

SKLAND RIDGE LOT 2 SR-99-2017



0 300 600 1,200 Feet

Zoning: **CX-7-CU**
CAC: **Northwest**
Drainage Basin: **Little Briar**
Acreage: **8.75**
Sq. Ft.: **47,378**

Planner: **Daniel Stegall**
Phone: **(919) 996-2712**
Applicant: **MCadams- Jay Mately**
Phone: **(919) 361-5000**





Administrative Approval Action

Skyland Ridge Lot 2: SR-99-17
Transaction# 536248, AA# 3703

City of Raleigh
Development Services Department
One Exchange Plaza
Raleigh, NC 27602
(919) 996-2495
DS.help@raleighnc.gov
www.raleighnc.gov

LOCATION: This site is located at northwest of the intersection of Brier Creek Parkway and Skyland Ridge Parkway. The address of the site is 7860 Brier Creek Parkway and the PIN is 0768581332.

REQUEST: Revision to a previously approved plan SR-11-15 to increase the gross floor area for development on Lot 2 as referenced in BM 2016 page 199 in the Wake County Registry. The revised development plan consists of a 1.09 acre tract zoned CX-7 CUD into 6,129 square feet of medical office space, 1,513 square feet of retail space and 1,564 square feet of restaurant space within a single building (Building 1 on the development plan). Parking will be provided at 1 space/300 square feet of retail and medical office space and 1 space/150 square feet of restaurant. Overall site parking calculations for Lot 1, 2 and 3 are provided in plan. Reference Z-37-14 and S-69-15 for additional information on development.

DESIGN

ADJUSTMENT(S)/

ALTERNATES, ETC:

One Design Adjustment has been approved by the Development Services Designee for this project, noted below.

1. A Design Adjustment waiving the block perimeter requirement (UDO Section 8.3) has been approved by the Public Works Director Designee due to existing residential development.

FINDINGS: City Administration finds that this request, with the below conditions of approval being met, conforms to the Unified Development Ordinance. This approval is based on a preliminary plan submitted by Jay Matey of McAdams.

CONDITIONS OF APPROVAL and NEXT STEPS:

Note: *This document must be applied to the second sheet of all future submittals with the exception of final plats.*

PRIOR TO THE ISSUANCE OF ANY SITE PERMITS OR APPROVAL OF CONCURRENT REVIEW PROCESS, WHICHEVER IS APPLICABLE:

ENGINEERING

1. Next Step: A right-of-way obstruction permit must be obtained from Right-of-way Services prior to the commencement of any construction activities within the right-of-way.

STORMWATER

2. In accordance with Part 10A Section 9.4.4 of the Unified Development Ordinance, a surety equal to of the cost of clearing, grubbing and reseeding a site, shall be paid to the City.
3. A stormwater control plan showing proposed development complies with overall stormwater plan approved under S-69-15 shall be submitted.

PRIOR TO ISSUANCE OF BUILDING PERMITS:

GENERAL

4. Comply with all conditions of Z-37-14.
5. Provide fire flow analysis.



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6. Infrastructure Construction Plans shall be approved by the City of Raleigh, including obtaining stub permits and a tree impact permit;

ENGINEERING

7. A right-of-way obstruction permit shall be obtained from Right-of-way Services for any construction activity within the right-of-way.

PUBLIC UTILITIES

8. A final plat must be recorded at the Wake County Register of Deeds office for the City of Raleigh Water Line easement dedication for the domestic water meter.

STORMWATER

9. All stormwater control measures and means of transporting stormwater runoff to and from any nitrogen and stormwater runoff control measures shall be shown on all plats for recording as private drainage easements.

PRIOR TO ISSUANCE OF BUILDING OCCUPANCY PERMIT:

10. Required underground storm drainage improvements shall be completed and as-built plan(s) and certification(s) reviewed and accepted by the City of Raleigh Development Services – Development Engineering program.
11. All street lights and street signs required as part of the development approval are installed.
12. That in accordance with Part 10A Section 9.2.2, an impervious surface as-built survey shall be reviewed and accepted by the City prior to final stormwater inspection approval
13. Copies of certified inspection reports for alleys and internal access ways are submitted to the City of Raleigh Development Services – Development Engineering program.

EXPIRATION DATES: The expiration provisions of UDO Section 10.2.8 E, including the ability to request extensions in the expiration date, apply to this site plan. If significant construction has not taken place on a project after administrative site review approval, that approval may expire and be declared void, requiring re-approval before permits may be issued. To avoid allowing this plan approval to expire the following must take place by the following dates:

3-Year Expiration Date: 2-21-2021

Obtain a valid building permit for the total area of the project, or a phase of the project.

4-Year Completion Date:

Within four years after issuance of the first building permit for the site plan, the construction of the entire site plan must be completed unless an applicant has been granted vested rights. Failure to complete construction within this specified time frame shall automatically void the approved site plan for which no building permits have been issued.

I hereby certify this administrative decision.

Signed:(Planning Dir./Designee)

Date: 2/21/2018

Staff Coordinator: Daniel L. Stegall

Design Adjustment Staff Response



**DEVELOPMENT
SERVICES
DEPARTMENT**

Development Services Customer Service Center | 1 Exchange Plaza, Suite 400 | Raleigh, NC 27601 | 919-996-2495
Litchford Satellite Office | 8320 - 130 Litchford Road | Raleigh, NC 27601 | 919-996-4200

Per Section 10.2.18.C of the Unified Development Ordinance, the Development Services Director, or designee, shall consult with the heads of other City Departments regarding the review of the request. The Development Services Director, or designee, shall approve, approve with conditions or deny the request, but must do so within 60 days of the receipt of a completed application. Additional time may be necessary if a municipal or state entity is incorporated in the review process or if a detailed engineering study is submitted in conjunction with the request.

PROJECT	Project Name Skyland Ridge - Lot 2	Date completed Application received 1/5/2017
	Case Number SR-99-2017	Transaction Number 536248

DEPARTMENT RESPONSE/RECOMMENDATION	Staff <u>SUPPORTS</u> the Design Adjustment based upon the findings in these applicable code:																			
	<input type="checkbox"/> UDO Art. 8.3 Blocks, Lots, Access		<input type="checkbox"/> UDO Art. 8.4 New Streets																	
	<input checked="" type="checkbox"/> UDO Art. 8.5 Existing Streets		<input type="checkbox"/> Raleigh Street Design Manual <input type="checkbox"/> Other																	
	<table border="1"> <thead> <tr> <th>DEPARTMENT</th> <th>REPRESENTATIVE SIGNATURE</th> <th>DEPARTMENT</th> <th>REPRESENTATIVE SIGNATURE</th> </tr> </thead> <tbody> <tr> <td><input type="checkbox"/> Dev. Services Planner</td> <td rowspan="4" style="text-align: center; vertical-align: middle;"></td> <td><input type="checkbox"/> City Planning</td> <td></td> </tr> <tr> <td><input checked="" type="checkbox"/> Development Engineering</td> <td><input type="checkbox"/> Transportation</td> <td></td> </tr> <tr> <td><input type="checkbox"/> Engineering Services</td> <td><input type="checkbox"/> PRCR</td> <td></td> </tr> <tr> <td><input type="checkbox"/> Public Utilities</td> <td></td> <td></td> </tr> </tbody> </table>				DEPARTMENT	REPRESENTATIVE SIGNATURE	DEPARTMENT	REPRESENTATIVE SIGNATURE	<input type="checkbox"/> Dev. Services Planner		<input type="checkbox"/> City Planning		<input checked="" type="checkbox"/> Development Engineering	<input type="checkbox"/> Transportation		<input type="checkbox"/> Engineering Services	<input type="checkbox"/> PRCR		<input type="checkbox"/> Public Utilities	
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<input type="checkbox"/> Engineering Services		<input type="checkbox"/> PRCR																		
<input type="checkbox"/> Public Utilities																				
<p>Findings: Staff supports the request for a Design Adjustment in regards to the applicable block perimeter for the address at 7860 Brier Creek Pkwy. The presence of existing buildings and existing Neuse Riparian Buffer do not allow for proposed street connections to improve block perimeter at this site. Also, a cross access agreement for this location allows for internal connectivity to the two public right-of-ways bordering the site and the three internal parcels.</p>																				

Development Services Director or Designee Action: Approve Approval with Conditions Deny

Authorized Signature

KENNETH W. RITCHIE, PE, MPA
DEVELOPMENT OPERATIONS MANAGER

Date

2/21/2018

*The Development Services Director may authorize a designee to sign in his/her stead. Please print name and title next to signature.

CONDITIONS	
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Appeal of the decision from the Development Services Director, or his or her designee, shall be made in writing within 30 days to the Board of Adjustment (see Section 10.2.18.C3b).

Design Adjustment Application



DEVELOPMENT SERVICES DEPARTMENT

Development Services Customer Service Center | 1 Exchange Plaza, Suite 400 | Raleigh, NC 27601 | 919-996-2495
Litchford Satellite Office | 8320 - 130 Litchford Road | Raleigh, NC 27601 | 919-996-4200

The purpose of this request is to seek a Design Adjustment from the Development Services Director, or designee, for a specific project only and, if granted, may be approved with special conditions and provisions. This application and all further action shall be consistent with Section 10.2.18 in the Unified Development Ordinance (UDO). The consideration and decision of this request shall be based solely on the conformance of the findings, as outlined in Sec. 8.3.6, Sec. 8.4.1.E and Sec. 8.5.1.G of the UDO or the Raleigh Street Design Manual.

PROJECT	Project Name Skyland Ridge - Lot 2	
	Case Number #SR-99-17	Transaction Number 536248

OWNER	Name Brier Creek Parkway 7860, LLC	
	Address 10120 Green Level Church Road, Suite 212	City Graham
	State NC	Zip Code 27519
		Phone 919-247-0497

APPLICANT	Name		Firm
	Jay Matey, P.E.		McAdams
	Address 2905 Meridian Parkway		City Durham
	State NC	Zip Code 27713	Phone 919-287-0873

Applicant must be a Licensed Professional (Engineer, Architect, Surveyor, and/or Contractor)

DESIGN ADJUSTMENT REQUEST	Code Section Referenced: UDO 8.3.
	<p>Justification: This application does not materially change the overall development layout that was previously approved under SR-11-15. Infrastructure associated with the subdivision has been completed as has the development of Lot 1. Thus, all vehicular access points are completed and there are no opportunities to change them at this point. As far as the findings outlined in UDO Section 8.3.6:</p> <ul style="list-style-type: none"> A. The intent of block perimeter is to provide a well connected street network. There are no public streets located within the development. However, the internal access driveways provide ample connectivity to both adjacent public streets and to the three (3) internal lots. Thus, the intent of the Ordinance has been met. B. The project conforms with the Comprehensive Plan and the UDO. C. Turn lanes have been provided at external driveway connections. There is ample storage at each driveway for internal vehicle stacking. Congestion will not be increased and safety will not be compromised. D. All lots have frontage on a public right-of-way. E. Block perimeter requirements cannot be met due to existing buildings within the project, existing streams on the north, west, and south sides, and the layout of the existing development. F. There are no known roadway projects that will directly impact the request subject to this application.

*Please include any additional support (Plan sheets, aerials, etc.) along with this application. It is the responsibility of the applicant to provide all pertinent information needed for the consideration of this request.

By signing this document I hereby acknowledge the information on this application is, to my knowledge, accurate.

Owner/Owner's Representative Signature

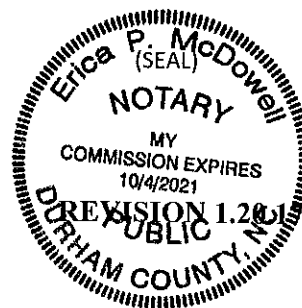
Date 12/15/17

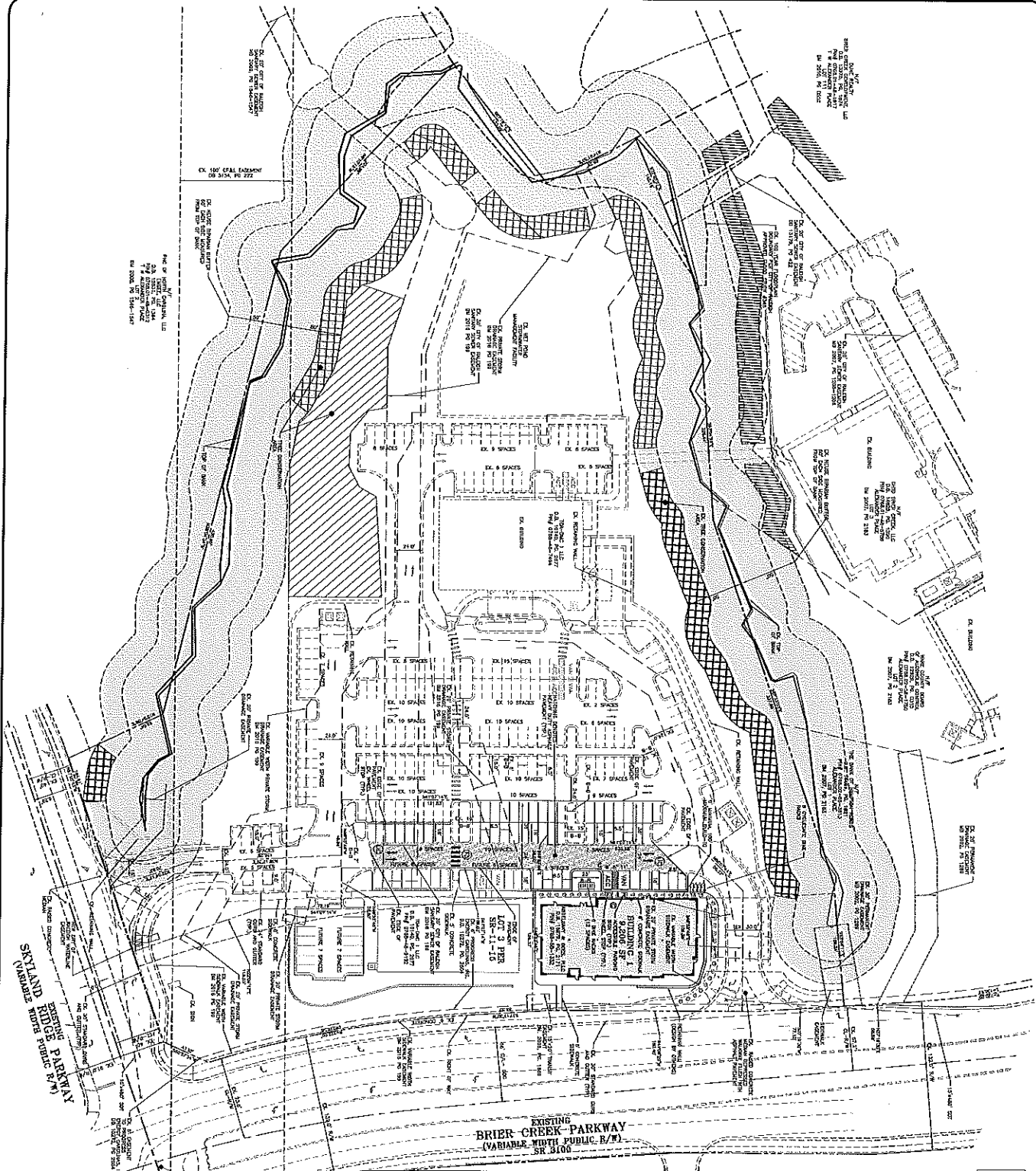
In Witness whereof the parties signed have executed this document on this date.

Notary Signature

Erica P. McDowell 12/15/17

Date





ALL CONSTRUCTION SHALL COMPLY WITH THE LATEST VERSION OF THE CITY OF RALEIGH AND NEIGHBORING JURISDICTIONS' STANDARDS AND DETAILS.

PRELIMINARY DRAWING - NOT RELEASED FOR CONSTRUCTION

DATE: 12/14/2017

PROJECT NO: SPEC-171212

DATE: 12/14/2017

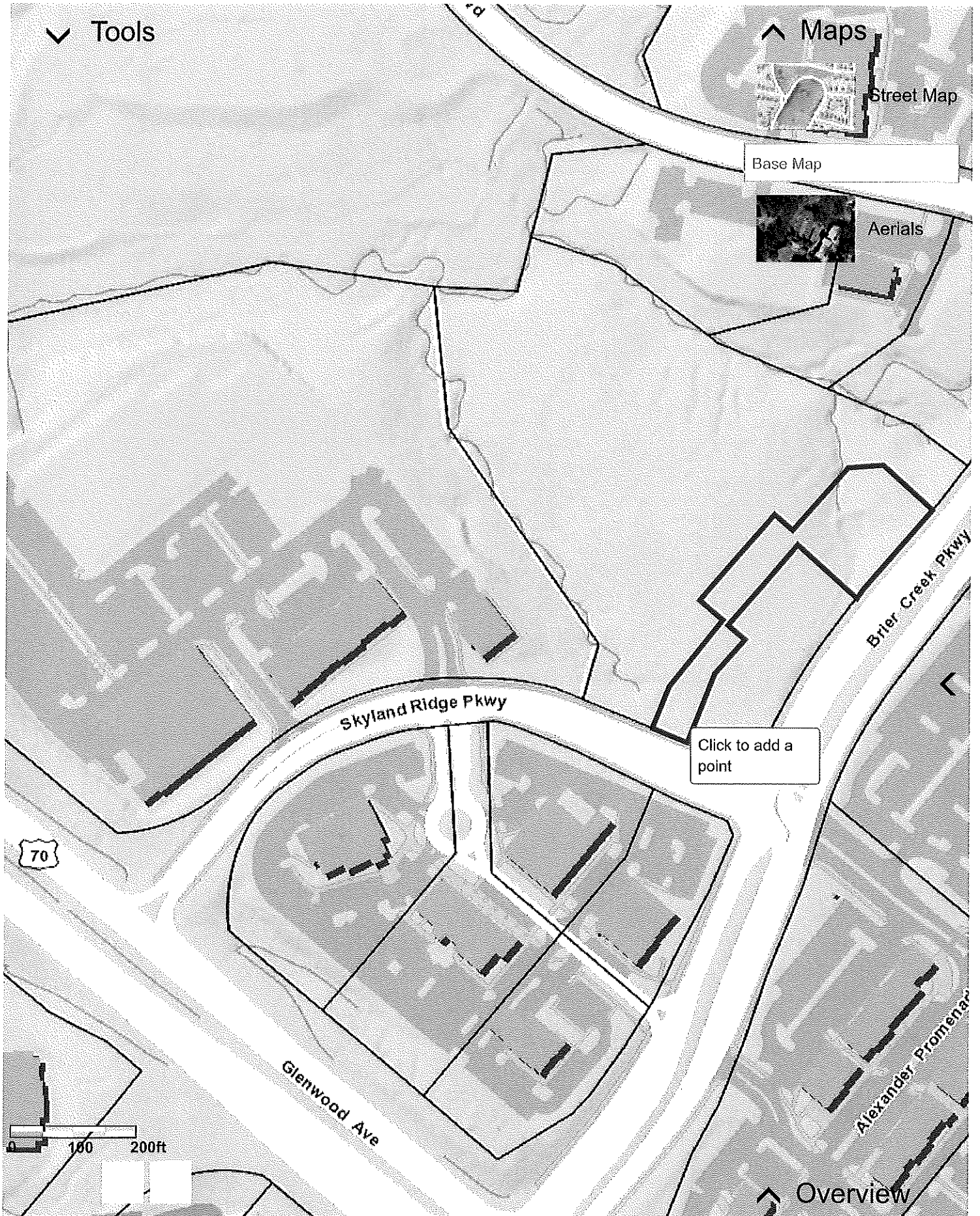
DATE: 12/14/2017

SITE DATA	
OWNER	THE CITY OF RALEIGH
PROJECT NO	171212
PROJECT NAME	SKYLAND RIDGE - LOT 2
PROJECT ADDRESS	10120 GREEN LEVEL CHURCH ROAD, RALEIGH, NC 27615
PROJECT PHONE	
PROJECT FAX	
PROJECT EMAIL	
PROJECT WEBSITE	
PROJECT CONTACT	
PROJECT CONTACT PHONE	
PROJECT CONTACT FAX	
PROJECT CONTACT EMAIL	
PROJECT CONTACT WEBSITE	
PROJECT CONTACT ADDRESS	
PROJECT CONTACT CITY	
PROJECT CONTACT STATE	
PROJECT CONTACT ZIP	
PROJECT CONTACT COUNTRY	

TREE CONSERVATION LEGEND	
(Symbol)	PRIMARY TREE CONSERVATION AREA
(Symbol)	SECONDARY TREE CONSERVATION AREA
(Symbol)	PROTECTED TREES

SITE LEGEND	
(Symbol)	CONCRETE
(Symbol)	ASPHALT
(Symbol)	PAVED DRIVEWAY
(Symbol)	ACCESSIBLE DRIVEWAY
(Symbol)	ACCESSIBLE SIDEWALK
(Symbol)	ACCESSIBLE BIKEWAY
(Symbol)	PROPERTY LINE
(Symbol)	RIGHT-OF-WAY LINE
(Symbol)	CONTRACT
(Symbol)	EXISTING AND PROPOSED CURBS
(Symbol)	EXISTING AND PROPOSED DRIVEWAYS
(Symbol)	EXISTING AND PROPOSED SIDEWALKS
(Symbol)	EXISTING AND PROPOSED BIKEWAYS
(Symbol)	EXISTING AND PROPOSED DRIVEWAY
(Symbol)	EXISTING AND PROPOSED SIDEWALK
(Symbol)	EXISTING AND PROPOSED BIKEWAY

PROPOSED SIGNAGE	
(Symbol)	PROJECT NAME SIGN
(Symbol)	ADDRESS SIGN
(Symbol)	PROJECT NUMBER SIGN
(Symbol)	PROJECT ADDRESS SIGN
(Symbol)	PROJECT CONTACT SIGN
(Symbol)	PROJECT WEBSITE SIGN
(Symbol)	PROJECT PHONE SIGN
(Symbol)	PROJECT FAX SIGN
(Symbol)	PROJECT EMAIL SIGN
(Symbol)	PROJECT CONTACT ADDRESS SIGN
(Symbol)	PROJECT CONTACT CITY SIGN
(Symbol)	PROJECT CONTACT STATE SIGN
(Symbol)	PROJECT CONTACT ZIP SIGN
(Symbol)	PROJECT CONTACT COUNTRY SIGN



SKYLAND RIDGE - LOT 2

ADMINISTRATIVE SITE REVIEW FOR:
SKYLAND RIDGE - LOT 2
RALEIGH, NORTH CAROLINA
PROJECT NUMBER: SPEC-17112

ADMINISTRATIVE SITE REVIEW CITY OF RALEIGH TRANSACTION #536248 CITY OF RALEIGH CASE #SR-99-17

7860 BRIER CREEK PARKWAY
RALEIGH, NORTH CAROLINA
PROJECT NUMBER: SPEC-17112

DATE: JANUARY 29, 2018

DEVELOPER:

BRIER CREEK PARKWAY 7860, LLC
10120 GREEN LEVEL CHURCH ROAD
SUITE 212
GRAHAM, NORTH CAROLINA 27519
CONTACT: JONATHAN BOES
PHONE: 919-247-0497
EMAIL: jeboes@gmail.com

ZONING CONDITIONS:

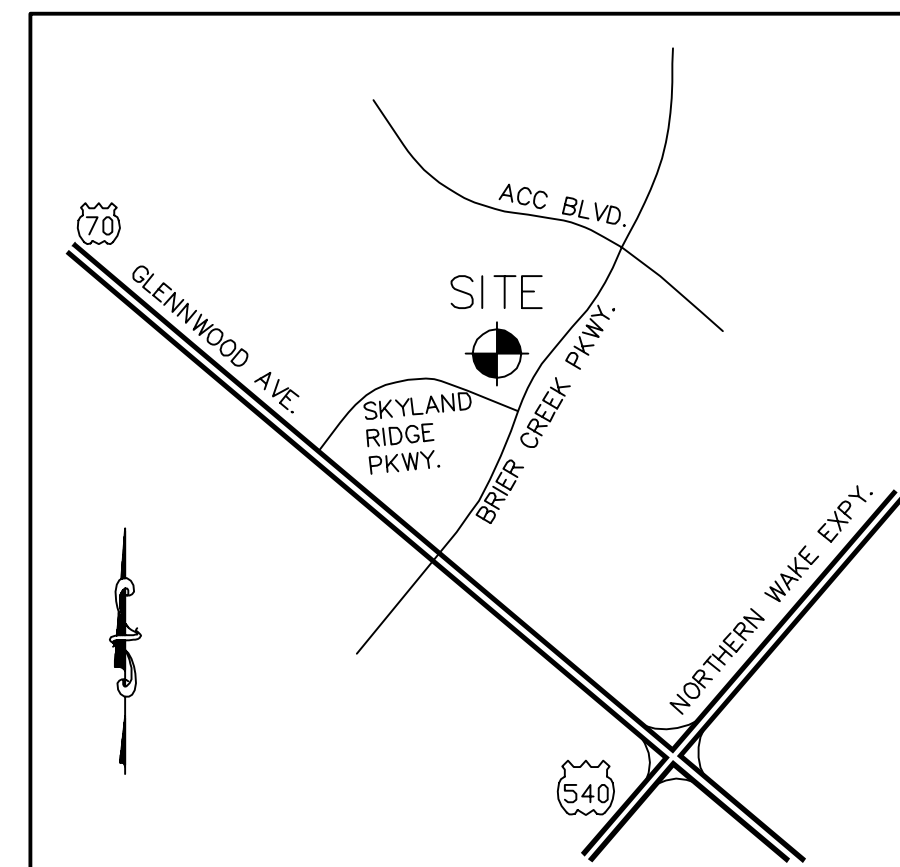
- THE FOLLOWING PRINCIPAL USES SHALL BE PROHIBITED ON THE PROPERTY: ADULT ESTABLISHMENT.
 - THERE SHALL BE A BUILD-TO AREA ALONG BRIER CREEK PARKWAY, BETWEEN A MINIMUM OF ZERO (0) FEET TO A MAXIMUM OF ONE-HUNDRED (100) FEET, AS MEASURED PERPENDICULAR TO THE BRIER CREEK PARKWAY PUBLIC RIGHT-OF-WAY. THE MINIMUM PERCENTAGE OF BUILDING WIDTH IN THIS BUILD-TO AREA SHALL BE TWENTY-FIVE PERCENT (25%). THE MINIMUM PERCENTAGE OF BUILDING WIDTH IN THE BUILD-TO AREA SHALL BE COUNTED AGAINST THE ENTIRETY OF THE PROPERTY'S FRONTAGE AND NOT ON A LOT-BY-LOT BASIS IN THE EVENT OF A SUBDIVISION OF THE PROPERTY. EACH BUILDING LOCATED WITHIN THE BUILD-TO AREA ALONG BRIER CREEK PARKWAY SHALL HAVE A MINIMUM OF ONE BUILDING ENTRANCE FACING BRIER CREEK PARKWAY, AND DIRECT PEDESTRIAN ACCESS SHALL BE PROVIDED BETWEEN THIS STREET-FACING ENTRANCE AND THE PUBLIC SIDEWALK LOCATED ALONG BRIER CREEK PARKWAY.
 - THE MAXIMUM DEVELOPMENT INTENSITIES FOR THE PROPERTY SHALL BE ONE OF THE FOLLOWING SCENARIOS, AT THE ELECTION OF THE PROPERTY OWNER:
 - 54,000 SQUARE FEET OF COMMERCIAL LAND USES, OF WHICH NO MORE THAN 20,000 SQUARE FEET MAY BE USED FOR COMMERCIAL LAND USES OTHER THAN MEDICAL AND OFFICE LAND USES; OR
 - 34,000 SQUARE FEET OF MEDICAL AND OFFICE LAND USES AND A HOTEL WITH UP TO 150 ROOMS; OR
 - ANY LAND USE OR MIX OF LAND USES PERMITTED ON THE PROPERTY SO LONG AS THE OVERALL DEVELOPMENT DOES NOT EXCEED 162 AM PEAK HOUR TRIPS AND 317 PM PEAK HOUR TRIPS.
- REFERENCES TO LAND USES IN THIS CONDITION SHALL HAVE THE MEANING AS ASCRIBED IN THE ALLOWED PRINCIPAL USE TABLE (UDO SECTION 6.1.4). ELECTION OF THE SPECIFIC SCENARIO WILL OCCUR PRIOR TO THE ISSUANCE OF THE FIRST BUILDING PERMIT, OR THE RECORDING OF A SUBDIVISION PLAT, WHICHEVER OCCURS FIRST. HOWEVER, THIS SHALL NOT PRECLUDE THE SUBSEQUENT ELECTION AND ANY AMENDMENT THERETO WILL BE IN WRITING AND RECORDED WITH THE WAKE COUNTY REGISTER OF DEEDS. ANY AMENDMENT TO THE INITIAL ELECTION REQUIRE THE CONSENT OF THE CITY PLANNING DIRECTOR, AS EVIDENCED BY THE SIGNATURE OF THE CITY PLANNING DIRECTOR ON THE RECORDED INSTRUMENT, AND WHICH CONSENT SHALL BE GIVEN IF THE SUBSEQUENT ELECTION COMPLIES WITH THIS CONDITION.
- PRIOR TO THE ISSUANCE OF A BUILDING PERMIT FOR NEW DEVELOPMENT OR RECORDING OF A SUBDIVISION PLAT, WHOEVER OCCURS FIRST, A TRANSIT EASEMENT SHALL BE DEEDED TO THE CITY AND RECORDED IN THE WAKE COUNTY REGISTRY. PRIOR TO RECORDATION OF THE TRANSIT EASEMENT, THE DIMENSIONS (NOT TO EXCEED 15 FEET IN DEPTH AND 20 FEET IN WIDTH) AND LOCATION OF THE EASEMENT ALONG BRIER CREEK PARKWAY SHALL BE APPROVED BY THE PUBLIC WORKS DEPARTMENT AND THE EASEMENT DEED APPROVED BY THE CITY ATTORNEY'S OFFICE. PRIOR TO THE ISSUANCE OF A CERTIFICATE OF OCCUPANCY FOR NEW DEVELOPMENT, THE PROPERTY OWNER SHALL PAY TO THE CITY AN AMOUNT OF \$4,500 AS CONTRIBUTION TOWARD THE FUTURE INSTALLATION OF A BUS SHELTER.

ATTENTION CONTRACTORS

The Construction Contractor responsible for the extension of water, sewer, and/or reuse, as approved in these plans, is responsible for contacting the Public Works Department at (919) 998-2408 and the Public Utilities Department at (919) 998-4540 at least **twenty four hours** prior to beginning any of their construction.

Failure to notify both City Departments in advance of beginning construction, will result in the issuance of monetary fines, and require reinstallation of any water or sewer facilities not inspected as a result of this notification failure.

Failure to call for inspection, install a Downstream Plug, have Permitted Plans on the jobsite, or any other Violation of City of Raleigh Standards will result in a **Fine and Possible Exclusion** from future work in the City of Raleigh.



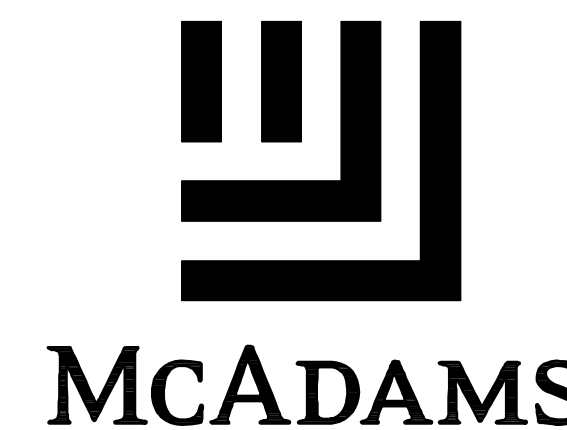
VICINITY MAP
N.T.S.



Know what's below.
Call before you dig.

CONTRACTOR SHALL NOTIFY "NC811" (811) OR (1-800-632-4949) AT LEAST 3 FULL BUSINESS DAYS PRIOR TO BEGINNING CONSTRUCTION OR EXCAVATION TO HAVE EXISTING UTILITIES LOCATED. CONTRACTOR SHALL CONTACT ANY LOCAL UTILITIES THAT PROVIDE THEIR OWN LOCATOR SERVICES INDEPENDENT OF "NC811". REPORT ANY DISCREPANCIES TO THE ENGINEER IMMEDIATELY.

ALL CONSTRUCTION SHALL CONFORM WITH THE LATEST VERSION OF THE CITY OF RALEIGH AND NCCOT STANDARDS, SPECIFICATIONS AND DETAILS.



THE JOHN R. McADAMS
COMPANY, INC.
2905 Meridian Parkway
Durham, North Carolina 27713
License No.: C-0293
(800) 733-5646 • McAdamsCo.com
Contact: Jay Matey
matey@mcadamsco.com

PRELIMINARY DRAWING - NOT RELEASED FOR CONSTRUCTION

Administrative Site Review Application
(for UDO Districts only)

Development Services Customer Service Center | Exchange Plaza, Suite 400 | Raleigh, NC 27601 | 919-996-2495 ext 919-996-1831
Litchford Satellite Office | 8320 - 130 Litchford Road | Raleigh, NC 27601 | 919-996-4200

When submitting plans, please check the appropriate building type and include the Plan Checklist document.

BUILDING TYPE	FOR OFFICE USE ONLY
<input type="checkbox"/> Detached <input type="checkbox"/> Attached <input type="checkbox"/> Apartment <input type="checkbox"/> Townhouse	<input checked="" type="checkbox"/> General <input type="checkbox"/> Mixed Use <input type="checkbox"/> Open Lot
Transaction Number Assigned Project Coordinator Assigned Team Leader	

Has your project previously been through the Due Diligence or Sketch Plan Review process? If yes, provide the transaction #

GENERAL INFORMATION

Development Name: Skyland Ridge - Lot 2
 Zoning District: CX-7-CU Overlay District (if applicable) Inside City Limits? Yes No
 Proposed Use: Restaurant, Retail, Medical Office
 Property Address: 7860 Briar Creek Pkwy. Major Street Location: Briar Creek Pkwy.
 Wake County Property Identification Number(s) for each parcel to which these guidelines will apply:
 P.I.N. 0768-58-1332 P.I.N. P.I.N. P.I.N.

What is your project type?
 Apartment Elderly Facilities Hospitals Hotels/Motels Office
 Mixed Residential Non-Residential Condo School Shopping Center Banks Industrial Building
 Duplex Telecommunication Tower Religious Institutions Residential Condo Retail Cottage Court
 Or, if other, please describe: Medical Office

WORK SCOPE
 Per City Code Section 10.2.B.1.L summarize the project work scope. For additions, changes of use, or occupancy (per Chapter 6 of the UDO), indicate impacts on parking requirements.
 Enlarge Lot 2 building from 7,500 SF Retail as approved in SR-11-15 to 9,206 SF, consisting of 1,564 SF restaurant, 1,513 SF retail, and 6,129 SF Medical Office. Parking requirement increases by 11 spaces.

DESIGN ADJUSTMENT OR ADMIN ALTERNATE
 Per City Code Chapter 8, summarize if your project requires either a design adjustment, or Section 10 - Alternate Administrative Act.
 N/A

CLIENT/DEVELOPER/OWNER
 Company: Briar Creek Parkway 7860 LLC Name (s): Jonathan Boes
 Address: 10120 Green Level Church Rd., Suite 212, Cary, NC 27519
 Phone: (919) 247-0497 Email: jeboes@gmail.com Fax: N/A

CONSULTANT
 Company: McAdams Name (s): Jay Matey, P.E.
 Address: 2905 Meridian Parkway, Durham, NC 27713
 Phone: (919) 287-0873 Email: Matey@McAdamsco.com Fax: N/A

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DEVELOPMENT TYPE & SITE DATA TABLE (Applicable to all developments)

Zoning Information	Building Information
Zoning District(s): CX-7-CU	Proposed building use(s): Medical office/retail/restaurant
If more than one district, provide the acreage of each: N/A	Existing Building(s) sq. ft. gross: 30,600 SF
Overlay District: N/A	Proposed Building(s) sq. ft. gross: 9,206 SF (Lot 2) + 7,500 SF (Lot 3)
Total Site Acres: Inside City Limits: <input checked="" type="checkbox"/> Yes <input type="checkbox"/> No 8.76 AC.	Total sq. ft. gross (existing & proposed): 47,306 SF
Off street parking: Required: 188 Provided: 266	Proposed height of building(s): 24'-1"
CDA (Certificate of Appropriateness) case #: N/A	# of stories: 1 (Lot 2)
BDA (Board of Adjustment) case #: N/A	Ceiling height of 1 st floor +/-14' max./8' min.
CUD (Conditional Use District) case #: 37-14	

Stormwater Information

Existing Impervious Surface: acres/square feet Flood Hazard Area: Yes No
 Proposed Impervious Surface: acres/square feet If Yes, please provide: Flood Study
 Neuse River Buffer: Yes No Wetlands: Yes No FEMA Map Panel #:

FOR RESIDENTIAL DEVELOPMENTS

- Total # of Apartment, Condominium or Residential Units: 0
- Bedroom Units: 1br 0 2br 0 3br 0 4br or more 0
- Total # of Congregate Care or Life Care Dwelling Units: 0
- Infill Development: 2.2.7 0
- Total Number of Hotel Units (1-6 Above): 0
- Open Space (only) or Amenity: 0
- Overall Total # of Dwelling Units (1-6 Above): 0
- Is your project a cottage court? Yes No

SIGNATURE BLOCK (Applicable to all developments)

In filing this plan as the property owner(s), I/we do hereby agree and firmly bind ourselves, my/our heirs, executors, administrators, successors and assigns jointly and severally to construct all improvements and make all dedications as shown on this proposed development plan as approved by the City.

I hereby designate: Jay Matey, P.E., McAdams to serve as my agent regarding this application, to receive and respond to administrative comments, to submit plans on my behalf and to represent me in any public meeting regarding this application.

I/we have read, acknowledge and affirm that this project is conforming to all application requirements applicable with the proposed development use.

Signed: [Signature] Date: 1/29/18
 Printed Name: Hesham Abdelbaky
 Signed: [Signature] Date: _____
 Printed Name: _____

PAGE 2 OF 3 WWW.RALEIGHNC.GOV REVISION 05.13.16

X:\Projects\SPEC-2017\SPEC-17112\Land Site Plan\Current\Drawing\SPEC17112-ASP-CSI.dwg, 1/25/2018 10:43:52 AM, Harnell, Orty

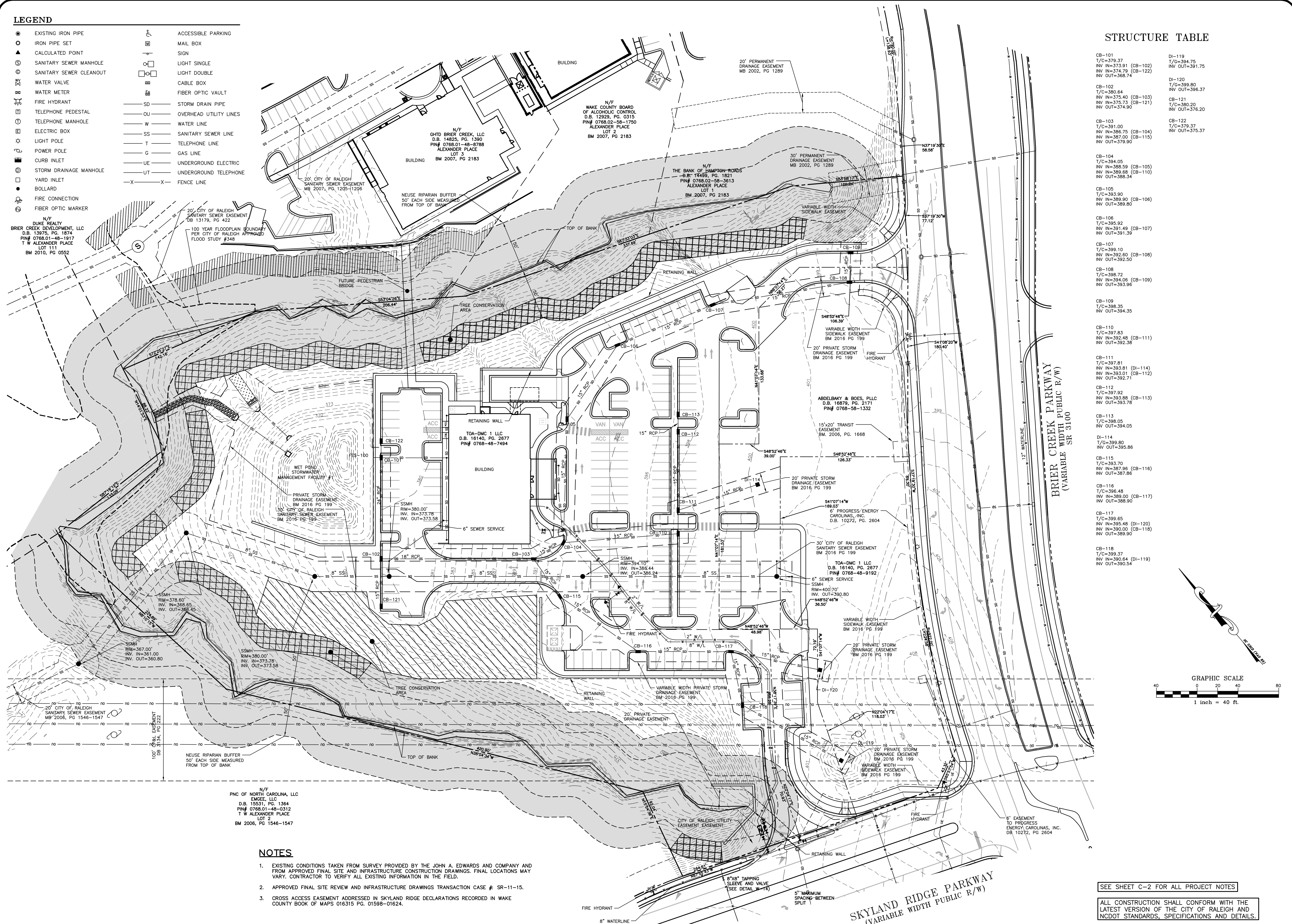
LEGEND

- EXISTING IRON PIPE
- IRON PIPE SET
- ▲ CALCULATED POINT
- ⊙ SANITARY SEWER MANHOLE
- ⊙ SANITARY SEWER CLEANOUT
- ⊙ WATER VALVE
- ⊙ WATER METER
- ⊙ FIRE HYDRANT
- ⊙ TELEPHONE PEDESTAL
- ⊙ TELEPHONE MANHOLE
- ⊙ ELECTRIC BOX
- ☆ LIGHT POLE
- ⊙ POWER POLE
- ⊙ CURB INLET
- ⊙ STORM DRAINAGE MANHOLE
- YARD INLET
- BOLLARD
- ⊙ FIRE CONNECTION
- ⊙ FIBER OPTIC MARKER
- ⊙ ACCESSIBLE PARKING
- ⊙ MAIL BOX
- ⊙ SIGN
- ⊙ LIGHT SINGLE
- ⊙ LIGHT DOUBLE
- ⊙ CABLE BOX
- ⊙ FIBER OPTIC VAULT
- SD STORM DRAIN PIPE
- OU OVERHEAD UTILITY LINES
- W WATER LINE
- SS SANITARY SEWER LINE
- T TELEPHONE LINE
- G GAS LINE
- UE UNDERGROUND ELECTRIC
- UT UNDERGROUND TELEPHONE
- X-X FENCE LINE

STRUCTURE TABLE

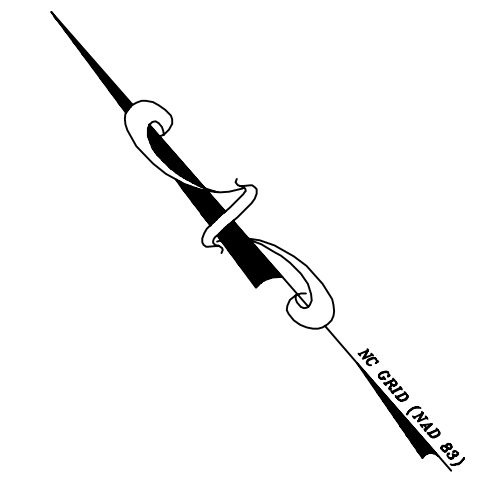
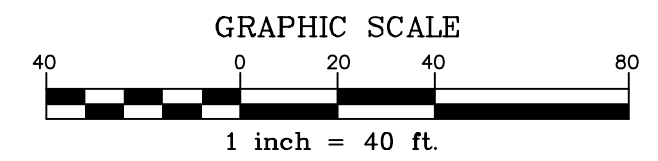
CB-101 T/C=379.37 INV IN=373.91 (CB-102) INV IN=374.79 (CB-122) INV OUT=368.74	DI-119 T/C=394.75 INV OUT=391.75
CB-102 T/C=380.64 INV IN=375.40 (CB-103) INV IN=375.73 (CB-121) INV OUT=374.90	DI-120 T/C=399.80 INV OUT=396.37
CB-103 T/C=391.00 INV IN=386.75 (CB-104) INV IN=387.00 (CB-115) INV OUT=379.90	CB-121 T/C=380.20 INV OUT=376.20
CB-104 T/C=394.05 INV IN=388.59 (CB-105) INV IN=389.68 (CB-110) INV OUT=388.34	CB-122 T/C=379.37 INV OUT=375.37
CB-105 T/C=393.90 INV IN=389.90 (CB-106) INV OUT=389.80	CB-106 T/C=395.92 INV IN=391.49 (CB-107) INV OUT=391.39
CB-106 T/C=395.92 INV IN=391.49 (CB-107) INV OUT=391.39	CB-107 T/C=399.10 INV IN=392.60 (CB-108) INV OUT=392.50
CB-107 T/C=399.10 INV IN=392.60 (CB-108) INV OUT=392.50	CB-108 T/C=398.72 INV IN=394.06 (CB-109) INV OUT=393.96
CB-108 T/C=398.72 INV IN=394.06 (CB-109) INV OUT=393.96	CB-109 T/C=398.35 INV OUT=394.35
CB-109 T/C=398.35 INV OUT=394.35	CB-110 T/C=397.83 INV IN=392.48 (CB-111) INV OUT=392.38
CB-110 T/C=397.83 INV IN=392.48 (CB-111) INV OUT=392.38	CB-111 T/C=397.81 INV IN=393.81 (DI-114) INV IN=393.01 (CB-112) INV OUT=392.71
CB-111 T/C=397.81 INV IN=393.81 (DI-114) INV IN=393.01 (CB-112) INV OUT=392.71	CB-112 T/C=397.92 INV IN=392.68 (CB-113) INV OUT=393.78
CB-112 T/C=397.92 INV IN=392.68 (CB-113) INV OUT=393.78	CB-113 T/C=398.05 INV OUT=394.05
CB-113 T/C=398.05 INV OUT=394.05	DI-114 T/C=399.80 INV OUT=395.86
DI-114 T/C=399.80 INV OUT=395.86	CB-115 T/C=393.70 INV IN=387.96 (CB-116) INV OUT=387.86
CB-115 T/C=393.70 INV IN=387.96 (CB-116) INV OUT=387.86	CB-116 T/C=396.48 INV IN=389.00 (CB-117) INV OUT=388.90
CB-116 T/C=396.48 INV IN=389.00 (CB-117) INV OUT=388.90	CB-117 T/C=399.65 INV IN=395.48 (DI-120) INV IN=390.00 (CB-118) INV OUT=389.90
CB-117 T/C=399.65 INV IN=395.48 (DI-120) INV IN=390.00 (CB-118) INV OUT=389.90	CB-118 T/C=399.37 INV IN=390.64 (DI-119) INV OUT=390.54
CB-118 T/C=399.37 INV IN=390.64 (DI-119) INV OUT=390.54	

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NOTES

- EXISTING CONDITIONS TAKEN FROM SURVEY PROVIDED BY THE JOHN A. EDWARDS AND COMPANY AND FROM APPROVED FINAL SITE AND INFRASTRUCTURE CONSTRUCTION DRAWINGS. FINAL LOCATIONS MAY VARY. CONTRACTOR TO VERIFY ALL EXISTING INFORMATION IN THE FIELD.
- APPROVED FINAL SITE REVIEW AND INFRASTRUCTURE DRAWINGS TRANSACTION CASE # SR-11-15.
- CROSS ACCESS EASEMENT ADDRESSED IN SKYLAND RIDGE DECLARATIONS RECORDED IN WAKE COUNTY BOOK OF MAPS 016315 PG. 01598-01624.



SEE SHEET C-2 FOR ALL PROJECT NOTES

ALL CONSTRUCTION SHALL CONFORM WITH THE LATEST VERSION OF THE CITY OF RALEIGH AND NCDOT STANDARDS, SPECIFICATIONS AND DETAILS.

PRELIMINARY DRAWING - NOT RELEASED FOR CONSTRUCTION

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REVISIONS:

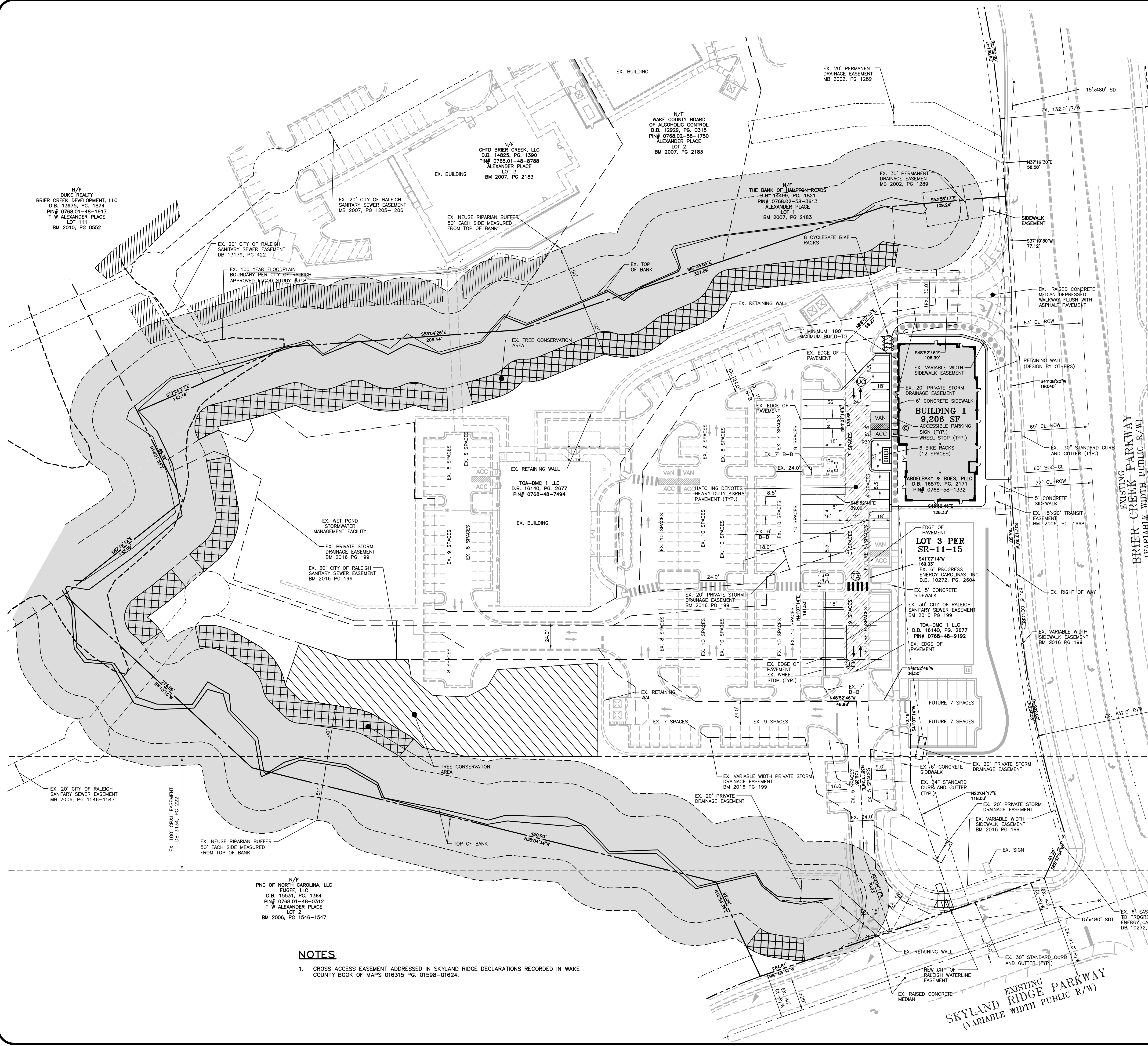
DEVELOPER:
BRIER CREEK PARKWAY 7860 LLC,
10120 GREEN LEVEL CHURCH ROAD
SUITE 212
GRAHAM, NORTH CAROLINA 27519

SKYLAND RIDGE - LOT 2
ADMINISTRATIVE SITE REVIEW
RALEIGH, NORTH CAROLINA

PROJECT NO.	SPEC-17112
FILENAME	SPEC17112-ASP-XCI
CHECKED BY:	LAW
DRAWN BY:	CGH
SCALE:	1"=40'
DATE:	1-29-2018
SHEET NO.	C-1

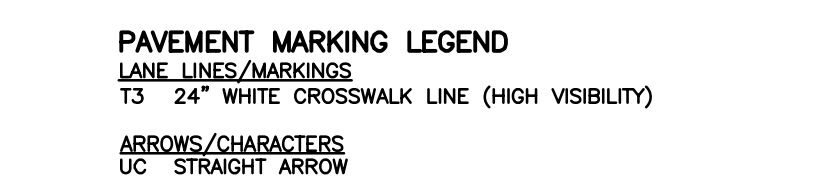
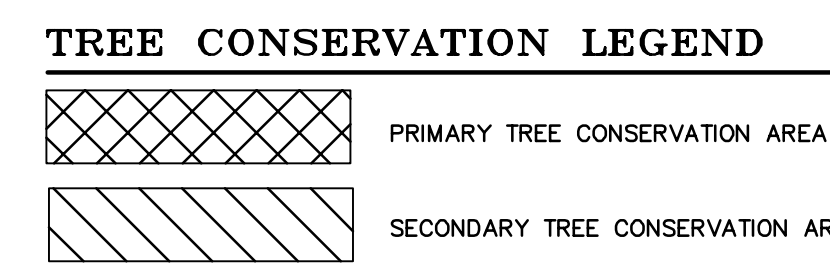
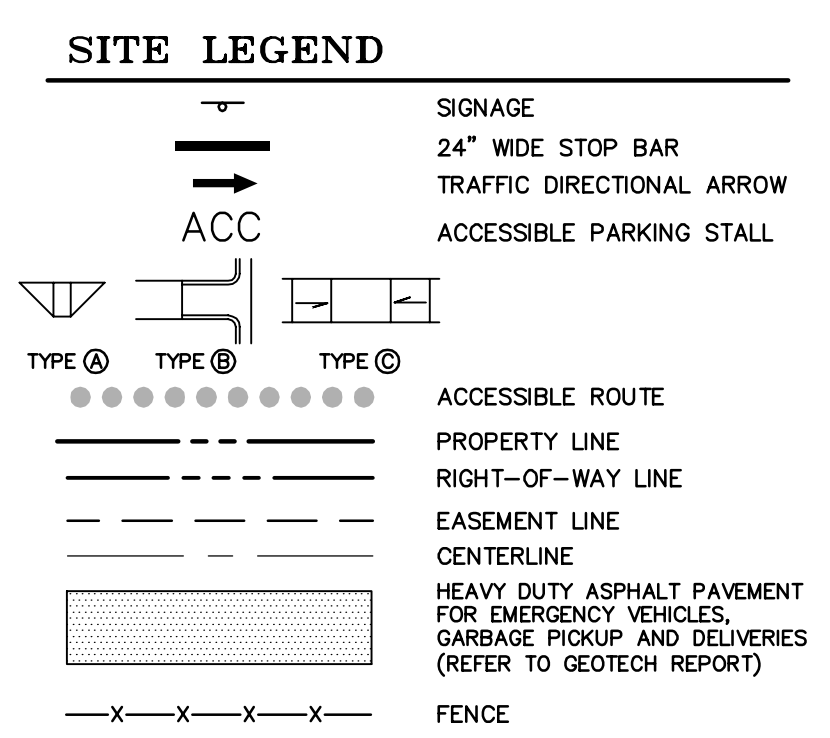


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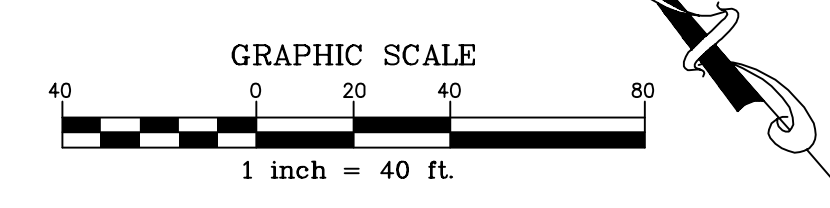
BUILD-TO REQUIREMENTS (BETWEEN 0' AND 100'):

BRIER CREEK PARKWAY R/W LENGTH (LOT 1, 2, & 3):	622 LF
BUILDING WITHIN BUILD-TO:	0'/0.00%
LOT 1:	139'/22.35%
LOT 2:	125'/20.10%
LOT 3 (FUTURE):	264'/42.45%
TOTAL:	



SITE DATA:

PHYSICAL ADDRESS:	7860 BRIER CREEK PARKWAY RALEIGH, NORTH CAROLINA
OWNER:	ABDELBAY & BOES, PLLC TRIANGLE FAMILY DENTISTRY CAROLINA 10120 GREEN LEVEL CHURCH RD. SUITE 212 CARY, NORTH CAROLINA 27519
DEVELOPER/APPLICANT:	BRIER CREEK PARKWAY 7860 LLC 10120 GREEN LEVEL CHURCH RD, SUITE 212 GRAHAM, NORTH CAROLINA 27519
PIN:	0768581332
REAL ESTATE ID:	0436901
EXISTING ZONING:	CX-7-CU
FUTURE LAND USE:	REGIONAL MIXED USE
WATERSHED:	CRABTREE CREEK, NEUSE RIVER BASIN
PROJECT AREA:	0.85 AC. (LOT 2 ONLY)
RIGHT-OF-WAY DEDICATION:	N/A
AREA IN FLOODPLAIN/FLOODPLAIN:	CITY OF RALEIGH FLOODPLAIN, FLOOD STUDY #348
PROPOSED BUILDING (ENTIRE DEVELOPMENT):	
MEDICAL OFFICE:	30,600 SQ FT (LOT 1) 6,129 SQ FT (LOT 2) 1,513 SQ FT (LOT 3)
RETAIL RESTAURANT:	1,564 SQ FT (LOT 2) 7,500 SQ FT (LOT 3)
TOTAL:	47,306 SQ FT
PARKING SUMMARY (OVERALL DEVELOPMENT)	
MEDICAL OFFICE	MIN. REQUIRED: 122 (1/300 SF) PROVIDED: 262 SPACES (140%)
RETAIL RESTAURANT	MIN. REQUIRED: 5 (1/300 SF) PROVIDED: 12 SPACES
ACCESSIBLE PARKING:	REQUIRED: 7 SPACES PROPOSED: 10 SPACES (2 VAN ACCESSIBLE)
BICYCLE PARKING:	LONG TERM: 4 SHORT TERM: 4
MEDICAL OFFICE	N/A
RETAIL RESTAURANT	4 8 SPACES
TOTAL PROVIDED:	12 SPACES 12 SPACES
TOTAL IMPERVIOUS:	3.39 AC. (38.70%) REQUIRED: 0.88 AC. (10.0%)
TREE CONSERVATION AREA:	REQUIRED: 0.88 AC. (10.0%)



NOTES

- CROSS ACCESS EASEMENT ADDRESSED IN SKYLAND RIDGE DECLARATIONS RECORDED IN WAKE COUNTY BOOK OF MAPS 016315 PG. 01598-01624.

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MCADAMS

REVISIONS:

DEVELOPER:

SKYLAND RIDGE - LOT 2
ADMINISTRATIVE SITE REVIEW
RALEIGH, NORTH CAROLINA

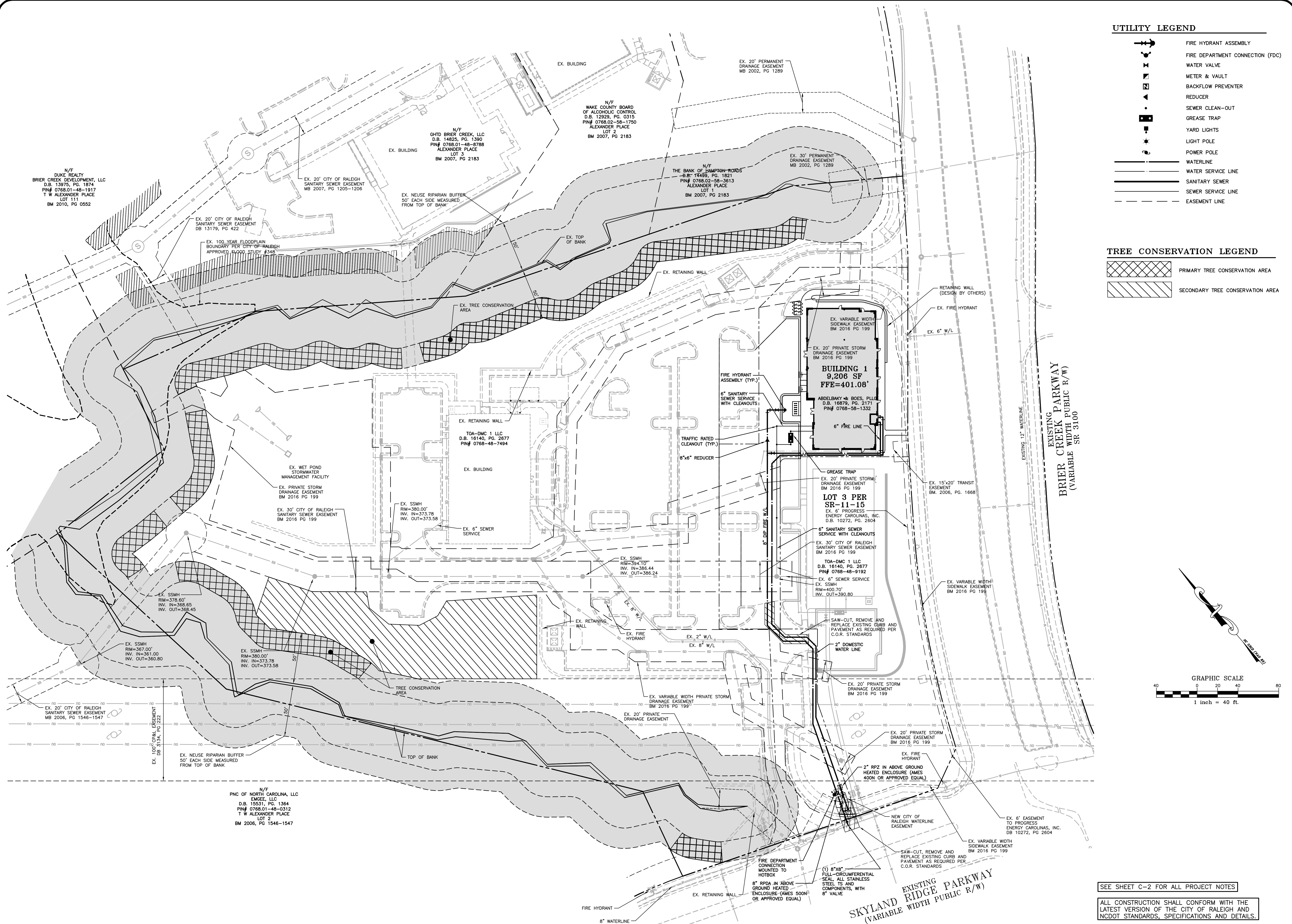
SITE PLAN

PROJECT NO: SPEC-17112
FILENAME: SPEC17112-ASP-SI
CHECKED BY: LAW
DRAWN BY: CGH
SCALE: 1"=40'
DATE: 1-29-2018
SHEET NO: **C-3**

ALL CONSTRUCTION SHALL CONFORM WITH THE LATEST VERSION OF THE CITY OF RALEIGH AND NCDOT STANDARDS, SPECIFICATIONS AND DETAILS.

PRELIMINARY DRAWING - NOT RELEASED FOR CONSTRUCTION

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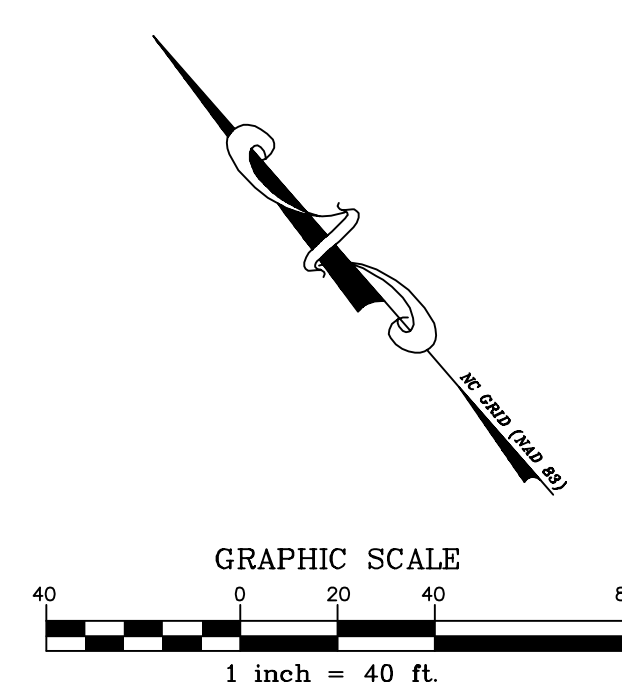


UTILITY LEGEND

	FIRE HYDRANT ASSEMBLY
	FIRE DEPARTMENT CONNECTION (FDC)
	WATER VALVE
	METER & VAULT
	BACKFLOW PREVENTER
	REDUCER
	SEWER CLEAN-OUT
	GREASE TRAP
	YARD LIGHTS
	LIGHT POLE
	POWER POLE
	WATERLINE
	WATER SERVICE LINE
	SANITARY SEWER
	SEWER SERVICE LINE
	EASEMENT LINE

TREE CONSERVATION LEGEND

	PRIMARY TREE CONSERVATION AREA
	SECONDARY TREE CONSERVATION AREA



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REVISIONS:

DEVELOPER:
 BRIER CREEK PARKWAY 7860 LLC,
 10120 GREEN LEVEL CHURCH ROAD SUITE 212
 GRAHAM, NORTH CAROLINA 27519

SKYLAND RIDGE - LOT 2
 ADMINISTRATIVE SITE REVIEW
 RALEIGH, NORTH CAROLINA

UTILITY PLAN

PROJECT NO: SPEC-17112
 FILENAME: SPEC17112-ASP-UI
 CHECKED BY: LAW
 DRAWN BY: CGH
 SCALE: 1"=40'
 DATE: 1-29-2018
 SHEET NO: **C-5**

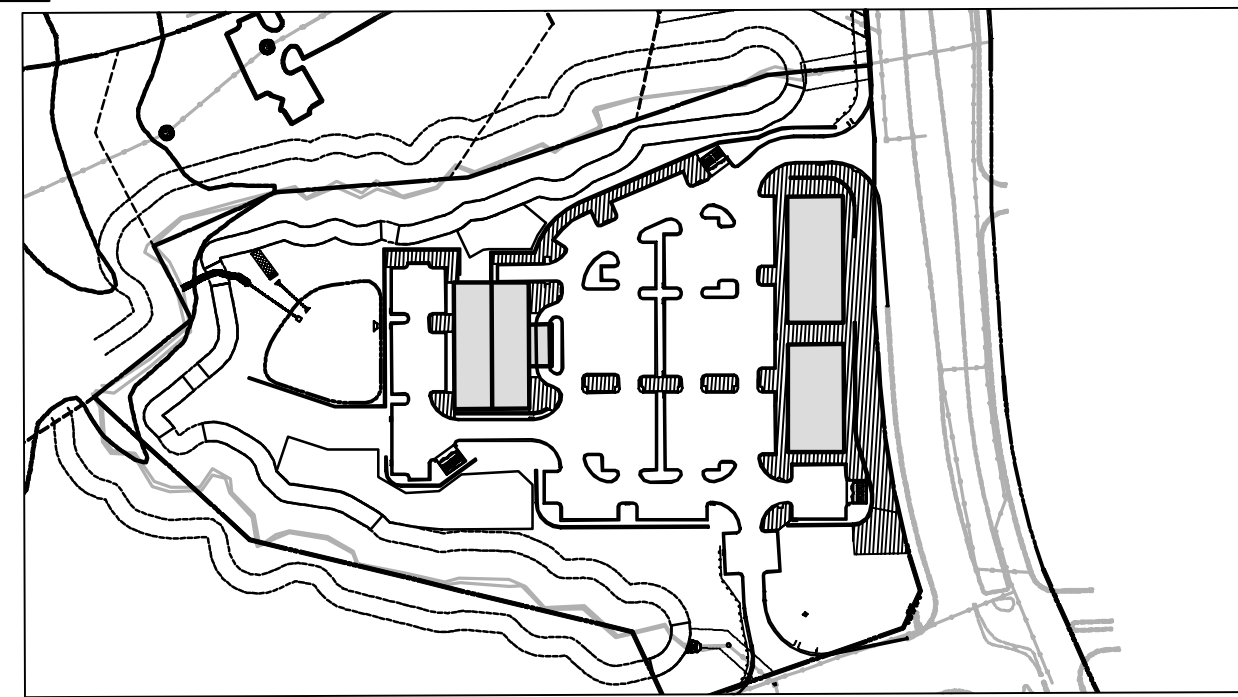
SEE SHEET C-2 FOR ALL PROJECT NOTES

ALL CONSTRUCTION SHALL CONFORM WITH THE LATEST VERSION OF THE CITY OF RALEIGH AND NCDOT STANDARDS, SPECIFICATIONS AND DETAILS.

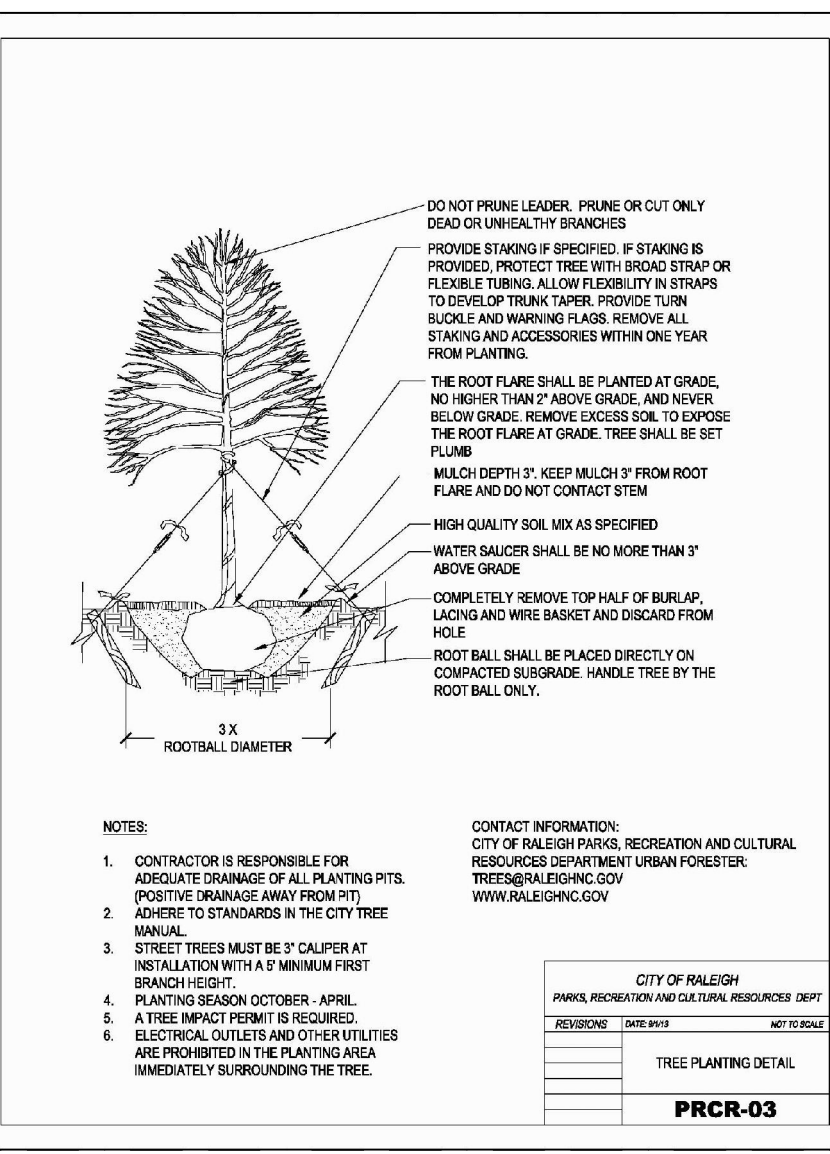
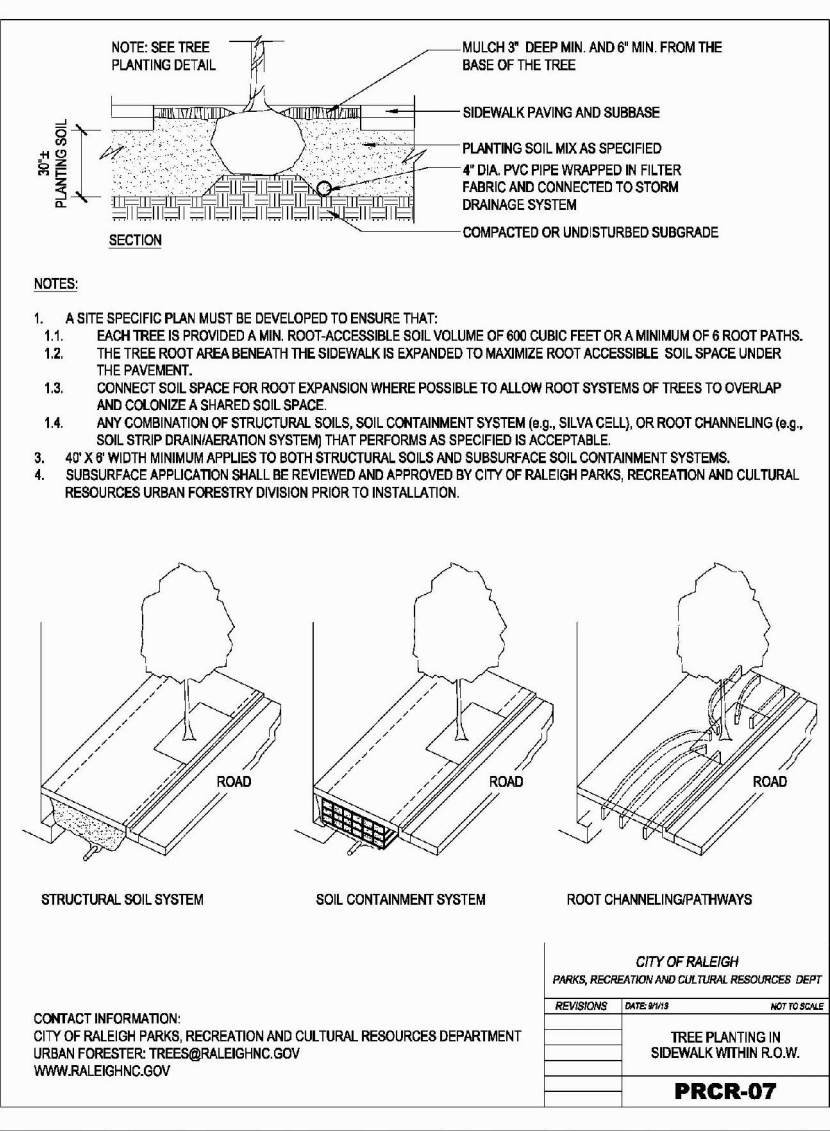
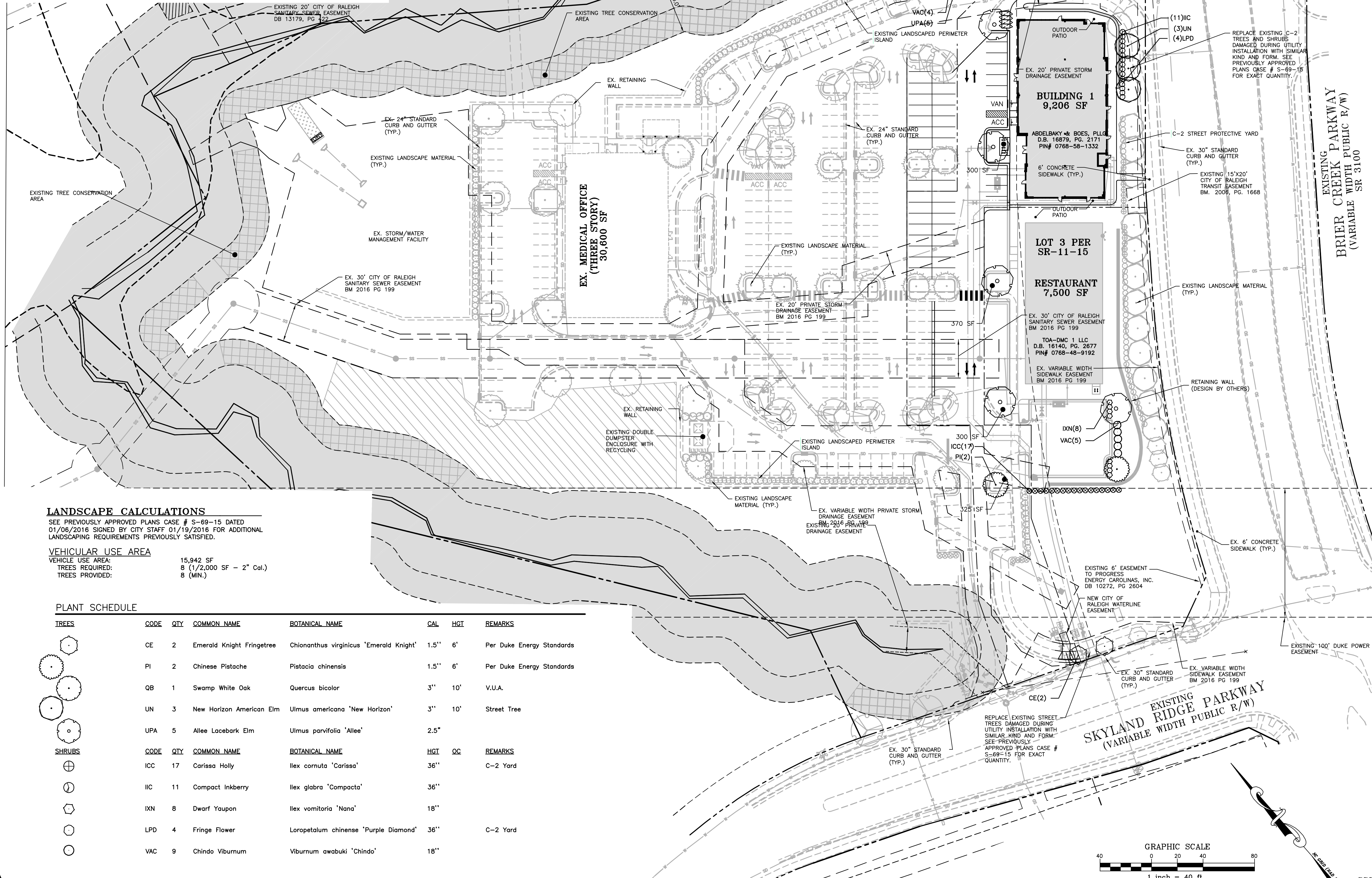
PRELIMINARY DRAWING - NOT RELEASED FOR CONSTRUCTION

OUTDOOR AMENITY AREA DIAGRAM
(SHOWN HATCHED)

*NOTE: AMENITY AREA LOCATIONS SUBJECT TO CHANGE BASED ON FINAL SITE CONDITIONS



OUTDOOR AMENITY AREA REQUIREMENTS
TOTAL SITE ACREAGE: 8.76 AC
OUTDOOR AMENITY REQ'D: .876 AC (10%)
OUTDOOR AMENITY PROVIDED: .88 (10%)
*SEE DIAGRAM FOR LOCATIONS (THIS SHEET)



EXISTING TREE CONSERVATION LEGEND

	EXISTING PRIMARY TREE CONSERVATION AREA
	EXISTING SECONDARY TREE CONSERVATION AREA

SEE PREVIOUSLY APPROVED PLANS CASE # S-69-15 FOR EXISTING TREE CONSERVATION CALCULATIONS AND BOOK OF MAPS 2016 PAGE 199.

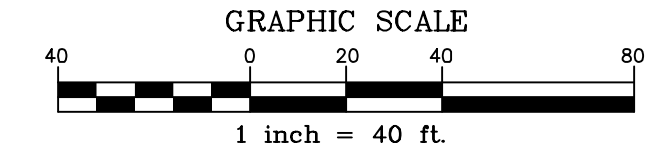
ALL PLANTING MATERIAL SELECTION, INSTALLATION AND MAINTENANCE SHALL CONFORM TO THE STANDARDS SET FOR IN THE CITY OF RALEIGH STREET DESIGN MANUAL SECTION 6.18.8 AND 6.18.2.

LANDSCAPE CALCULATIONS
SEE PREVIOUSLY APPROVED PLANS CASE # S-69-15 DATED 01/06/2016 SIGNED BY CITY STAFF 01/19/2016 FOR ADDITIONAL LANDSCAPING REQUIREMENTS PREVIOUSLY SATISFIED.

VEHICULAR USE AREA
VEHICLE USE AREA: 15,942 SF
TREES REQUIRED: 8 (1/2,000 SF - 2" Cal.)
TREES PROVIDED: 8 (MIN.)

PLANT SCHEDULE

TREES	CODE	QTY	COMMON NAME	BOTANICAL NAME	CAL	HGT	REMARKS
	CE	2	Emerald Knight Fringetree	Chionanthus virginicus 'Emerald Knight'	1.5"	6'	Per Duke Energy Standards
	PI	2	Chinese Pistache	Pistacia chinensis	1.5"	6'	Per Duke Energy Standards
	QB	1	Swamp White Oak	Quercus bicolor	3"	10'	V.U.A.
	UN	3	New Horizon American Elm	Ulmus americana 'New Horizon'	3"	10'	Street Tree
	UPA	5	Allee Lacebark Elm	Ulmus parvifolia 'Allee'	2.5"		
SHRUBS	CODE	QTY	COMMON NAME	BOTANICAL NAME	HGT	QC	REMARKS
	ICC	17	Carissa Holly	Ilex cornuta 'Carissa'	36"		C-2 Yard
	IIC	11	Compact Inkberry	Ilex glabra 'Compacta'	36"		
	IXN	8	Dwarf Yaupon	Ilex vomitoria 'Nana'	18"		
	LPD	4	Fringe Flower	Loropetalum chinense 'Purple Diamond'	36"		C-2 Yard
	VAC	9	Chindo Viburnum	Viburnum awabuki 'Chindo'	18"		



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New York, NY 10028
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MCADAMS

REVISIONS:

DEVELOPER:
BRIER CREEK PARKWAY 7860 LLC,
10120 GREEN LEVEL CHURCH ROAD
SUITE 212
GRAHAM, NORTH CAROLINA 27519

SKYLAND RIDGE - LOT 2
ADMINISTRATIVE SITE REVIEW
RALEIGH, NORTH CAROLINA

PROJECT NO.: SPEC-17112
FILENAME: SPEC17112-ASP-LS1
CHECKED BY:
DRAWN BY:
SCALE: 1"=40'
DATE: 1-29-2018
SHEET NO. **LS-1**

MCADAMS



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SKYLAND RIDGE BUILDING BRIER CREEK RALEIGH, NORTH CAROLINA

CORPORATE STAMP

ARCHITECT'S STAMP

No	Rev./Submissions	Date
	PLANNING	//
	PERMIT	//
SCALE	PROJECT NO	
AS NOTED	170802	
DESIGNED	DATE	
RSR	8 NOV 17	
DRAWN	CHECKED	
RSR	RSR	

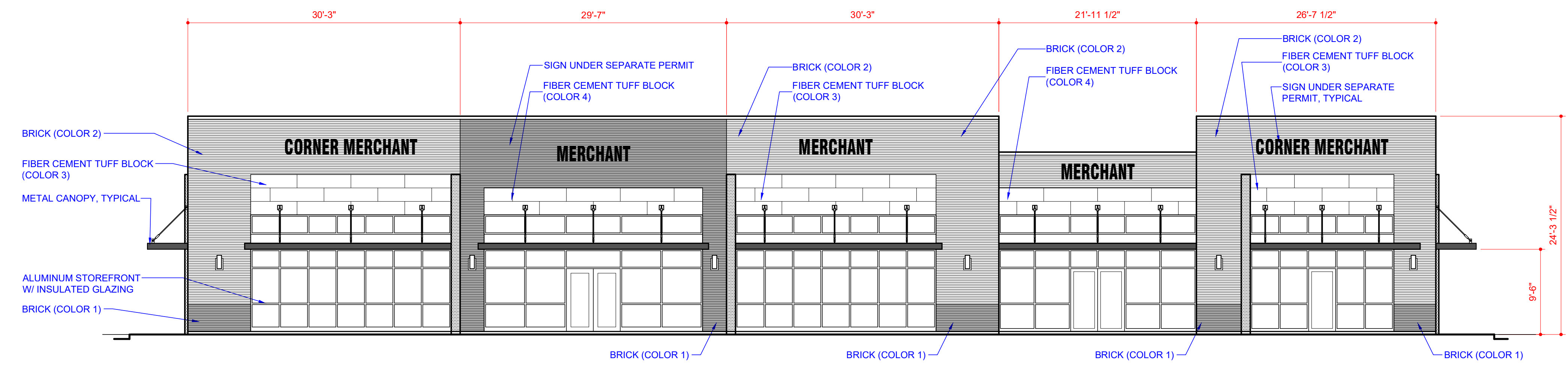
DRAWINGS

ELEVATIONS

DRAWING NO

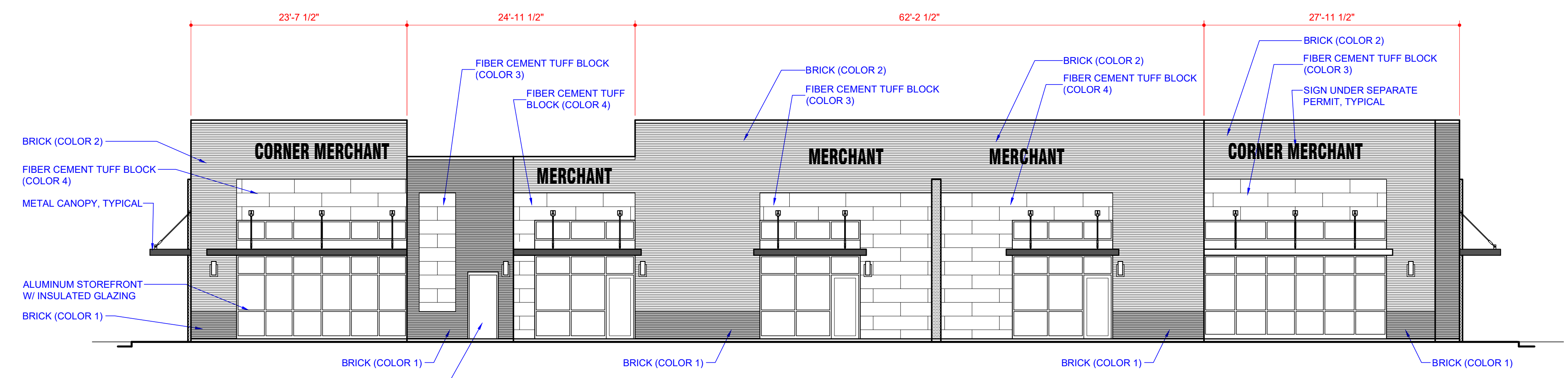
A1.0

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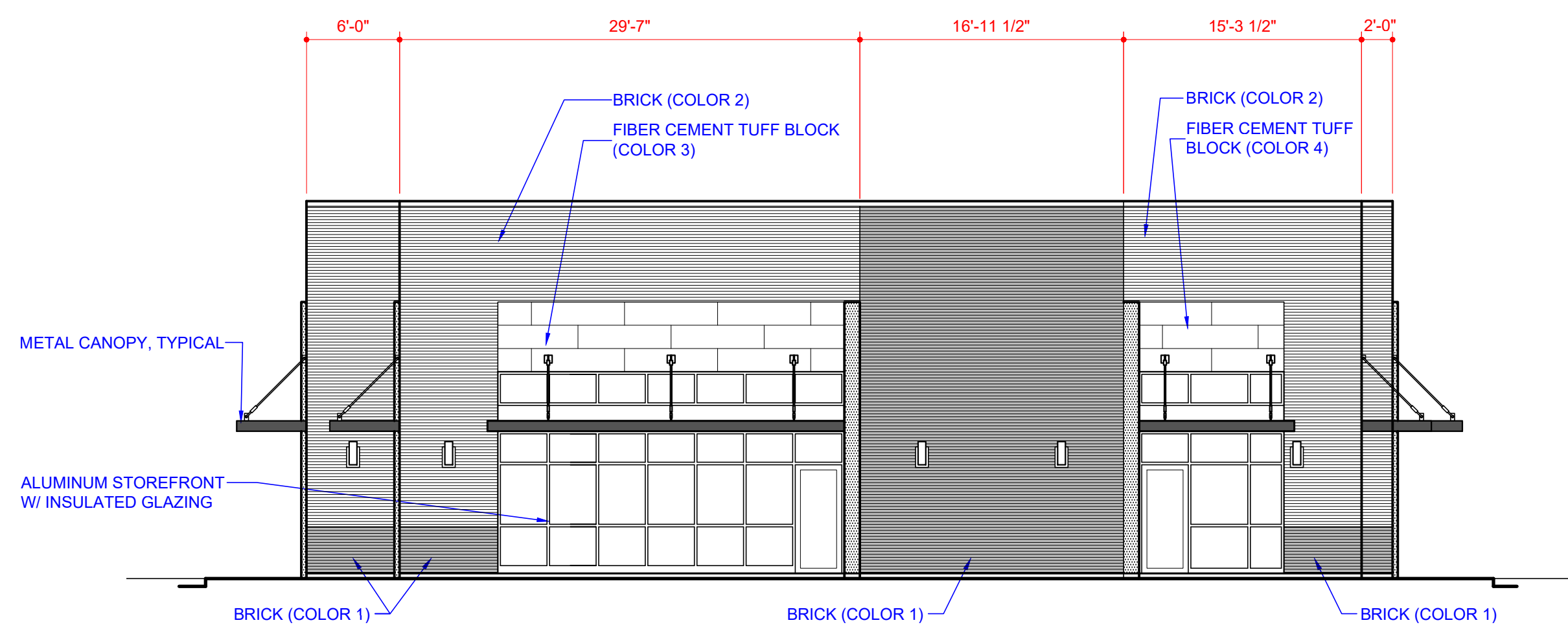
1 North Elevation
SCALE 1/8" = 1'-0"

TRANSPARENCY:
AREA OF WALL TO 12': 1,670 SF
AREA OF GLAZING: 1,266 SF
PERCENTAGE OF GLAZING: 75%
BLANK WALL < 30'



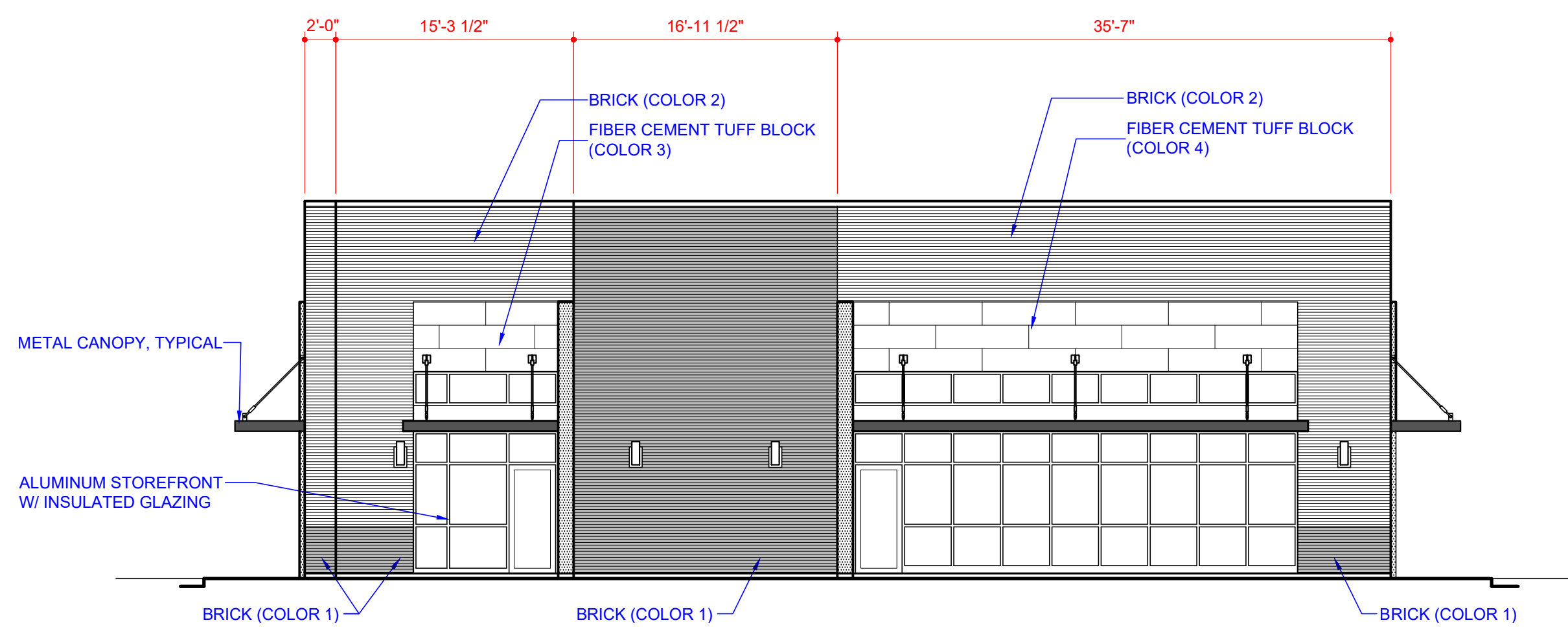
2 South Elevation
SCALE 1/8" = 1'-0"

TRANSPARENCY:
AREA OF WALL TO 12': 1,670 SF
AREA OF GLAZING: 822 SF
PERCENTAGE OF GLAZING: 49%
BLANK WALL < 30'



4 West Elevation
SCALE 1/8" = 1'-0"

TRANSPARENCY:
AREA OF WALL TO 12': 840 SF
AREA OF GLAZING: 369 SF
PERCENTAGE OF GLAZING: 43%
BLANK WALL < 30'



3 East Elevation
SCALE 1/8" = 1'-0"

TRANSPARENCY:
AREA OF WALL TO 12': 840 SF
AREA OF GLAZING: 441 SF
PERCENTAGE OF GLAZING: 52%
BLANK WALL < 30'