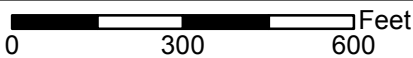
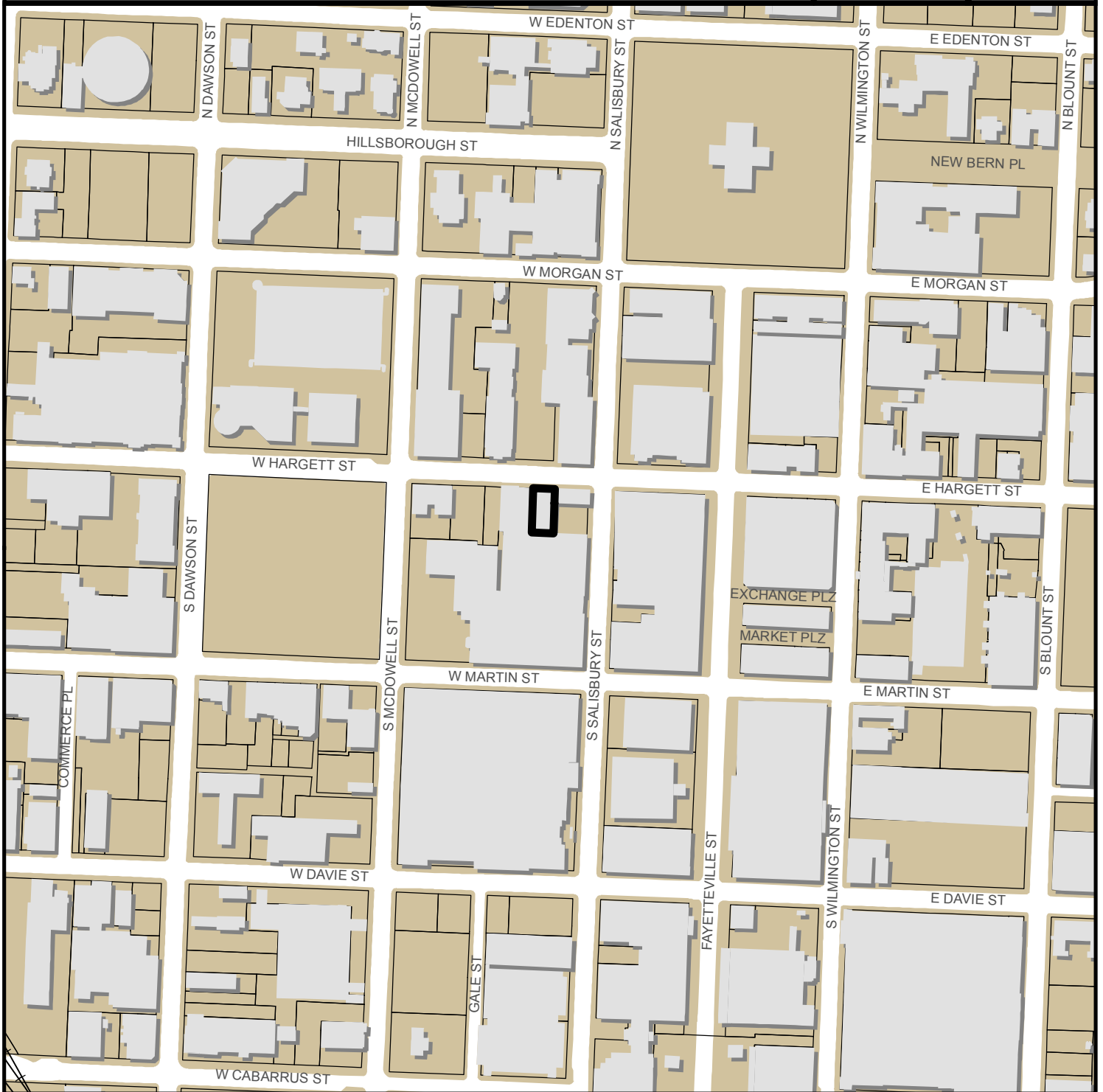


107 WEST HARGETT STREET SR-103-2017



Zoning: **DX-20-SH**
CAC: **Central**
Drainage Basin: **Rocky Branch**
Acreage: **0.12**
Sq. Ft.: **25,489**

Planner: **Michael Walters**
Phone: **(919) 996-2636**
Applicant: **MMP Hargett 107 LLC**
Phone: **(919) 606-8150**





Administrative Approval Action

AA# 3777 / SR-103-17, 107 West Hargett Street
Transaction# 536788,

City of Raleigh
Development Services Department
One Exchange Plaza
Raleigh, NC 27602
(919) 996-2495
DS.help@raleighnc.gov
www.raleighnc.gov

LOCATION: This site is located on the south side of West Hargett Street between Salisbury Street and McDowell Street, at 107 West Hargett Street.

REQUEST: Development of a .12 acre tract zone DX-20-SH with the renovation of an existing 3-story building and construction of a new 5-story building attached and to the rear for future office, retail and restaurant use. Total building size will be 25,489 square feet.

DESIGN ADJUSTMENT(S)/ ALTERNATES, ETC:

One hardship variance has been approved by the City of Raleigh Board of Adjustment for this project, noted below.

1. A variance to the required amenity area being contiguous to the sidewalk (1.5.3 d 1). In place of this the applicant is proposing the required amount of open space all on upper stories of the building as part of the expansion of the existing building.

One Design Adjustment has been approved for this project, noted below.

1. As this parcel is within the Christmas District downtown, and the development is not altering the existing building location as it is associated with the street, the existing street section and the existing sidewalk depth is acceptable.

FINDINGS: City Administration finds that this request, with the below conditions of approval being met, conforms to the Unified Development Ordinance. This approval is based on a preliminary plan submitted by Clearscapes.

CONDITIONS OF APPROVAL and NEXT STEPS:

Note: *This document must be applied to the second sheet of all future submittals with the exception of final plats.*

PRIOR TO THE ISSUANCE OF ANY SITE PERMITS OR APPROVAL OF CONCURRENT REVIEW PROCESS, WHICHEVER IS APPLICABLE:

ENGINEERING

1. Next Step: A right-of-way obstruction permit must be obtained from Right-of-way Services prior to the commencement of any construction activities within the right-of-way.

URBAN FORESTRY

2. Obtain required stub and tree impact permits from the City of Raleigh.

PRIOR TO ISSUANCE OF BUILDING PERMITS:

GENERAL

1. Proof of an offsite parking lease agreement or easement within 800 feet of the entrance of this site plan building for customer parking and within 1,200 feet for employee parking shall be provided to



Administrative Approval Action

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fulfill the required parking. The applicant shall provide a signed agreement indicating that required off-street parking shall be provided as long as the principal use continues and the principal use shall be discontinued should the required off-street parking no longer be provided on these off-site parcels or their equivalent as required by Part 10A Section 7.1.5 of the Unified Development Ordinance. –

2. A demolition permit shall be obtained.
3. Provide fire flow analysis.

ENGINEERING

4. Next Step: A right-of-way obstruction permit shall be obtained from Right-of-way Services for any construction activity within the right-of-way.

URBAN FORESTRY

5. A tree impact permit must be obtained for the approved streetscape tree installation in the right of way.

Prior to issuance of building occupancy permit:

1. All Water, Sanitary Sewer and Reuse facilities shall be installed, inspected, tested and accepted by the City of Raleigh Public Utilities Department for operations and maintenance.
2. Next Step: Required public right-of-way infrastructure improvements shall be, at a minimum, sufficiently completed to provide the necessary, safe emergency and vehicular access.
3. Next Step: Required underground storm drainage improvements shall be completed and as-built plan(s) and certification(s) reviewed and accepted by the City of Raleigh Development Services – Development Engineering program.
4. Next Step: All street lights and street signs required as part of the development approval are installed.
5. Next Step: Copies of certified inspection reports for alleys and internal access ways are submitted to the City of Raleigh Development Services – Development Engineering program.
6. Next Step: Final inspection of all required right of way trees by Urban Forestry Staff.



Administrative Approval Action

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EXPIRATION DATES: The expiration provisions of UDO Section 10.2.8 E, including the ability to request extensions in the expiration date, apply to this site plan. If significant construction has not taken place on a project after administrative site review approval, that approval may expire and be declared void, requiring re-approval before permits may be issued. To avoid allowing this plan approval to expire the following must take place by the following dates:

3-Year Expiration Date: 3-21-2021

Obtain a valid building permit for the total area of the project, or a phase of the project.

4-Year Completion Date:

Within four years after issuance of the first building permit for the site plan, the construction of the entire site plan must be completed unless an applicant has been granted vested rights. Failure to complete construction within this specified time frame shall automatically void the approved site plan for which no building permits have been issued.

I hereby certify this administrative decision.

Signed:(Planning Dir./Designee) Angie Bilyeu Date: 3/21/2018

Staff Coordinator: Michael Walters

Design Adjustment Staff Response



**DEVELOPMENT
SERVICES
DEPARTMENT**

Development Services Customer Service Center | 1 Exchange Plaza, Suite 400 | Raleigh, NC 27601 | 919-996-2495
Litchford Satellite Office | 8320 - 130 Litchford Road | Raleigh, NC 27601 | 919-996-4200

Per Section 10.2.18.C of the Unified Development Ordinance, the Development Services Director, or designee, shall consult with the heads of other City Departments regarding the review of the request. The Development Services Director, or designee, shall approve, approve with conditions or deny the request, but must do so within 60 days of the receipt of a completed application. Additional time may be necessary if a municipal or state entity is incorporated in the review process or if a detailed engineering study is submitted in conjunction with the request.

PROJECT	Project Name 107 W Hargett St	Date completed Application received 12/8/2017
	Case Number SR-103-2017	Transaction Number 536788

DEPARTMENT RESPONSE/RECOMMENDATION	Staff SUPPORTS SUPPORTS the Design Adjustment based upon the findings in these applicable code:																					
	<input type="checkbox"/> UDO Art. 8.3 Blocks, Lots, Access	<input type="checkbox"/> UDO Art. 8.4 New Streets	<input type="checkbox"/> Other																			
	<input checked="" type="checkbox"/> UDO Art. 8.5 Existing Streets	<input type="checkbox"/> Raleigh Street Design Manual																				
	<table border="1"> <thead> <tr> <th>DEPARTMENT</th> <th>REPRESENTATIVE SIGNATURE</th> <th>DEPARTMENT</th> <th>REPRESENTATIVE SIGNATURE</th> </tr> </thead> <tbody> <tr> <td><input type="checkbox"/> Dev. Services Planner</td> <td></td> <td><input type="checkbox"/> City Planning</td> <td></td> </tr> <tr> <td><input checked="" type="checkbox"/> Development Engineering</td> <td></td> <td><input type="checkbox"/> Transportation</td> <td></td> </tr> <tr> <td><input type="checkbox"/> Engineering Services</td> <td></td> <td><input type="checkbox"/> PRCR</td> <td></td> </tr> <tr> <td><input type="checkbox"/> Public Utilities</td> <td></td> <td></td> <td></td> </tr> </tbody> </table>			DEPARTMENT	REPRESENTATIVE SIGNATURE	DEPARTMENT	REPRESENTATIVE SIGNATURE	<input type="checkbox"/> Dev. Services Planner		<input type="checkbox"/> City Planning		<input checked="" type="checkbox"/> Development Engineering		<input type="checkbox"/> Transportation		<input type="checkbox"/> Engineering Services		<input type="checkbox"/> PRCR		<input type="checkbox"/> Public Utilities		
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<input type="checkbox"/> Engineering Services		<input type="checkbox"/> PRCR																				
<input type="checkbox"/> Public Utilities																						
Findings: The proposed development plan is located within the Christmas District downtown. The development project is not altering the existing building location as it is associated to the street. Staff supports the Design Adjustment to accept the existing street section and existing sidewalk depth.																						

Development Services Director or Designee Action: Approve Approval with Conditions Deny

Authorized Signature

Kenneth W. Ritchie, PE, MPA
DEVELOPMENT ENGINEERING MANAGER

3/21/2018
Date

*The Development Services Director may authorize a designee to sign in his/her stead. Please print name and title next to signature.

CONDITIONS	
-------------------	--

Appeal of the decision from the Development Services Director, or his or her designee, shall be made in writing within 30 days to the Board of Adjustment (see Section 10.2.18.C3b).

Design Adjustment Application



DEVELOPMENT SERVICES DEPARTMENT

Development Services Customer Service Center | 1 Exchange Plaza, Suite 400 | Raleigh, NC 27601 | 919-996-2495
Litchford Satellite Office | 8320 - 130 Litchford Road | Raleigh, NC 27601 | 919-996-4200

The purpose of this request is to seek a Design Adjustment from the Development Services Director, or designee, for a specific project only and, if granted, may be approved with special conditions and provisions. This application and all further action shall be consistent with Section 10.2.18 in the Unified Development Ordinance (UDO). The consideration and decision of this request shall be based solely on the conformance of the findings, as outlined in Sec. 8.3.6, Sec. 8.4.1.E and Sec. 8.5.1.G of the UDO or the Raleigh Street Design Manual.

PROJECT	Project Name 107 W. Hargett Street	
	Case Number SR-103-2017	Transaction Number 536788

OWNER	Name MMP Hargett 107 LLC (Stuart Frantz)	
	Address 2426 E. Lake Drive	City Raleigh
	State North Carolina	Zip Code 27609

APPLICANT	Name	Firm
	Michael Allen	CALYX Engineers and Consultants
	Address 6750 Tryon Road	City Raleigh
State North Carolina	Zip Code 27518	Phone (919) 858-1888

Applicant must be a Licensed Professional (Engineer, Architect, Surveyor, and/or Contractor)

DESIGN ADJUSTMENT REQUEST	Code Section Referenced: UDO Section 8.4.5.D (Main Street, Parallel Parking Requirements)
	Justification: W. Hargett Street is identified as a "Main Street, Parallel Parking per UDO Section 8.4.5.D. The typical section requires a 73' right-of-way and 41' from back of curb to back of curb. The existing street section consists of a street width of approximately 42' from back of curb to back of curb. However the R/W width is limited to 66' due to the distance between the existing buildings. The existing building to be renovated is located approximately 11.54' from the back of curb therefore no additional R/W can be dedicated.

*Please include any additional support (Plan sheets, aerials, etc.) along with this application. It is the responsibility of the applicant to provide all pertinent information needed for the consideration of this request.

By signing this document I hereby acknowledge the information on this application is, to my knowledge, accurate.

Owner/Owner's Representative Signature _____ Date 12/8/17

In Witness whereof, the parties signed have executed this document on this date.

Notary Signature _____ Date 12.8.17

MY COMMISSION EXPIRES 2.16.19

CALEB J. ROBINSON
 Notary Public
 North Carolina
 Wake County

Design Adjustment Application



DEVELOPMENT SERVICES DEPARTMENT

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PROJECT	Project Name 107 W. Hargett Street	
	Case Number SR-103-2017	Transaction Number 536788

OWNER	Name MMP Hargett 107 LLS (Stuart Frantz)	
	Address 2426 E. Lake Drive	City Raleigh
	State North Carolina	Zip Code 27609
		Phone (919) 606-8150

APPLICANT	Name		Firm
	Michael Allen		CALYX Engineers and Consultants
	Address 6750 Tryon Road		City Raleigh
	State North Carolina	Zip Code 27518	Phone (919) 858-1888

Applicant must be a Licensed Professional (Engineer, Architect, Surveyor, and/or Contractor)

DESIGN ADJUSTMENT REQUEST	Code Section Referenced: UDO Section 8.5.2.A (Streetscape Type, Main Street)
	Justification: W. Hargett Street is identified as a "Main Street, Parallel Parking per UDO Section 8.4.5.D. The typical section requires a 16' streetscape width (10' sidewalk with a 6' planting area). The existing street section consists of a street width of approximately 42' from back of curb to back of curb. However the R/W width is limited to 66' due to the distance between the existing buildings. The existing building to be renovated is located approximately 11.54' from the back of curb therefore no additional streetscape can be constructed.

*Please include any additional support (Plan sheets, aerials, etc.) along with this application. It is the responsibility of the applicant to provide all pertinent information needed for the consideration of this request.

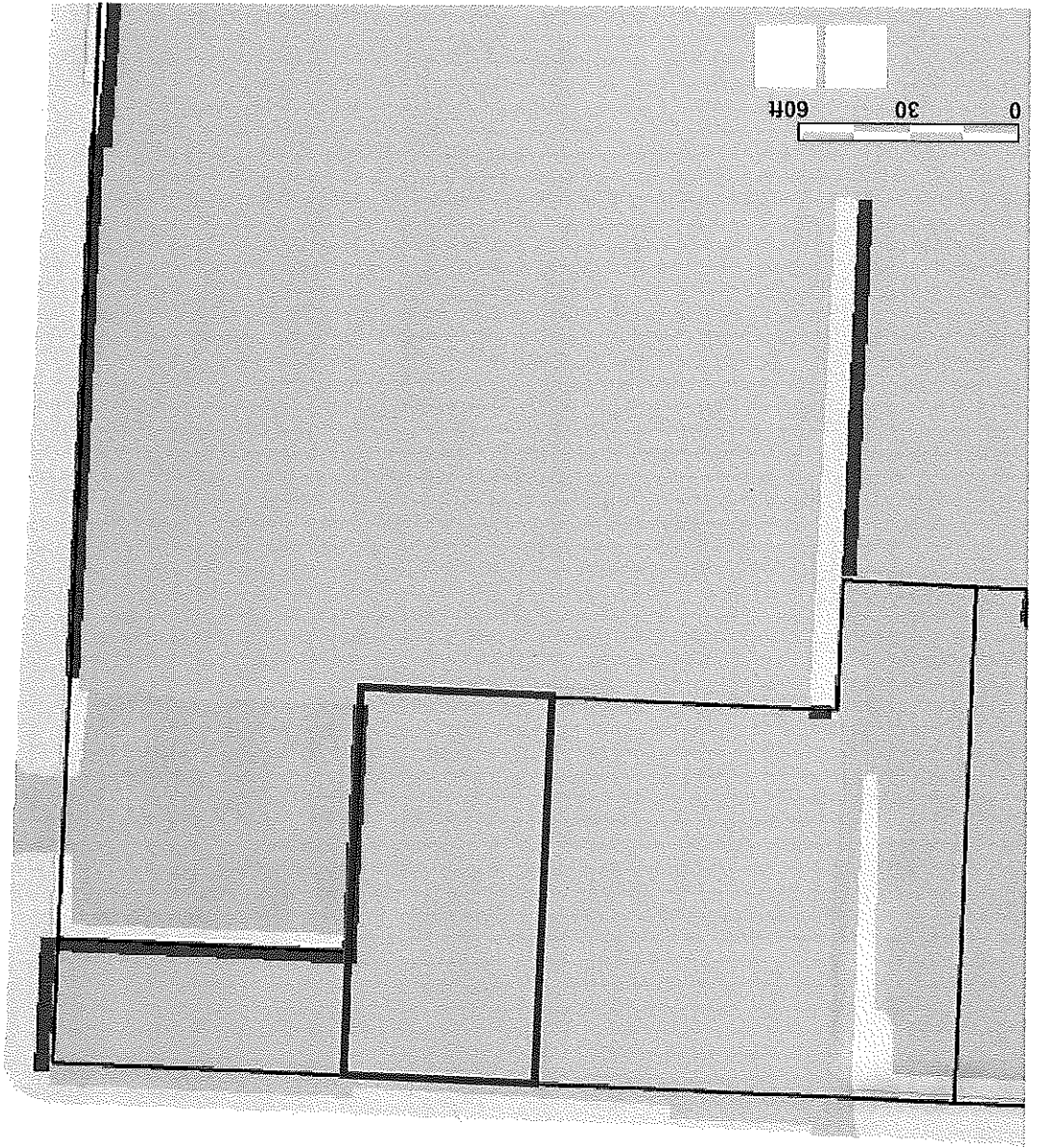
By signing this document I hereby acknowledge the information on this application is, to my knowledge, accurate.

Owner's Representative Signature *Michael Allen* Date 12/8/17

In Witness whereof, the parties signed have executed this document on this date.

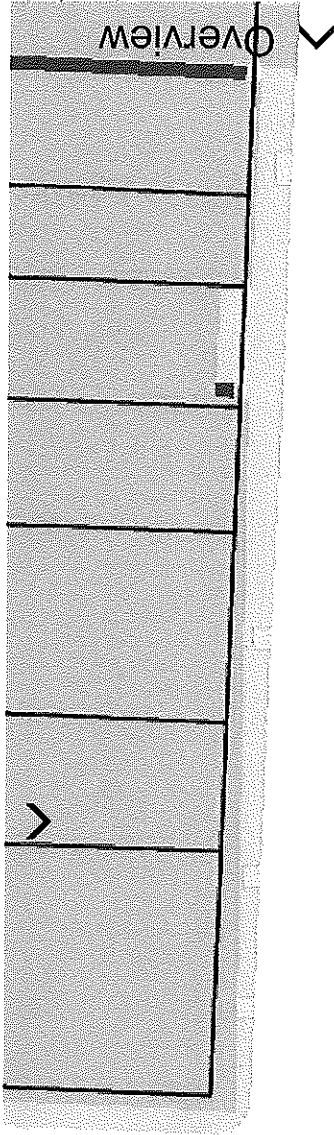
Notary Signature *[Signature]* Date 12.8.17
MY COMMISSION EXPIRES 2.16.19

CALEB J. ROBINSON
(SEAL)
Notary Public
North Carolina
Wake County

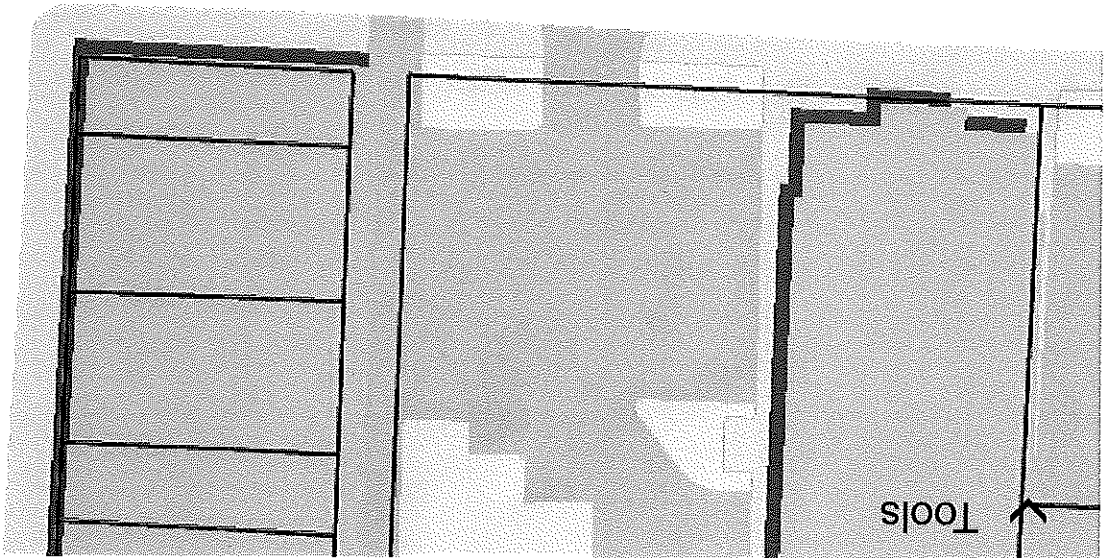


S Salisbury St

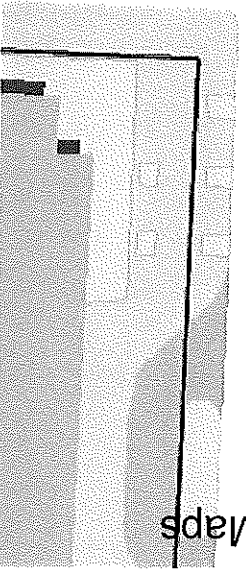
W Hargett St



Overview



Tools



Maps

107 W. HARGETT

ADMINISTRATIVE SITE REVIEW

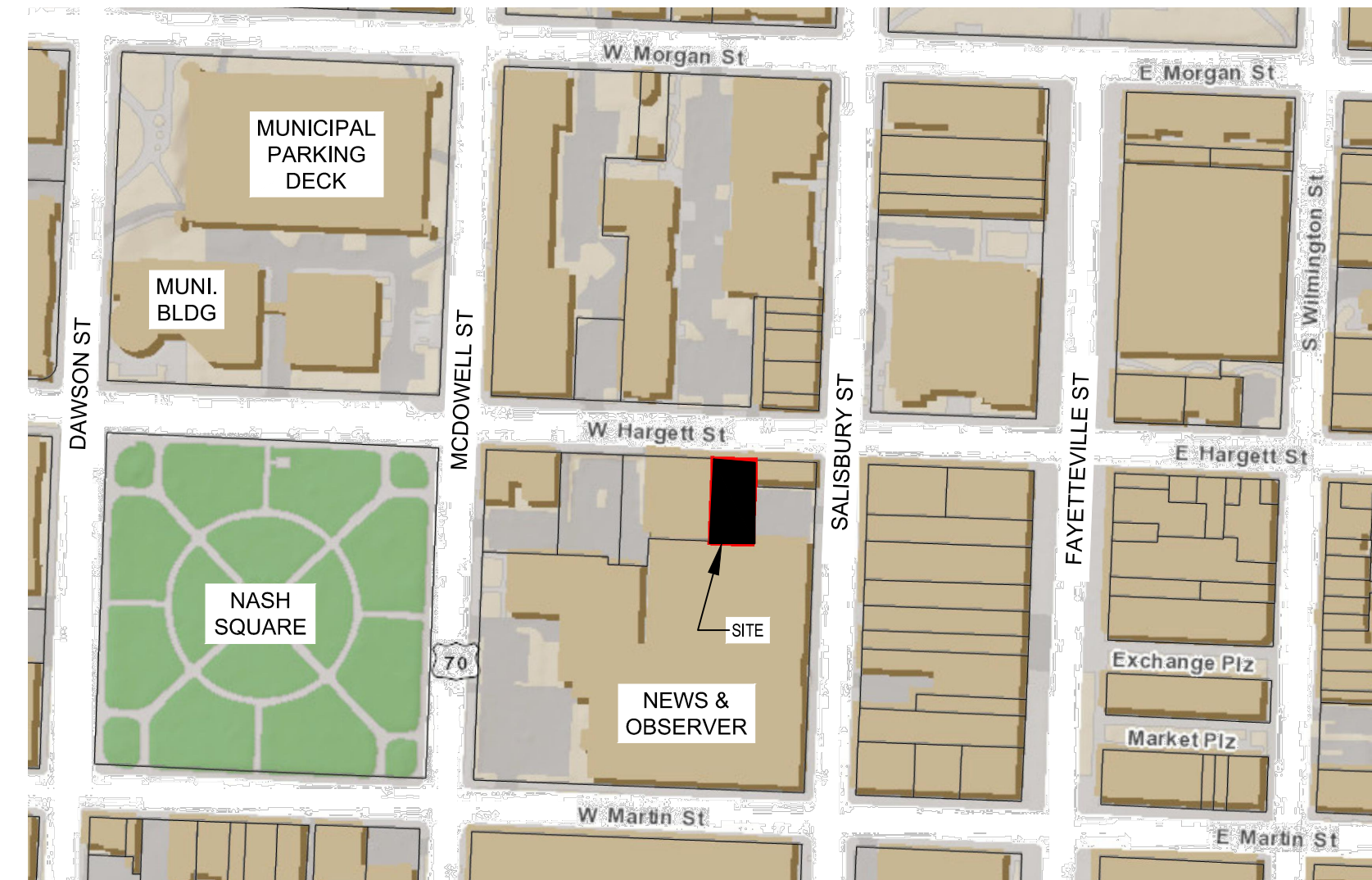
CITY OF RALEIGH, WAKE COUNTY, NORTH CAROLINA

GENERAL NOTES

- All construction shall be in accordance with applicable municipality standards, specifications, and details. Work in this project shall also conform to these plans, the City of Raleigh Standards and Specifications, the latest editions of the North Carolina Department of Transportation (NCDOT) Road and Bridge Specifications, the Road and Bridge Standards, the North Carolina Erosion and Sediment Control Handbook, the North Carolina erosion and Sediment Control Regulations, the final geotechnical report, and General Design Standard. In the event of conflict between any of the standards, specifications, or plans, the most stringent shall govern.
- The contractor shall be solely responsible for trench safety during all phases of construction.
- The location and size of existing utilities as shown is approximate only, the contractor is responsible for horizontally and vertically locating and protecting all public or private utilities that lie in or adjacent to the construction site. The Contractor is fully responsible for notifying all utility owners in accordance with NC General Statute - Chapter 87, Article 8, The Underground Damage Prevention Act.
- The contractor shall salvage and protect all existing power poles, signs, manholes, telephone risers, water valves, etc. during all construction phases. The contractor shall repair, at his own expense, any existing utilities damaged during construction.
- Traffic control on public streets shall be in conformance with the traffic control plan, the "Manual of Uniform Traffic Control Devices," and as further directed by City and State Inspectors.
- Any discrepancies found between the drawings and specifications shall be immediately reported to the engineer, in writing, who shall promptly address such inconsistencies or ambiguities. Work done by the Contractor after his discovery of such discrepancies, inconsistencies, or ambiguities shall be done at the contractor's risk.
- Contractor is responsible for verifying all required permits and approvals prior to commencing construction.
- All areas shall be graded for positive drainage, and as shown on these plans. The contractor shall maintain adequate site drainage during all phases of construction. The contractor shall use silt fences (or other methods approved by the engineer and applicable municipality) as required to prevent silt and construction debris from flowing onto adjacent properties. Contractor shall comply with all applicable federal, state, or local erosion, conservation, and siltation ordinances. Contractor shall remove all temporary erosion control devices upon completion of permanent drainage facilities and the establishment of a stand of grass or other growth to prevent erosion.
- The contractor shall clear and grub the site and place compact, and moisture condition all fill per the project geotechnical engineer's specifications. The fill material to be used shall be approved by the Geotechnical Engineer prior to placement. Fill type, compaction, and moisture condition should be according to the Geotechnical Engineer's specifications, but at a minimum, the following must be met. Materials used to construct embankments for any purpose, backfill around drainage structures, or in utility trenches or any other depression requiring fill or backfill shall be compacted to 95% of maximum density as determined by the modified proctor test as set out in ASTM Standard D-968. The contractor shall, prior to any operations involving filling or backfilling, submit the results of the proctor test together with a certification that the soil tested is representative of the materials to be used on the project. Tests shall be conducted by a certified materials testing laboratory and the certifications made by a licensed professional engineer representing the laboratory.
- Proposed contours and gutter gradients are approximate. Proposed spot elevations and roadway profiles/super-elevations/typical sections are to be used in case of discrepancy.
- The contractor shall verify and coordinate all dimensions shown, including the horizontal and vertical location of curb inlets and grate inlets and all utilities crossing the storm sewer.
- All distances shown represent horizontal ground distances.
- Rim elevations are given as top of curb for Catch Basins, top of grate for Drop Inlets, and top of cover for Junctions Boxes.
- Storm Sewer (RCP) shall be constructed to the following classes:
Cover less than 10 feet - Class C bedding, Class III walls
Cover 10 feet to 15 feet - Class B bedding, Class III walls
Cover greater than 15 feet and less than 2 feet - Class B bedding Class IV walls
- All curb joints shall extend through the curb. Minimum length of offset joints at radius points is 1.5. All joints shall be sealed with joint sealant.
- All handicap ramps and associated pavement markings shall conform to ADA requirements, North Carolina State Building Code and the City of Raleigh Standard Details.
- Existing water and sewer main services to the property are to be verified by the contractor prior to the start of construction. The project engineer has attempted to verify sizes from relevant plans, however, exact size/dimensions can only be determined from field exposure of the relevant line.
- The contractor shall be responsible for contacting the City of Raleigh Inspections Department at (919) 996-2500 to obtain a street cut permit.
- Within the sight triangles shown on this plan, no obstruction between 2 feet and 8 feet in height above the curb line elevation shall be located in whole or part. Obstructions include but are not limited to any berm, foliage, fence, wall, sign, parked vehicle or other object.
- All construction shall be in accordance with all City of Raleigh Standards and Specifications.
- Solid Waste to be collected by the city in bins at the curb. Bin storage area to be provided in the building. Tenants will be responsible for transporting bins to and from the curb at scheduled pick-up times.

This note shall apply to each and every sheet in this set.

The Engineer does not guarantee that all existing facilities such as pipelines, electrical lines, conduit, telephone cable, service connections, or other facilities are shown on the Plans. It shall be the Contractor's responsibility to have all utilities located by their respective owners, field mark the utility locations, and protect all such existing facilities prior to beginning construction. The Contractor is fully responsible for notifying all utility owners in accordance with NC General Statute - Chapter 87, Article 8, The Underground Damage Prevention Act.



VICINITY MAP (1" = 200')

SITE DATA:	
OWNER/APPLICANT:	MMP HARGETT 107 LLC
CONTACT:	MICHAEL ALLEN, PE CALYX ENGINEERS & CONSULTANTS, INC
PIN:	1703685381
TAX MAP:	1703 34
EXISTING ZONING:	DX-20-SH (DOWNTOWN MIXED USE, SHOPFRONT)
ACREAGE/SF:	0.12 ACRES
WETLAND AREA:	0.00 ACRES
AREA IN FLOODPLAIN:	0.00 ACRES
WATERSHED:	NEUSE RIVER BASIN
TREE CONSERVATION AREA:	N/A
EXISTING IMPERVIOUS AREA:	0.12 ACRES
PROPOSED IMPERVIOUS AREA:	0.12 ACRES

DEVELOPER

MMP HARGETT 107 LLC
2426 EAST LAKE DRIVE
RALEIGH, NORTH CAROLINA 27609
CONTACT: STUART FRANTZ
STUARTFRANTZ@GMAIL.COM
(919) 606-8150

ARCHITECT
CLEARSCAPES
ARCHITECTS, PA

311-200 WEST MARTIN STREET
RALEIGH, NORTH CAROLINA 27601
CONTACT: AMY BULLINGTON
ABULLINGTON@CLEARSCAPES.COM
(919) 821-2775

ENGINEER
CALYX ENGINEERS &
CONSULTANTS

6750 TRYON ROAD
CARY, NORTH CAROLINA 27518
CONTACT: MIKE ALLEN, PE
MALLEN@CALYXENGINEERS.COM
(919) 858-1888

**Administrative Site Review Application
(for UDO Districts only)**



**DEVELOPMENT
SERVICES
DEPARTMENT**

Development Services Customer Service Center | Exchange Plaza, Suite 400 | Raleigh, NC 27601 | 919-996-2495 | fax 919-996-1831
Litchford Satellite Office | 8320 - 130 Litchford Road | Raleigh, NC 27601 | 919-996-4200

When submitting plans, please check the appropriate building type and include the Plan Checklist document.

BUILDING TYPE	FOR OFFICE USE ONLY
<input type="checkbox"/> Detached <input type="checkbox"/> Attached <input type="checkbox"/> Apartment <input type="checkbox"/> Townhouse	Transaction Number Assigned Project Coordinator Assigned Team Leader
<input type="checkbox"/> General <input checked="" type="checkbox"/> Mixed Use <input type="checkbox"/> Open Lot	

Has your project previously been through the Due Diligence or Sketch Plan Review process? If yes, provide the transaction # 533390

GENERAL INFORMATION

Development Name: 107 West Hargett Street

Zoning District: DX-20-SH Overlay District (if applicable) Inside City Limits? Yes No

Proposed Use: Restaurant(s) and Offices

Property Address(es): 107 West Hargett Street Major Street Locator: West Hargett Street

Wake County Property Identification Number(s) for each parcel to which these guidelines will apply:

P.I.N. 1703-68-5381 P.I.N. P.I.N. P.I.N.

What is your project type? Apartment Elderly Facilities Hospitals Hotels/Motels Office

Mixed Residential Non-Residential Condo School Shopping Center Banks Industrial Building

Duplex Telecommunication Tower Religious Institutions Residential Condo Retail Cottage Court

Other: if other, please describe: Restaurant(s)

WORK SCOPE: Per City Code Section 10.2.8.D.1, summarize the project work scope. For additions, changes of use, or occupancy (per Chapter 6 of the UDO), indicate impacts on parking requirements.

Renovation of existing 3-story building and construction of a new 5-story building located at 107 West Hargett Street. The proposed Core and Shell building will house future office and restaurant(s).

DESIGN ADJUSTMENT OR ADMIN ALTERNATE: Per City Code Chapter 8, summarize if your project requires either a design adjustment, or Section 10 - Alternate Administrative AE

Design Adjustment requested (Sidewalk Width and R/W Requirements).

CLIENT/DEVELOPER/OWNER: Company MMP Hargett 107 LLC Name (s) Stuart M. Frantz

Address 2426 E. Lake Drive Raleigh, NC 27609

Phone (919) 606-8150 Email stuartfrantz@gmail.com Fax

CONSULTANT (Contact Person for Plans): Company CALYX Engineers+Consultants Name (s) Michael Allen

Address 6750 Tryon Road Cary, NC 27518

Phone (919) 858-1888 Email mallen@calyxengineers.com Fax (919) 851-1918

DEVELOPMENT TYPE & SITE DATA TABLE (Applicable to all developments)			
Zoning Information		Building Information	
Zoning District(s) DX-20-SH		Proposed building use(s) Office/Restaurant(s)	
If more than one district, provide the acreage of each: N/A		Existing Building(s) sq. ft. gross 8,874 sf	
Overlay District N/A		Proposed Building(s) sq. ft. gross 16,615 sf	
Total Site Acres Inside City Limits <input checked="" type="checkbox"/> Yes <input type="checkbox"/> No		Total sq. ft. gross (existing & proposed) 25,489 sf	
Off street parking: Required 11 Provided 0		Proposed height of building(s) 67 ft	
COA (Certificate of Appropriateness) case # N/A		# of stories Five	
BOA (Board of Adjustment) case # A: N/A		Ceiling height of 1 st Floor 12 ft	
CUD (Conditional Use District) case # Z: N/A			
Stormwater Information			
Existing Impervious Surface: 0.12/5,227 acres/square feet		Flood Hazard Area <input type="checkbox"/> Yes <input checked="" type="checkbox"/> No	
Proposed Impervious Surface: 0.12/5,227 acres/square feet		If Yes, please provide:	
Neuse River Buffer <input type="checkbox"/> Yes <input checked="" type="checkbox"/> No		Alluvial Soils: FEMA Map Panel #	
Wetlands <input type="checkbox"/> Yes <input checked="" type="checkbox"/> No		Flood Study	
FOR RESIDENTIAL DEVELOPMENTS			
1. Total # Of Apartment, Condominium or Residential Units		5. Bedroom Units: 1br 2br 3br 4br or more	
2. Total # Of Congregate Care Or Life Care Dwelling Units		6. Infill Development 2,2,7	
3. Total Number of Hotel Units		7. Open Space (only) or Amenity	
4. Overall Total # Of Dwelling Units (1-6 Above)		8. Is your project a cottage court? <input type="checkbox"/> Yes <input checked="" type="checkbox"/> No	
SIGNATURE BLOCK (Applicable to all developments)			
In filing this plan as the property owner(s), I/we do hereby agree and firmly bind ourselves, my/our heirs, executors, administrators, successors and assigns jointly and severally to construct all improvements and make all dedications as shown on this proposed development plan as approved by the City.			
I hereby designate Michael Allen, CALYX Engineers to serve as my agent regarding this application, to receive and respond to administrative comments, to resubmit plans on my behalf and to represent me in any public meeting regarding this application.			
I/we have read, acknowledge and affirm that this project is conforming to all application requirements applicable with the proposed development use.			
Signed: <i>Stuart Frantz</i> Date: 11-14-17			
Printed Name: Stuart Frantz			
Signed: _____ Date: _____			
Printed Name: _____			

SR-103-2017
TRANS. NO. 536788

INDEX OF SHEETS

C-000	COVER
C-001	EXISTING CONDITIONS
C-100	DEMOLITION PLAN
C-200	SITE PLAN
C-300	UTILITY PLAN
C-400	DETAILS
C-401	DETAILS
A-100	BUILDING ELEVATIONS

PUBLIC IMPROVEMENT QUANTITIES

PHASE NUMBER(S)	1
NUMBER OF LOT(S)	1
LOT NUMBER(S) BY PHASE	1
NUMBER OF UNITS	0
LIVABLE BUILDINGS	0
OPEN SPACE	0
NUMBER OF OPEN SPACE LOTS	0
PUBLIC WATER	0
PUBLIC SEWER	0
PUBLIC STREET	0
PUBLIC SIDEWALK	0
POTABLE WATER STUBS	1
SANITARY SEWER STUBS	1

ADMINISTRATIVE SITE REVIEW
2017/11/20

107 W. HARGETT

107 W. Hargett Street
Raleigh, NC

NO.	REVISION DATE	DESCRIPTION
01	11.20.17	PERMANENT SUBMITTAL
02	12.15.17	SITE PLAN RESUBMITTAL #1
03	02.21.18	SITE PLAN RESUBMITTAL #2

PROJECT NO: 2017_0020
DRAWN: CJR
CHECKED: MDA
DATE: 20171218

COVER

C000

Civil Engineer:
CALIX
6750 Tryon Road
Cary, NC 27518
919.836.4800

Structural Engineer:
Lysight & Associates
120 St. Mary's Street
Raleigh, NC 27605
919.833.0495

P/E:
Sigma Engineered Solutions
1200 Gateway Centre Blvd
Suite 100
Morrisville, NC 27650
919.840.9300



ADMINISTRATIVE SITE REVIEW
2017/11/20

107 W. HARGETT

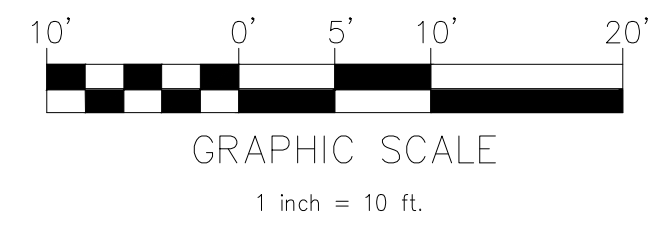
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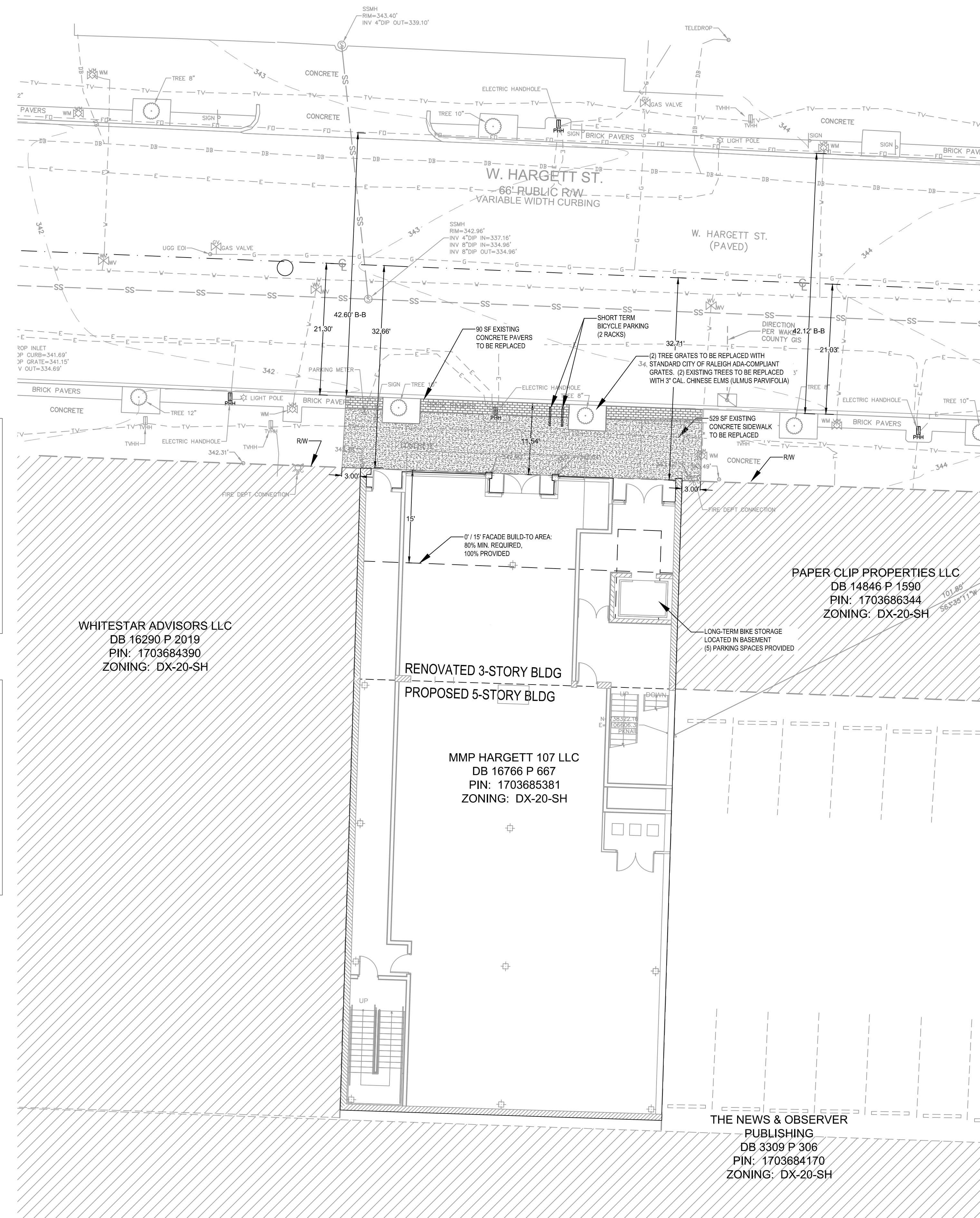
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01	11.20.17	FORWARD SUBMITTAL
02	12.15.17	SITE PLAN RESUBMITTAL #1
03	02.21.18	SITE PLAN RESUBMITTAL #2

PROJECT NO: 2017_0020
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EXISTING CONDITIONS

C001





DESIGN AMENDMENTS REQUESTED:

- STANDARD 16.5' SIDEWALK SECTION CANNOT BE OBTAINED.
- W. HARGETT STREET IS CLASSIFIED AS A "MAIN STREET PARALLEL PARKING." STREETSCAPE DEDICATION AND IMPROVEMENTS CANNOT BE OBTAINED.

NOTES:

- NO INCREASE OF IMPERVIOUS SURFACES ARE PROPOSED. PROJECT IS ELIGIBLE FOR EXEMPTION FROM STORMWATER CONTROL MEASURES PER UDO SECTION 9.2.2.A.3.B.
- FIRE FLOW ANALYSIS TO BE PROVIDED AT BUILDING PERMIT REVIEW PER 2012 NCFPC, SECTION 507.3.

BUILDING SF SUMMARY:

GROUND FLOOR (RESTAURANT)	5,029 SF
2ND FLOOR (BUSINESS)	5,115 SF
3RD FLOOR (BUSINESS)	5,115 SF
4TH FLOOR (BUSINESS)	4,625 SF (INTERIOR)
	490 SF (EXTERIOR)
5TH FLOOR (RESTAURANT)	3,700 SF (INTERIOR)
	1,415 SF (EXTERIOR)
TOTAL SF	25,489 SF

AMENITY REQUIREMENTS
PROVIDE A MINIMUM OF 10% OF TOTAL PARCEL AREA
TOTAL PARCEL AREA: 0.12 ACRES (5,227.2 SF)
MINIMUM AMENITY (10%): 522.7 SF
AMENITY AREA PROVIDED: 523.0 SF

NOTE: AMENITY AREA LOCATED ON FIFTH FLOOR TERRACE. REFER TO SHEET A100.

PARKING SUMMARY

Per UDO Section 7.1.3.A.1.d and e, no vehicle parking is required for the first 10,000 SF of GFA of any non-residential use. In addition, at least 25% of the ground floor is restaurant.

Total SF: 25,489 SF
Office SF exemption: 10,000 SF
Restaurant SF exemption: 10,000 SF
Remaining SF for Parking Requirements: 5,489 SF

After reductions, parking to be provided is 1 space per 500 SF
Parking Required: 5,489 SF/500 = 11 Parking Spaces (including 1 Van Accessible Space)

Remote Parking Agreement will be provided for the required parking spaces.

- Remote parking will be located in DX Zoning.
- Urban Frontage requires the remote parking to be within 1,320 feet of the building.
- Remote Parking Agreement will be provided at Building Permit for Office Tenant Up-fit.

BIKE PARKING REQUIREMENTS

SHORT TERM
Restaurant: 1 space per 50,000 gsf required; Proposed 10,144 gsf: 1 space
Office: 1 space per 10,000 gsf required; Proposed 15,345 gsf: 2 spaces
Total Required per calculations: 3 spaces (code requires a minimum of 4 spaces)

SHORT TERM SPACES PROVIDED: 4

LONG TERM
Restaurant: 1 space per 25,000 gsf required; Proposed 10,144 gsf: 1 space
Office: 1 space per 5,000 gsf required; Proposed 15,345 gsf: 4 spaces
Total Required per calculations: 5 spaces

LONG TERM SPACES PROVIDED: 5

Note: Long Term Bike Parking is located in the basement as indicated in the Site Plan

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107 W. HARGETT

107 W. Hargett Street
Raleigh, NC

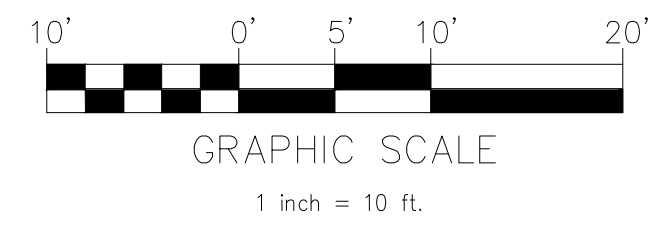
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NO.	REVISION DATE	
01	FORWARD SUBMITTAL	11.20.17
02	SITE PLAN RESUBMITTAL #1	12.15.17
03	SITE PLAN RESUBMITTAL #2	02.21.18

PROJECT NO: 2017_0020
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SITE PLAN

C200



Civil Engineer:
CALIX
6750 Tryon Road
Cary, NC 27518
919.836.4800

Structural Engineer:
Lysight & Associates
120 St. Mary's Street
Raleigh, NC 27605
919.833.0495

P/E:
Sigma Engineered Solutions
1200 Gateway Centre Blvd
Suite 100
Morrisville, NC 27650
919.840.5000



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107 W. HARGETT

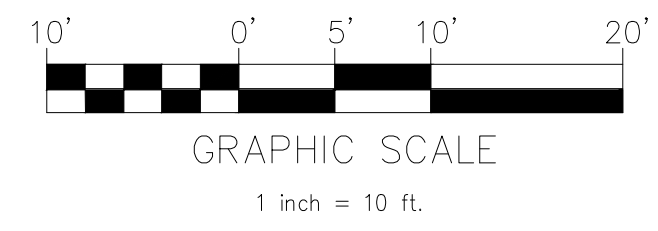
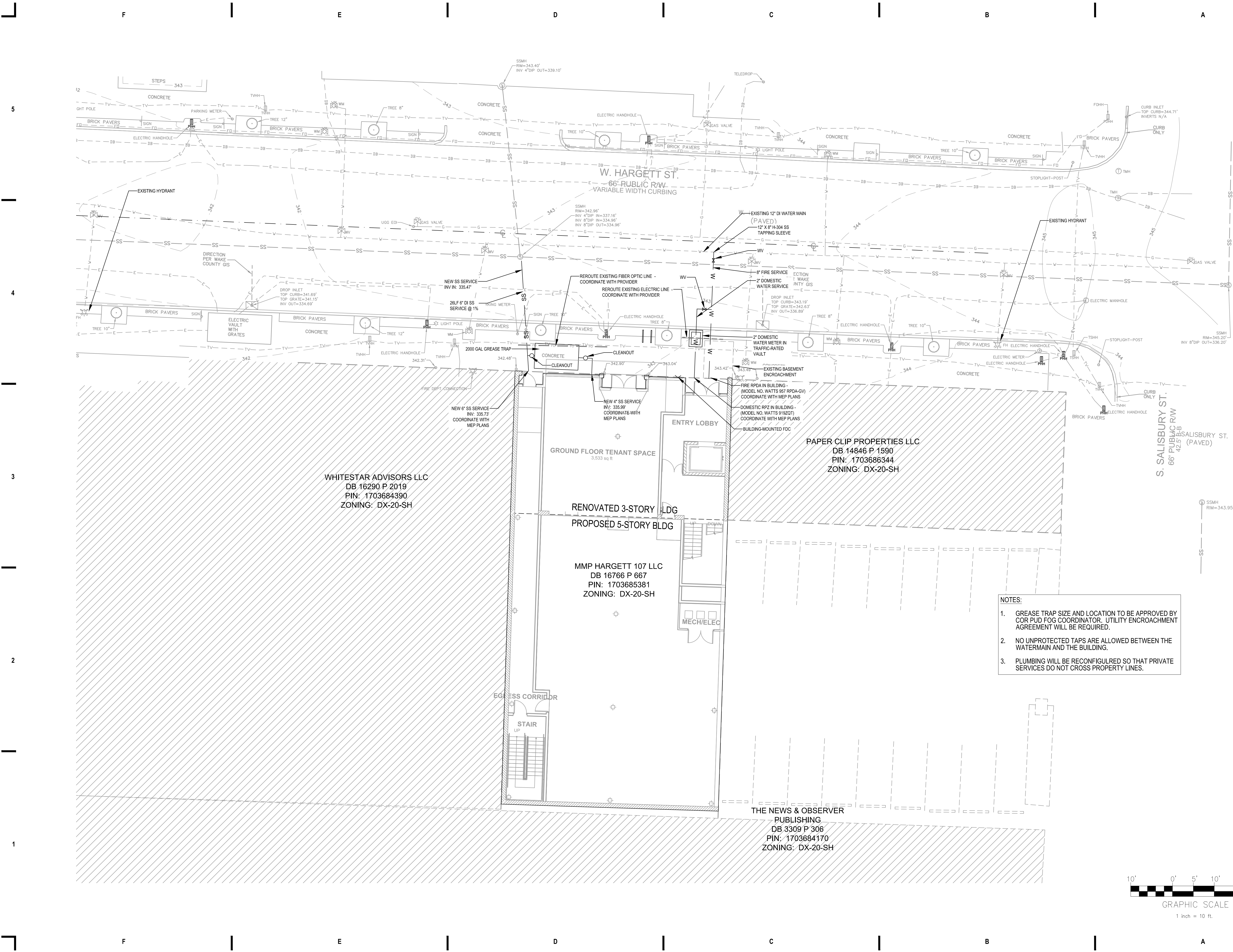
107 W. Hargett Street
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UTILITY PLAN

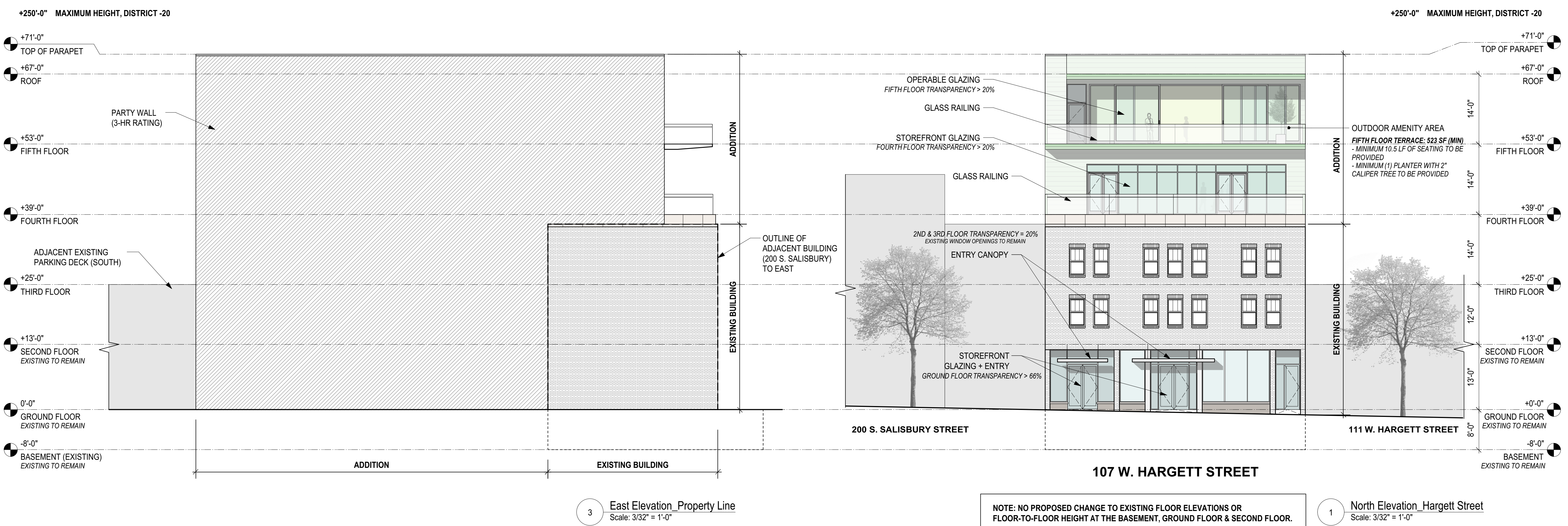
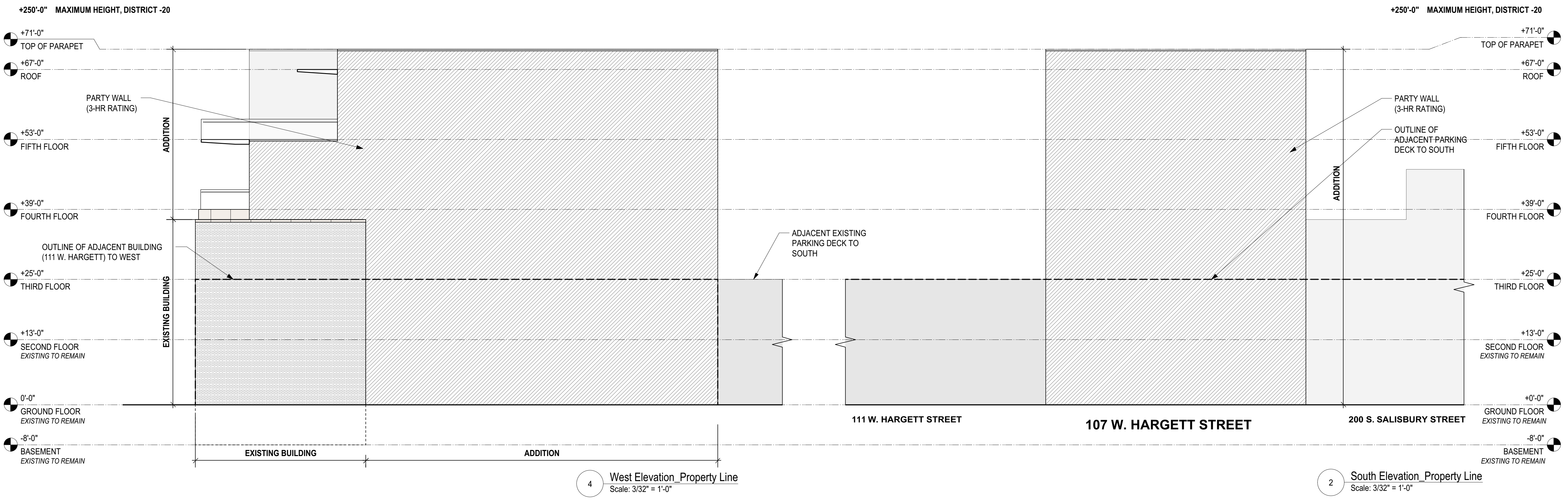
C400



CONSULTANTS
Civil Engineer:
CALYX
6750 Tryon Road
Cary, NC 27518
919.836.4800

Structural Engineer:
Lysaght & Associates
120 St. Mary's Street
Raleigh, NC 27605
919.833.0495

PME:
Sigma Engineered Solutions
1200 Gateway Centre Blvd
Suite 100
Morrisville, NC 27650
919.840.9300



ADMINISTRATIVE SITE REVIEW
2017/11/20

107 W. HARGETT

107 W. Hargett Street
Raleigh, NC

NO.	REVISION DATE

PROJECT DATA
PROJECT NO: 2017_0020
DRAWN: AMB
CHECKED: SDS
DATE: 2017/11/20

BUILDING ELEVATIONS

A100

Date: Jan 11, 2018
File name: 107 West Hargett Street_Site Plan_Submittal_REVISED.rvt