5223 OR JOANIE.HARTLEY@RALEIGHNC.GOV FOR MORE INFORMATION.

STRUCTURE TABLE	
ID NO.	DETAILS
SSMH 1	RIM = 349.25 INV IN = 342.50 +/- (6" DIP) INV OUT = 340.50 +/- (6" DIP)
SSMH 2	RIM = 349.79 INV IN = 344.45 +/- (6" DIP) INV IN = 345.25 +/- (4" DIP) INV OUT = 344.25 +/- (6" DIP)

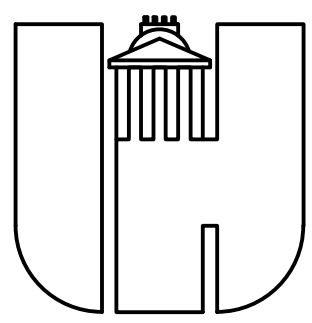
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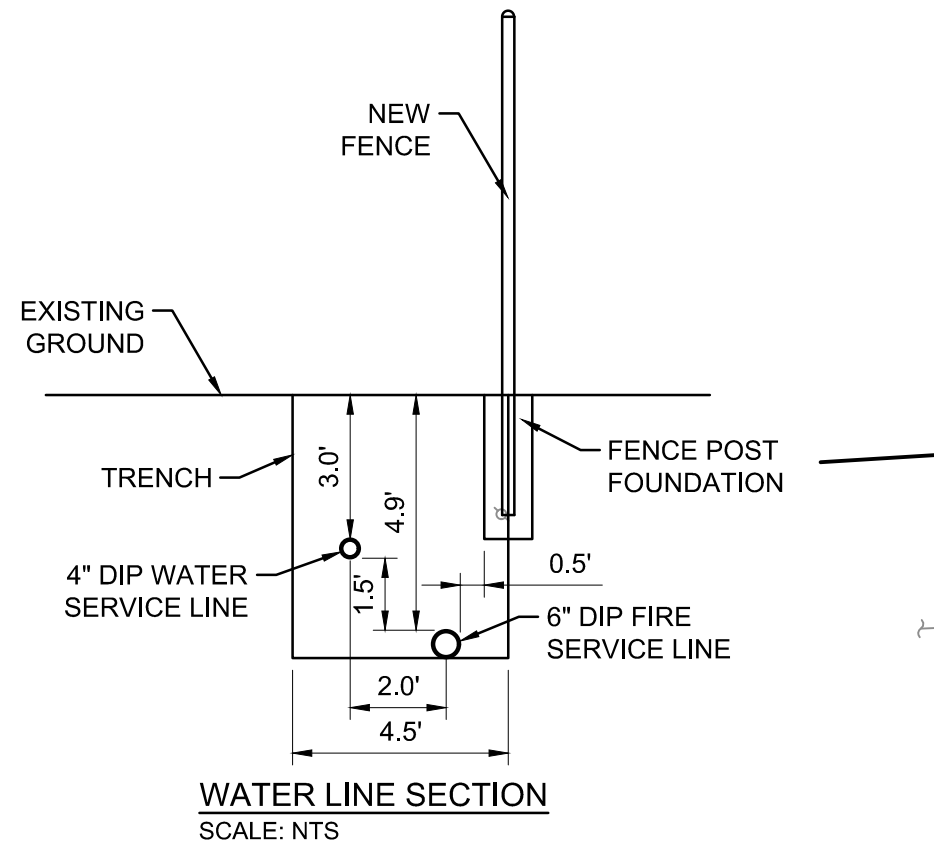
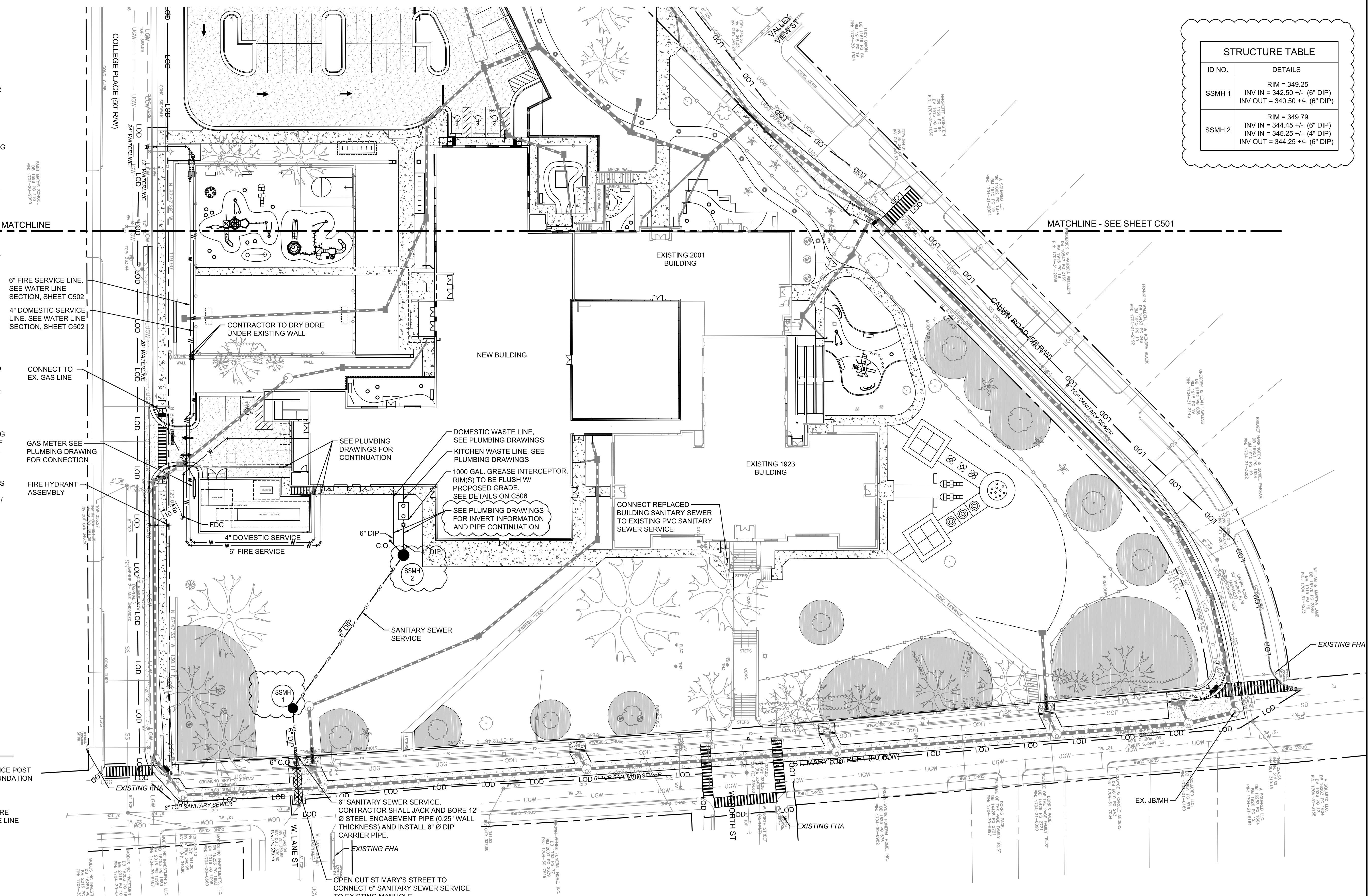
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ADDITIONS AND RENOVATIONS
WILEY ELEMENTARY
301 ST. MARY'S STREET
RALEIGH, NC 27603



WAKE COUNTY PUBLIC SCHOOL SYSTEM
RALEIGH, NORTH CAROLINA

UTILITY PLAN (EAST)



UTILITY LEGEND:

- LOD — LIMITS OF DISTURBANCE
 - - - w - - - WATER LINE
 - - - sss - - - SEWER LINE
 - - - ugg - - - GAS LINE
 - ⌋ BEND
 - ⊕ VALVE
 - ⊕ WATER METER
 - ⌋ REDUCER
 - ⌋ TEE
 - ⊕ FIRE HYDRANT ASSEMBLY
 - ⊕ FDC
 - ⊕ BORE
 - ⊕ TRENCH CUT
 - ⊕ SSMH SANITARY SEWER MANHOLE
 - ⊕ C.O. CLEANOUT
- ALTERNATE TCA COMPLIANCE SECONDARY TREE CONSERVATION AREA (CRITICAL ROOT ZONE DISTURBED LESS THAN 30%) - STAY OUT
- 1" = 30'
- 0 30 60 FT

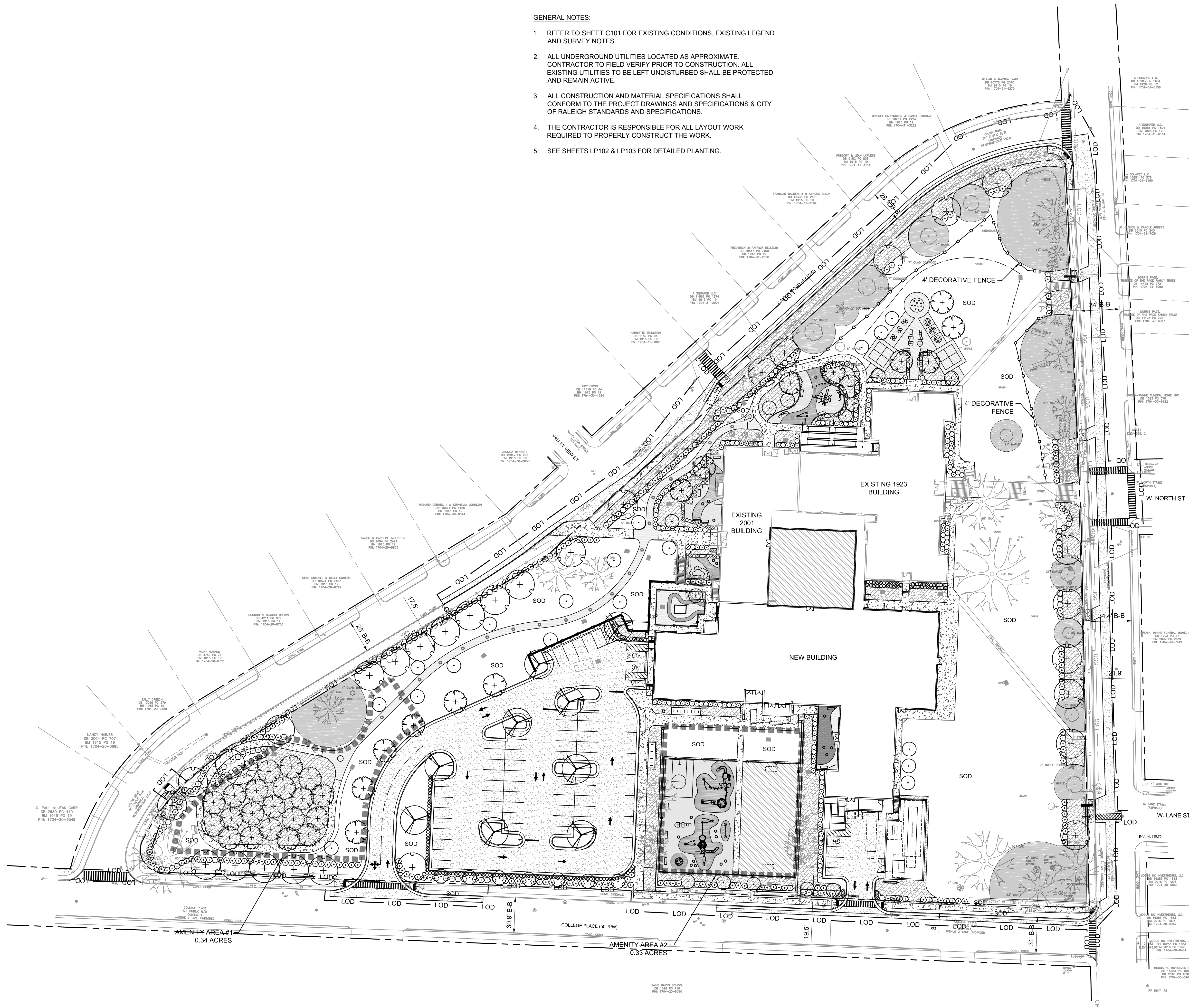
RESPONSE TO CYCLE 1 03.06.2018
RESPONSE TO CYCLE 2 04.18.2018
RESPONSE TO CYCLE 3 05.31.2018

ASR SUBMITTAL

DATE: 05.05.2018
JOB NO: 50067865
DRAWN BY: JR
CHECKED BY: DP
APPROVED: MBW

GENERAL NOTES:

1. REFER TO SHEET C101 FOR EXISTING CONDITIONS, EXISTING LEGEND AND SURVEY NOTES.
2. ALL UNDERGROUND UTILITIES LOCATED AS APPROXIMATE. CONTRACTOR TO FIELD VERIFY PRIOR TO CONSTRUCTION. ALL EXISTING UTILITIES TO BE LEFT UNDISTURBED SHALL BE PROTECTED AND REMAIN ACTIVE.
3. ALL CONSTRUCTION AND MATERIAL SPECIFICATIONS SHALL CONFORM TO THE PROJECT DRAWINGS AND SPECIFICATIONS & CITY OF RALEIGH STANDARDS AND SPECIFICATIONS.
4. THE CONTRACTOR IS RESPONSIBLE FOR ALL LAYOUT WORK REQUIRED TO PROPERLY CONSTRUCT THE WORK.
5. SEE SHEETS LP102 & LP103 FOR DETAILED PLANTING.



LANDSCAPE NOTES:

1. REFER TO SHEET LP104 FOR PLANTING DETAILS.
2. ALL AREAS ON THE SITE SHALL BE COVERED BY GRASSING, SODDING, PLANTINGS, OR MULCH. NO AREAS ON THE SITE SHALL BE LEFT BARE. REFER TO PROJECT SPECIFICATIONS.
3. INSTALL 30" MIN. DIAMETER MULCH RING AT ALL TREES PLATED IN SODDED AREAS.
4. ON CENTER SPACING MAY BE "SCALED" IF NOT SHOWN.
5. OBTAIN ALL NECESSARY PERMITS PRIOR TO STARTING WORK.
6. CONTRACTOR SHALL COORDINATE LOCATIONS OF PLANTS/LANDSCAPE ITEMS WITH REQUIRED ACCESS AND SPACING REQUIREMENTS FOR ALL UTILITY INFRASTRUCTURE/APURTENANCES. CONTRACTOR SHALL FIELD ADJUST AS NECESSARY.
7. ALL LANDSCAPED AREAS SHALL BE MAINTAINED IN AN ATTRACTIVE AND HEALTHY CONDITION. DEAD OR DISEASED PLANTINGS SHALL BE REMOVED AND REPLACED IN A TIMELY FASHION.

STREET YARD NOTES:

1. C2 STREET PROTECTIVE YARD REQUIREMENTS:
 - 4 TREES PER 100 LF
 - $\frac{4300}{100} = 97$ TREES REQUIRED, 42 PROVIDED
 - 55 STREET PROTECTIVE YARD TREES COVERED BY STREET TREE FEE IN LIEU
 - 15 SHRUBS PER 100 LF
 - $\frac{4300}{100} \times 15 = 365$ SHRUBS REQUIRED
 - 308 SHRUBS PROVIDED, 57 TO BE FEE IN LIEU
2. C3 STREET PROTECTIVE YARD REQUIREMENTS:
 - USED TO MEET THE SURFACE PARKING SCREENING REQUIREMENT
 - 30 SHRUBS PER 100 LF
 - $206 \text{ LF}/100 = 2.06 \times 30 = 61.8 = 62$ SHRUBS REQUIRED
 - 110 SHRUBS PROVIDED, REQUIREMENT MET

STREET TREE NOTES:

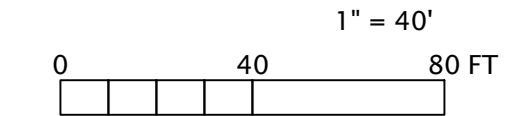
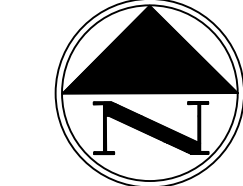
1. TOTAL STREET FRONTAGE = 2435 LF
- MINUS DRIVES = 2368 LF
- TOTAL STREET TREES REQUIRED = 60
- 1 TREE PER 40 LF OF STREET FRONTAGE REQUIRED
- CALVIN ROAD = 875 LF + 40 = 21.875 = 22 REQUIRED
- COLLEGE PLACE = 809 LF + 40 = 20.225 = 21 REQUIRED
- ST. MARYS STREET = 641 LF + 40 = 16.025 = 17 REQUIRED
3. FEE IN LIEU TO BE PAID FOR STREET TREES DUE TO NOT ENOUGH NECESSARY SPACE TO PLANT.

TREE CONSERVATION AREA (TCA) NOTES:

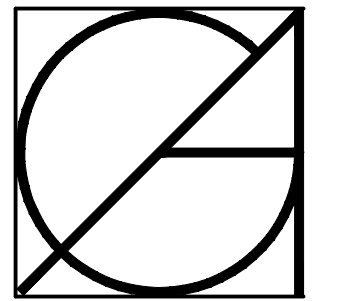
MINIMUM OF 10% OF SITE AREA TO BE PROTECTED TCA
 TOTAL SITE AREA = 6.47 AC
 $6.47 \times 0.10 = 0.647$ AC REQUIRED
 TOTAL TCA PROVIDED = 23,087 SF = 0.53 AC = 8.2% OF SITE
AMENITY AREA CALCULATIONS:
 A MINIMUM OF 10% OF THE SITE TO BE DEDICATED AS AMENITY AREAS
 $6.47 \text{ AC} \times 0.10 = 0.647$ ACRES MINIMUM REQUIRED
 AMENITY AREA #1 = 0.34 ACRES
 AMENITY AREA #2 = 0.33 ACRES
 TOTAL AMENITY AREA PROVIDED = 0.67 ACRES

LANDSCAPE LEGEND

- PAINTED CONCRETE
- CUSHIONED SURFACE
- ARTIFICIAL GRASS (TURF)
- TCA
- LOD — LIMITS OF DISTURBANCE
- 4' DECORATIVE FENCE
- AMENITY AREAS



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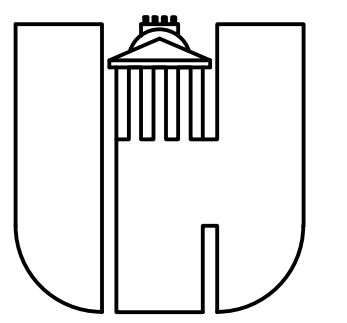
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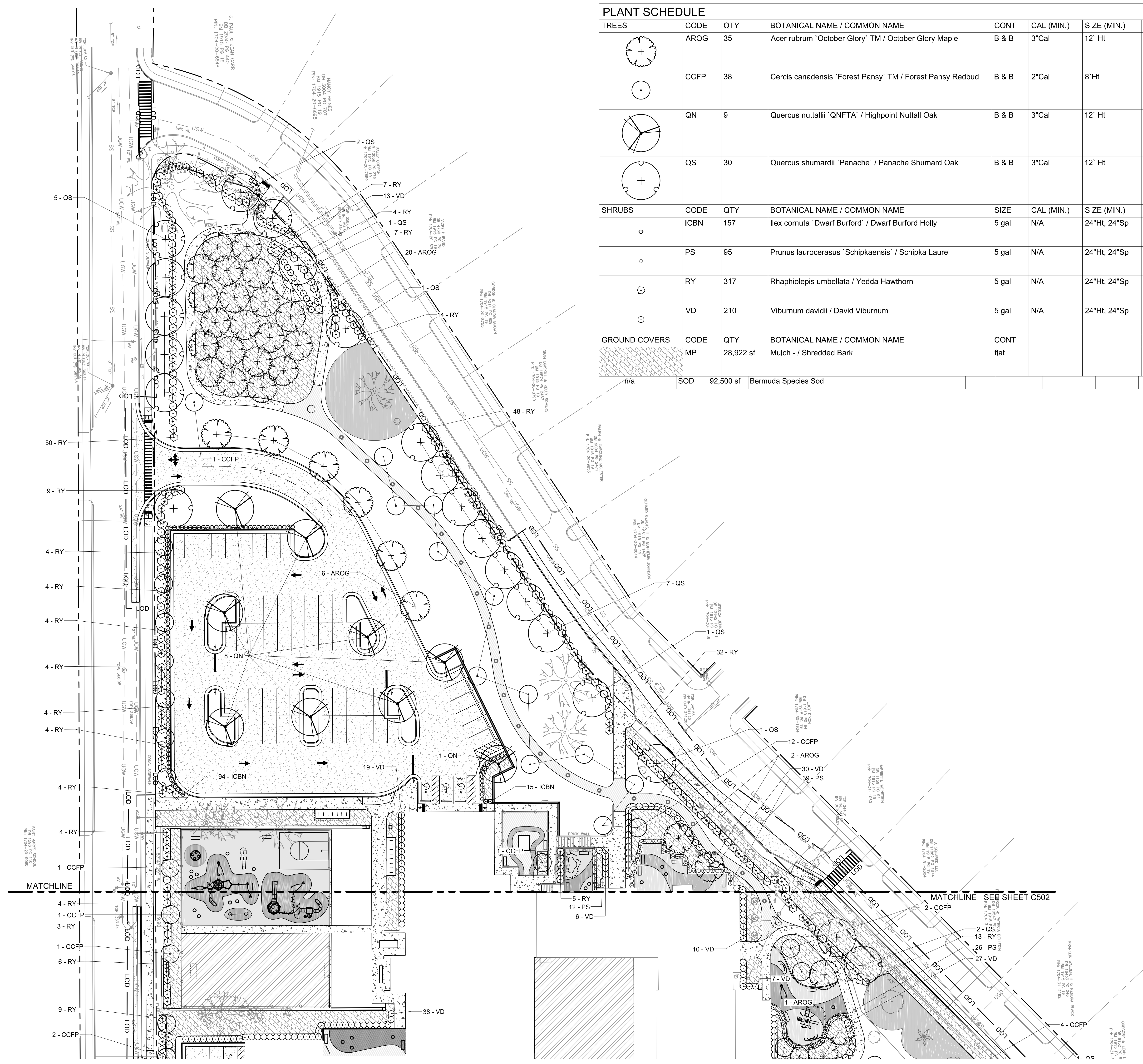
WAKE COUNTY PUBLIC SCHOOL SYSTEM
 RALEIGH, NORTH CAROLINA

LANDSCAPE PLAN (OVERALL)

RESPONSE TO CYCLE 1 03.06.2018
 RESPONSE TO CYCLE 2 04.18.2018
 RESPONSE TO CYCLE 3 05.31.2018

ASR SUBMITTAL
 DATE: 05.05.2018
 JOB NO: 50067865
 DRAWN BY: JR
 CHECKED BY: DP
 APPROVED: LJR

NO: LP102



PLANT SCHEDULE

TREES	CODE	QTY	BOTANICAL NAME / COMMON NAME	CONT	CAL (MIN.)	SIZE (MIN.)
	AROG	35	Acer rubrum 'October Glory' TM / October Glory Maple	B & B	3"Cal	12' Ht
	CCFP	38	Cercis canadensis 'Forest Pansy' TM / Forest Pansy Redbud	B & B	2"Cal	8' Ht
	QN	9	Quercus nuttallii 'QNFTA' / Highpoint Nuttall Oak	B & B	3"Cal	12' Ht
	QS	30	Quercus shumardii 'Panache' / Panache Shumard Oak	B & B	3"Cal	12' Ht
SHRUBS	CODE	QTY	BOTANICAL NAME / COMMON NAME	SIZE	CAL (MIN.)	SIZE (MIN.)
	ICBN	157	Ilex cornuta 'Dwarf Burford' / Dwarf Burford Holly	5 gal	N/A	24"Ht, 24"Sp
	PS	95	Prunus laurocerasus 'Schipkaensis' / Schipka Laurel	5 gal	N/A	24"Ht, 24"Sp
	RY	317	Rhamnus fraxinifolia 'Yedda' / Yedda Hawthorn	5 gal	N/A	24"Ht, 24"Sp
	VD	210	Viburnum davidii / David Viburnum	5 gal	N/A	24"Ht, 24"Sp
GROUND COVERS	CODE	QTY	BOTANICAL NAME / COMMON NAME	CONT		
	MP	28,922 sf	Mulch - / Shredded Bark	flat		
	SOD	92,500 sf	Bermuda Species Sod			

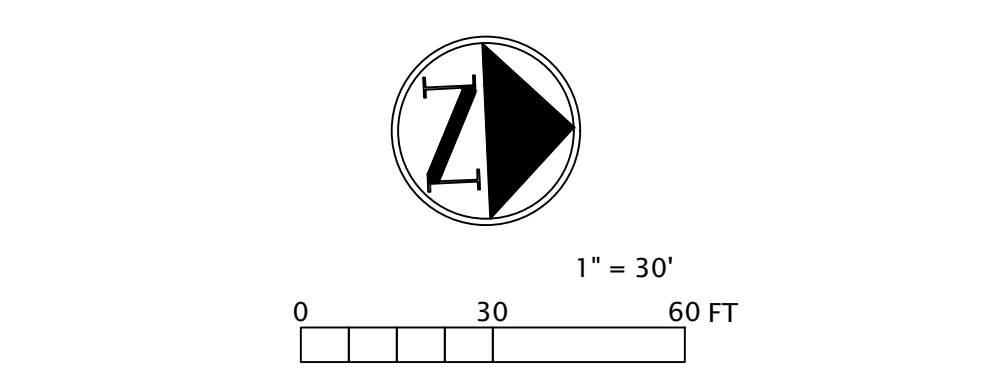
- GENERAL NOTES:**
- REFER TO SHEET C101 FOR EXISTING CONDITIONS, EXISTING LEGEND AND SURVEY NOTES.
 - ALL UNDERGROUND UTILITIES LOCATED AS APPROXIMATE. CONTRACTOR TO FIELD VERIFY PRIOR TO CONSTRUCTION. ALL EXISTING UTILITIES TO BE LEFT UNDISTURBED SHALL BE PROTECTED AND REMAIN ACTIVE.
 - ALL CONSTRUCTION AND MATERIAL SPECIFICATIONS SHALL CONFORM TO THE PROJECT DRAWINGS AND SPECIFICATIONS & CITY OF RALEIGH STANDARDS AND SPECIFICATIONS.
 - THE CONTRACTOR IS RESPONSIBLE FOR ALL LAYOUT WORK REQUIRED TO PROPERLY CONSTRUCT THE WORK.
- LANDSCAPE NOTES:**
- REFER TO SHEET LP104 FOR PLANTING DETAILS.
 - ALL AREAS ON THE SITE SHALL BE COVERED BY GRASSING, SODDING, PLANTINGS, OR MULCH. NO AREAS ON THE SITE SHALL BE LEFT BARE. REFER TO PROJECT SPECIFICATIONS.
 - INSTALL 30" MIN. DIAMETER MULCH RING AT ALL TREES PLANTED IN SODDED AREAS.
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- STREET YARD NOTES:**
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MINUS DRIVES = 2368 LF
 - TOTAL STREET TREES REQUIRED = 60
1 TREE PER 40 LF REQUIRED
2368/40 = 59
 - STREET TREES TO BE PAID FEE IN LIEU DUE TO NOT ENOUGH NECESSARY SPACE TO PLANT
 - STREET PROTECTIVE YARD REQUIREMENTS:
4 TREES PER 100 LF
2435/100 = 24 TREES REQUIRED, 42 PROVIDED
55 STREET PROTECTIVE YARD TREES COVERED BY STREET TREE FEE IN LIEU
15 SHRUBS PER 100 LF
2435 x 15 = 365 SHRUBS REQUIRED
308 SHRUBS PROVIDED, 57 TO BE FEE IN LIEU
 - C3 STREET PROTECTIVE YARD REQUIREMENTS:
USED TO MEET THE SURFACE PARKING SCREENING REQUIREMENT
30 SHRUBS PER 100 LF
206 LF/100 = 2.06 x 30 = 61.8 = 62 SHRUBS REQUIRED
110 SHRUBS PROVIDED, REQUIREMENT MET

- TREE CONSERVATION AREA (TCA) NOTES:**
MINIMUM OF 10% OF SITE AREA TO BE PROTECTED TCA
- TOTAL SITE AREA = 6.47 AC
6.47 x 0.10 = 0.647 AC REQUIRED
- TOTAL TCA PROVIDED = 23.087 SF = 0.47 = 0.53 AC = 8.2% OF SITE

LANDSCAPE LEGEND

- PAINTED CONCRETE
- CUSHIONED SURFACE
- ARTIFICIAL GRASS (TURF)
- TCA

--- LOD --- LIMITS OF DISTURBANCE



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PHONE: 919.881.9699
FAX: 919.881.9629
NCBELS #F-0929



ADDITIONS AND RENOVATIONS

WILEY ELEMENTARY
301 ST. MARY'S STREET
RALEIGH, NC 27603

WAKE COUNTY PUBLIC SCHOOL SYSTEM
RALEIGH, NORTH CAROLINA

LANDSCAPE PLAN (WEST)

RESPONSE TO CYCLE 1 03.06.2018
RESPONSE TO CYCLE 2 04.18.2018
RESPONSE TO CYCLE 3 05.31.2018

ASR SUBMITTAL
DATE: 05.03.2018
JOB NO: 50067865
DRAWN BY: JR
CHECKED BY: DP
APPROVED: LJR

NO: LP103

PLANT SCHEDULE

TREES	CODE	QTY	BOTANICAL NAME / COMMON NAME	CONT	CAL (MIN.)	SIZE (MIN.)
	AROG	35	Acer rubrum 'October Glory' TM / October Glory Maple	B & B	3"Cal	12' Ht
	CCFP	38	Cercis canadensis 'Forest Pansy' TM / Forest Pansy Redbud	B & B	2"Cal	8' Ht
	QN	9	Quercus nuttallii 'QNFTA' / Highpoint Nuttall Oak	B & B	3"Cal	12' Ht
	QS	30	Quercus shumardii 'Panache' / Panache Shumard Oak	B & B	3"Cal	12' Ht
SHRUBS	CODE	QTY	BOTANICAL NAME / COMMON NAME	SIZE	CAL (MIN.)	SIZE (MIN.)
	ICBN	157	Ilex cornuta 'Dwarf Burford' / Dwarf Burford Holly	5 gal	N/A	24"Ht, 24"Sp
	PS	95	Prunus laurocerasus 'Schipkaensis' / Schipka Laurel	5 gal	N/A	24"Ht, 24"Sp
	RY	317	Rhampholepis umbellata / Yedda Hawthorn	5 gal	N/A	24"Ht, 24"Sp
	VD	210	Viburnum davidii / David Viburnum	5 gal	N/A	24"Ht, 24"Sp
GROUND COVERS	CODE	QTY	BOTANICAL NAME / COMMON NAME	CONT		
	MP	28,922 sf	Mulch - / Shredded Bark	flat		
n/a	SOD	92,500 sf	Bermuda Species Sod			

LANDSCAPE NOTES:

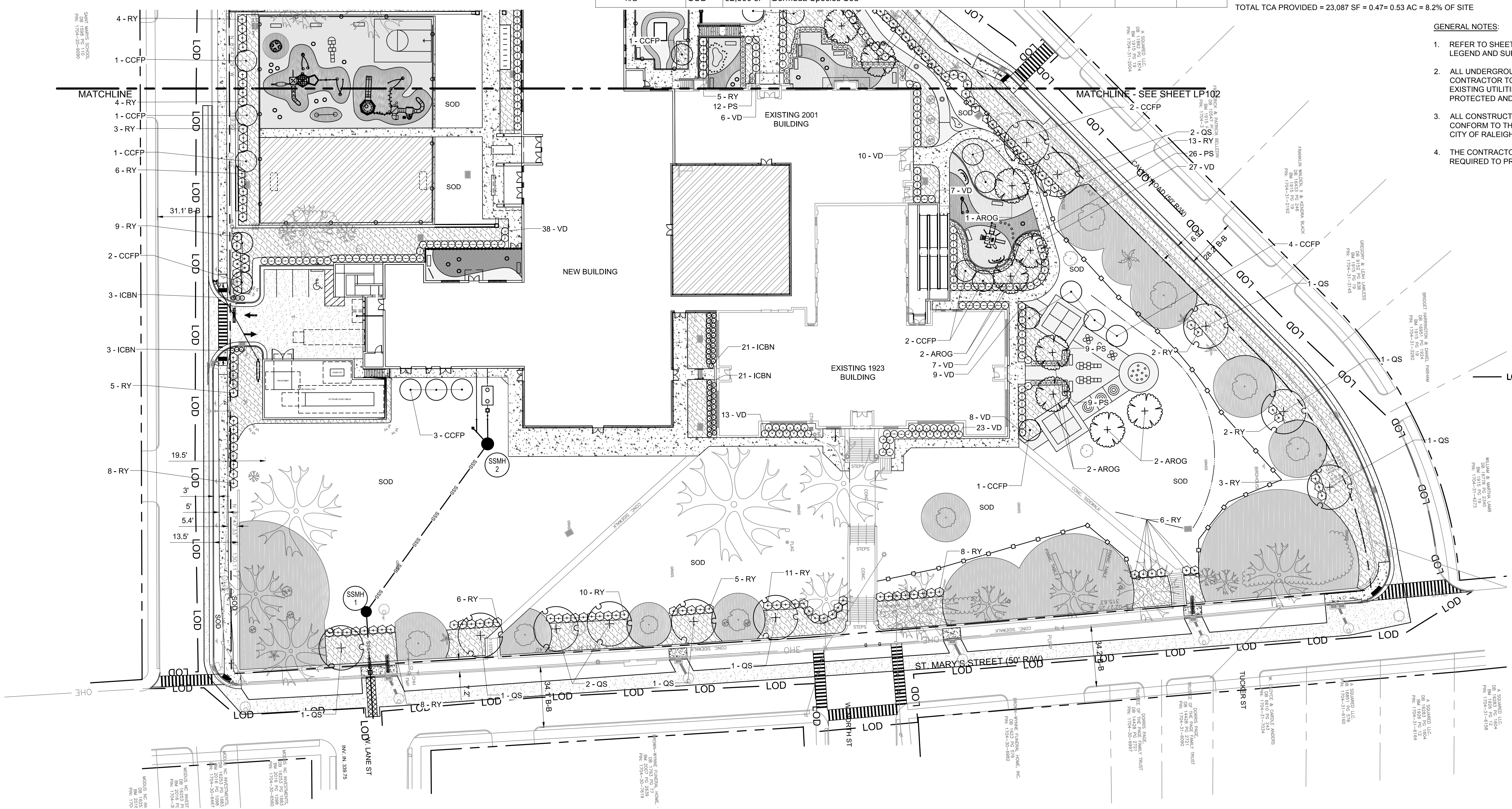
- REFER TO SHEET LP104 FOR PLANTING DETAILS.
 - ALL AREAS ON THE SITE SHALL BE COVERED BY GRASSING, SODDING, PLANTINGS, OR MULCH. NO AREAS ON THE SITE SHALL BE LEFT BARE. REFER TO PROJECT SPECIFICATIONS.
 - INSTALL 30" MIN. DIAMETER MULCH RING AT ALL TREES PLANTED IN SODDED AREAS.
 - ON CENTER SPACING MAY BE "SCALED" IF NOT SHOWN.
 - OBTAIN ALL NECESSARY PERMITS PRIOR TO STARTING WORK.
 - CONTRACTOR SHALL COORDINATE LOCATIONS OF PLANTS/LANDSCAPE ITEMS WITH REQUIRED ACCESS AND SPACING REQUIREMENTS FOR ALL UTILITY INFRASTRUCTURE/APPROPRIATENANCES. CONTRACTOR SHALL FIELD ADJUST AS NECESSARY.
 - ALL LANDSCAPED AREAS SHALL BE MAINTAINED IN AN ATTRACTIVE AND HEALTHY CONDITION. DEAD OR DISEASED PLANTINGS SHALL BE REMOVED AND REPLACED IN A TIMELY FASHION.
- STREET YARD NOTES:**
- TOTAL STREET FRONTAGE = 2435 LF
MINUS DRIVES = 2368 LF
TOTAL STREET TREES REQUIRED = 60
1 TREE PER 40 LF REQUIRED
2368/40 = 60
 - STREET TREES TO BE PAID FEE IN LIEU DUE TO NOT ENOUGH NECESSARY SPACE TO PLANT
 - STREET PROTECTIVE YARD REQUIREMENTS:
4 TREES PER 100 LF
400/4 = 97 TREES REQUIRED, 42 PROVIDED
55 STREET PROTECTIVE YARD TREES COVERED BY STREET TREE FEE IN LIEU
15 SHRUBS PER 100 LF
1500/15 = 365 SHRUBS REQUIRED
308 SHRUBS PROVIDED, 57 TO BE FEE IN LIEU
 - C3 STREET PROTECTIVE YARD REQUIREMENTS:
USED TO MEET THE SURFACE PARKING SCREENING REQUIREMENT
30 SHRUBS PER 100 LF
206 LF/100 = 2.06 x 30 = 61.8 = 62 SHRUBS REQUIRED
110 SHRUBS PROVIDED, REQUIREMENT MET
- TREE CONSERVATION AREA (TCA) NOTES:**
MINIMUM OF 10% OF SITE AREA TO BE PROTECTED TCA
TOTAL SITE AREA = 6.47 AC
6.47 x 0.10 = 0.647 AC REQUIRED
TOTAL TCA PROVIDED = 23,087 SF = 0.47 = 0.53 AC = 8.2% OF SITE

GENERAL NOTES:

- REFER TO SHEET C101 FOR EXISTING CONDITIONS, EXISTING LEGEND AND SURVEY NOTES.
- ALL UNDERGROUND UTILITIES LOCATED AS APPROXIMATE. CONTRACTOR TO FIELD VERIFY PRIOR TO CONSTRUCTION. ALL EXISTING UTILITIES TO BE LEFT UNDISTURBED SHALL BE PROTECTED AND REMAIN ACTIVE.
- ALL CONSTRUCTION AND MATERIAL SPECIFICATIONS SHALL CONFORM TO THE PROJECT DRAWINGS AND SPECIFICATIONS & CITY OF RALEIGH STANDARDS AND SPECIFICATIONS.
- THE CONTRACTOR IS RESPONSIBLE FOR ALL LAYOUT WORK REQUIRED TO PROPERLY CONSTRUCT THE WORK.

LANDSCAPE LEGEND

- PAINTED CONCRETE
- CUSHIONED SURFACE
- ARTIFICIAL GRASS (TURF)
- TCA
- LIMITS OF DISTURBANCE



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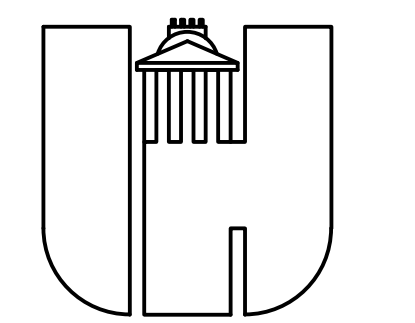
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ADDITIONS AND RENOVATIONS

WILEY ELEMENTARY

301 ST. MARY'S STREET
RALEIGH, NC 27603



WAKE COUNTY PUBLIC SCHOOL SYSTEM
RALEIGH, NORTH CAROLINA

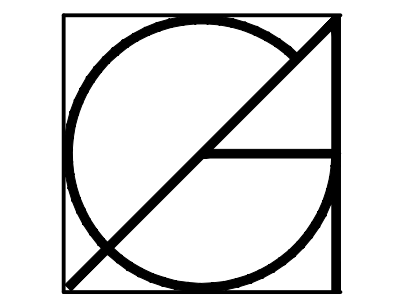
LANDSCAPE PLAN (EAST)

RESPONSE TO CYCLE 1 03.06.2018
RESPONSE TO CYCLE 2 04.18.2018
RESPONSE TO CYCLE 3 05.31.2018

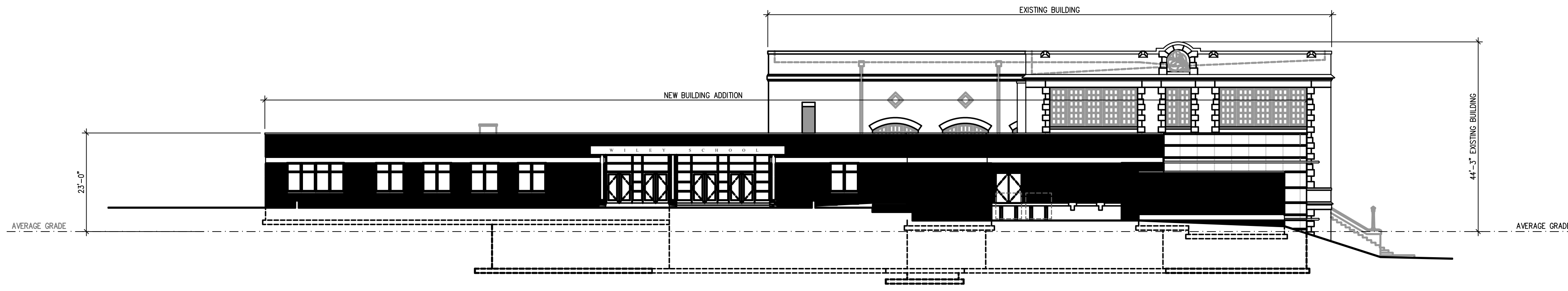
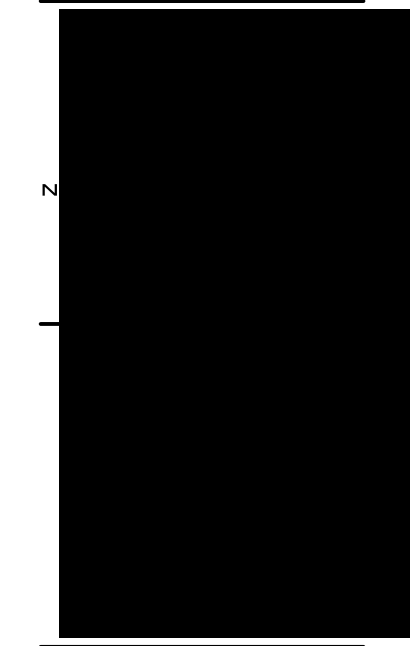
ASR SUBMITTAL
DATE: 05.05.2018
JOB NO: 50067895
DRAWN BY: JR
CHECKED BY: DP
APPROVED: LR

NO: LP104

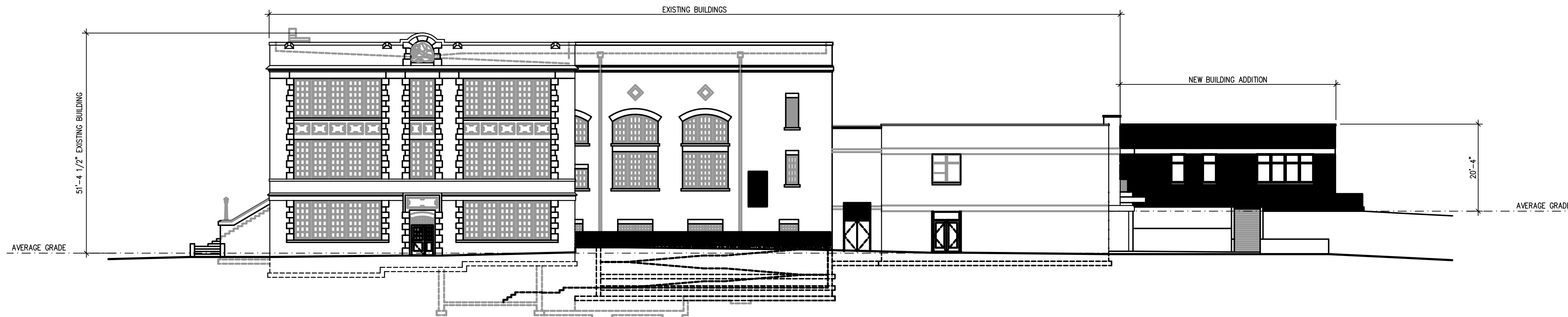
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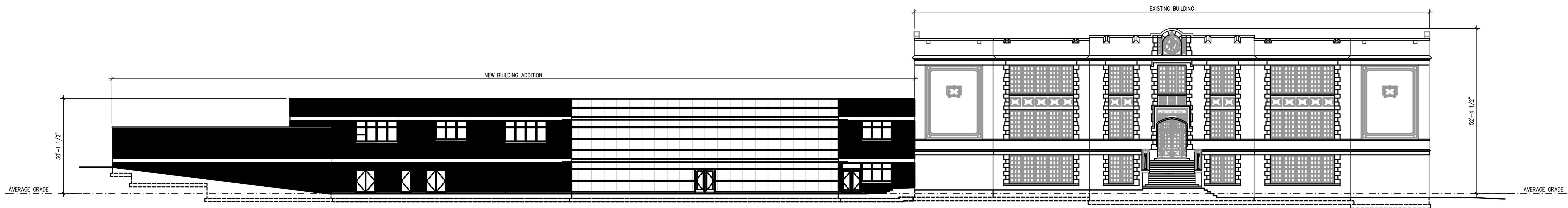
GÜREL
ARCHITECTURE
1148B EXECUTIVE CIRCLE
CARY, NORTH CAROLINA 27511
T:919.468.1717 F:919.468.1716



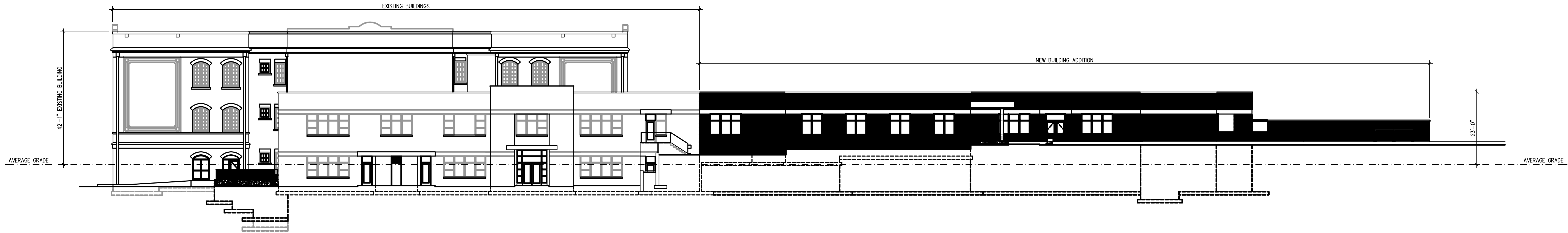
1 CAMPUS SOUTH ELEVATION - FACING COLLEGE PLACE
• 1/16" = 1'-0"



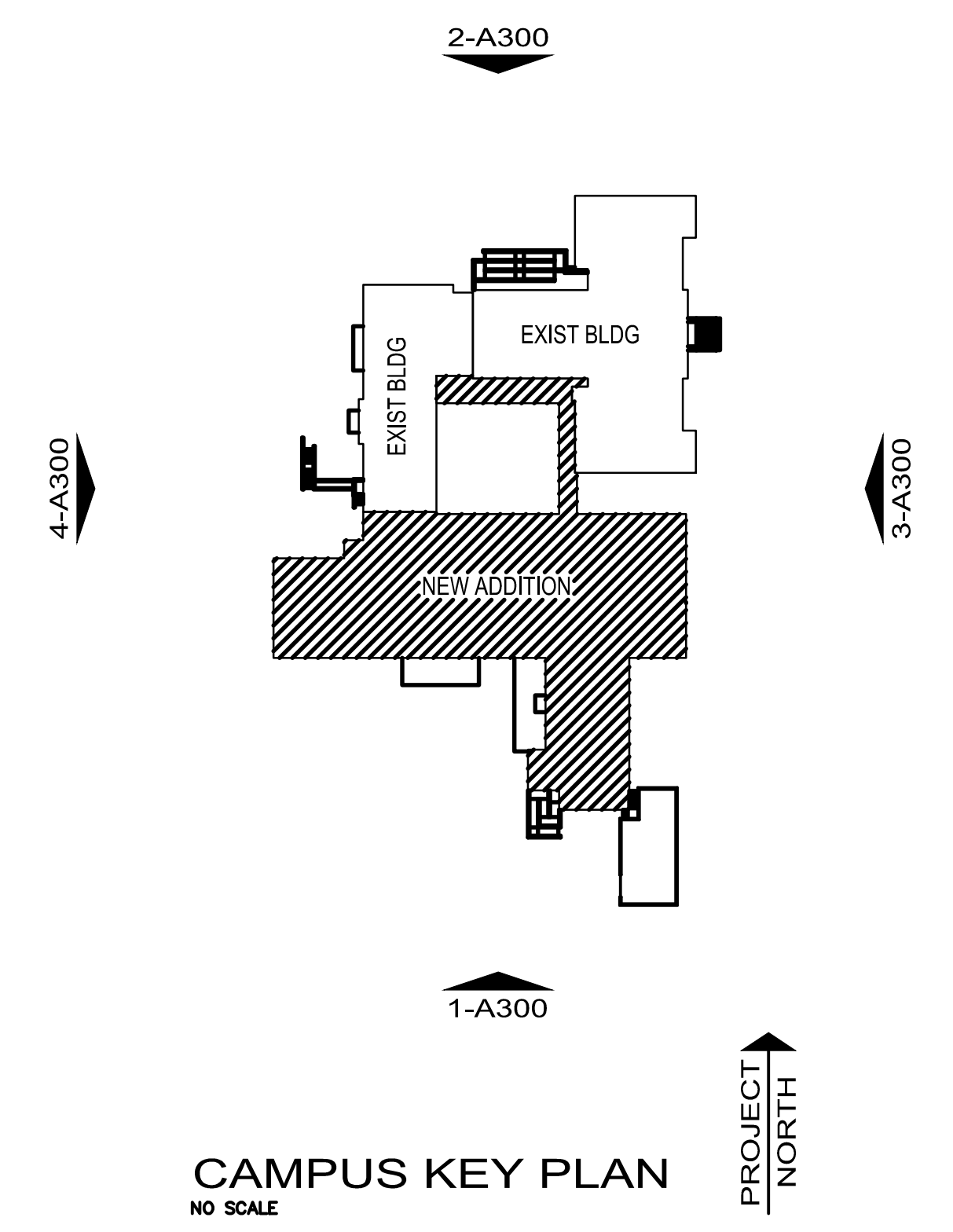
2 CAMPUS NORTH ELEVATION - FACING CALVIN ROAD
• 1/16" = 1'-0"



3 CAMPUS EAST ELEVATION - FACING ST. MARY'S STREET
• 1/16" = 1'-0"



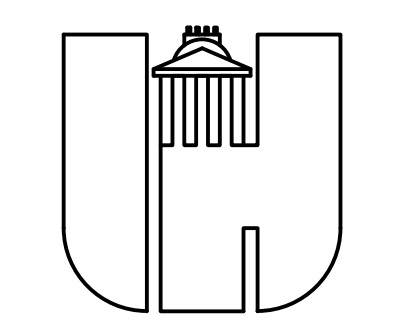
4 CAMPUS WEST ELEVATION - FACING CALVIN ROAD
• 1/16" = 1'-0"



CAMPUS KEY PLAN
NO SCALE

ADDITIONS AND RENOVATIONS
WILEY
ELEMENTARY

301 ST. MARY'S STREET
RALEIGH, NC 27603



WAKE COUNTY
PUBLIC SCHOOL SYSTEM
RALEIGH, NORTH CAROLINA

BUILDING ELEVATIONS

RESPONSE TO CYCLE 1 03.06.2018
RESPONSE TO CYCLE 2 04.18.2018
RESPONSE TO CYCLE 3 05.31.2018

CITY OF RALEIGH SUBMITTAL
DATE: 03.30.2018
JOB NO: WARS
DRAWN BY: M. GÜREL
CHECKED BY: M. GÜREL
APPROVED: -

NO: **A300**